

Attachment B: Willow Hills PUD Amendment



Nil Ghosh | Associate
421 Fayetteville St | Ste 530
Raleigh, NC 27601
919-590-0362
nghosh@morningstarlawgroup.com
www.morningstarlawgroup.com

May 28, 2021

Shelly Mayo
Planner II
Town of Apex

RE: Olive Chapel Road Assemblage PUD Amendment

Dear Shelly Mayo:

This letter is to inform you of the intent of the proposed PUD Amendment for the above-captioned project. The intent of this PUD amendment is to adjust the location of the sidewalk connecting Olive Chapel Road and New Hill Olive Chapel Road. Due to the location of graves within the right-of-way, sidewalk cannot be installed along the thoroughfare frontage adjacent to the cemetery as originally proposed.

Because of that, the applicant requests that the following language be removed from Section 12: Public Facilities Compliance under Roadways:

"5-foot sidewalks shall be constructed along both thoroughfare frontages. 5-foot sidewalks shall be extended offsite from both thoroughfare frontages to intersect at the corner of Olive Chapel Road and New Hill Olive Chapel Road."

The following language is proposed in its place:

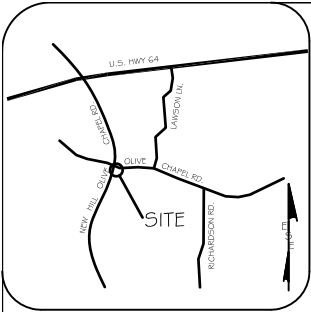
"A 5-foot sidewalk shall be constructed along the internal property line shared with the cemetery. The sidewalk shall be located between the 10-foot Type B landscape buffer and the historic house. It shall be located within a 12-foot public access easement on HOA owned common area. A metal hoop-and-picket style fence shall be installed approximately 1 foot off the sidewalk on the side closest to the historic house. A continuous evergreen hedge shall be planted between the fence and the historic house."

This encompasses the entire scope of the proposed amendment.

Respectfully,

A handwritten signature in black ink, appearing to read "Nil Ghosh", is written over a horizontal line.

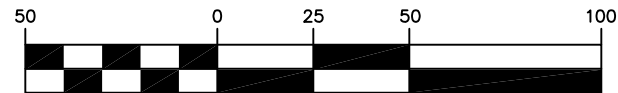
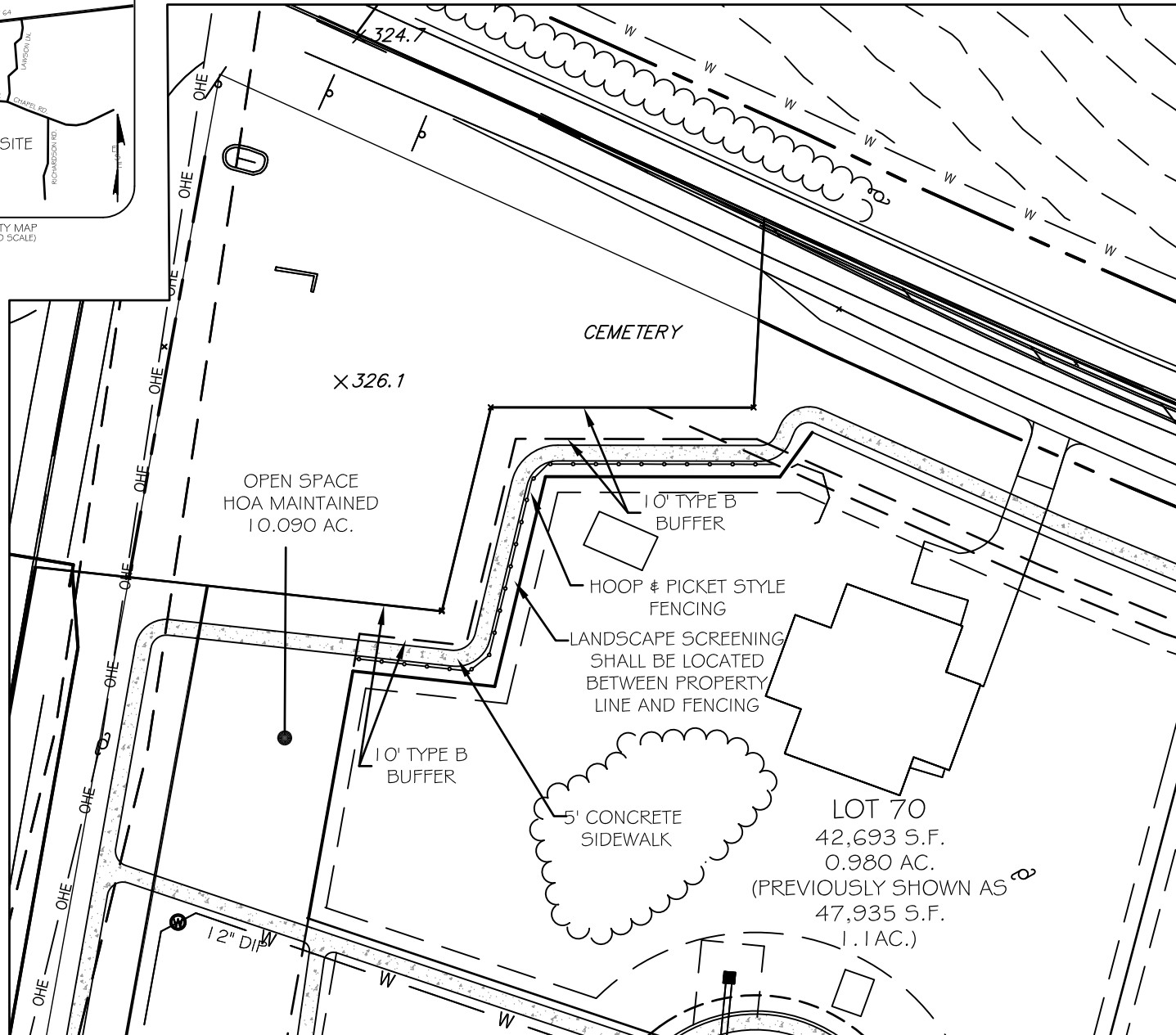
Nil Ghosh | Associate
Morningstar Law Group



VICINITY MAP
(NOT TO SCALE)



N.C. GRID
MAD 65
D.B. 47/19, PG. 164



1 inch = 50 ft.

ESE CONSULTANTS

LICENSE # C-2973
ESE of North Carolina, PC
900 Perimeter Park Dr, Suite B3,
Morrisville, NC 27560
TEL: 919-321-4800 FAX: 919-321-7880

SIDEWALK EXHIBIT
FOR
TOLL BROTHERS, INC

WILLOW HILLS
OLIVE CHAPEL ROAD
TOWN OF APEX, WAKE COUNTY, NC

CURRENT OWNER
TOLL NC II, L.P.
D.B. 4719, PG. 164

JOB #: 4380.0000
DATE: 05-14-21
SCALE: 1"=50'
DRAWN BY: *
REVIEWED BY: *
REVISIONS:

Rezoning Case #18CZ28
PUD-CZ Plan
for
Olive Chapel Road Assemblage
Apex, North Carolina

1 August 2018

Revised: 7 September 2018

Revised: 9 October 2018

Revised: 24 October 2018

Revised: 26 November 2018 (final)

Prepared by: ESE of North Carolina, PC

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Section 2: Vicinity Map



Section 3: Project Data

Project Name: Olive Chapel Road Assemblage

Preparer: Glenn Phillips, PE
ESE of North Carolina, PC
2310 T. W. Alexander Drive
Raleigh, NC 27617
919-355-0706
gphillips@eseconsultants.com

Developer: Perry Verille
Toll Brothers, Inc.
250 Gibraltar Road
Horsham, Pa 19044
919-321-4800
pverille@tollbrothers.com

Owners: Katherine Lawrence & James Chalk
1502 Chip Shot Drive
Moorehead City, NC 28557
PIN 711790712
252-726-3314

Kathy & John Bartholomew
3417 Olive Chapel Road
Apex, NC 27502
PIN 712507514

919-740-4944

Grace & Don Goodwin

3329 Olive Chapel Road

Apex, NC 27502

PIN 712602869 and 712608523

919-674-4109

Peggy Gray, Trustee – Survivor's Trust A

647 AIKEN PKWY

Fuquay Varina, NC 27526

PIN 712603422

919-567-3908

Amy & Joseph Power

3309 Olive Chapel Road

Apex, NC 27502

PIN 712701721

919-389-2276

Designated Contact: Jason Barron

919-590-0371

jbarron@morningstarlawgroup.com

Current Zoning: R-80W (Wake County)

Proposed Zoning: PUD-CZ

2030 Land Use: Rural Density Residential

Tract Area: 70.77 ac

Proposed List of Uses

The rezoned lands may be used for, and only for, the uses listed below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

- Single Family
- Accessory Apartments
- Park, active
- Park, passive
- Greenway
- Private Recreation Facility
- Utility, minor

SECTION 4: Purpose Statement

Olive Chapel Road Assemblage is a proposed residential planned community and is situated at the southeast corner of the intersection of Olive Chapel Road with New Hill Olive Chapel Road in Wake County. A Planned Unit Development – Conditional Zoning District Petition is included with these documents. The property is currently zoned Wake County R-80W. The Town of Apex 2030 Land Use Map earmarks this site for Rural Density Residential and it is presently outside the Town of Apex Extra-Territorial-Jurisdiction (ETJ).

The proposed project consists of detached single-family homes. The proposed PUD conforms to the 2030 Land Use Map with a density less than one dwelling unit per acre – thus ensuring compliance with the Town’s Rural Density Residential classification. In order to preserve the five existing ponds around the perimeter of the property, the proposed single-

family lots will be clustered within the interior portion of the site to help preserve the rural appearance and character of the neighborhood.

As a part of the Town's pre-submittal process, the existing home located near the Olive Chapel Road and New Hill Olive Chapel Road intersection was determined to be of historical significance. The proposed PUD preserves the home on its own lot along with adjacent surrounding specimen trees visible from the street intersection. This will further help to maintain the rural appearance and character of the PUD and will assist with blending the new development with the surrounding area.

Sidewalks will be provided on both sides of all proposed streets. This will facilitate connection to the future greenway trail identified within the *Town of Apex Parks, Recreation, Greenways, and Open Space Plan* proposed adjacent to the north side of Olive Chapel Road at the property's northeast corner. Dimensional standards, perimeter buffers and proposed architectural conditions will also help to ensure that a high-quality community and attractive homes are constructed.

SECTION 5: Proposed Design Controls

Maximum residential density:	1.00 dwelling unit per acre
Minimum lot size for residential use:	11,500 sf
Average lot size for residential use:	15,000 sf
Maximum height of the buildings:	40 feet
Setbacks:	
Front:	20 feet
Side:	5 feet
Rear:	25 feet
Corner:	10 feet
Corner/Side:	10 feet
Maximum Built Upon Area (entire subdivision):	50%
Perimeter Landscape Buffers:	
Along Olive Chapel Road:	50 Foot Type B
Along New Hill Olive Chapel Road:	50 Foot Type B
All other perimeter boundaries:	10 Foot Type B

SECTION 6: Proposed Architectural Controls

To remain consistent with the high-quality aesthetic appeal of homes in the Town of Apex, the following architectural standards are proposed as zoning conditions for this PUD:

- 1) Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted
- 2) All single-family homes shall have a crawl space or have a raised foundation which at a minimum rises at least 20 inches from average grade across the front of the house to the finished floor level at the front door.
- 3) Garage doors must have windows, decorative details or carriage-style adornments on them.
- 4) Front entry garages cannot protrude more than 1 foot out from the front façade and front porch.
- 5) House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
- 6) Garages on the front façade of a home that faces the street shall not exceed 40% of the total width of the house and garage together.
- 7) Eaves shall project at least 12 inches from the wall of the structure.
- 8) A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
- 9) The roof shall be pitched at 5:12 or greater for 75% of the building designs.
- 10) The rear and side elevations of the units that can be seen from the right-of-way shall include trim around the windows and/or incorporate decorative windows to maintain an attractive appearance.
- 11) Front porches shall be a minimum of 6 feet deep.
- 12) All single-family detached homes shall be pre-configured with conduit for a solar energy system.
- 13) The visible side of a home on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:
 - Windows
 - Bay window
 - Recessed window
 - Decorative window
 - Trim around the windows
 - Wrap around porch or side porch
 - Two or more building materials
 - Decorative brick/stone
 - Decorative trim
 - Decorative shake
 - Decorative air vents on gable
 - Decorative gable
 - Decorative cornice
 - Column
 - Portico
 - Balcony
 - Dormer

- 14) A minimum of five (5) residential dwellings to be developed on the property shall be constructed so as to include installation of solar panels and power system of at least 3 KW capacity. The lots on which these homes are located shall be identified on the Final Plat, which may be amended from time to time. All other single-family detached homes shall be pre-configured with conduit for a solar energy system.

SECTION 7: Parking and Loading

Parking and loading will comply with all applicable requirements of UDO Section 8.3. Each single-family lot will contain a minimum of two paved parking spaces. These spaces may be located within enclosed garages and/or driveways.

SECTION 8: Signage Compliance

All signage for this project will comply with UDO Section 8.7.

SECTION 9: Natural Resource and Environmental Data

Watershed Overlay District: Primary

FEMA Floodplain Panel: This site contains no delineated FEMA floodplain

RCA required:

The UDO exempts subdivisions with a maximum density of 1 DU/acre or less from the Resource Conservation Area requirement. Because the site will be mass graded, 2.0 % RCA is required.

RCA provided: 2.80 ac (4.0%)

Historic Structure Review:

This site contains a historic structure located at 3417 Olive Chapel Road. Initially, Toll Brothers would like to use the house as a temporary construction office. As a part of subdivision infrastructure construction, the existing driveway will be removed as required by NCDOT & Apex, and relocated to tie to the new subdivision street located to its' south. The existing well and septic system will be abandoned and new water and sanitary sewer services will be extended to the home. Upon completion of infrastructure construction the home will be placed on the market for sale.

Per UDO Section 2.3.6, an historic preservation easement and a rehabilitation agreement shall be required for the preservation of this house. The easement and agreement shall be granted to a qualified holder of historic preservation agreements as defined by NCGS Chapter 121, Article 4. Said easement and agreement shall be drafted, regulated, and enforced consistent with NCGS Chapter 121, Article 4 and shall be submitted to the Planning Director for review prior to being recorded by the applicant.

The PUD proposes to preserve as many of the historic trees surrounding the house as possible. At minimum, the developer will hire a certified arborist or forester to evaluate the four very large oaks surrounding the house. These oaks are shown on the existing conditions sheet as measuring 53, 55, 58 and 62 inches in diameter. The arborist will evaluate the health of the oaks and provide a recommendation that includes the steps necessary to preserve the trees. The developer will follow the recommendations provided to preserve those trees.

SECTION 10: Stormwater Management Compliance

This PUD will conform to all applicable requirements of the Town of Apex and NCDEQ regarding the treatment of stormwater quality, and rate discharge.

The plan is dependent on the use of wet detention ponds, constructed wetlands or other measures in NCDEQ's Stormwater Design Manual to comply with the requirements and standards. Sheet PUD-6 of the plan set identifies potential Stormwater Control Measure (SCM) locations. SCMs will be designed, approved, and constructed prior to or concurrently with the infrastructure for the phase or sub-phase of the development to be served by the device. Construction plans for the facilities, as well as the project infrastructure, will include measures to ensure compliance with all applicable sedimentation and erosion control regulations.

This PUD is within the greater Cape Fear River Basin, and when annexed will be within the Primary Watershed Protection Overlay District. The applicability of pond buffers has been identified by Soil & Environmental Consultants and confirmed by the US Army Corps of Engineers. An approximate representation of the required riparian buffers is reflected within the accompanying PUD plan set (Sheets PUD-2 through PUD-6). The envisioned development layout minimizes the number of impacts on the identified environmental features. In accordance with the Town's requirements, no portion of any lot shall be allowed to encroach into any portion of the riparian buffers. The S&EC evaluation also identified potential areas of wetlands on the property. Detailed investigation of such areas, including delineation and surveys, will be required for preparing designs for the project after rezoning. As development plans are submitted for individual phases or sub-phases of development, such development plans shall include all calculations, measures, necessary to document conformity to all applicable watershed, riparian buffer, and wetland regulations.

In addition to the current stormwater management requirements required by the Unified Development Ordinance and this PUD, the Olive Chapel Road Assemblage PUD shall

implement stormwater management controls such that on-site SCMs are designed to achieve nutrient unit-area mass loading rates of 4.4 lbs/ac/yr for Nitrogen and 0.78 lbs/ac/yr for Phosphorous.

SECTION 11: Parks and Recreation Review

The proposed Olive Chapel Road Assemblage PUD has been preliminarily reviewed during the Town's pre-submittal process. A recommendation for a fee-in-lieu was indicated. Formal review by the Parks & Recreation Advisory Commission on September 26, 2018 has confirmed the preliminary recommendation of fee-in-lieu of \$3,345.49 per lot for a total of \$230,838.81.

SECTION 12: Public Facilities Compliance

Water and Sanitary Sewer:

The project will meet the Town water and sewer master plans for utility extensions and will be served by public water and sanitary sewer extensions from existing Town of Apex facilities (see drawing plan PUD-5). Sanitary sewer will connect to a recently constructed sanitary sewer outfall located within an existing Town of Apex Utility Easement located within the property along its' eastern property line.

Water will connect to an existing main located along the north side of Olive Chapel Road. This PUD will also extend a waterline along New Hill Olive Chapel Road to its' southwestern property corner. It is anticipated this will be constructed as indicated on drawing plan PUD-5 however, actual fire flow modeling may dictate a different approach. Regardless of the solution determined, the developer will extend a waterline to the project's southwestern property corner for future extension.

Roadways:

Public right of way dedication along Olive Chapel Road and New Hill Olive Chapel Road shall be based on a minimum 90-foot (45 feet from road centerline) right of way width. Road widening along both thoroughfare frontages shall be based on a minimum of two-lane 30-foot edge section and 41-foot edge to edge to accommodate left turn lanes at full access locations. Allowing for 11-foot lanes and 4-foot paved shoulders. 5-foot sidewalks shall be constructed along both thoroughfare frontages. 5-foot sidewalks shall be extended offsite from both thoroughfare frontages to intersect at the corner of Olive Chapel Road and New Hill Olive Chapel Road.

All internal streets will be designed to Town of Apex public road standards or approved modifications thereof. Sidewalks shall be built on both sides of all internal streets. Two access

points along Olive Chapel Road were determined based upon a sight distance analysis utilizing surveyed field data. Data collected combined with intersection separation criteria provided by the Town and NCDOT dictated the two proposed access locations shown.

Site or subdivision plans for any development to be made pursuant to this rezoning case shall comply with the adopted Comprehensive Transportation Plan, Advance Apex, and Bike Apex in effect at the time of site or subdivision plan approval as provided for in the Unified Development Ordinance.

Subject to approval by the North Carolina Department of Transportation, and to minimize interference with adjacent uses, the developer shall install a temporary construction access for site development purposes from the site onto New Hill Olive Chapel Road. The temporary construction access shall be removed prior to the Major Subdivision Plat being recorded.

Mail Service:

A mail delivery kiosk will be provided inside the project. Mail kiosks will be installed in compliance with US Postal Service standards including at least (2) parking spaces with one being handicap accessible.

Electricity:

A request to Apex to serve this project with electricity is submitted with this PUD.

SECTION 13: Phasing Plan

The project is expected to be constructed in two phases. The anticipated project phasing is depicted on drawing plan PUD-4. During the course of developing detailed master subdivision plans and/or construction drawings actual phasing may differ from what is depicted.

SECTION 14: Land Use Conformance

The proposed project complies with the 2030 Land Use Map. The proposed use is single family detached residential with a maximum density of one dwelling unit per.

SECTION 15: UDO Compliance

Except for the varied standards specifically listed within this PUD, this project will comply with all sections contained within the UDO.

SECTION 16: Building Elevations

Example building elevations have been included with this application. They show the types of homes and corresponding building elevations we anticipate for this PUD:









NAME OF PROJECT: OLIVE CHAPEL ROAD ASSEMBLAGE

PREPARERS CONTACT INFORMATION: ESE OF NORTH CAROLINA, PC
GLENN PHILLIPS, PE
REGISTRATION NO. 17339
2310 TW ALEXANDER DRIVE
RALEIGH, NC 27617
(P) 919-355-0706
gphillips@eseconsultants.com

OWNER'S CONTACT INFORMATION: LAWRENCE, JAMES L. CHALK, KATHERINE L. (PIN 711790712)
1502 CHIP SHOT DRIVE, MOOREHEAD CITY NC, 28557-4918
(P) 252-726-3314
BARTHOLOMEW, KATHY A. BARTHOLOMEW JOHN D. (PIN 712507514)
3417 OLIVE CHAPEL ROAD, APEX NC, 27502-6794
(P) 919-740-4944
GOODWIN, DON G. GOODWIN GRACE E. (PIN 712602869)
3329 OLIVE CHAPEL ROAD, APEX NC, 27502-8517
(P) 919-674-4109
GRAY, PEGGY G. TRUSTEE SURVIVOR'S TRUST A (PIN 712603422)
647 AIKEN PKWY, FUQUAY VARINA NC, 27526-2001
(P) 919-567-3908
GOODWIN, DONALD G. GOODWIN, GRACE (PIN 712608523)
3329 OLIVE CHAPEL ROAD, APEX NC, 27502-8517
(P) 919-674-4109
POWER, AMY G. POWER, JOSEPH D (PIN 712701721)
3309 OLIVE CHAPEL ROAD, APEX NC, 27502-8517
(P) 919-389-2276

CONTRACT PURCHASERS CONTACT INFORMATION: PERRY VERILLE, RALEIGH DIVISION
TOLL SOUTHEAST LP COMPANY, INC.
250 GIBRALTAR ROAD
HORSHAM, PA 19044
(P) 919-321-4800 (P) 919-321-7880
pverille@tollbrothers.com

CURRENT 2030 LAND USE MAP DESIGNATION: RURAL DENSITY RESIDENTIAL

AREA OF TRACT(S): 70.77 AC.

CURRENT ZONING: R-80W (WAKE COUNTY)

PROPOSED ZONING: PUD-CZ

BUILDING HEIGHT & STORIES: 36' MAX. & 3 STORIES

PARKING SPACES
REQUIRED: 2 / UNIT
PROPOSED: 2 / UNIT

REQUIRED SETBACKS
FRONT: 20'
SIDE: 5'
REAR: 20'
CORNER: 10'

MINIMUM LOT SIZE: 11,500 S.F.

AVERAGE LOT SIZE: 15,000 S.F.

MAXIMUM BUILT UPON AREA: 50%

WATERSHED: JORDAN LAKE

WATERSHED PROTECTION OVERLAY DISTRICT: PRIMARY

FEMA FLOOD MAP#: NOT IN FEMA FLOODPLAIN
MAP 3720071100K AND 3720071200K
EFFECTIVE DATE: 2/2/07

HISTORIC STRUCTURES: ONE (TO BE RETAINED)

ANNEXATION #: 645

MIXED USE AREA: N/A

PARKS & REC. RECOMMENDATION: THE FEE IN LIEU IS:
\$3,345.49 x 69 LOTS = \$230,838.81

GENERAL CONDITIONS OF APPROVAL:

1) PUBLIC RIGHT OF WAY DEDICATION ALONG OLIVE CHAPEL ROAD AND NEW HILL OLIVE CHAPEL ROAD SHALL BE BASED ON A MINIMUM 90-FOOT (45 FEET FROM ROAD CENTERLINE) RIGHT OF WAY WIDTH.

2) ROAD WIDENING ALONG BOTH THOROUGHFARE FRONTAGES SHALL BE BASED ON A MINIMUM TWO-LANE 30 FOOT EDGE TO EDGE SECTION AND 41 FOOT EDGE TO EDGE TO ACCOMMODATE LEFT TURN LANES AT FULL ACCESS LOCATIONS. ALLOWING FOR 11 FOOT LANES AND 4 FOOT PAVED SHOULDERS.

3) 5 FOOT SIDEWALKS SHALL BE CONSTRUCTED ALONG BOTH THOROUGHFARE FRONTAGES.

4) 5 FOOT SIDEWALKS SHALL BE EXTENDED OFFSITE FROM BOTH THOROUGHFARE FRONTAGES TO INTERSECT AT THE CORNER OF OLIVE CHAPEL ROAD AND NEW HILL OLIVE CHAPEL ROAD.

5) THE HISTORICAL HOME THAT EXISTS ON THE BARTHOLOMEW PARCEL (PIN 712507514) ALONG WITH THOSE SPECIMEN TREES DEPICTED ON THE NEW PARCEL ESTABLISHED ON PUD PLAN SHEET PUD-3 SHALL BE PRESERVED AND RETAINED ON ITS OWN LOT.

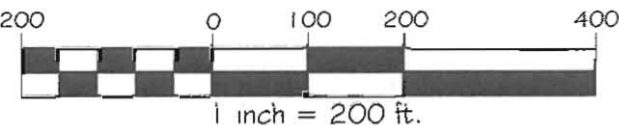
6) THE MAXIMUM DENSITY FOR THE OLIVE CHAPEL ROAD ASSEMBLAGE PUD SHALL BE ONE DWELLING UNIT PER ACRE.



LOCATION MAP
SCALE: N.T.S.

SHEET INDEX

PUD-1	COVER
PUD-2	EXISTING CONDITIONS PLAN
PUD-3	PRELIMINARY LAYOUT PLAN
PUD-4	PRELIMINARY PHASING PLAN
PUD-5	PRELIMINARY UTILITY PLAN
PUD-6	PRELIMINARY STORMWATER MANAGEMENT PLAN



THESE PLANS ARE IN SUPPORT OF A PETITION TO REZONE THE SUBJECT PROPERTY TO PUD-CZ

COVER SHEET

REZONING PLANS

OLIVE CHAPEL ROAD ASSEMBLAGE

APEX, WAKE COUNTY, NORTH CAROLINA

SEAL

17339

ENGINEER

GLENN PHILLIPS

31 Oct. 15

SCALE: 1"=200'

PROJECT NUMBER: 4380.0000

DATE: 08/01/15

DRAWN BY: TF

CHECKED BY: GMP

SHEET NUMBER:

PUD-1 OF 6

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

LICENSE # C-2973

ESE of North Carolina, PC

2310 T.W. Alexander Dr., Suite J

Raleigh, NC 27617

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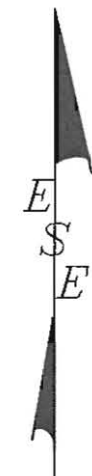
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EASEMENT LINE TABLE			
LINE	BEARING	DISTANCE	
LE1	S 42°15'35" W	109.25'	
LE2	N 73°52'32" E	85.70'	
LE3	N 16°25'08" E	87.95'	
LE4	N 83°31'23" E	133.16'	
LE5	N 16°09'32" E	9.51'	
LE6	N 21°39'36" E	158.19'	
LE7	N 03°11'02" E	97.17'	
LE8	N 25°02'18" W	58.69'	
LE9	N 86°30'10" W	22.25'	
LE10	N 02°30'07" E	27.29'	
LE11	S 87°04'18" E	69.23'	

EASEMENT CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
CE1	638684.12'	130.05'	N 16°09'41" E
CE2	166.21'	37.63'	N 09°40'11" E
CE3	66.20'	32.61'	N 10°55'38" W
CE4	66.20'	47.91'	N 45°46'14" W
CE5	133.80'	161.50'	N 31°55'32" W

BOUNDARY LINE TABLE			
LINE	BEARING	DISTANCE	
L1	S 87°19'14" W	147.00'	
L2	S 02°10'48" W	150.00'	
L3	N 87°19'14" E	147.00'	
L4	S 02°10'48" E	150.00'	
L5	N 85°28'14" E	36.51'	
L6	N 86°04'47" E	87.59'	
L7	N 86°33'59" E	54.04'	
L8	N 87°41'57" E	83.21'	
L9	N 86°39'37" E	72.28'	
L10	N 89°48'22" E	67.14'	
L11	S 86°39'15" E	280.68'	
L12	S 87°48'14" E	71.08'	
L13	S 87°31'14" E	73.24'	
L14	S 87°28'13" E	114.86'	
L15	S 01°25'41" W	30.01'	
L16	S 01°25'41" W	76.16'	
L17	S 62°23'03" E	29.55'	
L18	S 25°05'46" E	134.35'	
L19	S 04°20'36" W	44.58'	
L20	N 82°52'05" E	181.61'	
L21	S 75°09'54" W	24.90'	
L22	N 79°48'32" W	151.09'	
L23	N 32°02'14" E	47.77'	
L24	N 32°20'44" E	200.36'	
L25	N 31°33'51" E	98.83'	
L26	N 25°08'24" E	96.60'	
L27	N 14°12'14" E	99.13'	
L28	N 10°09'35" E	194.82'	
L29	S 83°52'03" E	29.55'	
L30	S 83°47'59" E	100.32'	
L31	N 13°28'52" E	66.73'	
L32	S 89°58'06" E	63.67'	
L33	N 03°10'00" E	46.83'	
L34	S 64°27'10" E	37.08'	
L35	S 65°42'14" E	50.18'	
L36	S 66°19'21" E	52.95'	
L37	S 67°17'52" E	32.81'	
L38	S 87°09'12" E	57.14'	
L39	N 89°31'11" E	63.69'	
L40	N 79°48'32" W	32.48'	

BOUNDARY CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1	531.84'	136.07'	S 77°39'44" E

EXISTING CONDITIONS NOTES:

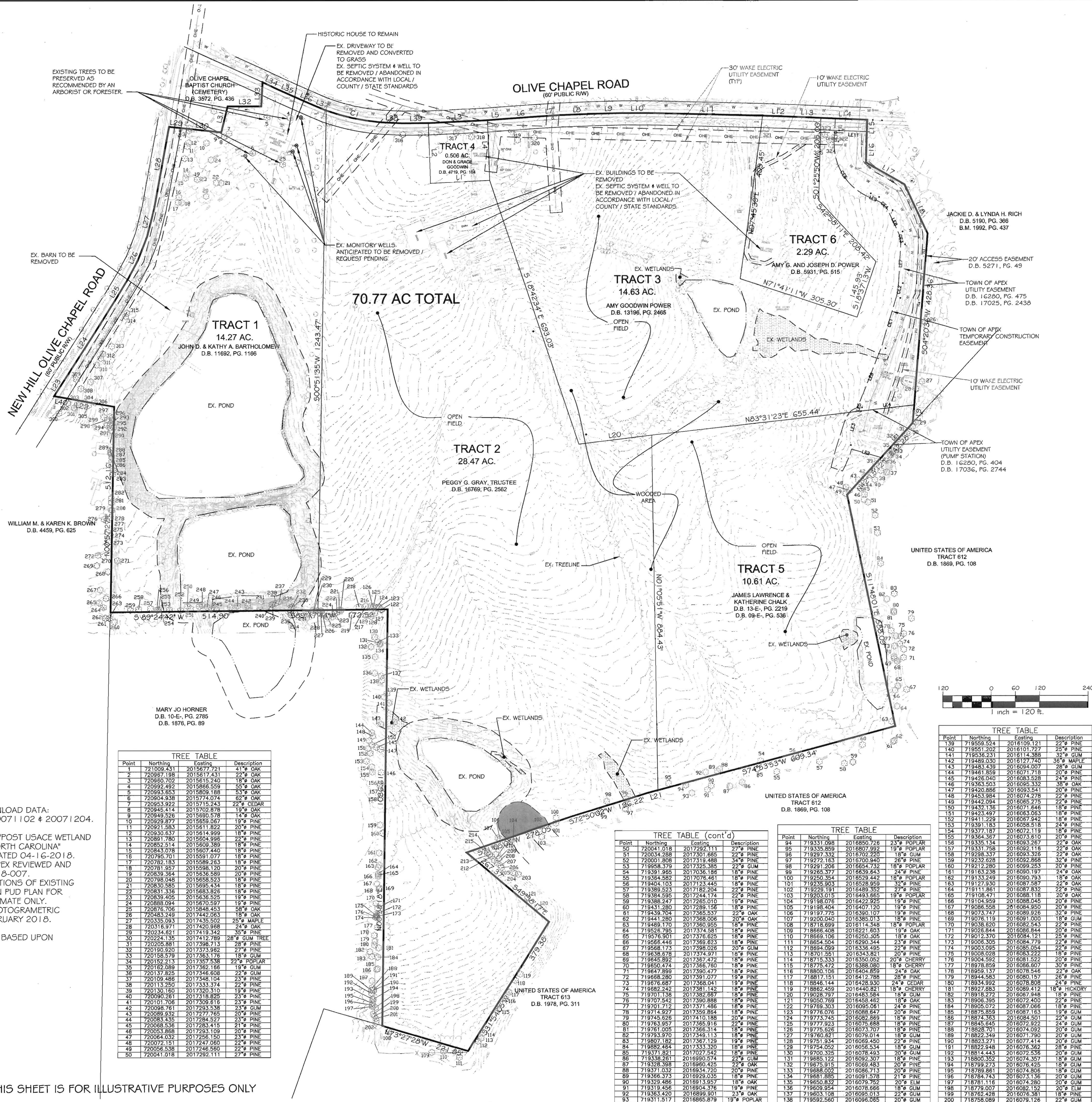
1. AERIAL PHOTOGRAPH TAKEN FROM WAKE COUNTY GIS DOWNLOAD DATA: COUNTYWIDE ORTHOPHOTOGRAPHY COLOR (2017) TILES 20071102 & 20071204.
2. FEMA HAS NO FLOODPLAIN ON THE SUBJECT PROPERTY.
3. STREAM, POND, AND WETLAND INFORMATION TAKEN FROM "POST USACE WETLAND SKETCH MAP 34.1 OLIVE CHAPEL ROAD WAKE COUNTY, NORTH CAROLINA" PREPARED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA DATED 04-16-2018. FIELD VERIFICATION AND LOCATION REQUIRED. TOWN OF APEX REVIEWED AND APPROVED RIPARIAN BUFFER CALLS UNDER APEX PROJECT 18-007.
4. SITE IS LOCATED WITHIN THE JORDAN LAKE BASIN. DESCRIPTIONS OF EXISTING VEGETATION ARE INCLUDED IN THE ACCOMPANYING WRITTEN PUD PLAN FOR ENCLAVE AT OAK HILL POND. TREE LOCATIONS ARE APPROXIMATE ONLY.
5. TOPOGRAPHIC INFORMATION GENERATED BY ESE USING PHOTOGRAMETRIC METHODS BASED UPON AERIAL FLIGHT DATA FROM 27 FEBRUARY 2018. BASED ON NAVD 88.
6. BOUNDARY INFORMATION PROVIDED BY ECLS GLOBAL, INC. BASED UPON ALTA SURVEY DATED 25 JULY 2018.

50' RIPARIAN BUFFER (STREAM)

50' RIPARIAN BUFFER (POND)

JURISDICTIONAL WETLANDS

THIS SHEET IS FOR ILLUSTRATIVE PURPOSES ONLY

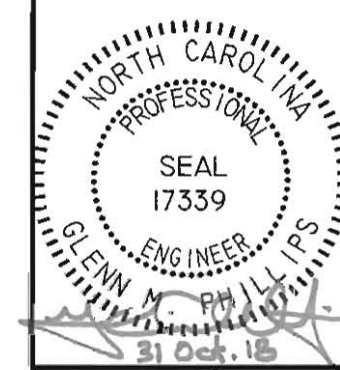


TREE TABLE			
Point	Northing	Easting	Description
201	718751.121	201608.147	22' GUM
202	718741.127	201608.117	32' OAK
203	718709.729	201643.581	26' PINE
204	718712.388	201627.295	18' OAK
205	718711.321	201622.242	22' OAK
206	718726.512	201639.558	22' OAK
207	718711.137	201639.200	20' PINE
208	718717.618	201638.888	24' OAK
209	718749.145	201638.479	21' PINE
210	718744.876	201637.644	18' PINE
211	718759.600	201637.678	18' PINE
212	718754.078	201638.847	19' PINE
213	718765.629	201636.308	21' GUM
214	718763.246	201639.568	19' CHERRY
215	718767.781	201638.338	19' OAK
216	718777.763	201638.337	20' PINE
217	718777.950	201638.448	20' PINE
218	718778.813	201638.577	20' PINE
219	718755.281	201602.415	22' PINE
220	718767.892	201594.464	20' PINE
221	718761.389	201594.379	18' GUM
222	718761.389	201594.379	18' GUM
223	718759.670	201597.709	18' OAK
224	718761.214	201597.091	31' OAK
225	718750.978	201598.776	20' OAK
226	718755.192	201594.135	18' CHERRY
227	718766.010	201594.282	20' OAK
228	718766.736	201596.632	20' MAPLE
229	718768.033	201596.950	20' PINE
230	718761.688	201592.977	22' PINE
231	718758.640	201591.206	19' GUM
232	718756.420	201591.415	22' PINE
233	718773.629	201587.988	24' PINE
234	718761.003	201587.202	20' PINE
235	718765.634	201587.184	26' PINE
236	718762.646	201586.121	20' GUM
237	718768.883	201584.736	24' PINE
238	718765.332	201583.992	22' PINE
239	718762.360	201582.048	22' PINE
240	718762.360	201582.048	22' PINE
241	718768.910	201579.513	32' PINE
242	718779.220	201576.588	18' PINE
243	718775.173	201575.632	22' PINE
244	718768.910	201574.145	24' OAK
245	718768.910	201574.145	24' OAK
246	718775.664	201562.412	28' OAK
247	718768.910	201562.412	28' OAK
248	718768.910	201562.412	28' OAK
249	718776.856	201564.237	16' PINE
250	718777.585	201561.682	18' CEDAR
251	718771.682	201561.125	22' PINE
252	718767.272	201558.638	18' PINE
253	718768.843	201558.850	32' GUM
254	718763.324	201551.721	22' PINE
255	718768.642	201551.889	18' PINE
256	718768.642	201551.889	18' PINE
257	718772.010	201552.441	18' CEDAR
258	718770.422	201549.660	18' GUM
259	718771.721	201547.135	24' GUM
260	718736.358	201542.992	24' GUM
261	718747.346	201540.550	25' PINE
262	718748.627	201540.929	22' PINE
263	718748.094	201541.968	25' PINE
264	718774.531	201540.487	18' OAK
265	718765.332	201541.703	28' GUM
266	718765.332	201541.703	28' GUM
267	718765.332	201541.703	28' GUM
268	718765.332	201541.703	28' GUM
269	718765.332	201541.703	28' GUM
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321	718765.332	201541.703	28' GUM
322	718765.332	201541.703	28' GUM
323	718765.332	201541.703	28' GUM
324	718765.332	201541.703	28' GUM
325	718765.332	201541.703	28' GUM

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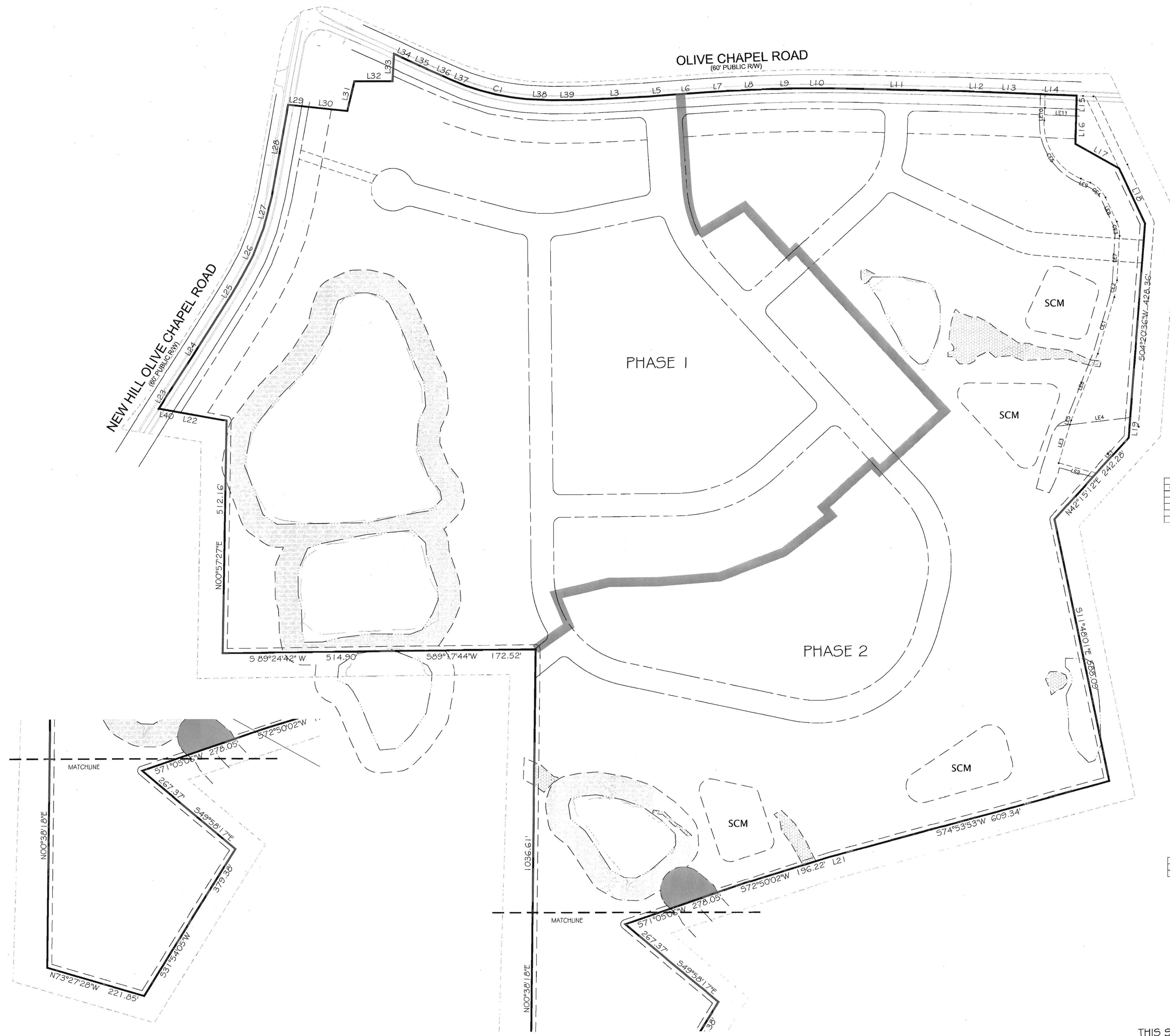
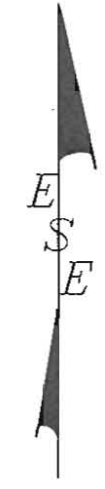
REVISIONS			
DATE	REVISION	BY	APP'D
9/5/18	1	TF	
10/29/18	2	DM	
10/30/18	3	DM	



EXISTING CONDITIONS
REZONING PLANS
OLIVE CHAPEL ROAD ASSEMBLAGE
APEX, WAKE COUNTY, NORTH CAROLINA

SCALE: 1"=120'
PROJECT NUMBER: 18-0000
DATE: 08/01/18
DRAWN BY: TF
CHECKED BY: GMP
SHEET NUMBER:

PUD-2 OF 6



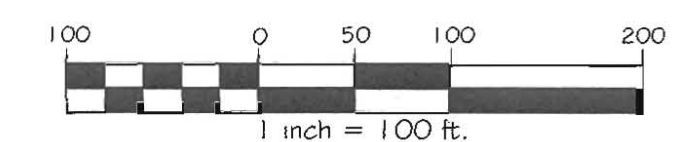
EASEMENT LINE TABLE			
LINE	BEARING	DISTANCE	
LE1	S 42°15'35" W	106.25'	
LE2	N 73°52'32" W	85.70'	
LE3	N 16°25'08" E	87.95'	
LE4	N 83°51'23" E	133.16'	
LE5	N 16°09'32" E	9.51'	
LE6	N 21°39'36" E	158.19'	
LE7	N 03°11'02" E	97.17'	
LE8	N 25°02'18" W	58.69'	
LE9	N 66°30'10" W	22.45'	
LE10	N 02°39'07" E	27.29'	
LE11	S 87°04'18" E	59.23'	

EASEMENT CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
CE1	638684.15'	130.05'	130.05'	N 16°09'41" E
CE2	166.21'	37.63'	37.55'	N 09°40'11" E
CE3	66.20'	32.61'	32.28'	N 10°55'38" W
CE4	66.20'	47.91'	46.87'	N 45°46'14" W
CE5	133.80'	161.50'	151.87'	N 31°55'32" W

BOUNDARY LINE TABLE			
LINE	BEARING	DISTANCE	
L1	S 87°19'14" W	147.00'	
L2	N 02°10'46" W	150.00'	
L3	N 87°19'14" E	147.00'	
L4	S 02°10'46" E	150.00'	
L5	N 85°28'14" E	38.51'	
L6	N 86°04'47" E	87.59'	
L7	N 86°33'59" E	54.04'	
L8	N 87°41'57" E	83.21'	
L9	N 89°36'57" E	72.28'	
L10	S 89°46'29" E	67.14'	
L11	S 89°39'15" E	280.68'	
L12	S 87°48'14" E	71.08'	
L13	S 87°31'14" E	73.24'	
L14	S 87°28'13" E	114.86'	
L15	S 01°26'41" W	30.01'	
L16	S 01°26'41" W	76.16'	
L17	S 60°23'30" E	110.16'	
L18	S 25°05'48" E	134.35'	
L19	S 04°20'36" W	44.56'	
L20	N 82°52'06" E	181.61'	
L21	S 75°09'34" W	24.90'	
L22	N 79°48'32" W	151.09'	
L23	N 32°02'14" E	47.77'	
L24	N 32°20'44" E	200.36'	
L25	N 31°35'51" E	98.83'	
L26	N 25°06'24" E	96.60'	
L27	N 14°12'14" E	99.13'	
L28	N 10°09'16" E	194.82'	
L29	S 83°52'03" E	29.55'	
L30	S 83°47'59" E	100.32'	
L31	N 13°28'52" E	86.73'	
L32	S 89°58'56" E	83.67'	
L33	N 03°10'30" E	60.31'	
L34	S 84°27'10" E	37.08'	
L35	S 65°42'14" E	30.18'	
L36	S 66°19'21" E	52.95'	
L37	S 67°17'52" E	32.86'	
L38	S 87°09'12" E	57.14'	
L39	N 89°31'11" E	63.69'	
L40	N 79°48'32" W	32.48'	

BOUNDARY CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	531.84'	136.07'	135.70'	S 77°39'44" E

NOTE:
IN THE COURSE OF DESIGN IT IS POSSIBLE THAT THE LOCATION OF THE PHASE LINE AND/OR NUMBER OF PHASES MAY NEED TO CHANGE. PHASING WILL BE DETERMINED AS PART OF THE MASTER SUBDIVISION REVIEW PROCESS.

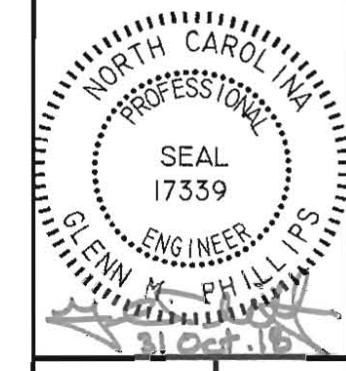


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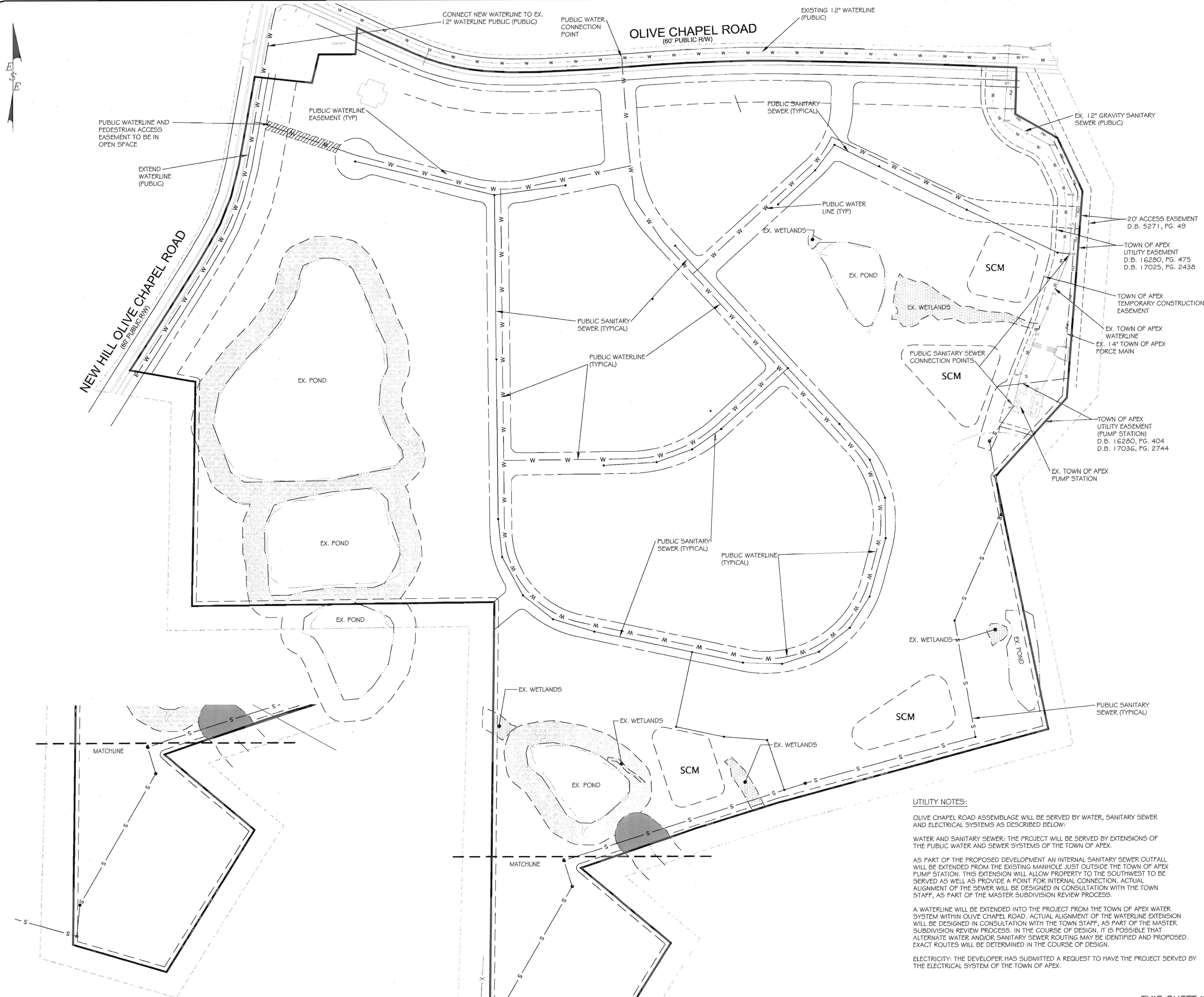
REVISIONS	DATE	REVISED BY	COMMENTS
1	9/5/18	TF	ADDRESS TOWN OF APEX FUD REVIEW COMMENTS
2	10/09/18	BMM	ADDRESS TOWN OF APEX FUD REVIEW COMMENTS
3	10/30/18	BMM	ADDRESS TOWN OF APEX FUD REVIEW COMMENTS



PRELIMINARY PHASING PLAN

REZONING PLANS
OLIVE CHAPEL ROAD ASSEMBLAGE
APEX, WAKE COUNTY, NORTH CAROLINA

SCALE: 1" = 100'
PROJECT NUMBER: 4380.0000
DATE: 08/01/18
DRAWN BY: TF
CHECKED BY: GMP
SHEET NUMBER: PUD-4 OF 6



UTILITY NOTES:

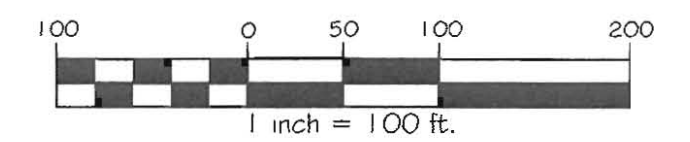
OLIVE CHAPEL ROAD ASSEMBLAGE WILL BE SERVED BY WATER, SANITARY SEWER AND ELECTRICAL SYSTEMS AS DESCRIBED BELOW:

WATER AND SANITARY SEWER: THE PROJECT WILL BE SERVED BY EXTENSIONS OF THE PUBLIC WATER AND SEWER SYSTEMS OF THE TOWN OF APEX.

AS PART OF THE PROPOSED DEVELOPMENT AN INTERNAL SANITARY SEWER OUTFALL WILL BE EXTENDED FROM THE EXISTING MANHOLE JUST OUTSIDE THE TOWN OF APEX PUMP STATION. THIS EXTENSION WILL ALLOW PROPERTY TO THE SOUTHWEST TO BE SERVED AS WELL AS PROVIDE A POINT FOR INTERNAL CONNECTION. ACTUAL ALIGNMENT OF THE SEWER WILL BE DESIGNED IN CONSULTATION WITH THE TOWN STAFF, AS PART OF THE MASTER SUBDIVISION REVIEW PROCESS.

A WATERLINE WILL BE EXTENDED INTO THE PROJECT FROM THE TOWN OF APEX WATER SYSTEM WITHIN OLIVE CHAPEL ROAD. ACTUAL ALIGNMENT OF THE WATERLINE EXTENSION WILL BE DESIGNED IN CONSULTATION WITH THE TOWN STAFF, AS PART OF THE MASTER SUBDIVISION REVIEW PROCESS. IN THE COURSE OF DESIGN, IT IS POSSIBLE THAT ALTERNATE WATER AND/OR SANITARY SEWER ROUTING MAY BE IDENTIFIED AND PROPOSED. EXACT ROUTES WILL BE DETERMINED IN THE COURSE OF DESIGN.

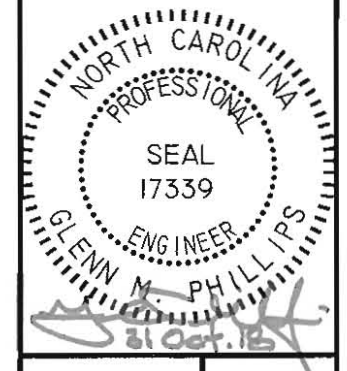
ELECTRICITY: THE DEVELOPER HAS SUBMITTED A REQUEST TO HAVE THE PROJECT SERVED BY THE ELECTRICAL SYSTEM OF THE TOWN OF APEX.



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#	REVISIONS	DATE	REVISED
1	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS	9/5/18	TF
2	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS	10/30/18	BWM



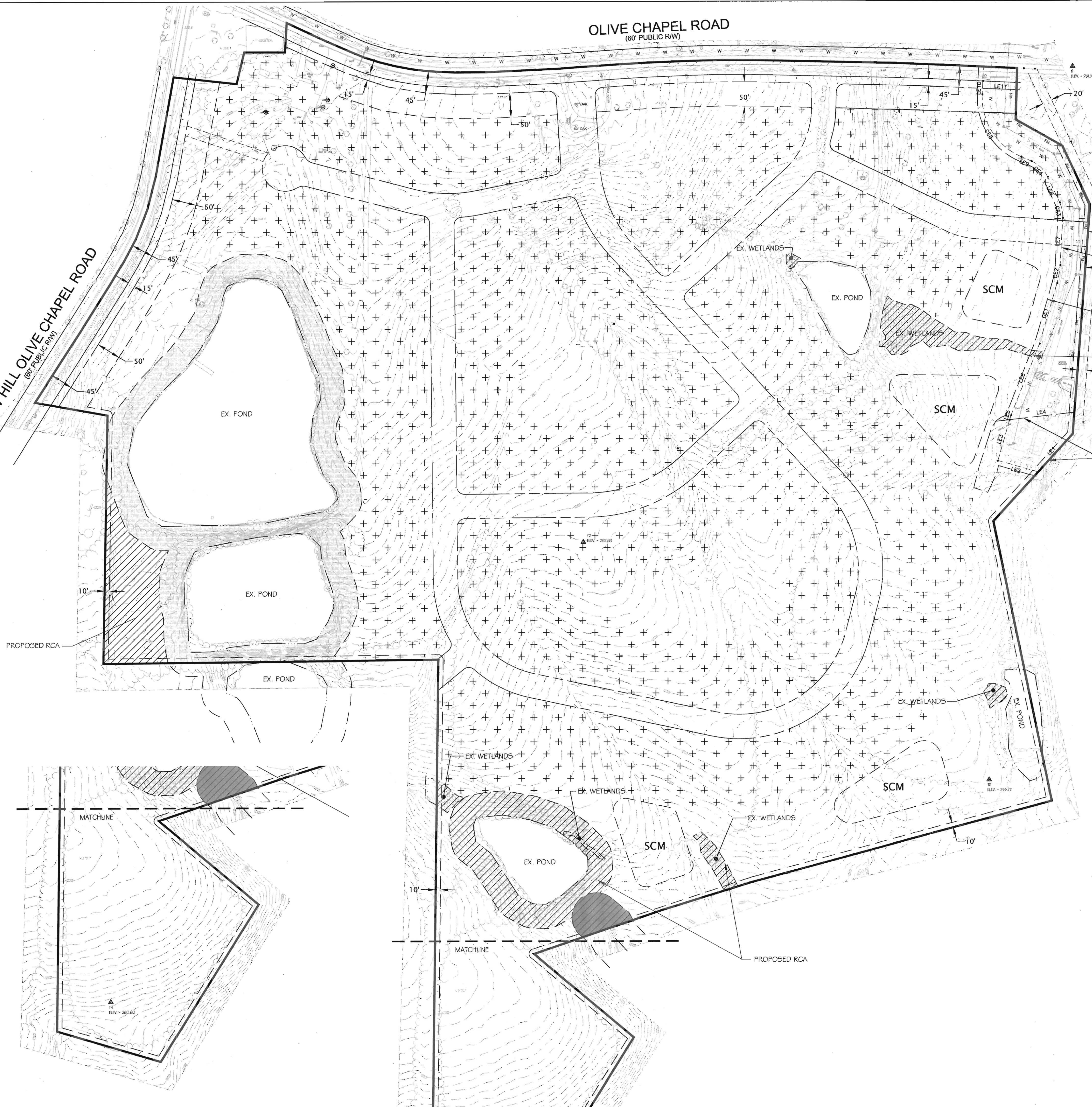
PRELIMINARY UTILITY PLAN
REZONING PLANS
OLIVE CHAPEL ROAD ASSEMBLAGE
APEX, WAKE COUNTY, NORTH CAROLINA

SCALE: 1"=100'
PROJECT NUMBER: 4380.0000
DATE: 08/01/18
DRAWN BY: TF
CHECKED BY: GMP
SHEET NUMBER:



OLIVE CHAPEL ROAD
(60' PUBLIC R/W)

NEW HILL OLIVE CHAPEL ROAD
(60' PUBLIC R/W)



- 20' ACCESS EASEMENT
D.B. 5271, PG. 49
- TOWN OF APEX
UTILITY EASEMENT
D.B. 16280, PG. 475
D.B. 17025, PG. 2438
- TOWN OF APEX
TEMPORARY CONSTRUCTION
EASEMENT
- PROPOSED RCA
- 20'
- TOWN OF APEX
UTILITY EASEMENT
(PUMP STATION)
D.B. 16280, PG. 404
D.B. 17036, PG. 2744

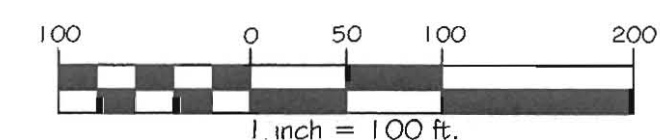
	LOT AREA
	50' RIPARIAN BUFFER (STREAM)
	50' RIPARIAN BUFFER (POND)
	JURISDICTIONAL WETLANDS
	PROPOSED RESOURCE CONSERVATION AREA (RCA) 127,637 S.F. = 2.93 AC. (4.14%)

EXISTING CONDITIONS NOTES:

1. AERIAL PHOTOGRAPH TAKEN FROM WAKE COUNTY GIS DOWNLOAD DATA: COUNTYWIDE ORTHOPHOTOGRAPHY COLOR (2017) TILES 20071102 & 20071204.
2. FEMA HAS NO FLOODPLAIN ON THE SUBJECT PROPERTY.
3. STREAM, POND, AND WETLAND INFORMATION TAKEN FROM "POST USACE WETLAND SKETCH MAP 3417 OLIVE CHAPEL ROAD WAKE COUNTY, NORTH CAROLINA" PREPARED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA DATED 04-16-2018. FIELD VERIFICATION AND LOCATION REQUIRED.
4. SITE IS LOCATED WITHIN THE JORDAN LAKE BASIN. DESCRIPTIONS OF EXISTING VEGETATION ARE INCLUDED IN THE ACCOMPANYING WRITTEN PUD PLAN FOR ENCLAVE AT OAK HILL POND. TREE LOCATIONS ARE APPROXIMATE ONLY.
5. TOPOGRAPHIC INFORMATION GENERATED BY ESE USING PHOTOMETRIC METHODS BASED UPON AERIAL FLIGHT DATA FROM 27 FEBRUARY 2018. BASED ON NAVD 88.
6. BOUNDARY INFORMATION PROVIDED BY ECLS GLOBAL, INC. BASED UPON ALTA SURVEY DATED 25 JULY 2018.

THE DEVELOPMENT WILL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE TOWN OF APEX, AND NCDEQ REGARDING THE TREATMENT OF STORMWATER QUALITY, AND RATE DISCHARGE. THE PLAN IS DEPENDENT ON THE USE OF WET DETENTION PONDS, CONSTRUCTED WETLANDS OR OTHER MEASURES IN NCDEQ'S STORMWATER DESIGN MANUAL TO COMPLY TO THE REQUIREMENTS AND STANDARDS. SHEET PUD-6 OF THE PLAN SET IDENTIFIES POTENTIAL STORMWATER CONTROL MEASURE (SCM) LOCATIONS. SCMS WILL BE DESIGNED, APPROVED, AND CONSTRUCTED PRIOR TO OR CONCURRENTLY WITH THE INFRASTRUCTURE FOR THE PHASE OR SUB-PHASE OF THE DEVELOPMENT TO BE SERVED BY THE DEVICE. CONSTRUCTION PLANS FOR THE FACILITIES, AS WELL AS THE PROJECT INFRASTRUCTURE, WILL INCLUDE MEASURE TO ENSURE COMPLIANCE WITH ALL APPLICABLE SEDIMENTATION AND EROSION CONTROL REGULATIONS.

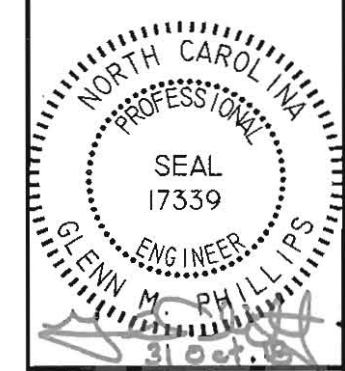
THE PROJECT IS WITHIN THE GREATER CAPE FEAR RIVER BASIN, AND WHEN ANNEXED WILL BE WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT. THE APPLICABILITY OF THE POND BUFFERS HAS BEEN IDENTIFIED BY SOIL & ENVIRONMENTAL CONSULTANTS. AN APPROXIMATE REPRESENTATION OF THE BUFFERS IS DEPICTED ON AN EXHIBIT ENTITLED "POST USACE WETLAND SKETCH MAP" DATED APRIL 16, 2018 AS PREPARED BY S&EC (ACCOMPANYING THIS SUBMITTAL), AND IS REFLECTED ON THE ACCOMPANYING PUD PLAN SET (SHEETS PUD-2 THROUGH PUD-6). AS CAN BE INFERRED FROM THE PRELIMINARY LAYOUT SHEET (PUD-3) OF THE PUD PLAN SET, THE ENVISIONED DEVELOPMENT LAYOUT MINIMIZES THE NUMBER OF IMPACTS ON THE IDENTIFIED ENVIRONMENTAL FEATURES. ADDITIONALLY, IN ACCORDANCE WITH THE TOWN'S REQUIREMENTS, NO PORTION OF ANY LOT SHALL BE ALLOWED TO ENCROACH INTO ANY PORTION OF THE RIPARIAN BUFFERS. THE S&EC EVALUATION ALSO IDENTIFIED POTENTIAL AREAS OF WETLANDS ON THE PROPERTY. DETAILED INVESTIGATION OF SUCH AREAS, INCLUDING DELINEATION AND SURVEYS, WILL BE REQUIRED IN THE COURSE OF PREPARING DESIGNS FOR THE PROJECT SUBSEQUENT TO REZONING. AS DEVELOPMENT PLANS ARE SUBMITTED FOR INDIVIDUAL PHASES OR SUB-PHASES OF DEVELOPMENT, SUCH DEVELOPMENT PLANS SHALL INCLUDE ALL CALCULATIONS, MEASURES, NECESSARY TO DOCUMENT CONFORMITY TO ALL APPLICABLE WATERSHED, RIPARIAN BUFFER, AND WETLAND REGULATIONS.



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DATE	REVISED	REVISIONS	DATE	REVISED	REVISIONS
9/5/18	TF	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS	9/5/18	TF	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS
10/09/18	BMM	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS	10/09/18	BMM	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS
10/30/18	BMM	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS	10/30/18	BMM	ADDRESS TOWN OF APEX PUD REVIEW COMMENTS



PRELIMINARY STORMWATER MANAGEMENT PLAN
REZONING PLANS
OLIVE CHAPEL ROAD ASSEMBLAGE
APEX, WAKE COUNTY, NORTH CAROLINA

SCALE: 1"=100'
PROJECT NUMBER: 4360.0000
DATE: 08/01/18
DRAWN BY: TF
CHECKED BY: GMP
SHEET NUMBER: PUD-6 OF 6