

# **PD PLAN**

## The Townes at the Station A PLANNED UNIT DEVELOPMENT

APEX, NORTH CAROLINA

OWNER/DEVELOPER:

CHARM CITY DEVELOPERS, LLC

August 1, 2022

Revised: September 9, 2022

Revised: October 14, 2022

Revised: November 3, 2022

Revised: December 6, 2022

Jones & Clossen Engineering, PLLC

221 N. Salem Street, Suite 001

P.O. Box 1062

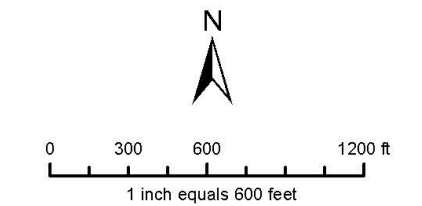
Apex, NC 27502

(919)387-1174

## SECTION 1 – TABLE OF CONTENTS

SECTION	HEADING	PAGE
SECTION 1	TABLE OF CONTENTS.....	1
SECTION 2	VICINITY MAP.....	2
SECTION 3	PROJECT DATA.....	3
SECTION 4	PURPOSE STATEMENT.....	3
SECTION 5	PERMITTED USES.....	4
SECTION 6	DESIGN CONTROLS.....	5
SECTION 7	ARCHITECTURAL STANDARDS.....	6
SECTION 8	PARKING AND LOADING.....	7
SECTION 9	SIGNS.....	7
SECTION 10	NATURAL RESOURCES AND ENVIRONMENT DATA.....	7
SECTION 11	STORMWATER MANAGEMENT.....	7
SECTION 12	PARKS AND RECREATION.....	8
SECTION 13	PUBLIC FACILITIES.....	8
SECTION 14	PHASING.....	9
SECTION 15	CONSISTENCY.....	9
SECTION 16	COMPLIANCE WITH THE UDO.....	10
SECTION 17	LAND USE NOTES.....	10
SECTION 18	AFFORDABLE HOUSING.....	10

## SECTION 2 – VICINITY MAP



**Disclaimer**  
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### SECTION 3 – PROJECT DATA

- A. Project name: The Townes at the Station – PUD
- B. Owner/Developer: Charm City Developers, LLC  
4201 Taylor Hall Pl. – Chapel Hill, NC 27517
- C. Prepared by: Jones & Clossen Engineering, PLLC  
221 N. Salem Street, Ste. 001 – Apex, NC, 27502
- D. Designated Single Point of Contact:  
Patrick L. Kiernan (Jones & Clossen Engineering, PLLC)
- E. Current and Proposed Zoning of the Property:  
Current zoning: R-40W (Wake County)  
Proposed zoning: PUD-CZ
- F. Current and Proposed Land Uses:  
Current: Vacant  
Proposed: Residential
- G. Current and Proposed 2045 Land Use Designation.  
Current/Proposed: Medium Density Residential & Protected Open Space
- H. Size of project:

Wake County Tax Identification Number	Acreage
0720-49-2078	16.39 acres
0720-48-4654 (partial)	
0720-38-9121 (partial)	

### SECTION 4 – PURPOSE STATEMENT

The Townes at the Station PUD is a proposed townhome project to be developed under the Town of Apex ordinance as a Planned Unit Development (PUD). This project affects three existing lots of record – one parcel in its entirety, and two parcels to be partially included in this PUD. These parcels are all owned by various LLCs, but the project is being developed by Charm City Developers, LLC. The project is located at the southern end of Richardson Road, south and east of the Friendship Station PUD, west of Apex Friendship Elementary School, and north of Little Beaver Creek and its associated conservation easement. These parcels are all designated as Medium Density Residential on the 2045 Land Use Map.

The proposal to rezone these properties to PUD-CZ is in keeping with the Town's objectives to create high quality developments with a small-town feel. This development will be a pedestrian friendly community with sidewalks along both sides of the internal public streets, along with sidewalk and greenway connections to Richardson Road and the adjacent Friendship Station development. This development will enhance the value of the surrounding properties by providing quality residential development for the area.



## SECTION 5 – PERMITTED USES

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

- Townhouse
- Accessory apartment
- Utility, minor
- Park, active
- Park, passive
- Greenway
- Recreational facility, private

Additionally, the following conditions shall also apply:

1. Signage shall be provided in HOA areas surrounding SCMs, regarding the need to eliminate and reduce fertilizer and pet waste near SCMs. Signs shall be installed in locations that are publicly accessible, such as adjacent to, but outside of, public property and/or public easement(s), amenity centers, sidewalks, greenways, or side paths.
2. Developer shall install pollinator-friendly and native flora within SCM planting areas; 75% of the species selected shall be native to the eastern US. Species selection shall be approved by the Planning Dept.
3. At least 75% of the plant species used in the landscape design shall be native species.
4. Perimeter buffers, SCMs, and other HOA maintained areas may be planted with clover or warm season grasses for drought resistance.
5. Homeowner Association covenants shall not prohibit clover lawns throughout the neighborhood.
6. A minimum of three (3) pet waste stations shall be installed in HOA common areas.
7. All townhomes shall include solar conduit in the building design to facilitate future installation of roof-mounted solar PV panels.
8. All garages shall be wired with a 220-volt outlet inside the garage to facilitate charging of electronic vehicles.
9. Any outdoor lighting within HOA maintained areas shall utilize full cutoff fixtures that have a maximum color temperature of 3000K.
10. Sod used within perimeter buffers, SCMs, and along streets (unless within a residential lot) shall not be fescue grasses.
11. Homeowner Association covenants shall not restrict the construction of accessory dwelling units.

## SECTION 6 – DESIGN CONTROLS

### A. Dimensional Standards

Maximum Density:	5.5 Units/Acre
Maximum Number of Townhome Lots:	90
Maximum Built-Upon Area:	60% (total project)
Minimum Lot Width:	18'
Maximum Building Height:	45' and 3 stories
<i>Note: Porches, patios, decks and other accessory structures may encroach into building setbacks as allowed by the Town of Apex UDO.</i>	

### B. Proposed Minimum Building Setbacks

Front:	15'
Rear:	15'
Side:	5' (end units) 10' (corner units)
Building to Building	10'
From Buffer/RCA	10' for Buildings 5' for Parking Areas
<i>Note: Minimum driveway length is 20', measured from back edge of sidewalk to garage.</i>	

### C. Perimeter Buffers

The PUD plans show buffers around the site to provide visual breaks between uses and public roads, as shown on Sheet 2 of the PUD Plans (Layout Plan). These buffers include 10' Type B Landscape Buffers along the southern, northern, and portions of the eastern perimeters, a 10' Type A Landscape Buffer adjacent to the Apex Friendship Elementary School property to the northeast, 15' Type B Landscape Buffers around the entire perimeter on the west side of the Richardson Road extension, and a 30' Type B Thoroughfare Buffer along the Richardson Road extension (both sides).

### D. Percentage of Resource Conservation Area

The Townes at the Station PUD is providing at least 35% of the total area for Resource Conservation Area and landscape buffers, which is a 5% increase from the UDO requirement for a PUD.

## SECTION 7 – ARCHITECTURAL STANDARDS

### Townhome Residential Standards

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. Garage doors must contain windows, decorative details or carriage-style adornments.
3. House entrances for homes with front facing single-car garages must have a covered porch/stoop area leading to the front door.
4. The garage cannot protrude more than one foot out from the front façade or front porch unless it is a side entry garage.
5. The visible side of a townhome on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:
  - Windows
  - Bay window
  - Recessed window
  - Decorative window
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick/stone
  - Decorative trim
  - Decorative shake
  - Decorative air vents on gable
  - Decorative gable
  - Decorative cornice
  - Column
  - Portico
  - Balcony
  - Dormer
6. All windows on a side elevation shall have decorative trim, shutters or shall be a bay window.
7. Roofline cannot be a single mass; it must be broken up either horizontally or vertically between every other unit.
8. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.

## SECTION 8 – PARKING AND LOADING

Parking and loading requirements shall conform to the parking standards listed in Section 8.3, *Off-street Parking and Loading*, of the Town of Apex UDO.

## SECTION 9– SIGNS

Signage for this project will comply with Section 8.8, *Signs*, of the Town of Apex UDO.

## SECTION 10 – NATURAL RESOURCE AND ENVIRONMENTAL DATA:

- A. This project is located in the Little Beaver Creek drainage basin which is in the Cape Fear Basin. This project currently falls within the primary watershed protection overlay district as shown on Town of Apex watershed maps.
- B. There is a FEMA mapped floodplain along Little Beaver Creek as shown on FEMA FIRM Map Number 3720072000K, dated July 19, 2022.
- C. There are no known historic structures on this project.
- D. The PUD will provide streetscape buffers along Richardson Road which will be used for decorative plantings and aesthetic appeal. Individual sections within the development may also have additional landscape areas located on the site based upon the specific site or subdivision plan. The PUD will dedicate at least 35% of the total project area for Resource Conservation Area or buffer.
- E. To demonstrate the project's commitment to preserving and re-establishing tree canopy in our region, the developer seeks to replant and restore existing tree canopy that is removed from those portions of the property that are anticipated to contain single family and townhome lots. To that end, prior to recording the first subdivision plat for the project, the developer shall provide a donation of \$3,000 to a local non-profit organization with a mission towards tree preservation and replacement.

## SECTION 11 – STORMWATER MANAGEMENT

The Townes at the Station PUD will meet all applicable requirements and standards as described in Section 6.1, *Watershed Protection Overlay Districts*, of the Town of Apex UDO. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff for the 1-year, 10-year, and 25-year 24 hour storm events.

The Townes at the Station PUD will use approved devices to control the stormwater and sediment runoff. These devices may include detention ponds, retention ponds, bioretention areas or any other approved SCM stormwater control. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings.

## SECTION 12 – PARKS AND RECREATION

The Parks, Recreation and Cultural Resources Advisory Commission reviewed the project at the September 28, 2022 meeting and unanimously approved for fee-in-lieu of dedication, with credit for construction of greenway if an opportunity is identified at the time of Master Subdivision Plan review and approval. The recommendation is based on the Single Family Attached fee rate, which shall be set at the time of rezoning approval by Town Council, and will run with the life of the project unless additional land/units are added to the project.

Per Section 14.2, *Greenways*, of the Town of Apex UDO, credit for greenway against fees requires the approval of construction plans, and is contingent upon approval of an engineer's estimate of probable cost for greenway construction.

## SECTION 13 – PUBLIC FACILITIES

### A. General Roadway Infrastructure

The transportation network for The Townes at the Station PUD will be consistent with the Town of Apex Transportation Plan and associated requirements of the UDO. This project will include the extension of roughly 500' of Richardson Road, a Town of Apex thoroughfare street, as well as an internal road network providing interconnectivity to Richardson Road and the adjacent Friendship Station development. Richardson Road will continue the same interim road section from Friendship Station, where only the two eastern lanes of the future 4-lane median divided road will be constructed with this project. The residential street that connects to Richardson Road shall be a right-in/right-out entrance in the future when Richardson Road is ultimately widened to include a median. In the interim, the turning movements at this intersection may remain unrestricted. A street stub shall be extended to the Pridgen property to the east (PIN# 0720-58-1790) for possible extension into future development. Interconnectivity with all adjacent properties and roads shall be coordinated with existing or planned rights-of-way.

As shown on the PUD Layout Plan (sheet 2), all access points, street stubs, and planned vehicular circulation are conceptual and will be finalized at the time of Development Plan review and approval.

#### B. Pedestrian Facilities

For pedestrian connectivity, all public streets shall provide 5' sidewalks on both sides of the road. The Richardson Road extension shall provide a 10' Side Path along the eastern side of the road. The east-west residential street that provides connection to the Richardson Road extension to the west and the street stub to the east shall provide a 10' Side Path along the northern side of the road. This improvement from 5' sidewalk to 10' Side Path is intended to replace the requirement of a separate east-west greenway connection through the project, shown on the Town of Apex Bicycle and Pedestrian System Plan Map as "Little Beaver Creek Greenway". Furthermore, a 10' public greenway will connect to this 10' Side Path in the vicinity of the stream crossing, following along the existing north-south stream buffer until connecting to the existing greenway stub provided with the Friendship Station development to the north, which ultimately provides pedestrian connection to Apex Friendship Elementary School. This greenway shall follow the alignment of the existing sewer outfall.

#### C. Water and Sanitary Sewer

As shown on the PUD Utility Plan (sheet 4), the sanitary sewer connection will come by connecting to the existing sewer outfall that runs along the north-south stream buffer. On the east side of the stream, a sewer stub shall be provided to the eastern project boundary for possible upstream connection in the future. Water distribution service will be provided to this project by extending the existing 12 inch waterline along Richardson Road, as well as the existing 8 inch waterline along Stevens Pass Station.

#### D. Other Utilities

Electricity will be provided by Apex Electric. Phone, cable, and gas will be provided by the developer and shall meet the Town of Apex standards as outlined in the UDO.

### SECTION 14 – PHASING

This project may be constructed in multiple phases. The phasing will be finalized during subdivision plan review.

### SECTION 15 – CONSISTENCY WITH LAND USE PLAN

The Town of Apex 2045 Land Use Map currently designates these parcels as Medium Density Residential, as well as a small portion of Protected Open Space (representing the NC Conservation Easement). We believe this PUD is appropriate for the area and is consistent with the current Land Use Map. No changes are proposed.

## SECTION 16 – COMPLIANCE WITH THE UDO

The proposed plans for The Townes at the Station PUD are in compliance with the standards and allowances provided in the current approved version of the Town of Apex Unified Development Ordinance. Any variance from UDO requirements has been noted in this plan.

## SECTION 17 – LAND USE NOTES

This project will require the formation of at least one Homeowners Association which will handle the maintenance of common areas, buffers, RCA, stormwater devices, etc.

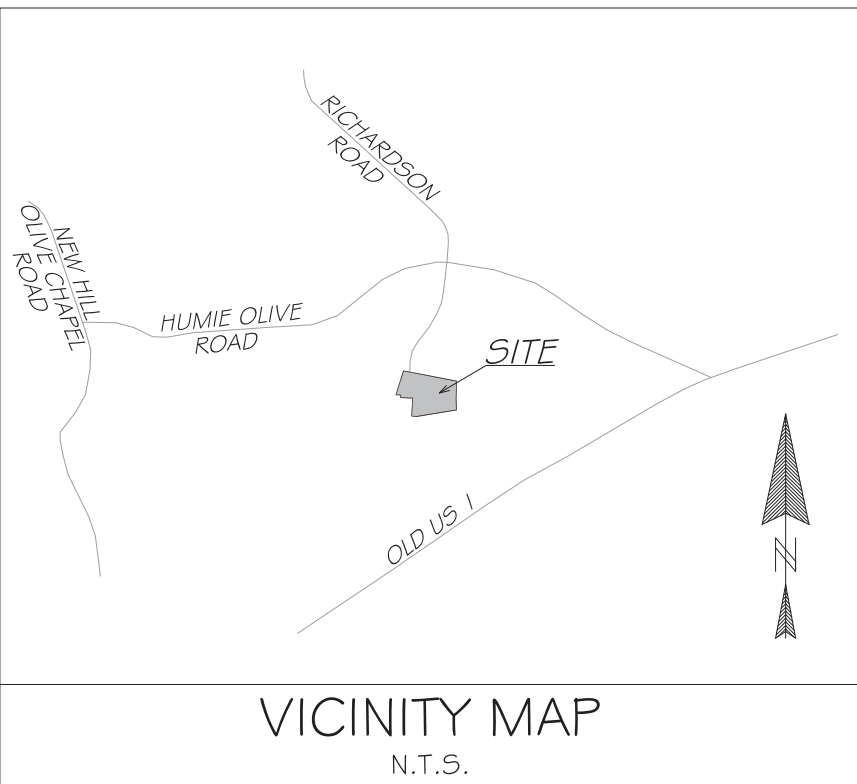
## SECTION 18 – AFFORDABLE HOUSING

Prior to recording the final subdivision plat for the project, the developer shall record with the Wake County Register of Deeds an Option in favor of Habitat for Humanity of Wake County, Inc. (“Habitat Wake”) or other non-profit affordable housing provider granting to Habitat Wake an option to purchase a minimum of four (4) townhome lots within the community, with the cost of such lots being the cost that the developer pays for such lots.



# THE TOWNES AT THE STATION

## PLANNED UNIT DEVELOPMENT



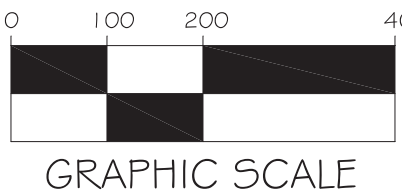
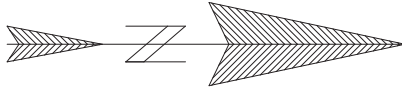
SITE DATA	
PROJECT NAME	THE TOWNES AT THE STATION - PUD
PREPARER'S CONTACT INFORMATION	JONES & CROSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375 CONTACT PERSON - PATRICK L. KIERNAN
OWNER / DEVELOPER CONTACT INFORMATION	CHARM CITY DEVELOPERS, LLC 4201 TAYLOR HALL PLACE CHAPEL HILL, NC 27517 PHONE - (919) 703-6203 CONTACT PERSON - ANDREW ROSS
CURRENT ZONING	R-40W
PROPOSED ZONING	PUD-CZ
CURRENT 2045 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL (MD) & PROTECTED OPEN SPACE
PROPOSED 2045 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL (MD) & PROTECTED OPEN SPACE
PROPOSED ZONING DESIGNATION	PUD-CZ
WAKE COUNTY PINS	0720-49-2078, 0720-48-4654 (PARTIAL), 0720-38-9121 (PARTIAL)
TOTAL PROJECT AREA	16.39 ACRES
MAXIMUM DENSITY	5.5 UNITS/ACRE
MAXIMUM NUMBER OF LOTS	90
REQUIRED RCA / BUFFER AREA	5.74 ACRES (35%)
MAXIMUM BUILT UPON AREA FOR PUD	9.83 ACRES (60%)
MAXIMUM BUILDING HEIGHT	45' OR 3 STORIES
OFF STREET PARKING	PARKING WILL COMPLY WITH APEX UDO SECTION 8.3 FOR TOWNHOMES
PUBLIC RECREATION REQUIREMENT	FEE-IN-LIEU FOR SINGLE FAMILY ATTACHED UNITS (RATE TBD)
WATERSHED INFORMATION	PRIMARY; LITTLE BEAVER CREEK BASIN
APEX BUFFER DETERMINATION	TBD
HISTORIC STRUCTURE?	NO
GRADING TYPE	MASS GRADING (TOWNHOME DEVELOPMENT)
PHASED DEVELOPMENT	TBD
FEMA FLOODPLAIN INFORMATION	MAP #3720072000K (DATED JULY 19, 2022) - PROJECT IS NOT WITHIN 100 YEAR FLOODPLAIN

- PERMITTED USE:
- TOWNHOUSE
  - ACCESSORY APARTMENT
  - UTILITY, MINOR
  - PARK, ACTIVE
  - PARK, PASSIVE
  - GREENWAY
  - RECREATIONAL FACILITY, PRIVATE

MINIMUM BUILDING SETBACKS - TOWNHOMES	
FRONT	15'
REAR	15'
SIDE (END UNITS)	5'
SIDE (CORNER UNITS)	10'
BUILDING TO BUILDING	10'
FROM BUFFER/RCA	10' FOR BUILDINGS, 5' FOR PARKING
NOTE: MINIMUM DRIVEWAY LENGTH IS 20', MEASURED FROM BACK EDGE OF SIDEWALK TO GARAGE.	

#### PD PLAN - DRAWING SHEET INDEX

- COVER SHEET
- PRELIMINARY LAYOUT PLAN
- EXISTING CONDITIONS PLAN
- PRELIMINARY UTILITY PLAN



PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

THIS SHEET IS FOR  
ILLUSTRATIVE PURPOSES ONLY



1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY REGULATION REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APE STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APE PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH SURVEYORS.
2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR.
3. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY TERRACON CONSULTANTS, INC. THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREET BUFFER ARE SHOWN AS SURVEYED.
4. THE TOWN OF APEX PROJECT ID FOR THIS BUFFER CALL IS 1-G-011.
5. NO FEMA MAPPED FLOODPLAIN EXISTS ON THIS PROPERTY PER FEMA MAP #372007200OK (DATED JULY 19, 2022).
6. THIS SITE IS LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
7. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH.
8. ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGNS ARE REQUIRED.
9. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.
10. PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.
11. PER THE TOWN OF APEX BICYCLE AND PEDESTRIAN SYSTEM PLAN MAP, THE LITTLE BEAVER CREEK GREENWAY SHALL EXTEND EAST-WEST THROUGH THIS PROJECT BY UPGRADING THE 5' SIDEWALK ON THE NORTH SIDE OF THE TOWN OF APEX BICYCLE AND PEDESTRIAN SYSTEM PLAN MAP 1-G-011.
12. THE PROR ADVISORY COMMISSION REVIEWED THE PROJECT AT THE SEPTEMBER 28, 2022 MEETING AND UNANIMOUSLY APPROVED FOR FEE-IN-LIEU OF DEDICATION, WITH CREDIT FOR CONSTRUCTION OF GREENWAY. THE CURRENT FEE RATE FOR SINGLE FAMILY ATTACHED IS \$2,528.25 WITH THE RATE SET AT THE TIME OF THE REZONING APPROVAL BY TOWN COUNCIL, AND RUNS WITH THE LIFE OF THE PROJECT UNLESS ADDITIONAL LANDUNITS ARE ADDED TO THE PROJECT.

1. IN LIEU OF A FULL TRANSPORTATION IMPACT ANALYSIS, A TRIP GENERATION LETTER HAS BEEN PROVIDED WITH THIS PUD SUBMITTAL.
2. STREET STUB CONNECTIONS SHOWN HEREON ARE PRELIMINARY AND MAY CHANGE AT THE TIME OF MASTER PLAN APPROVAL.
3. ALL INTERNAL BUILDING STREETS SHALL HAVE 50 FEET OF RIGHT-OF-WAY, 27 FEET OF CURB AND ASPHALT, WITH SIDEWALKS ON BOTH SIDES OF THE STREET UNLESS SPECIFIED OTHERWISE.
4. THE RESOURCE CONSERVATION AREA (RCA) SHOWN HEREON IS PRELIMINARY AND MAY CHANGE AT THE TIME OF MASTER PLAN APPROVAL.
5. THE MAINTENANCE OF RCA, LANDSCAPE BUFFERS, COMMON AREAS, AND THE STORMWATER DEVICES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
6. ALL SIGNAGE SHALL COMPLY WITH TOA UDO SECTION 8.7, SIGNS
7. THE PUD SHALL MEET TOWN OF AURORA DEVELOPMENT REQUIREMENTS OUTLINED IN TOA UDO SECTION 6.1, SUCH THAT POST-DEVELOPMENT RUNOFF SHALL NOT EXCEED THE PRE-DEVELOPMENT RUNOFF FOR THE 1-YEAR, 10-YEAR, AND 25-YEAR 24 HOUR STORM EVENTS.
8. ALL TOWNHOMES SHALL PROVIDE SOLAR CONDUIT FOR THE INSTALLATION OF ROOFTOP SOLAR PANELS.
9. A PHASING PLAN WILL BE DETERMINED AT THE TIME OF MASTER SUBDIVISION PLAN.



1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY AREAS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH SURVEYORS.
2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR.
3. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY TERRACON CONSULTANTS, INC. - THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREAM BUFFERS ARE SHOWN AS SUXEVED.
4. THE TOWN OF APEX PROJECT ID FOR THIS BUFFER CALL IS 16-011.
5. NO FEMA MAPPED FLOODPLAIN EXISTS ON THIS PROPERTY PER FEMA MAP #372007200OK (DATED JULY 19, 2022).
6. THE SITE IS LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
7. THE AREA WITHIN THIS PUD IS CURRENTLY VACANT AND ENTIRELY WOODED, OTHER THAN THE CLEAR AND MAINTAINED PUBLIC UTILITY EASEMENTS.

[illegible]

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THE TOWNES AT THE STATION  
PLANNED UNIT DEVELOPMENT  
EXISTING CONDITIONS PLAN

SCALE 1"=60'	DRAWN PLK
DATE AUGUST 1, 2022	
REVISION 09/22	PER TRC
Q/14/22	PER TRC
1/4/22	PM/TC SET
HEET 3	
PROJECT 2152	



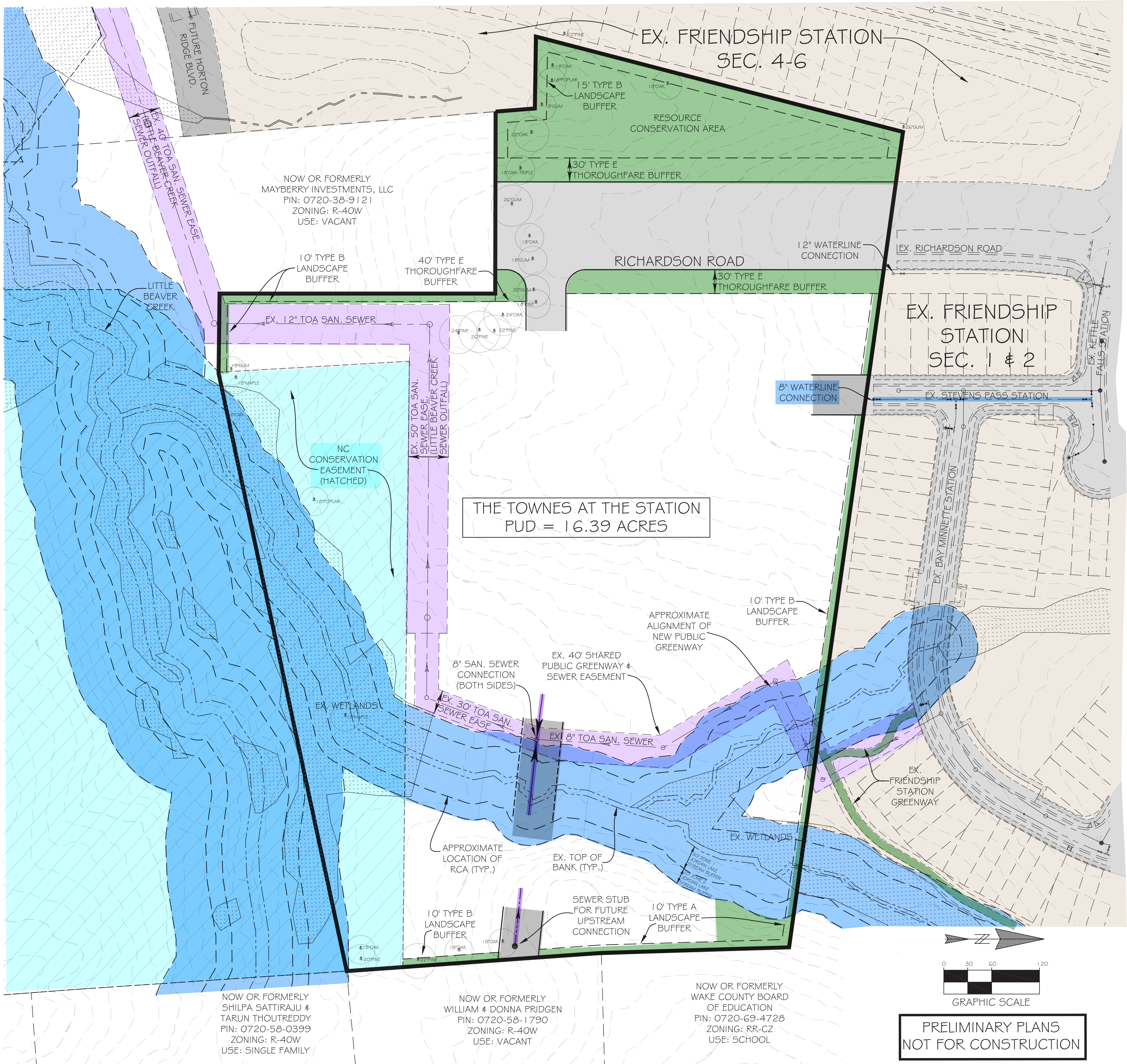
TOWN REQUIRED PUD NOTES:

1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER. SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

NOTES:

1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH LAND SURVEYORS.
2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY TERRAGON CONSULTANTS, INC. THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREAM BUFFERS ARE SHOWN AS SURVEYED.
3. THE TOWN OF APEX PROJECT ID FOR THIS BUFFER CALL IS 16-011.
4. NO FEMA MAPPED FLOODPLAIN EXISTS ON THIS PROPERTY PER FEMA MAP #3720072000K (DATED JULY 19, 2022).
5. THIS SITE IS LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
6. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH.
7. ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGNS ARE REQUIRED.
8. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.
9. THE FUTURE LOCATIONS FOR WATER AND SEWER MAINS ARE APPROXIMATE AND SHALL BE DESCRIBED IN MORE DETAIL AT THE TIME OF MASTER PLANS. THESE UTILITY LOCATIONS ARE ILLUSTRATIVE TO SHOW CONNECTIONS AND SIZING.
10. ANY REQUIRED UTILITY CONNECTIONS TO SURROUNDING PROPERTIES AND PUBLIC RW SHALL BE ALLOWED THROUGH ALL PERIMETER BUFFERS.
11. CONTACT FOR TOWN OF APEX ELECTRIC UTILITIES IS RODNEY SMITH AT 919-249-3342.
12. THIS DEVELOPMENT SHALL USE FULL TOWN OF APEX SERVICES INCLUDING WATER, SEWER AND ELECTRICITY.
13. ALL UTILITY INFRASTRUCTURE SHALL MEET CURRENT TOWN OF APEX WATER AND SEWER MASTER PLANS.
14. ACCESS TO PUBLIC SANITARY SEWER SHALL BE PROVIDED TO UPSTREAM PROPERTIES ALONG NATURAL DRAWS WITHIN THE PROJECT BOUNDARY.
15. PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.

THIS SHEET IS FOR  
ILLUSTRATIVE PURPOSES ONLY



**Jones & Cossen**  
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THE TOWNES AT THE STATION  
PLANNED UNIT DEVELOPMENT

PRELIMINARY UTILITY PLAN

SCALE: 1"=60'  
DRAWN: PLK

DATE: AUGUST 1, 2022

REVISION: 9/9/22	PER: TRC
10/14/22	PER: TRC
11/4/22	PER: SET

SHEET: 4

PROJECT: 2150



# Townhome Elevations, Illustrative



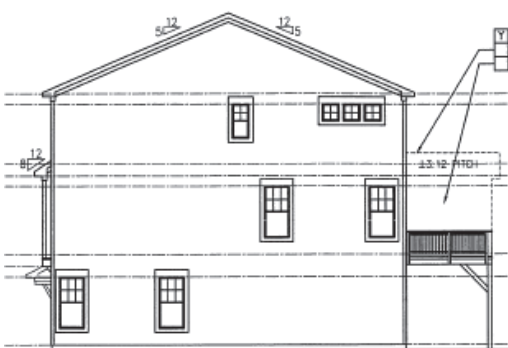
ELEVATION-A  
SCALE: 1/4"=1'-0" ON 22x34 AND 1/8"=1'-0" ON 11x17



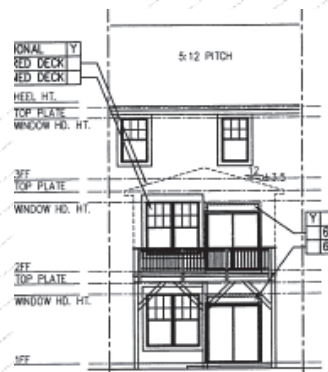
ELEVATION-C



ELEVATION-C



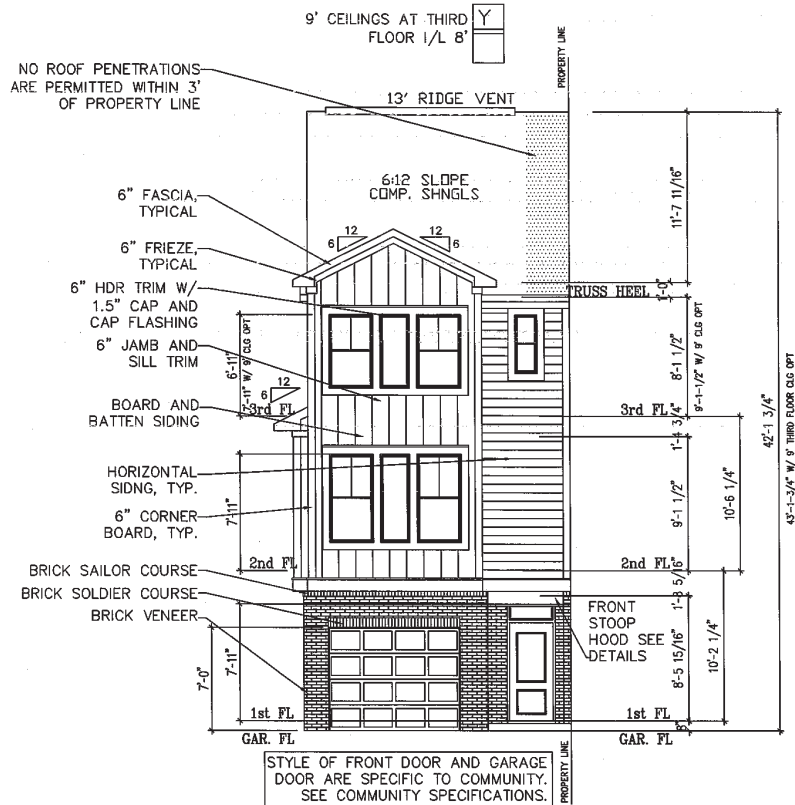
END UNIT - A □  
SCALE: 1/8"=1'-0" ON 22x34 AND 1/16"=1'-0" ON 11x17



REAR ELEVATION-A  
1/8"=1'-0" ON 22x34 AND 1/16"=1'-0" ON 11x17



M/I HOMES



BERKSHIRE  
ELEVATION-A-FRONT

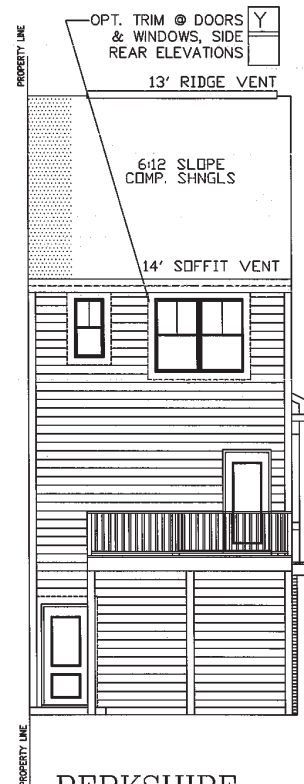
ROOF VENT. CALCULATIONS ELEV 'A'

MAIN ROOF ATTIC  
867 SQ. FT.

ATTIC VENTILATION REQUIRED  
= 2.89 SQ. FT.  $\frac{867 \text{ SQ. FT.}}{300}$

19 LF RIDGE VENT @ 18 S.I./LF = 18x19 = 342 S.I. = 2.37 SF  
22 LF SOFFIT VENT @ 4.5 S.I./LF = 22x4.5 = 99 S.I. = .68 SF

3.05 SF PROVIDED



BERKSHIRE  
ELEVATION-A-REAR

PRO. TRANSPORTATION	DATE	WK. STORMWATER	DATE
BUILDING INSPECTORS	DATE	PLANNING	DATE
WK. UTILITY ENGINEERING	DATE	PLANNING - TRANSPORTATION	DATE
ELECTRIC	DATE	FIRE	DATE
WK. S & C	DATE	PARKS, RECREATION & CULTURAL RES.	DATE

MASTER ISSUE DATE:  
03/31/20

DO NOT SCALE PRINTS  
CONSTRUCTION SHALL BE  
PER INDICATED DIMENSIONS  
ONLY. ANY DISCREPANCIES  
TO BE REPORTED TO M/I  
HOMES FOR CLARIFICATION

LATEST REVISION DATE:  
11/16/20

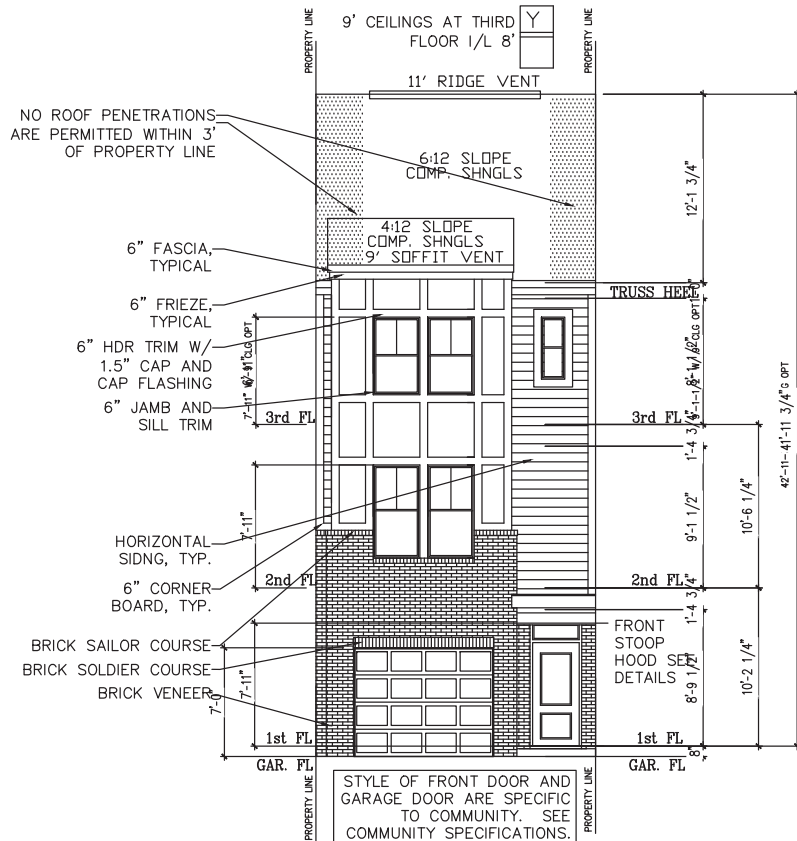
SUB NAME  
LOT# -

M/I HOMES  
Welcome to Better.

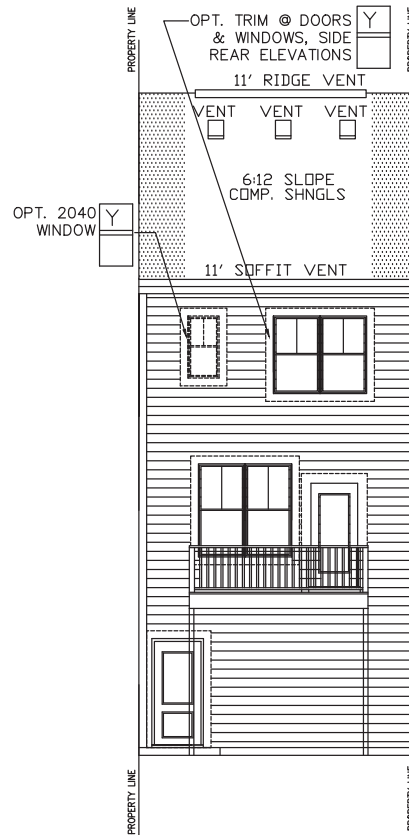
BERKSHIRE  
GARAGE - LEFT  
ELEVATION "A"

SHEET #

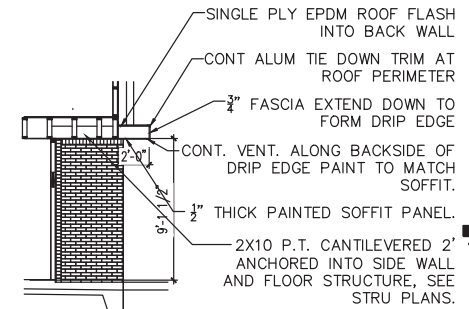
4.00



ELEVATION-A-FRONT



ELEVATION-A-REAR



ELEVATION A  
SECTION OF STOOP, HOOD  
SCALE: 1/8"=1'-0"

ROOF VENT. CALCULATIONS ELEV 'A'	
MAIN ROOF ATTIC	
824 SQ. FT.	
ATTIC VENTILATION REQUIRED	
= 2.74 SQ. FT. $\frac{824 \text{ SQ. FT.}}{300}$	
11 LF RIDGE VENT @ 18 S.I./LF = 18x11 = 198 S.I = 1.37 SF	
20 LF SOFFIT VENT @ 4.5 S.I./LF = 20x4.5 = 90 S.I = .62 SF	
3 ROOF VENTS @ 50 S.I. EA. = 50x3 = 150 S.I = 1.04 SF	
3.03 SF PROVIDED	