

Sunnybrook Farms

Jenks Rd

Fletcherstone Way

Westford Apartments

Brookside Hill Aly

Wimberly Rd

Haybeck Ln

Rezoning #22CZ01

Lowell Rd

Townes at Westford

Acton St



Creekbird Rd

PLANNED UNIT DEVELOPMENT APPLICATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Application #: ~~0720~~ 22CZ01 Submittal Date: January 3, 2022
Fee Paid: \$ 1720 Check #: Charge

PETITION TO AMEND THE OFFICIAL ZONING DISTRICT MAP

Project Name: Arden at Summit Pines
Address(es): 8200 Jenks Road, Apex, NC 27523
PIN(s) 0722577336

Acreage: 11.74
Current Zoning: Rural Residential (RR) Proposed Zoning: Planned Unit Development Conditional Zoning (PUD-CZ)

Current 2045 LUM Designation: Office Employment and Commercial Services

Is the proposed rezoning consistent with the 2045 LUM Classification(s)? Yes No
*A FLUM amendment is proposed to add High Density Residential to the FLUM designation

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use: Acreage: 11.74
Area proposed as non-residential development: Acreage: 3.522
Percent of mixed use area proposed as non-residential: Percent: 30%

Applicant Information

Name: FC Apex, LLC c/o Collier Marsh
Address: 301 Fayetteville Street, Suite 1400
City: Raleigh State: NC Zip: 27601
Phone: (919) 835-4663 E-mail: colliermarsh@parkerpoe.com

Owner Information

Name: R. Michael Strickland, as Trustee of the Charles H Young, Jr. Family Trust
Address: 138 Wee Loch Drive
City: Cary State: NC Zip: 27511-3885
Phone: 919-782-6860 E-mail: Mike.Strickland@youngmoorelaw.com

Agent Information

Name: FC Apex, LLC c/o Collier Marsh
Address: 301 Fayetteville Street, Suite 1400
City: Raleigh State: NC Zip: 27601
Phone: (919) 835-4663 E-mail: colliermarsh@parkerpoe.com

Other contacts: _____

PLANNED UNIT DEVELOPMENT APPLICATION

Application #: 22CZ01

Submittal Date: January 3, 2022

PLANNED UNIT DEVELOPMENT DISTRICT STANDARDS:

In return for greater flexibility in site design requirements, Planned Development (PD) Districts are expected to deliver exceptional quality community designs that preserve critical environmental resources; provide high quality community amenities; incorporate creative design in the layout of buildings, Resource Conservation Area and circulation; ensure compatibility with surrounding land uses and neighborhood character; provide high quality architecture; and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure. The Planned Development (PD) Districts shall not be used as a means of circumventing the Town's adopted land development regulations for routine developments. The PD text and plan should demonstrate how the standards of Sec. 2.3.4.F are met by the proposed rezoning.

LEGISLATIVE CONSIDERATIONS - CONDITIONAL ZONING

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest. Use additional pages as needed.

1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.

The property is designated as Office Employment/Commercial Services on the FLUM. The proposed rezoning includes a request to amend the FLUM designation to Office Employment/Commercial Services/High Density Residential. The proposed Planned Unit Development will facilitate the development of senior housing and commercial uses along Jenks Road in furtherance of the Comprehensive Plan's goal to place commercial services on thoroughfares and near residential communities. The Commercial District will be a minimum of 30% of the site as shown on the Concept Plan.

2) *Compatibility.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.

The uses permitted by the PUD - including the senior housing community and commercial uses - are compatible with the character of existing and planned uses in the surrounding area. This area of the Town's ETJ is at an intersection between growing sections of northwest Apex and historically rural western Wake County. Although adjacent properties to the north and west are currently undeveloped, the Property is directly across the street from the Westford PUD. The Villages at Westford Apartments are directly across Jenks Road to the southeast. The Villages at Westford Apartments are a 296 unit apartment complex, with a clubhouse and pool, that were constructed in 2019 as part of the Westford PUD. Further South across Jenks Road is an undeveloped portion of the Westford PUD referred to as area A1. Under the Westford PUD, Area A1 could be developed for a variety of residential or commercial uses including Multi-Family, Single Family, Restaurant, Office, Convenience Store with Gas Sales, and Grocery Store. Arden at Summit Pines will be compatible with the existing Westford Apartments and future development of the Westford PUD because it will provide complimentary uses to the existing and proposed uses of the Westford PUD. Arden at Summit Pines' age restricted Residential District will provide a greater variety of housing options and Arden at Summit Pines' Commercial District offers a greater mix of nonresidential uses that will serve and support residential development in the area. Design standards are also proposed to respect the existing character of the surrounding area.

3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.

The proposed development will comply with Section 4.4 Supplemental Standards, to the extent these regulations do not conflict with regulations contained in the PUD.

PETITION PROCESS INFORMATION

4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use's minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.

Trash, parking and loading, and odors will be screened from adjacent uses as required by the UDO and as set forth in the PUD. More intense commercial uses are only permitted in the Commercial District which fronts on Jenks Road. Additionally, the PUD includes several architectural standards which commit to quality building materials and design to minimize adverse visual effects on neighboring properties.

5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use's minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.

The property is not within a designated current or future 100 year floodplain but is located within the Beaver Creek and White Oak Creek Drainage Basins. Accordingly, the Property is within the Primary Watershed Protection Overlay District as shown on the Town of Apex Watershed Protection Map. This PUD will comply with all built upon area, vegetated conveyances, structural SCMs and riparian stream buffer requirements of UDO Section 6.1.7. The PUD will include a minimum 25% Resource Conservation Area. Further, the PUD contains additional environmental commitments including installation of wetland educational signs, pet waste stations, solar conduit, electric vehicle charging stations, light sensors on exterior lights, and light shields on outdoor lighting.

6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use's avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.

Public water and sewer facilities are available to the property. The proposed development will meet all Public Facilities requirements in UDO Section 2.3.4(F)(1)(f).

7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use's effect on the health, safety, or welfare of the residents of the Town or its ETJ.

The requested PUD will improve the public health and welfare by facilitating the development of needed senior housing in close proximity to future commercial services. It will also improve welfare by facilitating the development of commercial uses along Jenks Road, a thoroughfare. The PUD will improve traffic flow by providing traffic improvements along Jenks Road and facilitating a future east/west connector street as set forth in the PUD.

8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.

Uses permitted under the PUD will not be substantially detrimental to adjacent properties. The Congregate Living Facility use is limited to 160 senior housing units and Commercial Uses are only permitted in the Commercial District and limited by design standards contained in the PUD.

PETITION PROCESS INFORMATION

9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.

The proposed PUD will not constitute a hazard due to traffic or noise. Traffic impacts will be mitigated by road improvements contained in the PUD. Other potential negative impacts are mitigated by the maximum density and other design guidelines contained in the PUD.

10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

The PUD will be governed by the regulations contained in the attached PUD and Concept Plan. The PUD will comply with all other regulations of the UDO to the extent they do not conflict with the PUD regulations.

DEVELOPMENT NAME APPROVAL APPLICATION

Application #: 22CZ01 Submittal Date: 1/3/2022

Fee for Initial Submittal: No Charge Fee for Name Change after Approval: \$500*

Purpose

To provide a consistent and clearly stated procedure for the naming of subdivisions and/or developments and entrance roadways (in conjunction with *Town of Apex Address Policy*) so as to allow developers to define and associate the theme or aesthetics of their project(s) while maintaining the Town's commitment to preserving the quality of life and safety for all residents of Apex proper and extraterritorial jurisdiction.

Guidelines

- ✓ The subdivision/development name shall not duplicate, resemble, or present confusion with an existing subdivision/development within Apex corporate limits or extraterritorial jurisdiction except for the extension of an existing subdivision/development of similar or same name that shares a continuous roadway.
- ✓ The subdivision/development name shall not resemble an existing street name within Apex corporate limits or extraterritorial jurisdiction unless the roadway is a part of the subdivision/development or provides access to the main entrance.
- ✓ The entrance roadway of a proposed subdivision/development shall contain the name of the subdivision/development where this name does not conflict with the Town of Apex *Road Name Approval Application* and *Town of Apex Address Policy* guidelines.
- ✓ The name "Apex" shall be excluded from any new subdivision/development name.
- ✓ Descriptive words that are commonly used by existing developments will be scrutinized more seriously in order to limit confusion and encourage distinctiveness. A list of commonly used descriptive words in Apex's jurisdiction is found below.
- ✓ The proposed subdivision/development name must be requested, reviewed and approved during preliminary review by the Town.
- ✓ A \$500.00 fee will be assessed to the developer if a subdivision/development name change is requested after official submittal of the project to the Town.*

*The imposed fee offsets the cost of administrative changes required to alleviate any confusion for the applicant, Planning staff, other Town departments, decision-making bodies, concerned utility companies and other interested parties. There is no charge for the initial name submittal.

Existing Development Titles, Recurring

	Residential	Non-Residential
10 or more	Creek, Farm(s), Village(s),	Center/Centre
6 to 9	Crossing(s), Park, Ridge, Wood(s)	Commons, Park
3 to 5	Acres, Estates, Glen(s), Green*, Hills	Crossing(s), Plaza, Station, Village(s)

*excludes names with Green Level

DEVELOPMENT NAME APPROVAL APPLICATION

Application #: 22CZ01

Submittal Date: 1/3/2022

Proposed Subdivision/Development Information

Description of location: 8200 Jenks Road

Nearest intersecting roads: Jenks Road/Lowell Road

Wake County PIN(s): 0722577336

Township: White Oak

Contact Information (as appropriate)

Contact person: Kevin Woodley; c/o Collier Marsh

Phone number: 919-835-4663 Fax number: N/A

Address: 301 Fayetteville Street, Raleigh, NC 27601

E-mail address: colliermarsh@parkerpoe.com

Owner: R. Michael Strickland, as Trustee of the Charles H Young, Jr. Family Trust

Phone number: _____ Fax number: _____

Address: 138 Wee Loch Drive, Cary, NC 27511

E-mail address: _____

Proposed Subdivision/Development Name

1st Choice: Arden at Summit Pines

2nd Choice (Optional): _____

Town of Apex Staff Approval:

Town of Apex Planning Department Staff

Date

TOWN OF APEX UTILITIES OFFER AND AGREEMENT

Application #: 22CZ01

Submittal Date: 1/3/22

**Town of Apex
73 Hunter Street
P.O. Box 250 Apex, NC 27502
919-249-3400**

WAKE COUNTY, NORTH CAROLINA CUSTOMER SELECTION AGREEMENT

8200 Jenks Road

(the "Premises")

The Town of Apex offers to provide you with electric utilities on the terms described in this Offer & Agreement. If you accept the Town's offer, please fill in the blanks on this form and sign and we will have an Agreement once signed by the Town.

FC Apex, LLC, the undersigned customer ("Customer") hereby irrevocably chooses and selects the Town of Apex (the "Town") as the permanent electric supplier for the Premises. Permanent service to the Premises will be preceded by temporary service if needed.

The sale, delivery, and use of electric power by Customer at the Premises shall be subject to, and in accordance with, all the terms and conditions of the Town's service regulations, policies, procedures and the Code of Ordinances of the Town.

Customer understands that the Town, based upon this Agreement, will take action and expend funds to provide the requested service. By signing this Agreement the undersigned signifies that he or she has the authority to select the electric service provider, for both permanent and temporary power, for the Premises identified above.

Any additional terms and conditions to this Agreement are attached as Appendix 1. If no appendix is attached this Agreement constitutes the entire agreement of the parties.

Acceptance of this Agreement by the Town constitutes a binding contract to purchase and sell electric power.

Please note that under North Carolina General Statute §160A-332, you may be entitled to choose another electric supplier for the Premises.

Upon acceptance of this Agreement, the Town of Apex Electric Utilities Division will be pleased to provide electric service to the Premises and looks forward to working with you and the owner(s).

ACCEPTED:

CUSTOMER: FC Apex, LLC

TOWN OF APEX

BY: [Signature]
Authorized Agent

BY: _____
Authorized Agent

DATE: 12/26/21

DATE: _____

AGENT AUTHORIZATION FORM

Application #: 22CZ01 Submittal Date: 1/3/22

R. Michael Strickland, Trustee of the Family Trust under Item VI of the Will of Charles H. Young, Jr. is the owner* of the property for which the attached application is being submitted.

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: Annexation Petition

The property address is: 8200 Jenks Road, Apex, NC 27523

The agent for this project is: Kevin Woodley

I am the owner of the property and will be acting as my own agent

Agent Name: Kevin Woodley

Address: 7315 Wisconsin Avenue, Suite 925W, Bethesda, Maryland 20814

Telephone Number: 301-654-8802

E-Mail Address: kwoodley@buvermo.com

Signature(s) of Owner(s)*

R. Michael Strickland, Trustee of the Family Trust under Item VI of the Will of Charles H. Young, Jr.

R Michael Strickland

R. Michael Strickland, Trustee

12/21/21

Date

Martha Heafner

Martha Heafner

12-27-21

Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 22CZ01

Submittal Date: 1/3/22

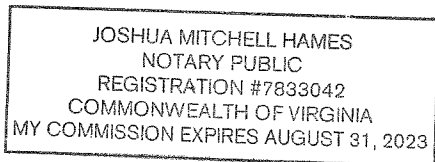
The undersigned, Kevin Woodley (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the authorized agent of all owners of the property located at 8200 Jenks Road and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
4. To Affiant's knowledge, no claim or action has been brought against against the owners of the property which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.
5. This the 29 day of December, 2021.

By: [Signature]
Kevin Woodley

Virginia
STATE OF ~~NORTH CAROLINA~~
COUNTY OF Fairfax

I, the undersigned, a Notary Public in and for the County of Fairfax, hereby certify that Kevin Woodley, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Kevin Woodley, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



[NOTARY SEAL]

[Signature]
Notary Public
State of ~~North Carolina~~ Virginia
My Commission Expires: 08/31/2023

Arden at Summit Pines

Legal Description for PUD Rezoning

PIN# (0722-57-7336)

Beginning at an iron rod on the North right of way of Jenks Road (NCSR 1601) Wake County, NC approximately 721 feet North of the intersection of Jenks Road and U.S. Highway 64 and having a NC State Plane NAD 83 (NSRS 2011) coordinate value of N: 726,615.24 E: 2,025,311.55 and being the point of beginning. Thence from the point of beginning N 00° 37' 29" E 432.30' to an iron rod set. Thence N 01° 57' 10" E 668.64' to an iron bar found at the Northwest corner of the parcel. Thence S 88° 55' 43" E 682.49' to an iron bar found at the Northeast corner of the parcel. Thence S 00° 21' 58" W 380.02' to an Iron pin found on the North right of way of Jenks Road. Thence along the North right of way of Jenks Road the following courses:

S 44° 34' 19" W 105.01' to an iron rod set

S 45° 15' 51" W 376.98' to an iron rod set

S 45° 13' 33" W 395.43' to an iron rod set

S 44° 33' 52" W 63.09' to an iron rod set

S 42° 51' 20" W 60.24' to an iron rod set being the point of beginning. Parcel contains 511,581 SF or 11.744 Acres.



Wake County Residential Development Notification

Please complete each section of this form and submit with your application.

Town of Apex staff will enter this information into the online WCPSS form.

Please send any questions about this form to:
studentassignment-gis-group@wcpss.net

Developer Company Information	
Company Name	FC Apex, LLC
Company Phone Number	301-654-8802
Developer Representative Name	Kevin Woodley
Developer Representative Phone Number	301-654-8802
Developer Representative Email	kwoodley@buvermo.com

New Residential Subdivision Information	
Date of Application for Subdivision	TBD
City, Town or Wake County Jurisdiction	Town of Apex
Name of Subdivision	Arden at Summit Pines
Address of Subdivision (if unknown enter nearest cross streets)	8200 Jenks Road
REID(s)	0035451
PIN(s)	0722577336

Projected Dates Information	
Subdivision Completion Date	2023
Subdivision Projected First Occupancy Date	2024

Lot by Lot Development Information																
Unit Type	Total # of Units	Senior Living	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Square Foot Range		Price Range		Anticipated Completion Units & Dates				
								Min	Max	Low	High	Year	# Units	Year	# Units	Year
Single Family																
Townhomes																
Condos																
Apartments	159	159						TBD	TBD	TBD	TBD	2024	159			
Other																

November 12, 2021

Re: Notice of Virtual Neighborhood Meeting

Neighboring Property Owners:

You are invited to attend a neighborhood meeting on November 29, 2021 from 6–8pm. The purpose of the meeting is to discuss an upcoming application to rezone a parcel of land located at 8200 Jenks Road, Apex, NC 27523 (PIN 0722577336) (the “Property”). The Property is currently zoned Rural Residential (RR) and is proposed to be rezoned to Planned Unit Development-Conditional Zoning (PUD-CZ).

The applicant is proposing a rezoning to Planned Unit Development Conditional Zoning and proposes a combination of senior living and commercial uses. During the meeting, the applicant will describe the nature of this rezoning request and field any questions from the public. Enclosed are: (1) a vicinity map outlining the location of the subject parcel; (2) a zoning map of the subject area; (3) a preliminary concept plan of the Planned Unit Development; (4) a project contact information sheet; and (5) a common construction issues & who to call information sheet.

The meeting will be held virtually. You can participate online via Zoom or by telephone. To participate in the Zoom online meeting:

Visit:	https://zoom.us/join
Enter the following meeting ID:	823 5712 5752
Enter the following password:	512847

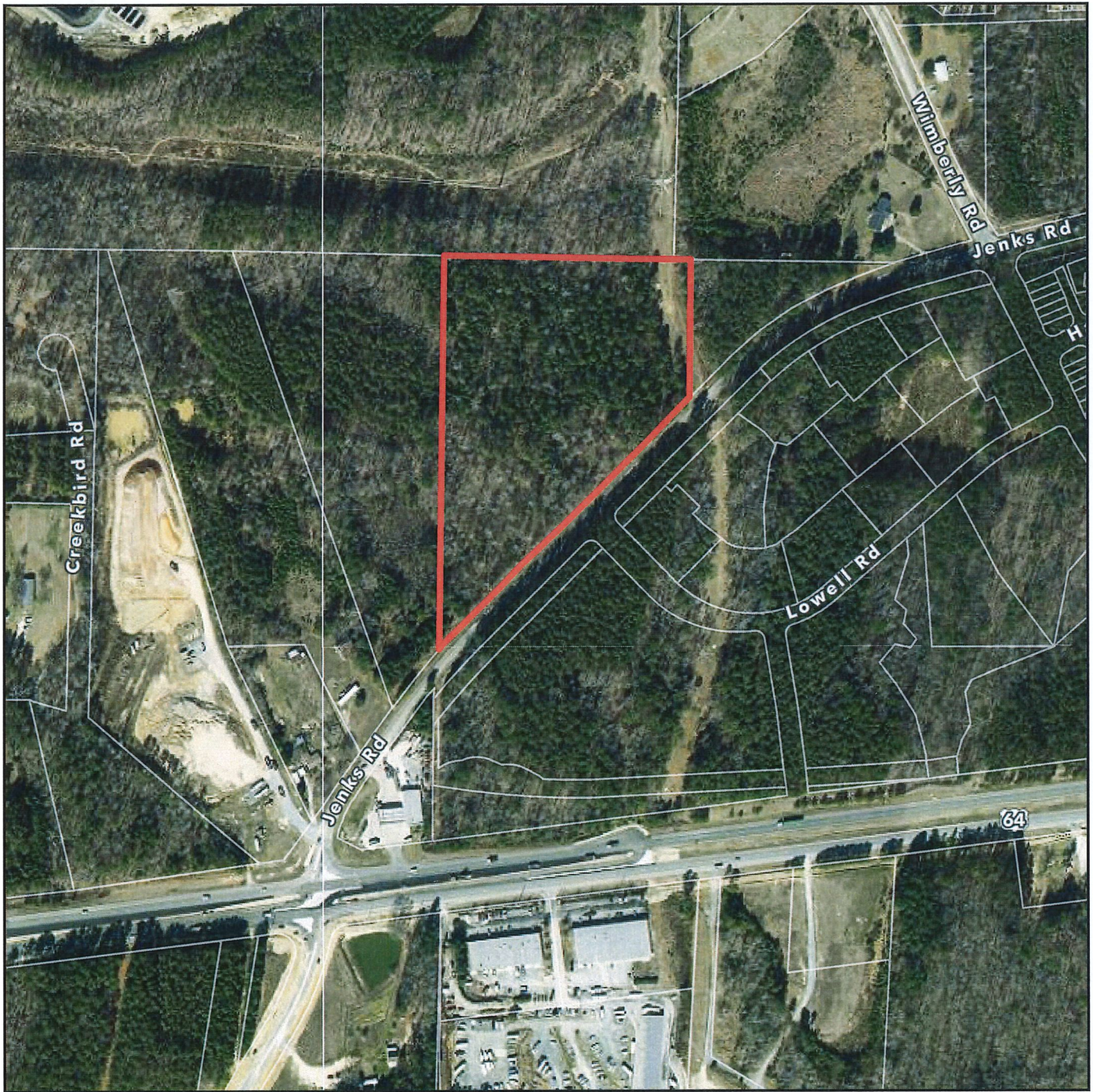
To participate by telephone:

Dial:	1 929 205 6099
Enter the following meeting ID:	823 5712 5752 #
Enter the Participant ID:	#
Enter the Meeting password:	512847 #

If you have any questions about this rezoning, please contact me at (919) 835-4663 or via email at colliermarsh@parkerpoe.com.

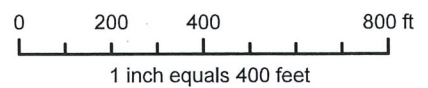
Thank you,

Collier Marsh



8200 Jenks Road

Vicinity Map



Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Development Contacts:

Project Name: Arden at Apex Zoning: Rural Residential (RR)
 Location: 8200 Jenks Road, Apex, NC 27523
 Property PIN(s): 0722577336 Acreage/Square Feet: 11.83 acres

Property Owner: Michael R. Strickland, Trustee of Martha Young Heafner Family Trust
 Address: 138 Wee Loch Drive
 City: Cary State: NC Zip: 27511-3885
 Phone: _____ Email: _____

Developer: FC Apex LLC c/o Collier Marsh
 Address: 301 Fayetteville Street, Suite 1400
 City: Raleigh State: NC Zip: 27601
 Phone: 919-835-4663 Fax: 919-834-4564 Email: colliermarsh@parkerpoe.com

Engineer: ESE of North Carolina, PC
 Address: 900 Perimeter Park Drive, Suite B3
 City: Morrisville State: NC Zip: 27560
 Phone: 919-417-3051 Fax: _____ Email: jbrown3@eseconsultants.com

Builder (if known): _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____ Fax: _____ Email: _____

Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.

Town of Apex Department Contacts

Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planner	(919) 249-7468
Public Works - Transportation Russell Dalton, Senior Transportation Engineer	(919) 249-3358
Water Resources Department Jessica Bolin, Senior Engineer (Stormwater, Sedimentation & Erosion Control) Stan Fortier, Senior Engineer (Stormwater, Sedimentation & Erosion Control) James Gregg, Utility Engineer (Water & Sewer)	(919) 249-3537 (919) 249-1166 (919) 249-3324
Electric Utilities Division Rodney Smith, Electric Technical Services Manager	(919) 249-3342

ELECTRONIC NEIGHBORHOOD MEETING ATTENDANCE SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Format: Remote via Zoom
 Date of meeting: November 29, 2021 Time of meeting: 6:00 PM - 8:00 PM
 Property Owner(s) name(s): R. Michael Strickland, Trustee
 Applicant(s): Kevin Woodley

Please list Electronic Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Collier Marsh, Parker Poe	301 Fayetteville Street, Raleigh, NC 27601		colliermarsh@parkerpoe.com	
2.	Matthew Carpenter, Parker Poe	301 Fayetteville Street, Raleigh, NC 27601		matthewcarpenter@parkerpoe.com	
3.	Kevin Woodley, FC Apex, LLC	7315 Wisconsin Avenue, Suite 925W, Bethesda, Maryland 20814		kwoodley@buvermo.com	
4.	Justin Brown, ESE	5400 Trinity Road, Suite 204 Raleigh, NC 27607		jbrown3@eseconsultants.com	
5.	Paul Stephenson (Neighbor)	110 Mackenan Drive, Cary, NC 27511	not provided	not provided	n/a
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					

Use additional sheets, if necessary.

SUMMARY OF DISCUSSION FROM THE ELECTRONIC NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): R. Michael Strickland Trustee

Applicant(s): Kevin Woodley

Contact information (email/phone): _____

Meeting Format: Remote via Zoom

Date of meeting: November 29, 2021 Time of meeting: 6:00 PM - 8:00 PM

Please summarize the questions/comments and your response from the Electronic Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

What is planned for the development?

Applicant's Response:

Approximately 159 senior housing units on the residential portion and general commercial uses on the commercial portion fronting on Jenks Road.

Question/Concern #2:

N/A

Applicant's Response:

N/A

Question/Concern #3:

N/A

Applicant's Response:

N/A

Question/Concern #4:

N/A

Applicant's Response:

N/A

AFFIDAVIT OF CONDUCTING AN ELECTRONIC NEIGHBORHOOD MEETING AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Collier Marsh, do hereby declare as follows:
Print Name

1. I have conducted an Electronic Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7 *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners within 300 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Electronic Neighborhood Meeting.
3. The meeting was conducted via Remote via Zoom (indicate format of meeting) on November 29, 2021 (date) from 6:00 PM (start time) to 8:00 PM (end time).
4. I have included the mailing list, meeting invitation, attendance sheet issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

12/28/21
Date

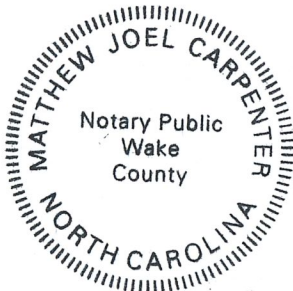
By: [Signature]
Collier Marsh

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me, Matthew J. Carpenter, a Notary Public for the above State and County, on this the 28th day of December, 2021.

SEAL

[Signature]
Notary Public
Matthew J. Carpenter
Print Name



My Commission Expires: 2/7/2024

Notice List for Neighborhood Meeting

SITE ADDRESS	PIN_NUM	OWNER	MAILING ADDRESS	CHICAGO I. 60690-3878
15000 FLETCHERSTONE WAY	0722676551	89 MF VILLAGE WEST OWNER LLC	REVNATAGE TAX	
1400 WIMBERLY RD	0722484517	CARY TOWN OF APEX TOWN OF	PO BOX 8005	CARY NC 27512-8005
8108 JENKS RD	0722673959	OCHOCKI TERRY	8108 JENKS RD	APEX NC 27539-9423
8321 JENKS RD	0722662228	GOC REAL ESTATE CO LLC	110 MACHENAN DR STE 300	CARY NC 27511-7901
8300 JENKS RD	0722571169	PAN-EDUCATIONAL SERVICES INC	1220 GOOQVNR RD	APEX NC 27523-8778
8200 JENKS RD	0722577338	STRICKLAND, R MICHAEL TRUSTEE OF FAMILY TRUST (WILL OF C H YOUNG JR)	MARTHA YOUNG HEARNER	138 WEE LOCH DR
8170 JENKS RD	0722671588	TOWN OF APEX	PO BOX 295	APEX NC 27529-0250
3300 US 64 HWY W	0722660502	WESTFORD COMMERCIAL WEH LP	2900 LINDEN LN STE 300	SILVER SPRING MD 20910-1265
8308 JENKS RD	0722477065	WHITFIELD, CORIS JENKS	3833 BACHELOR CREEK RD	ASHBORO NC 27205-2141
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Current Tenant			20301 Fletcherstone Way	APEX NC 27523
Current Tenant			20302 Fletcherstone Way	APEX NC 27523

Current Tenant	11303 Haybeck LN	APEX NC 27523
Current Tenant	11304 Haybeck LN	APEX NC 27523
Current Tenant	11305 Haybeck LN	APEX NC 27523
Current Tenant	11306 Haybeck LN	APEX NC 27523
Current Tenant	11307 Haybeck LN	APEX NC 27523
Current Tenant	11308 Haybeck LN	APEX NC 27523
Current Tenant	6308 Jenks RD	APEX NC 27523

EXHIBIT B
Legal Description
The Property

BEGINNING AT AN IRON ROD ON THE NORTH RIGHT OF WAY OF JENKS ROAD (NCSR 1601) WAKE COUNTY, NC APPROXIMATELY 721 FEET NORTH OF THE INTERSECTION OF JENKS ROAD AND U.S. HIGHWAY 64 AND HAVING A NC STATE PLANE NAD 83 (NSRS 2011) COORDINATE VALUE OF N: 726,615.24 E: 2,025,311.55 AND BEING THE POINT OF BEGINNING. THENCE FROM THE POINT OF BEGINNING N 00° 37' 29" E 432.30' TO AN IRON ROD SET. THENCE N 01° 57' 10" E 668.64' TO AN IRON BAR FOUND AT THE NORTHWEST CORNER OF THE PARCEL. THENCE S 88° 55' 43" E 682.49' TO AN IRON BAR FOUND AT THE NORTHEAST CORNER OF THE PARCEL. THENCE S 00° 21' 58" W 380.02' TO AN IRON PIN FOUND ON THE NORTH RIGHT OF WAY OF JENKS ROAD. THENCE ALONG THE NORTH RIGHT OF WAY OF JENKS ROAD THE FOLLOWING COURSES:

S 44° 34' 19" W 105.01' TO AN IRON ROD SET

S 45° 15' 51" W 376.98' TO AN IRON ROD SET

S 45° 13' 33" W 395.43' TO AN IRON ROD SET

S 44° 33' 52" W 63.09' TO AN IRON ROD SET

S 42° 51' 20" W 60.24' TO AN IRON ROD SET BEING THE POINT OF BEGINNING. PARCEL CONTAINS 511,581 SF OR 11.744 ACRES.

PAYMENT DATE
01/05/2022
COLLECTION STATION
Paralee Smith
RECEIVED FROM
ARQC

TOWN OF APEX
P O BOX 250
APEX, NC 27502
(919) 362-8676 - Utility Payments
(919) 249-3418 - Permits Only
(919) 249-3426 - Planning & Zoning Only

BATCH NO.
2022-00002095
RECEIPT NO.
2022-00127433
CASHIER
Paralee Smith

DESCRIPTION

Annexation Summit at Arden Pines - 2022-00000002 & Rezoning #22CZ01 Arden at Summit Pines PUD -
2022-00000002 Credit card

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT						
PPC	PROJECT PLANNING CENTER FEES Annexation Summit at Arden Pines - 2022-00000002	\$200.00						
PPC	PROJECT PLANNING CENTER FEES Rezoning #22CZ01 Arden at Summit Pines PUD - 2022-00000002	\$1,720.00						
Payments:	<table border="1"> <thead> <tr> <th data-bbox="446 695 516 722">Type</th> <th data-bbox="607 695 677 722">Detail</th> <th data-bbox="1073 695 1166 722">Amount</th> </tr> </thead> <tbody> <tr> <td data-bbox="446 728 516 756">Other</td> <td data-bbox="607 728 1052 756"></td> <td data-bbox="1057 728 1166 756">\$1,920.00</td> </tr> </tbody> </table>	Type	Detail	Amount	Other		\$1,920.00	
	Type	Detail	Amount					
Other		\$1,920.00						
Total Amount:		\$1,920.00						

Customer Copy

ARDEN AT SUMMIT PINES

Planned Unit Development

Apex, North Carolina

Submittal Dates

First Submittal: January 3, 2022
Second Submittal: February 11, 2022
Third Submittal: March 11, 2022
Fourth Submittal: April 8, 2022
Fifth Submittal: April 27, 2022

Developer

FC Apex, LLC
7315 Wisconsin Avenue, Suite 925 W
Bethesda, MD 20814

Civil Engineer

ESE of North Carolina, PC
5400 Trinity Road, Suite 204
Raleigh, NC 27607

Land Use Attorneys

Parker Poe Adams & Bernstein LLP
301 Fayetteville Street, Suite 1400
Raleigh, NC 27602

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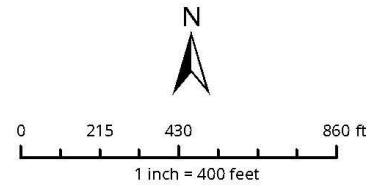
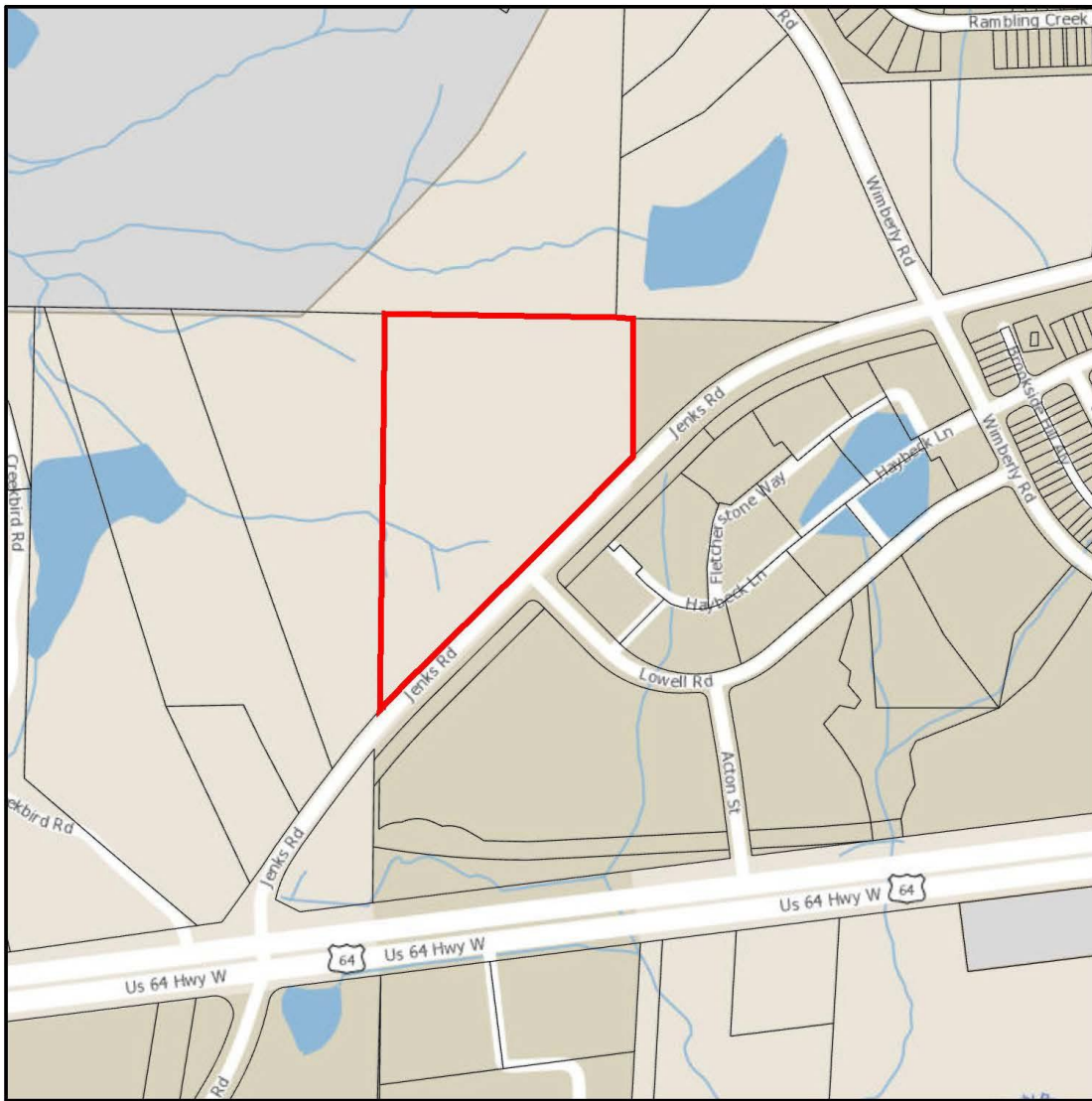
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VICINITY MAP



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PROJECT DATA

Name of Project: Arden at Summit Pines

Property Owner: R. Michael Strickland, Trustee of the Family Trust
under Item VI of the Will of Charles H. Young, Jr.
138 Wee Loch Drive
Cary, NC 27511

Developer: FC Apex, LLC
7315 Wisconsin Avenue, Suite 925 W
Bethesda, MD 20814

Prepared by: Parker Poe Adams & Bernstein LLP
301 Fayetteville Street, Suite 1400
Raleigh, NC 27601

ESE of North Carolina, PC
5400 Trinity Road, Suite 204
Raleigh, NC 27607

Current Zoning: Rural Residential (RR)

Proposed Zoning: Planned Unit Development-Conditional Zoning
(PUD-CZ)

Current 2045 Land Use Map Designation: Office Employment/Commercial Services

Proposed 2045 Land Use Map Designation: Office Employment/Commercial Services/
High Density Residential

Site Address: 8200 Jenks Road, Apex, NC 27523

Property Identification Number: 0722577336

Total Acreage: 11.744 acres

Area Designated as Mixed Use on 2045 LUM: None

Area Proposed as Non-Residential: 30% or greater

PURPOSE STATEMENT

This document and the accompanying exhibits submitted herewith (collectively, the “PUD”) are provided pursuant to the Town of Apex Unified Development Ordinance (“UDO”) Planned Unit Development provisions. The PUD addresses the development of a 11.74 acre site fronting on Jenks Road, less than one quarter mile from the intersection of Jenks Road and US 64 W (the “Property”). The Property is undeveloped and within the Town’s Extraterritorial Planning jurisdiction. Arden at Summit Pines will be a mixed use development with two districts: the Residential District and the Commercial District.

Arden at Summit Pines’ Residential District will be an active adult, age-restricted community with congregate-care style living, controlled access, interior corridors and elevators, walking paths, fitness centers, and natural areas (the “Development”). Arden at Summit Pines will offer residents the opportunity to live independently in a community designed to fit the resident’s needs. Arden at Summit Pines will offer amenities such as a community dining room, craft/business center, library, and other amenities catered towards an active senior demographic. To ensure affordability to middle market senior residents, Arden at Summit Pines will provide some services through third party partnerships including access to care and personal services such as dining, housekeeping, transportation, home and grounds maintenance, and security. Arden at Summit Pines also ensures affordability through commitments to provide Affordable Housing units within the community. The PUD is intended to create flexibility in design and land uses to deliver a high quality senior living community to meet the burgeoning demand for senior housing. The Residential District shall be limited to a maximum of 160 residential dwelling units.

Arden at Summit Pines’ Commercial District proposes office, retail sales, and retail services in a prominent location along the site’s Jenks Road frontage. This proposed commercial district ensures mixed uses within the development and fulfills the Apex Comprehensive Plan’s (“Peak Plan”) goal of placing commercial services on thoroughfares and near residential communities. The Commercial District will be a minimum of 30% of the site as shown on the Concept Plan.

CONSISTENCY WITH PLANNED UNIT DEVELOPMENT STANDARDS

(i) *The uses proposed to be developed in the PD plan for PUD-CZ are those uses permitted in Sec. 4.2.2 Use Table*

RESPONSE: The uses permitted within The Arden PUD are uses listed in UDO Section 4.2.2. Permitted uses within each District are set forth in Section 5 of the PUD.

(ii) *The uses proposed in the PD Plan for PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of non-residential land area is included in certain mixed use areas as specified on the 2045 Land Use Map. The location of uses proposed by the PUD-CZ must*

be shown in the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.

RESPONSE: The PUD is separated into two districts – the Residential District and the Commercial District. Maximum densities for each district are established by the PUD. The Development will include a minimum of 30% of the site as non-residential area as shown on the Concept Plan.

(iii) *The dimensional standards in Sec. 5.1.3 Table of Intensity and Dimensional Standards, Planned Development Districts may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.*

RESPONSE: This PUD specifies intensity and dimensional standards for the Residential District and Commercial District. The PUD’s standards are consistent with the UDO’s vision for Planned Unit Developments. Except as specifically stated in this PUD, Arden at Summit Pines will comply with all other requirements of the UDO and will comply with all applicable requirements of the North Carolina Building Code and the North Carolina Fire Code.

(iv) *The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Advance Apex: The 2045 Transportation Plan and the Town of Apex Standard Specifications and Standard Details, and greenway improvements as required by the Town of Apex Parks, Recreation, Greenways, and Open Space Plan and the Advance Apex: The 2045 Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.*

RESPONSE: As shown on the attached Concept Plan, Arden at Summit Pines will feature sidewalks and pedestrian paths throughout. Sidewalks will connect the Residential District to the Commercial District, increasing walkability between uses. The PUD also commits to significant Right of Way dedication and roadway improvements called for by the Transportation Plan.

(v) *The design of development in the PD Plan for PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient compact network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing or proposed street system in the surrounding area indicate that a through street is not essential in the location of the proposed cul-de-sac, or where sensitive environmental areas such as streams, floodplains, and wetlands would be substantially disturbed by making road connections.*

RESPONSE: As shown in the Concept Plan, Arden at Summit Pines will feature sidewalks and pedestrian paths throughout. Sidewalks will connect the Residential District to the Commercial District, increasing walkability between uses. Arden at Summit Pines will not include cul-de-sacs.

- (vi) The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.***

Arden at Summit Pines is compatible with the character of the existing and planned uses in the surrounding area. This area of the Town's ETJ is at the intersection between growing sections of northwest Apex and historically rural, western Wake County. Although adjacent properties to the north and west are currently undeveloped, the Property is directly across the street from the Westford PUD. The Villages at Westford Apartments are directly across Jenks Road to the southeast. The Villages at Westford Apartments are a 296 unit apartment complex, with a clubhouse and pool, that were constructed in 2019 as part of the Westford PUD. Further South across Jenks Road is an undeveloped portion of the Westford PUD referred to as area A1. Under the Westford PUD, Area A1 could be developed for a variety of residential or commercial uses including Multi-Family, Single Family, Restaurant, Office, Convenience Store with Gas Sales, and Grocery Store.

Arden at Summit Pines will be compatible with the existing Westford Apartments and future development of the Westford PUD because it will provide complimentary uses to the existing and proposed uses of the Westford PUD. Arden at Summit Pines' age restricted Residential District will provide a greater variety of housing options and Arden at Summit Pines' Commercial District offers a greater mix of nonresidential uses that will serve and support residential development in the area. Design standards are also proposed to respect the existing character of the surrounding area.

- (vii) The development proposed in the PD Plan for PUD-CZ has architectural and design standards that are exceptional and provide higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.***

Arden at Summit Pines will feature high quality and thoughtful design. Architectural standards, design controls, and conceptual elevations are included in this PUD.

CONSISTENCY WITH CONDITIONAL ZONING STANDARDS

Arden at Summit Pines is consistent with the conditional zoning standards set forth in UDO Section 2.3.3.F.1-10. Please see the accompanying PUD-CZ Application for the statements of consistency addressing each standard.

PERMITTED USES

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

COMMERCIAL DISTRICT

The following uses shall be permitted in the Commercial District:

Restaurant, drive through	Permitted
Restaurant, general	Permitted
Medical or dental office or clinic	Permitted
Medical or dental laboratory	Permitted
Office, business or professional	Permitted
Publishing office	Permitted
Research facility	Permitted
Hotel or Motel	Permitted
Artisan Studio	Permitted
Barber and beauty shop	Permitted
Book store	Permitted
Convenience store	Permitted
Convenience store with gas sales	Permitted
Dry cleaners and laundry service	Permitted
Farmer's market	Permitted
Financial institution	Permitted
Floral shop	Permitted
Gas and fuel, retail	Permitted
Glass sales	Permitted
Greenhouse or nursery, retail	Permitted
Grocery, general	Permitted
Grocery, specialty	Permitted
Health/fitness center or spa	Permitted
Kennel	Permitted
Newsstand or gift shop	Permitted
Personal service	Permitted
Pharmacy	Permitted
Printing and copying service	Permitted

ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

Real estate sales	Permitted
Repair services, limited	Permitted
Retail sales, general	Permitted
Studio for art	Permitted
Tailor shop	Permitted
Upholstery shop	Permitted
Pet services	Permitted
Day care facility	Permitted
Veterinary Clinic or Hospital	Permitted
Utility, minor	Permitted

RESIDENTIAL DISTRICT

The following uses shall be permitted in the Residential District:

Residential*	
Congregate Living Facility**	Permitted
Multi-family or Apartment (age-restricted)	Permitted
Utility, minor	Permitted
Recreational Uses	
Park, active	Permitted
Greenway	Permitted
Park, passive	Permitted
Recreation facility, private	Permitted

*All residential uses in the Residential District shall be age-restricted as follows: 100% of all occupied units shall have as a resident at least one person age 55 or older.

**Congregate Living Facility as defined in UDO Section 4.3.1.C shall be modified as follows: A residential land use consisting of any building or section thereof, residence, private home, boarding home, or home for the aged, whether or not operated for profit, which provides one or more of the following amenities or services for persons not related to the owner or administrator by blood or marriage: food service, trash service, local transportation services, community library, programmed activities, salon services, and other personal services. The term shall not mean “nursing home,” “intermediate care facility,” or similar facility that provides medical care and support services to persons not capable of independent living.

AFFORDABLE HOUSING

A minimum of six (6) of the residential units (either Congregate Living Facility units as modified herein, or age-restricted (55 yrs. and older) multifamily/apartment units) constructed within the Development shall be designated as low-income restricted units (the "Affordable Units"). The bedroom mix of the Affordable Units shall include (4) one-bedroom units and two (2) two-bedroom units.

The Affordable Units shall be made available for rental such that the maximum rent limits per bedroom size and household income limits shall be no greater than sixty percent (60%) of the U.S. Department of Housing and Urban Development (HUD) Area Median Income (AMI) as stipulated by the most recently published North Carolina Housing Finance Agency (NCHFA) Low-Income Housing Tax Credit (LIHTC) Multifamily Tax Subsidy Program (MTSP) income and rent limits for the Wake Metropolitan area.

The Affordable Units shall be restricted for an affordability period of five (5) years starting from the date of issuance of the first residential Certificate of Occupancy (the "Affordable Period") for the development. During the Affordable Period, the property owner shall be responsible for performing all administration duties to ensure compliance with this Affordable Housing condition and shall submit annual compliance reports to the Town verifying compliance with this Affordable Housing condition. Following completion of the Affordable Period, this Affordable Housing condition shall expire, the property owner shall be relieved of all obligations set forth in this Affordable Housing condition, and the Affordable Units may be freely marketed and leased at market-rate rents.

An affordable housing deed restriction shall be recorded against the property prior to the date of issuance of the first residential Certificate of Occupancy to memorialize these Affordable Housing terms.

DESIGN CONTROLS

UNIVERSAL DESIGN CONTROLS*

Total Project Area	11.74 acres
Maximum Built-Up Area	70% of gross site acreage
Minimum Resource Conservation Area	25% of gross site acreage

RESIDENTIAL DISTRICT DESIGN CONTROLS

Proposed Land Area	Maximum 6.87 acres
Maximum Residential Density	160 units
Required District Boundary Buffers	
Side Buffer	20 ft. Type A
Rear Buffer	20 ft. Type A
Front Buffer	None
Corner Side Buffer (Jenks Road)*	30 ft Type E Thoroughfare Buffer, Undisturbed / 50' Type E Thoroughfare Buffer, Disturbed
Minimum Setbacks**	
Front Setback***	None
Side Setback	10 ft.
Rear Setback	10 ft.
Corner Side Setback (Jenks Road)	10 ft.
Maximum Height	60 ft. (5 stories)

* Only along Jenks Road frontage.

** Notwithstanding any contrary UDO provision or language in this PUD, if the Property is subdivided, there shall be no minimum setback or buffer requirement along the future shared property line between the Residential District and the Commercial District.

***Measured from Residential/Commercial District boundary

COMMERCIAL DISTRICT DESIGN CONTROLS

Proposed Land Area	Minimum 3.522 acres
Required District Boundary Buffers	
Side Buffer	20 ft. Type A
Rear Buffer	None
Front Buffer	30 ft. Type E Thoroughfare Buffer, Undisturbed / 50' Type E Thoroughfare Buffer, Disturbed
Minimum Setbacks*	
Front Setback (Jenks Road)	10 ft.
Side Setback	10 ft.
Rear Setback**	10 ft.
Corner Side Setback	10 ft.
Maximum Height	50 ft.

*Notwithstanding any contrary UDO provision or language in this PUD, if the Property is subdivided, there shall be no minimum setback or buffer requirement along the future shared property line between the Residential District and the Commercial District.

**Measured from Residential/Commercial District boundary

LANDSCAPING, BUFFERING, AND SCREENING

All landscaping for this PUD shall comply with Section 8.2 Landscaping, of the Town of Apex UDO. Refer to PUD Preliminary Layout Plan for perimeter and streetscape buffers. In the event that the Commercial District and Residential District are subdivided, Buffers and screening shall not be required along the shared property line between the Residential District and the Commercial District.

ARCHITECTURAL STANDARDS

Arden at Summit Pines offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Elevations included are conceptual examples. Final elevations must comply with these architectural standards but may vary from the conceptual elevations. Further details shall be provided at the time of Residential Master Subdivision Plan or Site Plan submittal.

Residential areas envisioned for Arden at Summit Pines will be comprised of age restricted congregate care style units with controlled access, interior corridors and elevators. While each of the architectural offerings proposed will have their own identity, a number of common threads will link the neighborhood, including color palettes, materials, and roofing. Elevations have been included below in an effort to represent the bulk, massing, scale, and architectural style of the development.

RESIDENTIAL DISTRICT DESIGN GUIDELINES

- Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
- Four of the following decorative features shall be used on each building:
 - decorative shake
 - board and batten siding
 - decorative porch rails and posts
 - shutters
 - decorative functional foundation and roof vents
 - decorative windows
 - decorative brick or stone
 - decorative gables
 - decorative cornices
 - metal roofing

PROPOSED RESIDENTIAL MATERIALS

Proposed materials and styles will be of a similar palette to provide consistency of character along with visual interest. Exterior materials that may be incorporated into any of the residential building products include:

- Cementitious lap, board and batten, and/or shake and shingle siding
- Stone or synthetic stone
- Brick

ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

Additional building materials may be included with administrative staff approval. Substitute materials shall be allowed by staff as long as they are determined by the Director of Planning and Community Development to be substantially similar.

REPRESENTATIVE RESIDENTIAL BUILDING ELEVATIONS



COMMERCIAL DISTRICT DESIGN GUIDELINES

- Architectural treatments such as varying roof forms, façade articulation, breaks in roof, walls with texture materials and ornamental details shall be incorporated to add visual interest.
- Large expanses of blank walls, greater than 25' in length or height, shall be broken up with windows or other architectural features to reduce visual impacts.
- Roof features may include flat roofs with parapet, hip roofs or awnings with metal or canvas material.

Windows and storefront glazing shall be divided to be either square or vertical in proportion so that each section is taller than it is wide.

PROPOSED COMMERCIAL DISTRICT MATERIALS

Non-residential exteriors shall incorporate variation in materials. The primary (front) façade and other façades located along a public right-of-way may include:

- Brick and/or stone masonry
- Decorative concrete block (integral color or textured)
- Stone accents
- Aluminum storefronts with anodized or pre-finished colors
- EIFS cornices, and parapet trim
- EIFS or synthetic stucco shall not be used in the first four feet above grade and shall be limited to only 25% of each building façade
- Precast concrete
- Soffit and fascia materials to be considered include EIFS with crown trim elements
- Cementitious siding

Rear elevations of non-residential buildings facing opaque landscape buffers or not visible from vehicular use areas or public rights-of-way may incorporate decorative concrete masonry, metal coping, or EIFS trim.

REPRESENTATIVE COMMERCIAL DISTRICT BUILDING ELEVATIONS



PARKING AND LOADING

Development in the Residential District shall include a minimum of 1 and a maximum of 1.5 off-street motor vehicle parking spaces per dwelling unit. Development in the Residential District shall include a minimum of 6 bicycle parking spaces. Development in the Commercial District shall comply with parking requirements in Section 8.3 of the UDO.

SIGNAGE

Signage shall comply with UDO Section 8.7.

NATURAL RESOURCES AND ENVIRONMENTAL DATA

RIVER BASINS AND WATERSHED PROTECTION OVERLAY DISTRICTS

This project is located within the Beaver Creek and White Oak Creek Drainage Basins. Accordingly, the Property is within the Primary Watershed Protection Overlay District as shown on the Town of Apex Watershed Protection Map. This PUD will comply with all built upon area, vegetated conveyances, structural SCMs and riparian stream buffer requirements of UDO Section 6.1.7.

Resource Conservation Areas (RCA)

The Development shall include a minimum of 25% RCA. RCA area shall comply with Section 8.1 of the UDO.

Floodplain

The project site does not sit within a designated current or future 100 year floodplain as shown on the Town of Apex FEMA map and FIRM Panel 3720073100J, dated May 2, 2006.

Historic Structures

The Property is currently vacant and there are no known historic structures present within the project boundary.

Environmental Commitments Summary

The following environmental conditions shall apply to the Development:

- A minimum of two (2) educational signs about wetlands shall be installed near environmentally sensitive areas;
- A minimum of two (2) pet waste stations shall be installed within the Residential District;
- Solar conduit shall be included in Residential District building designs;

- Light sensors shall be installed on exterior lights within the Residential District; and
- Outdoor lighting within the Residential District shall be shielded in a way that focuses lighting to the ground.
- The project shall install conduit for solar energy systems for all residential and accessory buildings. These roofs shall also be engineered to support the weight of a future rooftop solar PV system.
- The project commits to planting only native plants. Landscaping shall be coordinated and approved by the Planning Department at site or subdivision review.

STORMWATER MANAGEMENT

The Development shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO such that:

- Post development peak runoff shall not exceed pre-development peak runoff conditions for the one (1) year, ten (10) year, and Twenty-four (24)-hour storm events.
- Treatment for the first one inch (1”) of runoff will provide 85% removal of total suspended solids.

Acceptable stormwater structures shall include detention ponds, constructed wetlands, bio-retention areas, or other approved devices consistent with the NC DEQ Stormwater Design Manual and the Town of Apex UDO.

PARKS AND RECREATION

Arden at Summit Pines was reviewed by the Parks, Recreation, and Cultural Resources Advisory Commission at its February 23, 2022 meeting. The Commission recommended the following fee-in-lieu for the project:

Number of Units*	Housing Type	Fee Per Unit**	Total Fees
160	Multifamily or Apartment	\$2226.05	\$356,168.00

*Final unit count will be determined at the time of Master Subdivision.

**Fees are based upon approval date and run with project.

PUBLIC FACILITIES

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4(F)(1)(f) and shall be designed according to sound engineering standards. Road and utility infrastructure shall be as follows:

GENERAL ROADWAY INFRASTRUCTURE

Except as set forth herein, all proposed roadway infrastructure and right-of-way dedications will be consistent with the Town of Apex Comprehensive Transportation Plan and Bicycle and Pedestrian System Plan in effect as of the submission date of this rezoning.

TRANSPORTATION IMPROVEMENTS

The following conditions regarding transportation improvements apply and shall be completed in the first phase 1 of development:

- Jenks Road and Lowell Road / Site Drive 1
 - Construct an eastbound approach (Site Drive 1) with one ingress lane and two egress lanes, striped as a left-turn lane with at least 75 feet of storage and a shared through/right-turn lane.
 - Provide a northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.
 - Provide stop control at the eastbound approach.
- Jenks Road and Site Drive 2
 - Construct a right-in/right-out southbound approach with one ingress lane and one egress lane and a monolithic concrete median island based on NCDOT standards in the center lane of Jenks Road to prohibit left turning traffic..
 - Provide stop control at the southbound approach.
- Construct and dedicate roadway frontage widening along Jenks Road consisting of the remaining half of a four-lane divided roadway with curb and gutter and minimum 5-foot sidewalk based on Apex and NCDOT standards on a minimum 110' public right-of-way typical section.
- Construct and dedicate a public street from Jenks Road at Lowell Road to the western property boundary, providing public access to the west from Jenks Road, based on a 27' curb & gutter typical section with minimum 5-foot sidewalks on both sides on a minimum 50-foot public right-of-way.

WATER AND SANITARY SEWER

All lots within the project will be served by Town of Apex for water and sanitary sewer. The utility design will be finalized at the time of Master Subdivision Plan or Site Plan approval and be based on available facilities adjacent to the site at that time. The design will meet the current Town of Apex master plans for water and sewer.

OTHER UTILITIES

Electricity will be provided by Apex Electric. Phone, cable, and gas will provided by the Developer and shall meet UDO standards.

PHASING

The Development will be completed in up to three phases. Final locations of phases will be determined at the time of Master Subdivision Plan Review and Approval. Provided, however that the Development may be completed in more than three phases or less than three phases.

CONSISTENCY WITH LAND USE PLAN

The proposed land use will be consistent with Advance Apex 2045: The Apex Comprehensive Plan, adopted in February 2019, upon approval of this PUD. The Future Land Use Map designates the Property as Office Employment/Commercial Services and this PUD updates the designation to Office Employment/Commercial Services/High Density Residential.

COMPLIANCE WITH UDO

The development standards adopted for this PUD are in compliance with those set forth in the current version of the Town's Unified Development Ordinance (UDO). This PUD shall be the primary governing document for the development of Arden at Summit Pines. All standards and regulations in this PUD shall control over general standards of the UDO. Provided, however, that if a specific regulation is not addressed in this PUD, UDO regulations shall control.

SITE DATA:

PIN: 0722577336
 PROPERTY OWNER: R. MICHAEL STRICKLAND, TRUSTEE OF FAMILY TRUST(WILL OF C H YOUNG JR)
 TOTAL ACRES: 11.74 AC
 CURRENT ZONING: RR
 PROPOSED ZONING: PUD-CZ
 ROW DEDICATION: 32,325 SF / 0.74 AC
 GROSS SITE AREA: 511,581 SF / 11.74 AC
 RCA REQUIRED: 511,581 SF X 25% = 127,895.25 SF
 RCA PROVIDED: 127,940 SF (25.01%)
 MAXIMUM RESIDENTIAL LAND AREA: 6.87 AC
 MAXIMUM RESIDENTIAL DENSITY: 160 UNITS
 MINIMUM RESIDENTIAL SETBACKS:
 FRONT* NONE
 SIDE 10 FT
 REAR 10 FT
 CORNER (JENKS ROAD) 10 FT
 MAXIMUM RESIDENTIAL BUILDING HEIGHT: 60 FT (5 STORIES)
 MINIMUM COMMERCIAL LAND AREA: 3.52 AC
 MINIMUM COMMERCIAL SETBACKS:
 FRONT (JENKS ROAD) 10 FT
 SIDE 10 FT
 REAR* 10 FT
 CORNER 10 FT
 MAXIMUM COMMERCIAL BUILDING HEIGHT: 50 FT
 * MEASURED FROM RESIDENTIAL/COMMERCIAL DISTRICT BOUNDARY
 CURRENT 2045 LAND USE MAP DESIGNATION: OFFICE EMPLOYMENT COMMERCIAL SERVICES
 PROPOSED 2045 LAND USE MAP DESIGNATION: OFFICE EMPLOYMENT COMMERCIAL SERVICES HIGH DENSITY RESIDENTIAL
 AREA DESIGNATED AS MIXED USE ON 2045 LUM: NONE
 AREA OF MIXED USE PROPERTY PROPOSED AS NON-RESIDENTIAL DEVELOPMENT: 37.5%
 MAXIMUM BUILT UPON AREA: 8.22 AC (70%)
 PROPOSED BUILT UPON AREA: 8.22 AC (70%)
 REQUIRED RESIDENTIAL PARKING SPACES: 1 PER DWELLING UNIT (MINIMUM)
 REQUIRED NON-RESIDENTIAL PARKING SPACES: 1.5 PER DWELLING UNIT (MAXIMUM) SHALL COMPLY WITH UDO SECTION 8.3
 REQUIRED BICYCLE PARKING: SHALL COMPLY WITH UDO SECTION 8.3
 WATERSHED PROTECTION OVERLAY DISTRICT: PRIMARY
 FEMA FLOODPLAIN: ZONE X
 MAP NO. 3720072200J EFFECTIVE 5/2/2006
 HISTORIC STRUCTURES: NONE
 GRADING: MASS GRADING

ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

1/3/2022

REVISED: 04/27/2022

PREPARED FOR:

OWNER/DEVELOPER

FC APEX, LLC

7315 WISCONSIN AVE., SUITE 925W

BETHESDA, MD 20814

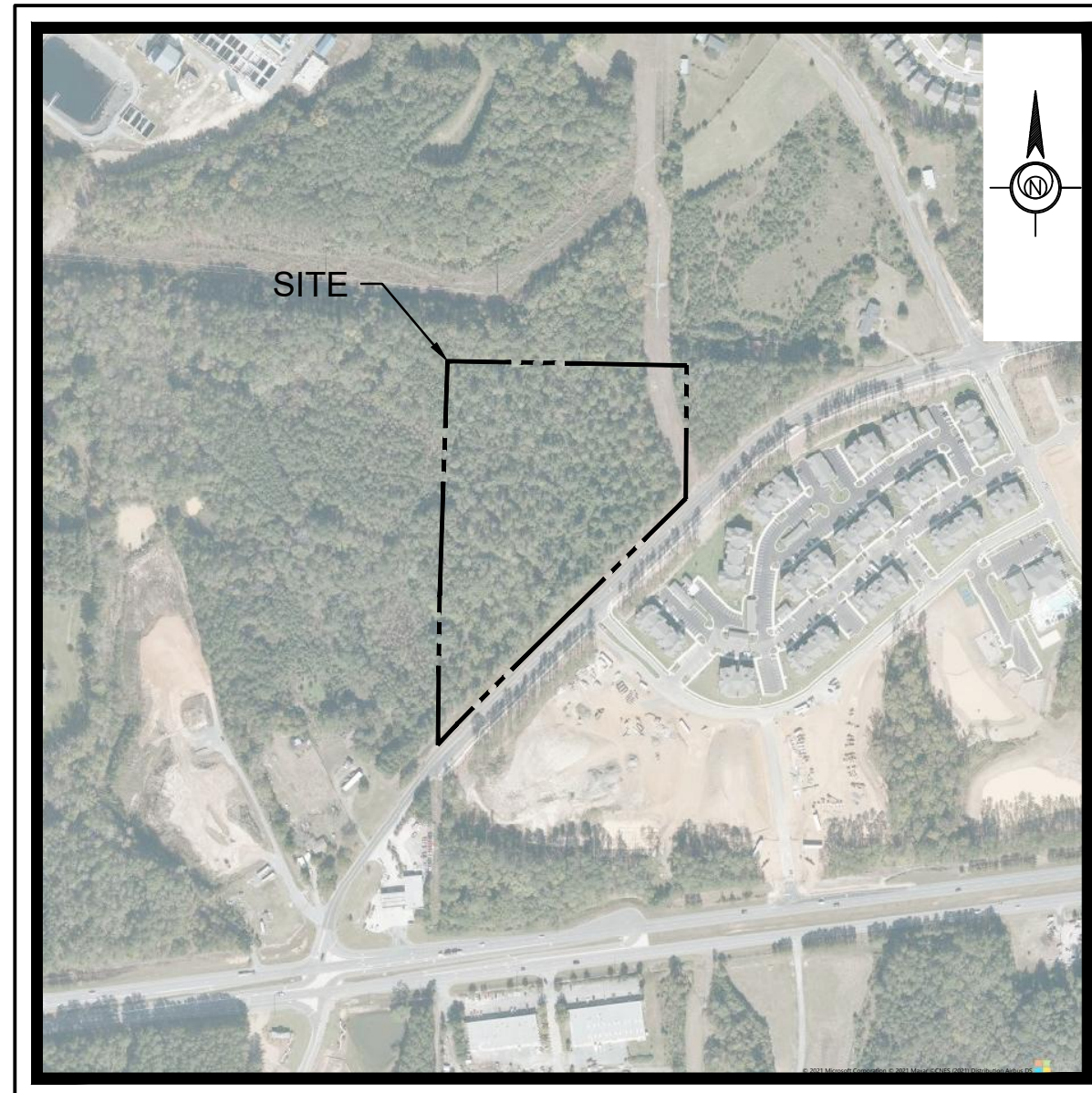
Sheet List Table	
Sheet Number	Sheet Title
CS0001	COVER SHEET
CS0201	EXISTING CONDITIONS
CS1001	PRELIMINARY SITE PLAN
CS1002	PHASING PLAN
CS1701	PRELIMINARY UTILITY PLAN
CS1702	PRELIMINARY STORMWATER MANAGEMENT PLAN



CONTACTS

DEVELOPER: FC APEX, LLC
 7315 WISCONSIN AVE., SUITE 925W
 BETHESDA, MD 20814
 PHONE: (301) 654-8801
 ATTN: KEVIN WOODLEY
 kwoodley@buvermo.com

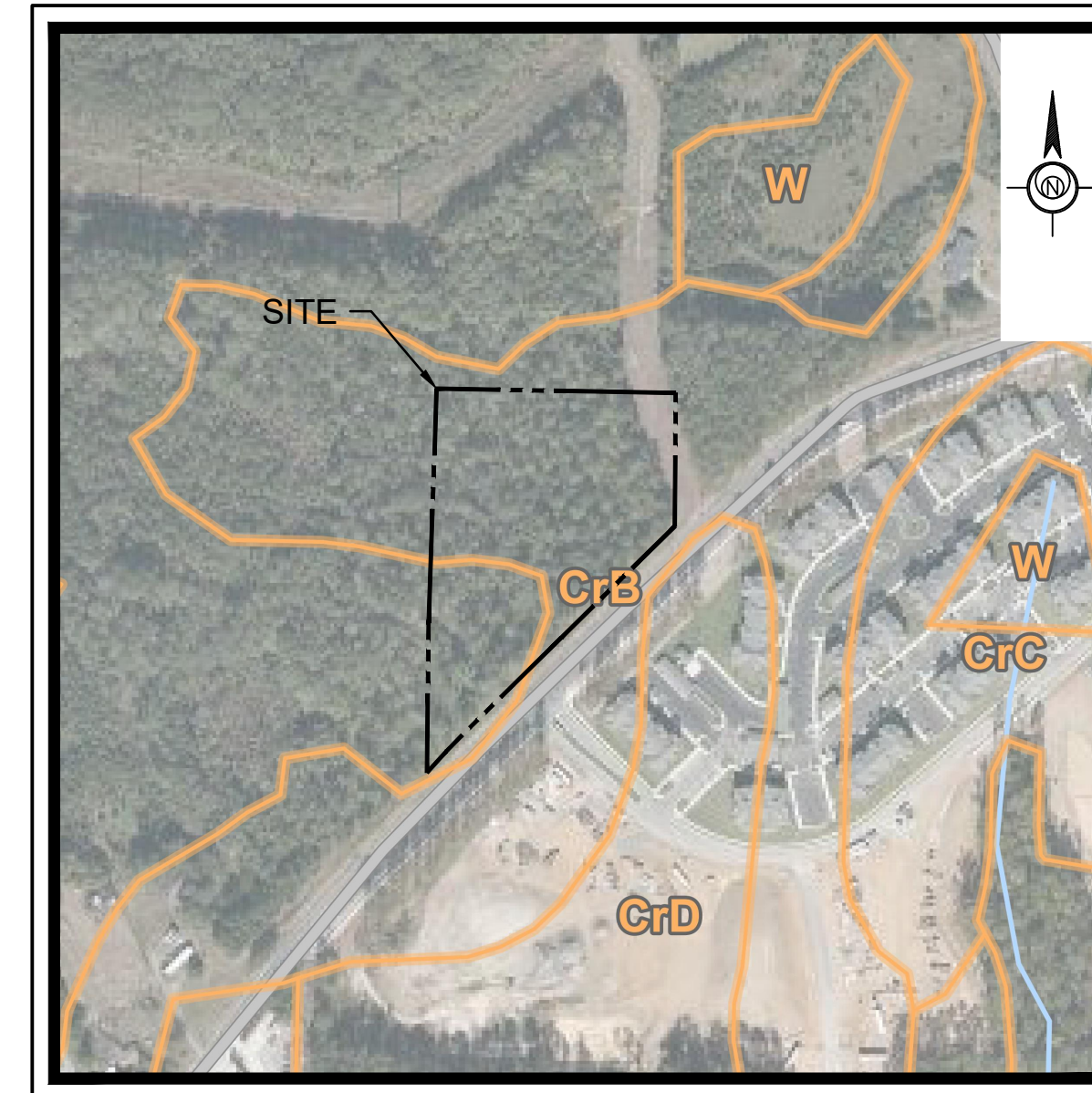
CIVIL ENGINEER: ESE OF NORTH CAROLINA, PC
 5400 TRINITY ROAD, SUITE 204
 RALEIGH, NC 27607
 PHONE: (704) 497-0983
 ATTN: SCOTT KRUSELL, PE
 skrusell@eseconsultants.com



AERIAL MAP
 1" = 500'



LOCATION MAP
 1" = 2000'



SOILS MAP
 1" = 500'

PREPARED BY:

ESE CONSULTANTS

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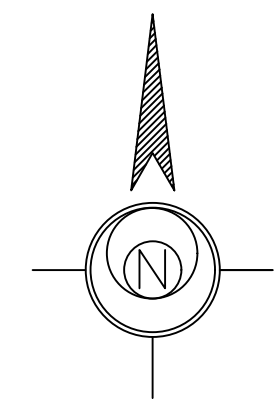
ESE of North Carolina, PC
 5400 Trinity Road • Suite 204
 Raleigh, NC 27607
 T: 919-321-4800
 License # C-2973

REV	DATE	DESCRIPTION
4	04/27/2022	REVS PER TOWN COMMENTS
3	04/19/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

COVER SHEET
 ARDEN AT SUMMIT PINES
 PLANNED UNIT DEVELOPMENT
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

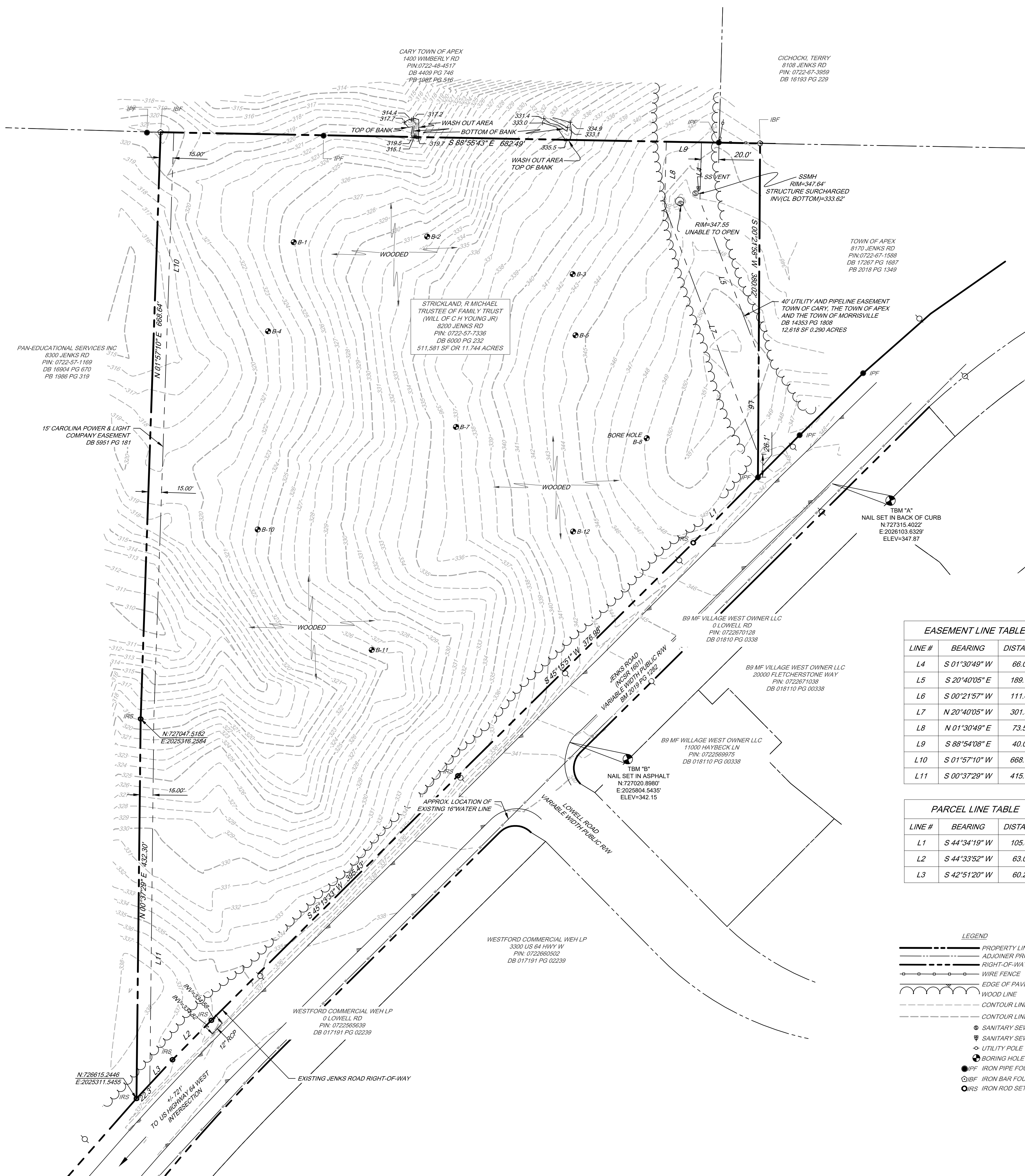
DATE: 1/3/2022	SCALE: N.T.S.
DESIGN: BM	DRAWN: KNB
JOB NO.: 21284	FILE NAME: BLUVERMO
SHEET NO.: CS0001	





NOTES:

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY PENNONI ASSOCIATES INC. DATED 9/27/21.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
- THIS SITE IS NOT LOCATED IN THE 100-YEAR FLOODPLAIN PER FEMA FIRM PANEL 372007220J EFFECTIVE 5/02/2006.
- BASED UPON A JURISDICTIONAL DETERMINATION REQUEST, FILED WITH USAGE ON 9/08/21 AND CONCURRENCE EMAIL ON 09/13/21 BY LYLE PHILLIPS OF USAGE, STREAMS AND WETLANDS WERE NOT IDENTIFIED DURING THE DELINEATION (SAW-2021-01939).
- PROPEY DESCRIPTIONS SOUTH OF JENKS ROAD BASED ON WAKE COUNTY IMAPS DATA.



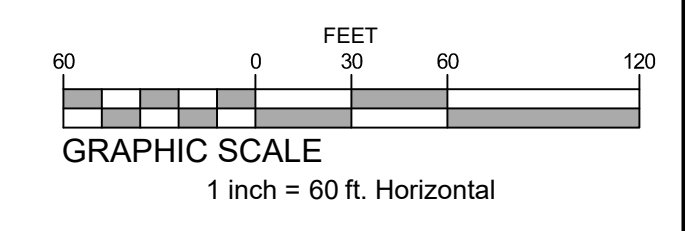
EASEMENT LINE TABLE

LINE #	BEARING	DISTANCE
L4	S 01°30'49" W	66.02'
L5	S 20°40'05" E	189.73'
L6	S 00°21'57" W	111.45'
L7	N 20°40'05" W	301.59'
L8	N 01°30'49" E	73.57'
L9	S 88°54'08" E	40.00'
L10	S 01°57'10" W	668.70'
L11	S 00°37'29" W	415.60'

PARCEL LINE TABLE

LINE #	BEARING	DISTANCE
L1	S 44°34'19" W	105.01'
L2	S 44°33'52" W	63.09'
L3	S 42°51'20" W	60.24'

- LEGEND**
- PROPERTY LINE
 - - - ADJOINER PROPERTY LINE
 - - - RIGHT-OF-WAY LINE
 - - - WIRE FENCE
 - - - EDGE OF PAVEMENT
 - - - WOOD LINE
 - - - CONTOUR LINE MINOR
 - - - CONTOUR LINE MAJOR
 - SANITARY SEWER MANHOLE
 - ⊕ SANITARY SEWER VENT
 - UTILITY POLE
 - BORING HOLE
 - IPF IRON PIPE FOUND
 - IBF IRON BAR FOUND
 - IRS IRON ROD SET



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ESE of North Carolina, PC
 5400 RAINING WINDS DRIVE 204
 RALEIGH, NC 27609
 TEL: 919-321-4800
 License # C-2973

REV.	DATE	DESCRIPTION
4	04/27/2022	REVS PER TOWN COMMENTS
3	04/09/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

EXISTING CONDITIONS

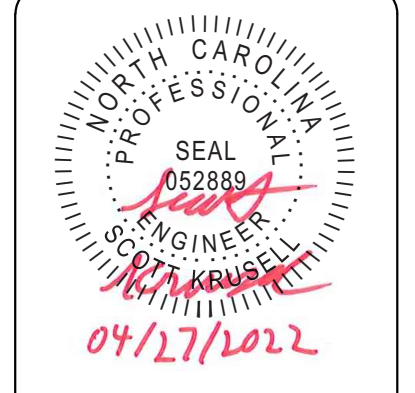
ARDEN AT SUMMIT PINES
 PLANNED UNIT DEVELOPMENT
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: 1" = 60'
DESIGN: BM	DRAWN: KNB
JOB NO.: 21284	FILE NAME: BLUVERMO
SHEET NO.: CS0201	

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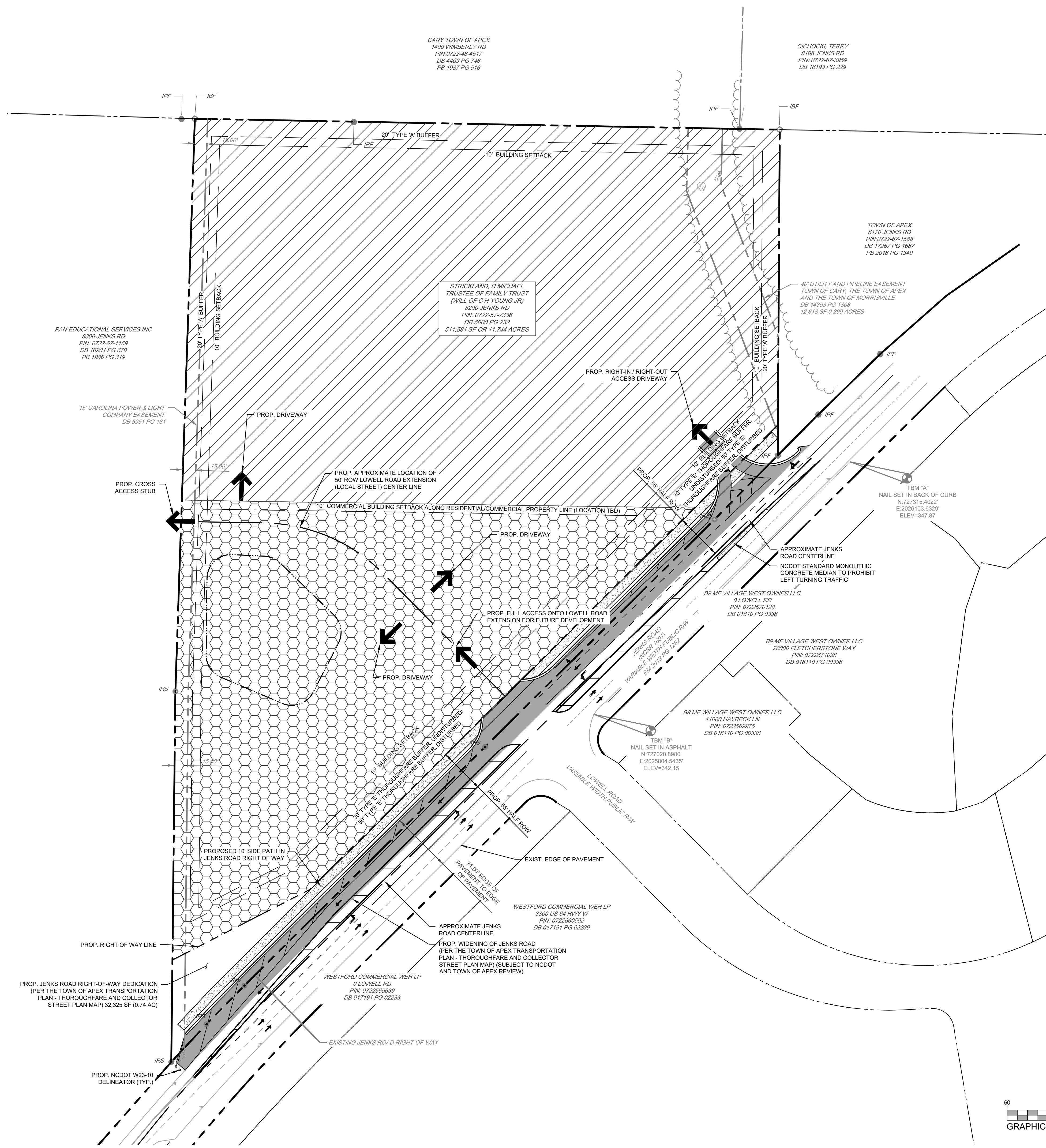


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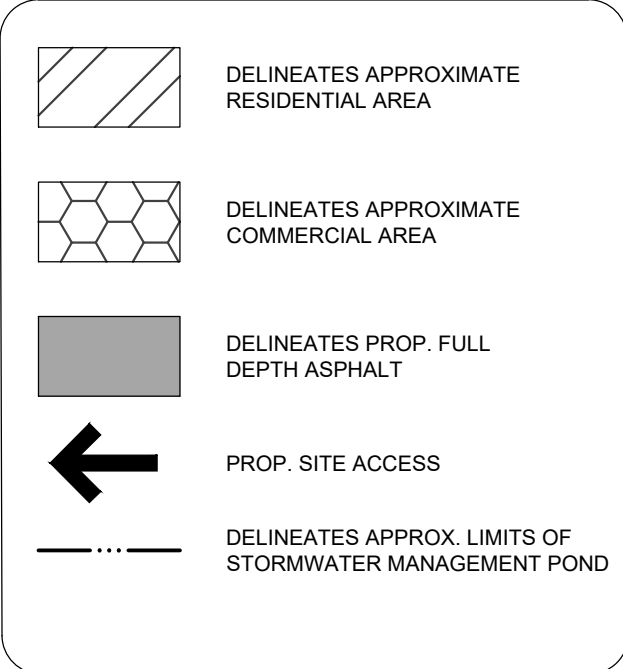
ESE of North Carolina, PC
 5400 North Hargett Street, Suite 204
 Raleigh, NC 27607
 Tel: 919-371-4800
 License # C-2973

NOTES:

- REFER TO THE PUD DOCUMENT (SECTION PERMITTED USES) FOR A COMPLETE LIST OF ALLOWABLE USES FOR EACH TRACT OR DEVELOPMENT AREA.
- PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICE. SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS ETC.) SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDINGS WITHIN THAT PHASE.
- NO SIGNS ARE APPROVED AS PART OF PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED. MULTIPLE USE LOTS, NON-RESIDENTIAL SUBDIVISIONS, AND MULTIPLE TENANT LOTS MUST SUBMIT A MASTER SIGN PLAN FOR APPROVAL.
- THE FINAL WIDTH OF THE BUFFERS SHALL MEET THE TOWN OF APEX DEVELOPMENT STANDARDS (SEC. 8.2.6 OF THE UDO).
- PROVIDE 5' MINIMUM PEDESTRIAN CONNECTION BETWEEN THE INTERNAL PUD PEDESTRIAN NETWORK.
- SHOWN JENKS ROADWAY IMPROVEMENTS ARE PRELIMINARY. FINAL IMPROVEMENTS TO BE REVIEWED AND APPROVED BY NCDOT AND TOWN OF APEX.
- PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.



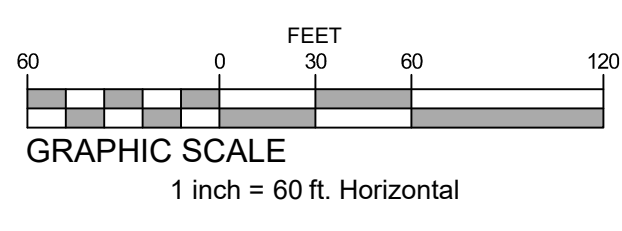
LEGEND



REV	DATE	DESCRIPTION
4	04/27/2022	REVS PER TOWN COMMENTS
3	04/09/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

PRELIMINARY SITE PLAN
ARDEN AT SUMMIT PINES
 PLANNED UNIT DEVELOPMENT
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE:	1/3/2022	SCALE:	1" = 60'
DESIGN:	BM	DRAWN:	KNB
JOB NO.:	21284	FILE NAME:	BLUVERMO
SHEET NO.:	CS1001		



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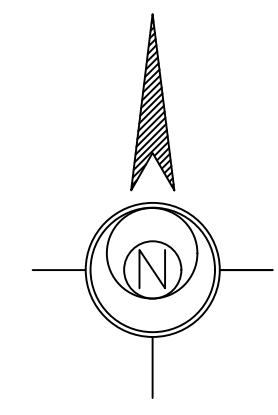


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ESE of North Carolina, PC
 5400 University Center 204
 Raleigh, NC 27606
 T: 919-321-4800
 License # C-2973



PHASING NOTES:

OFF-SITE ROADWAY IMPROVEMENTS:

1. A TRAFFIC IMPACT ANALYSIS (TIA) FOR THE ENTIRE DEVELOPMENT IS UNDER REVIEW BY THE TOWN OF APEX AND THE NCDOT. RECOMMENDATIONS FOR ACCESS AND ROADWAY IMPROVEMENTS REQUIRED TO SUPPORT THE ENTIRETY OF THE PROPOSED DEVELOPMENT PROGRAM ARE INCLUDED IN THE TIA.
2. AGREED UPON ACCESS AND ROADWAY IMPROVEMENTS NECESSARY TO SUPPORT EACH DEVELOPMENT TRACT, MUST BE IN PLACE PRIOR TO THE INITIAL CERTIFICATE OF OCCUPANCY (CO) FOR EACH RESPECTIVE PHASE OR TRACT ASSOCIATED WITH THOSE IMPROVEMENTS UNLESS AN ALTERNATE TRIP THRESHOLD ANALYSIS IS PROVIDED. ALL PHASING IMPROVEMENTS ARE SUBJECT TO FINAL APPROVAL FROM NCDOT.

PHASING OF UTILITY INFRASTRUCTURE IMPROVEMENTS:

1. SANITARY SEWER SERVICE WILL BE STUBBED FROM THE OFF-SITE INTERCEPTOR AND WILL BE DISTRIBUTED THROUGHOUT THE DEVELOPMENT BASED ON THE FINAL UTILITY PLAN.
2. WATER SERVICE WILL BE INSTALLED ALONG LOWELL ROAD EXTENSION AT SUCH TIME THAT WATER FLOWS REQUIRE THE SUBJECT INFRASTRUCTURE.

PHASING OF RESOURCE CONSERVATION AREAS (RCA): RCA AREAS ASSOCIATED WITH THE DEVELOPMENT PARCELS WILL BE DEFINED AND PLATTED AS REQUIRED IN SECTION 8.1 OF THE UDO AND AS PROVIDED FOR WITHIN THE PUD.

1. REQUIRED LANDSCAPING, BUFFERING, AND SCREENING ASSOCIATED WITH THE OVERALL PUD WILL BE PROVIDED IN CONJUNCTION WITH THE SUBDIVISION OF EACH INDIVIDUAL DEVELOPMENT TRACT SUCH THAT CUMULATIVELY, THE TOTAL AMOUNT OF RCA FOR THE PUD WILL EQUAL TO OR GREATER THAN 25% AT BUILD-OUT.
2. RCA AREAS ASSOCIATED WITH THE PERIMETER PROPERTY BOUNDARIES OF THE PROJECT WILL BE ESTABLISHED, AND PLATTED WITH THE FIRST SUBDIVISION OR SITE PLAN APPLICATIONS.
3. RCA FOR DEDICATED OPEN SPACE SHALL BE DELINEATED AND PLATTED IN CONJUNCTION WITH THE FIRST SUBDIVISION OR SITE PLAN APPLICATION.

PHASING OF STREETScape IMPROVEMENTS: LANDSCAPING AND SIDEWALKS ASSOCIATED WITH REQUIRED STREETScape IMPROVEMENTS SHALL BE INSTALLED ALONG, AND LIMITED TO, THE FRONTAGE OF EACH DEVELOPMENT TRACT ADJACENT TO JENKS ROAD IN CONJUNCTION WITH EACH RESPECTIVE SUBDIVISION OR SITE PLAN APPLICATION.

PHASING OF BUFFER PLANTINGS: BUFFER PLANTINGS, WHERE REQUIRED, SHALL BE PLANTED IN CONJUNCTION WITH, AND LIMITED TO THE DEVELOPMENT TRACT FRONTAGE, FOR EACH APPROVED SUBDIVISION OR SITE PLAN APPLICATION.

PHASING OF ROADWAY IMPROVEMENTS: A TRAFFIC IMPACT ANALYSIS (TIA) FOR THE ENTIRE DEVELOPMENT IS IN REVIEW BY THE TOWN OF APEX AND THE NCDOT. RECOMMENDATIONS FOR ACCESS AND ROADWAY IMPROVEMENTS REQUIRED TO SUPPORT THE ENTIRETY OF THE PROPOSED DEVELOPMENT PROGRAMS ARE INCLUDED IN THE TIA.

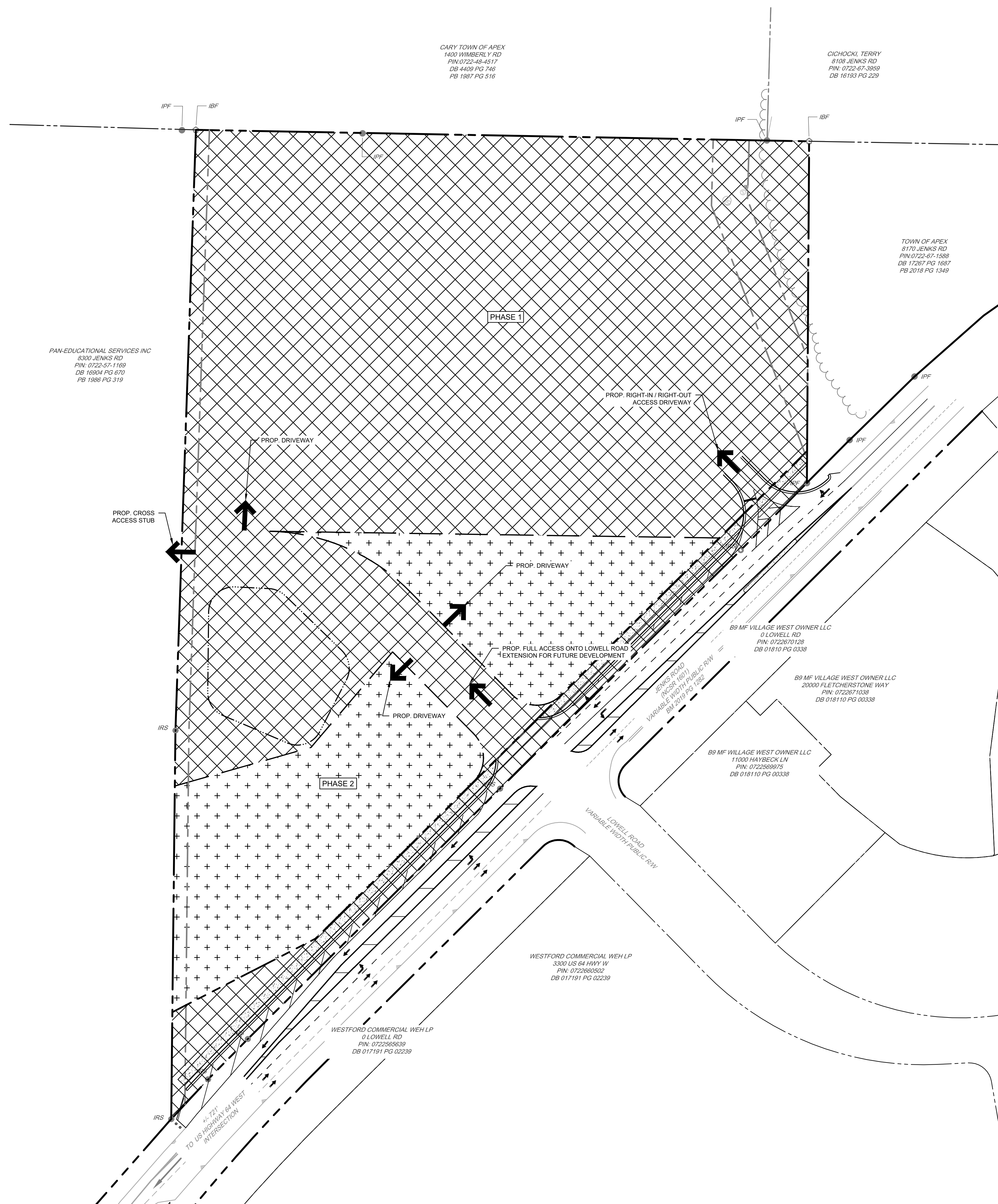
VARIOUS PORTIONS OF THE COMMITTED IMPROVEMENTS MAY BE REQUIRED TO ADEQUATELY SERVE NEW DEVELOPMENT AS IT COMES ON LINE AND PRIOR TO TOTAL PROJECT BUILD-OUT. EACH SITE PLAN APPLICATION WITHIN THE PUD SHALL BE REQUIRED TO SUBMIT A TRANSPORTATION MEMO, WITH REFERENCE TO THE APPROVED TIA, FOR REVIEW BY THE TOWN OF APEX, AND DETERMINATION AS TO THE APPROPRIATE ROADWAY IMPROVEMENTS NEEDED TO SERVE THE USE AND INTENSITY OF DEVELOPMENT PROPOSED AT THAT TIME, AS WELL AS DEVELOPMENT ALREADY IN PLACE WITHIN THE PUD, FOR EACH SUBSEQUENT SITE PLAN APPLICATION UNTIL FULL IMPLEMENTATION OF REQUIRED IMPROVEMENTS. AGREED UPON IMPROVEMENTS MUST BE IN PLACE PRIOR TO INITIAL CERTIFICATE OF OCCUPANCY FOR EACH RESPECTIVE PHASE OR TRACT ASSOCIATED WITH THOSE IMPROVEMENTS UNLESS AN ALTERNATE TRIP ANALYSIS IS PROVIDED. ALL PHASING IMPROVEMENTS ARE SUBJECT TO FINAL APPROVAL FROM NCDOT.

PAN-EDUCATIONAL SERVICES INC
 4300 JENKS RD
 PIN: 0722-57-1169
 DB 16904 PG 670
 PB 1986 PG 319

CARY TOWN OF APEX
 1400 WIMBERLY RD
 PIN: 0722-48-4517
 DB 4409 PG 746
 PB 1987 PG 516

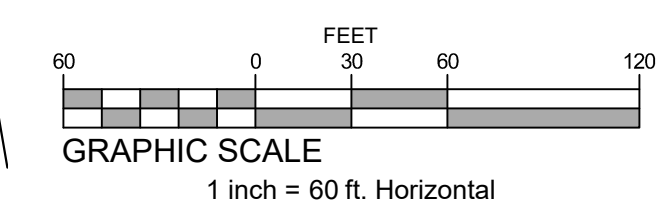
CICHOCKI TERRY
 8108 JENKS RD
 PIN: 0722-67-3959
 DB 16183 PG 229

TOWN OF APEX
 8170 JENKS RD
 PIN: 0722-67-1598
 DB 17267 PG 1687
 PB 2018 PG 1349



LEGEND

- DELINEATES PHASE 1
- DELINEATES PHASE 2
- PROP. SITE ACCESS
- DELINEATES APPROX. LIMITS OF STORMWATER MANAGEMENT POND



REV	DATE	DESCRIPTION	SAK
4	04/27/2022	REVS PER TOWN COMMENTS	SAK
3	04/09/2022	REVS PER TOWN COMMENTS	SAK
2	03/11/2022	REVS PER TOWN COMMENTS	SAK
1	02/11/2022	REVS PER TOWN COMMENTS	SAK

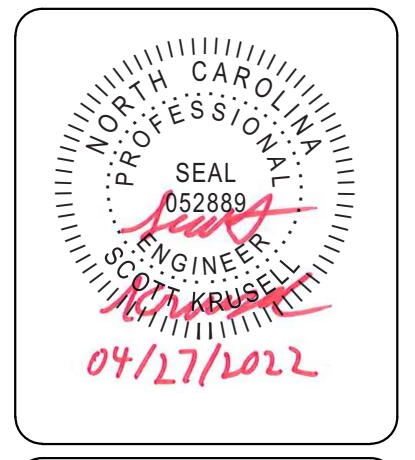
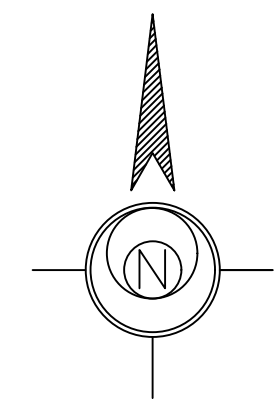
PHASING PLAN
 ARDEN AT SUMMIT PINES
 PLANNED UNIT DEVELOPMENT
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: 1" = 60'
DESIGN: BM	DRAWN: KNB
JOB NO.: 21264	FILE NAME: BLUVERMO
SHEET NO.: CS1002	

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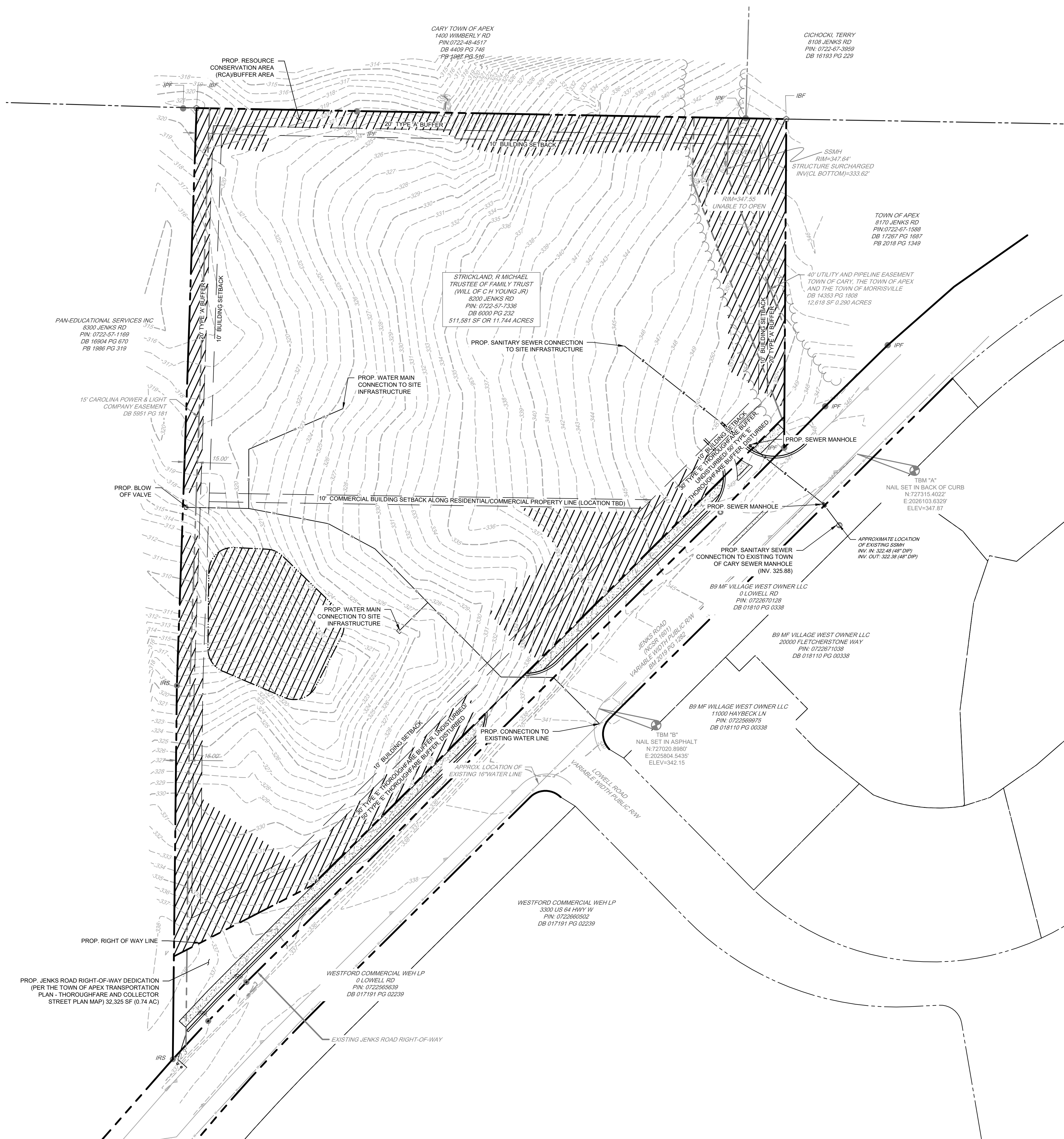


NOT FOR CONSTRUCTION



UTILITY NOTES:

1. WATER AND SEWER UTILITY MAINS WILL BE OWNED BY THE TOWN OF APEX.
2. UTILITY LAYOUT FOR WATER AND SEWER IS CONCEPTUAL. FINAL DESIGN WILL BE DETERMINED IN CONJUNCTION WITH THE OVERALL DEVELOPMENT PLAN AND DESIGNED PER THE TOWN OF APEX STANDARDS AND SPECIFICATIONS.
3. WATER SERVICE WILL BE STUBBED AT THE PROPERTY LINE FROM LOWELL ROAD EXTENSION.
4. SANITARY SEWER SERVICE WILL BE STUBBED FROM THE ON-SITE INTERCEPTOR AND WILL BE DISTRIBUTED THROUGHOUT THE DEVELOPMENT BASED ON THE FINAL UTILITY PLAN.
5. CONTACT RODNEY SMITH, TOWN OF APEX ELECTRIC UTILITIES DIVISION, AT 362-8166 FOR ELECTRIC SERVICE (TEMPORARY AND PERMANENT).
6. ALL UTILITY EASEMENTS SHALL BE PROVIDED AS NECESSARY. DELINEATIONS WILL BE DETERMINED WITH FINAL DESIGN AT SITE PLAN STAGE.
7. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY PENNONI ASSOCIATES INC. DATED 9/27/21.



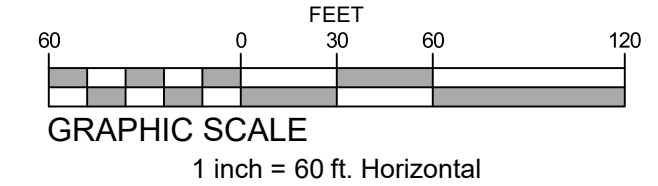
ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

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 5400 University Center 204
 Raleigh, NC 27606
 Tel: 919-321-4800
 License # C-2973

REV	DATE	DESCRIPTION
4	04/27/2022	REV'S PER TOWN COMMENTS
3	04/09/2022	REV'S PER TOWN COMMENTS
2	03/11/2022	REV'S PER TOWN COMMENTS
1	02/11/2022	REV'S PER TOWN COMMENTS

PRELIMINARY UTILITY PLAN
 ARDEN AT SUMMIT PINES
 PLANNED UNIT DEVELOPMENT
 8200 JENKS ROAD

DATE:	1/3/2022	SCALE:	1" = 60'
DESIGN:	BM	DRAWN:	KNB
JOB NO.:	21284	FILE NAME:	BLUVERMO
SHEET NO.:	CS1701		



Apr 27, 2022 - 10:39 am - N:\Projects\North Carolina\21284-2200 - Jaks Road (Blueremo Intersectments)\02\Drawings\021701-0000 - 0000.dwg 20/02/22



NOT FOR CONSTRUCTION

