

IMPORTANT NOTE:
ALL OPEN SPACE AND COMMON AREAS WILL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION FOR MAINTENANCE.

BUILDING SETBACK SUMMARY:

FRONT: 25'
REAR: 20'
SIDE: 6' MINIMUM
16' TOTAL
MAXIMUM BUILDING HEIGHT: 40'
MAXIMUM BUILDING COVERAGE: 60% MAXIMUM

NOTE: LOT SETBACKS WILL CONFORM TO TOWN OF APEX UDO TABLE 5.1.1 'RESIDENTIAL DISTRICTS'.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF APEX STANDARDS AND SPECIFICATIONS.

PARKING CALCULATIONS:

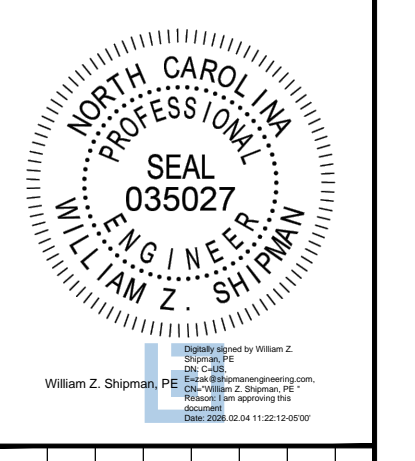
TOTAL REQUIRED PARKING: 2 SPACE PER DWELLING UNIT + 1 SP/CBU
REQUIRED NUMBER OF SPACES: 2 SP/UNIT @ 3 UNITS = 6 SPACES (MIN)+ 1 SP/ CBU = 7 SP. TOTAL
125% OF MIN= 8 SPACES (MAXIMUM)
TOTAL PROVIDED SPACES: 1 CAR GARAGE MINIMUM + 1 DRIVEWAY SPACE = 2 SPACES/UNIT
7 SPACES TOTAL
TOTAL REQUIRED BICYCLE PARKING: NONE

PAVEMENT LEGEND

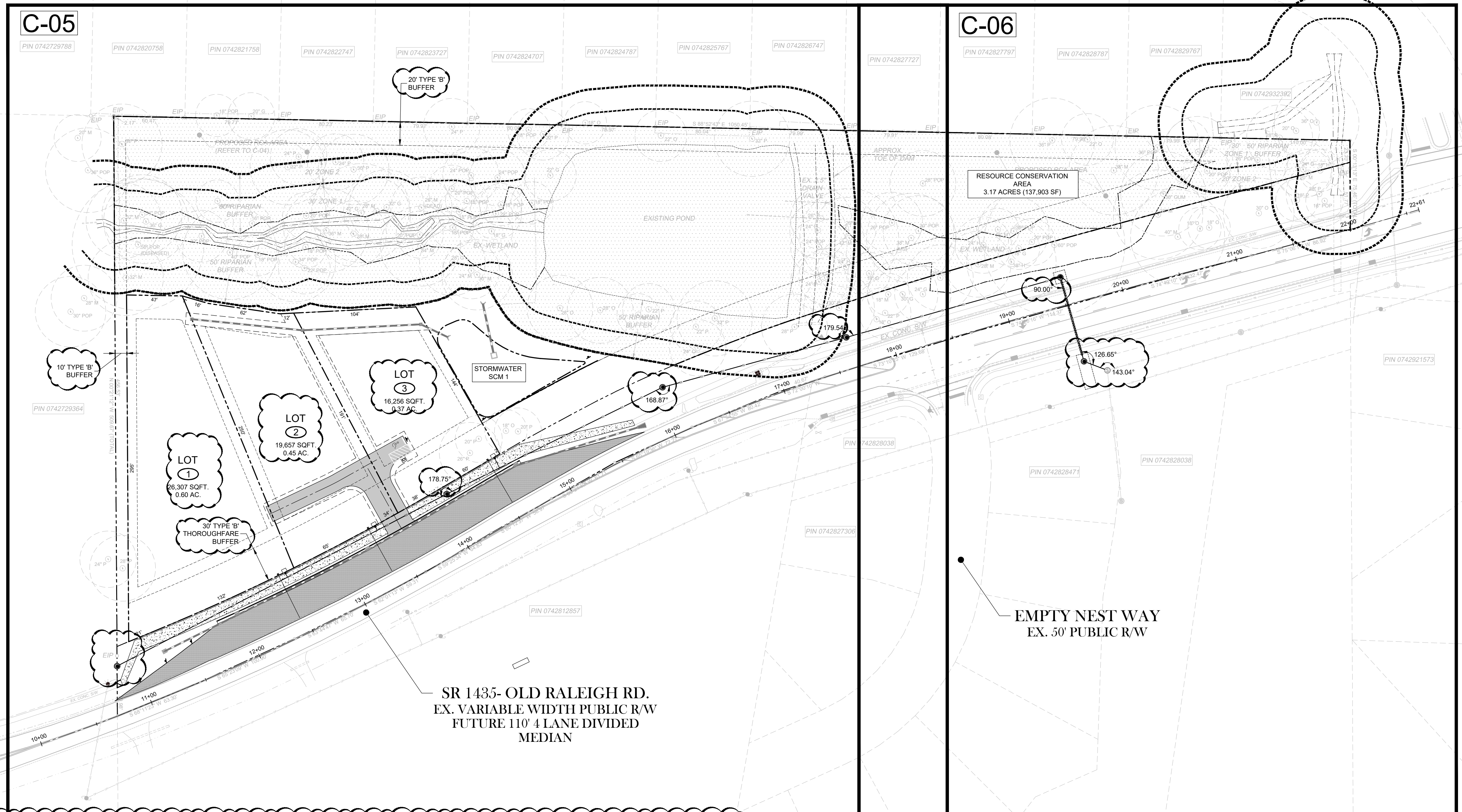
HEAVY DUTY ASPHALT PAVEMENT
CONCRETE SIDEWALK
CONCRETE DRIVEWAY-RESIDENTIAL

GENERAL NOTES:

- EXISTING CONDITIONS, BOUNDARY, AND TOPOGRAPHICAL DATA OF THE SUBJECT PARCEL ARE COMPILED FROM A FIELD SURVEY OF THE PROPERTY BY TAYLOR LAND CONSULTANTS, PLLC DATED APRIL 22, 2025. THE DATA SHOWN ON THIS DRAWING IS NOT THE RESULT OF A FIELD SURVEY BY SHIPMAN ENGINEERING, PLLC. ADDITIONAL EXISTING CONDITIONS DATA PROVIDED BY SUPPLEMENTAL DATA INCLUDING AERIAL PHOTOGRAPHY, WAKE COUNTY GIS DATA, AND OTHER DATA SOURCES AS REQUIRED.
- THERE ARE AREAS OF STEEP SLOPES LOCATED WITHIN THE PROJECT BOUNDARY. THESE SLOPES HAVE BEEN IDENTIFIED ON THE EXISTING CONDITIONS PLAN.
- THERE ARE NO CONTRIBUTING HISTORICAL STRUCTURES BELIEVED TO BE LOCATED WITHIN THE PROJECT BOUNDARY.
- REFER TO EROSION AND SEDIMENT CONTROL PLAN AND CONSTRUCTION SEQUENCE BEFORE PERFORMING ANY CLEARING, GRUBBING, OR DEMOLITION OPERATIONS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED. ACCOMPANYING INFORMATION DENOTED ON THIS PLAN WAS PROVIDED FROM THE REFERENCES STATED. ADDITIONAL RESTRICTIONS MAY EXIST WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE SITE IS LOCATED IN THE PRIMARY WATERSHED OVERLAY PROTECTION DISTRICT, WILLIAMS CREEK BASIN (UPPER NW TRIBUTARY), NEUSE RIVER BASIN.
- AREAS COMPUTED BY AUTOCAD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN ZONE 'X'. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FEMA FIRM 3720074200J DATED MAY 2, 2006.
- REFER TO SEALED TOPOGRAPHICAL SURVEY BY TAYLOR LAND CONSULTANTS, PLLC. FOR HORIZONTAL AND VERTICAL DATUM INFORMATION AND OTHER SURVEY CONTROL DATA.
- WETLANDS, SURFACE WATERS, STREAMS, AND OTHER ENVIRONMENTALLY SENSITIVE AREAS PROVIDED BY A FIELD DELINEATION PERFORMED BY SAGE ECOLOGICAL, DATED NOVEMBER 8, 2022.
- CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION CAN BEGIN. ALL APPLICABLE FEES SHALL ALSO BE PAID PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN BUFFERS, TREE PRESERVATION AREAS, AND PERIMETER BUFFER AREAS.
- A DEMOLITION PERMIT IS REQUIRED PRIOR TO THE REMOVAL OR DEMOLITION OF ANY EXISTING STRUCTURES. A LETTER OF ASBESTOS ABATEMENT WILL NEED TO ACCOMPANY THE APPLICATION FOR DEMOLITION.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- COORDINATE POWER, TELEPHONE, CABLE, AND OTHER UNDERGROUND UTILITY INSTALLATION WITH THE APPROPRIATE UTILITY PROVIDER AND THE TOWN OF APEX AS NECESSARY.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
- THE MAXIMUM SIDEWALK CROSS SLOPE IS 2.00% (1/4 INCH PER FOOT).
- COMMON SPACE AREAS SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- ACCESS TO OLD RALEIGH ROAD IS SUBJECT TO NCDOT DRIVEWAY PERMIT APPROVAL. A TRAFFIC IMPACT ANALYSIS IS NOT REQUIRED TO BE SUBMITTED WITH THIS APPLICATION.
- THE DEVELOPER MUST SUBMIT DRAFT COVENANTS ESTABLISHING A HOMEOWNERS ASSOCIATION TO COVER MAINTENANCE OF THE FOLLOWING APPLICABLE ITEMS: SHARED DRIVEWAYS, ALLEYS, LIGHTING, SPECIALTY STREET SIGNS, STREET TREES, PERIMETER BUFFER LANDSCAPING, PONDS, POND EMBANKMENTS, STORMWATER SCM DEVICE, AND PRIVATE STORMWATER DRAINAGE PIPING. HOA COVENANTS WILL BE RECORDED WITH THE FIRST PLAT ASSOCIATED WITH THE SUBDIVISION.



NEW DOVER RD.
EX. 60' PUBLIC R/W



SHIPMAN ENGINEERING
SHIPMAN ENGINEERING, PLLC
NCBELS LICENSE P-1963

137 MIDDLEGREEN PLACE
HOLLY SPRINGS, NC 27540
919.900.0006

DESIGNED BY: WZS
DRAWN BY: WZS
CHECKED BY: WZS
DRAWING DATE: 10/02/25
SE PROJECT #: 2025-110

THESE PLANS AND ASSOCIATED DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF SHIPMAN ENGINEERING, PLLC AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF SHIPMAN ENGINEERING, PLLC.

TOWN OF APEX NOTES:

- NO SITE DEVELOPMENT ACTIVITY INCLUDING, BUT NOT LIMITED TO, TESTING, CLEARING, INSTALLATION OF S&E MEASURES, OR GRADING, SHALL OCCUR UNTIL REQUIRED TREE PROTECTION FENCING HAS BEEN INSTALLED AND INSPECTED. A TREE PROTECTION FENCING INSTALLATION PERMIT MAY BE OBTAINED AT THE PLANNING DEPARTMENT OR ONLINE AT [HTTP://WWW.APEXNC.ORG/215/APPLICATIONS-SCHEDULES](http://www.apexnc.org/215/APPLICATIONS-SCHEDULES).
- TREE PROTECTION FENCING MUST BE PLACED:
 - ONE FOOT AWAY FROM ANY SAVED TREE FOR EACH INCH OF DIAMETER AT BREAST HEIGHT.
 - ALONG THE OUTSIDE LINE OF THE 100 YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER, AND
 - AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RCA, SUCH AS, BUT NOT LIMITED TO, HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS.
- ADDITIONAL TREE PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER, SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
- IF BUILDINGS ARE TO BE DEMOLISHED, A COPY OF THE DEMOLITION NOTIFICATION FROM THE NC HEALTH HAZARD CONTROL UNIT AND AN ASBESTOS INSPECTION REPORT FROM A NC ACCREDITED ASBESTOS INSPECTOR MUST ACCOMPANY THE APPLICATION FOR THE DEMOLITION PERMIT WHICH MUST BE OBTAINED PRIOR TO THE START OF DEMOLITION.
- ALL GRADING AND SUPPORT STRUCTURES ASSOCIATED WITH ANY RETAINING STRUCTURE SHALL NOT ENCROACH INTO ANY REQUIRED BUFFER OR PROTECTED AREA (I.E. RCA, THE CRITICAL ROOT ZONES OF TREES, PUBLIC UTILITY EASEMENTS AND RIGHTS-OF-WAY), AND SHALL BE CONTAINED ENTIRELY ON SITE.
- SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS, BUT NOT LIMITED TO, PLAY FIELDS, GREENWAY TRAILS, AND TERMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND STANDARD DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
- THE SCREENING OF LOADING DOCKS, ROLL-OUT CONTAINERS, DUMPSTERS, OUTDOOR STORAGE, MECHANICAL AND HVAC EQUIPMENT, AND SIMILAR FACILITIES ON THE ROOF, GROUND, OR BUILDING SHALL MEET THE REQUIREMENTS OF SEC. 8.2.8 OF THE UDO. SPECIFICALLY, SCREENING MUST BE DONE SO THAT:
 - IT IS INCORPORATED INTO THE OVERALL DESIGN THEME OF THE BUILDING AND LANDSCAPED.
 - SCREENING MATERIALS ARE NOT DIFFERENT FROM OR INFERIOR TO THE PRINCIPAL MATERIALS OF THE BUILDING OR LANDSCAPE AND ARE SIMILAR IN MATERIAL OR COLOR.
 - SCREENING ITEMS ARE OUT OF VIEW FROM THE ADJACENT PROPERTIES AND PUBLIC STREETS, AND
- TOTALLY OPAQUE SCREEN IS ACHIEVED.
- ANY GROUND MOUNTED HVAC OR OTHER MECHANICAL OR UTILITY EQUIPMENT SIX (6) FEET TALL OR HIGHER MUST BE FENCED AND LANDSCAPED.
- DUMPSTER ENCLOSURES MUST MEET THE ABOVE REQUIREMENTS PLUS BE EIGHT (8) FEET TALL OR THE HEIGHT OF THE DUMPSTER, WHICHEVER IS GREATER, AND BE BUILT OF MASONRY MATERIAL WITH OPAQUE GATES. WHERE PRACTICABLE, SHRUBS OR OTHER PLANTS MUST BE PLANTED OUTSIDE THE ENCLOSURE TO VISUALLY SOFTEN THE APPEARANCE.
- ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
- PRIOR TO SCHEDULING A FINAL SITE INSPECTION, ALL SITE ITEMS (E.G. LIGHTING, LANDSCAPING, MULCHING, SCREENING FOR DUMPSTERS, MECHANICAL EQUIPMENT, HVAC, ETC. SEEDING AND SITE STABILIZATION, AND PARKING AND PAVEMENT MARKINGS) MUST BE COMPLETED.
- INDIVIDUAL SIGNS ARE NOT APPROVED AS PART OF THE SITE PLAN APPROVAL PROCESS. A SEPARATE SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF THE SIGN. MULTIPLE USE LOTS, NON-RESIDENTIAL SUBDIVISIONS, AND MULTIPLE TENANT LOTS MUST SUBMIT A MASTER SIGN PLAN FOR APPROVAL.
- RETAINING SYSTEMS PROVIDING A CUMULATIVE VERTICAL RELIEF GREATER THAN FIVE (5) FEET IN HEIGHT WITHIN A HORIZONTAL DISTANCE OF FIFTY FEET OR LESS, INCLUDING RETAINING WALLS OR MECHANICALLY STABILIZED EARTH WALLS, SHALL BE DESIGNED AND CONSTRUCTED UNDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE SEC. 1610. RETAINING SYSTEMS MEETING THESE CRITERIA WILL REQUIRE A SEPARATE BUILDING PERMIT PRIOR TO THE START OF WORK. RETAINING STRUCTURE MATERIALS MUST BE AN INTEGRALLY TINTED MEDIUM OR DARK BROWN OR RUST COLOR.
- ALL ROADS AND SIDEWALKS TO REMAIN OPEN DURING CONSTRUCTION.
- ALL ROADWAY CLOSURES ARE PENDING TOWN OF APEX STAFF APPROVAL. CONTRACTOR SHALL CONTACT SHIPMAN (SAJIB.HASSAN@SHIPMAN.ORG) A MINIMUM OF THREE (3) WEEKS PRIOR TO ROADWAY CLOSURE AND PROVIDE ALL PERTINENT INFORMATION RELATED TO ROADWAY CLOSURE.
- IN THE CASE OF A ROAD CLOSURE, ALL DETOUR SIGNS SHALL BE INSPECTED AND APPROVED BY TRANSPORTATION AND INFRASTRUCTURE DEVELOPMENT DEPARTMENT PRIOR TO BEGINNING WORK.
- ALL PARTIAL LAND AND SHOULDER CLOSURES SHALL ADHERE TO STANDARD NCDOT WORK ZONE DRAWINGS.

UTILITY SEPARATION REQUIREMENTS:

THE FOLLOWING MINIMUM HORIZONTAL SEPARATIONS SHALL BE MAINTAINED:

- 100 FEET FROM ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE, INCLUDING WELLS, WS-I WATERS, OR CLASS I, CLASS II, OR CLASS III IMPOUNDED RESERVOIRS USED AS A SOURCE OF DRINKING WATER (EXCEPT AS NOTED BELOW).
- 50 FEET FROM WETLANDS AND ANY WATERS (FROM NORMAL HIGH WATER) CLASSIFIED AS WS-II, WS-III, WS-IV, B, SA, ORW, HQW, OR SB (EXCEPT AS NOTED BELOW).
- 20 FEET FROM WATERS CLASSIFIED AS C, ANY OTHER STREAM, LAKE, OR IMPOUNDEMENTS (EXCEPT AS NOTED BELOW).
- THE FOLLOWING SEPARATIONS MAY BE ACCEPTABLE WHEN WATER MAIN STANDARDS ARE IMPLEMENTED:
 - ALL APPOINTMENTS SHALL BE OUTSIDE THE 100 FOOT RADIUS OF WELLS.
 - 50 FEET FROM PRIVATE WELLS (WITH NO EXCEPTIONS)
 - 50 FEET FROM PUBLIC WATER WELLS (WITH NO EXCEPTIONS)
 - WHERE THE REQUIRED MINIMUM SEPARATIONS CANNOT BE OBTAINED, DUCTILE IRON PIPE SHALL BE USED WITH JOINTS CONSTRUCTED AND TESTED TO WATER MAIN STANDARDS.



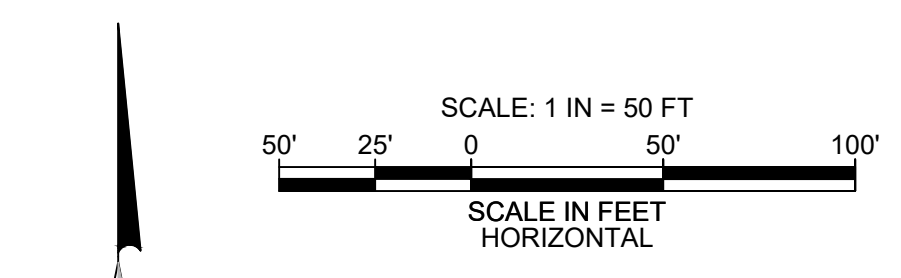
TOWN OF APEX UTILITY SERVICES NOTE:
THE APPLICANT IS REQUESTING WATER, SANITARY SEWER, AND ELECTRICAL SERVICES FROM THE TOWN OF APEX.

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- T-TEE
- THRUST (REACTION) BLOCKING
- BLOW OFF VALVE
- WATER METER
- BACKFLOW PREVENTER
- CLEANOUT
- SANITARY MANHOLE
- FLARED END SECTION
- RISER STRUCTURE
- CATCH BASIN
- YARD INLET
- WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE

SITE LEGEND

- STREET LIGHT
- SIGN
- WHEELCHAIR RAMP
- CLUSTER MAILBOX UNIT
- ROADWAY CENTER LINE
- LOT LINE
- RIGHT OF WAY LINE
- RETAINING WALL
- SETBACK LINE
- BMP LIMITS
- EASEMENT
- VALLEY STYLE CURB & GUTTER
- VERTICAL CURB & GUTTER
- SPILL CURB & GUTTER
- ORNAMENTAL FENCE
- FENCE
- RESOURCE CONSERVATION AREA (RCA)



SIGNATURE BLOCK

ESTATES AT OLD RALEIGH
TOWN OF APEX WAKE COUNTY, NORTH CAROLINA

OVERALL SITE LAYOUT & SHEET INDEX

SHEET NUMBER: C-04