

SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471'+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(1)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



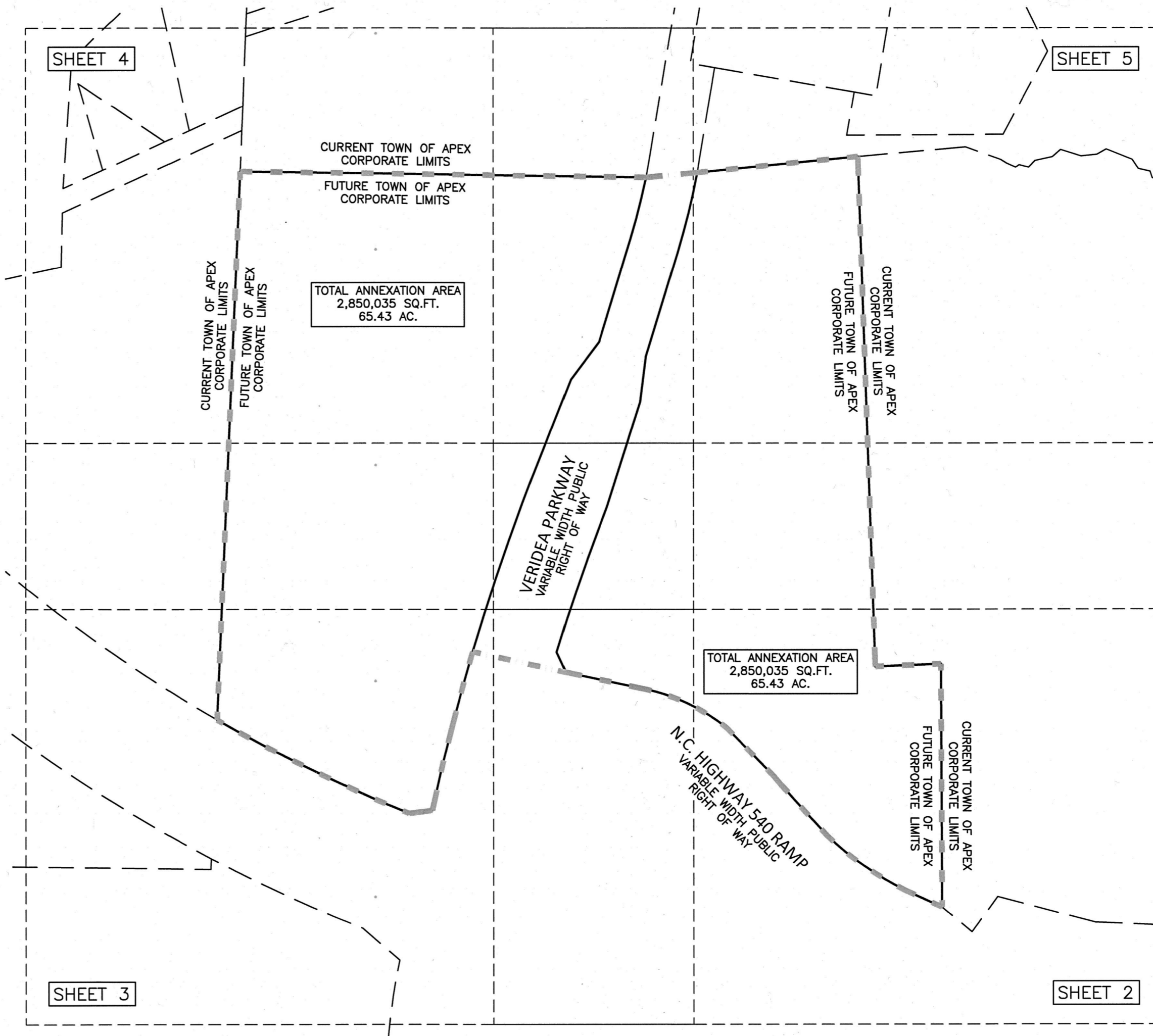
GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 40°19'02" W	35.61'
L2	N 25°05'55" W	60.93'
L3	N 20°49'17" E	59.37'
L4	S 20°42'10" W	61.19'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	865.00'	261.30'	N 54°43'51" W	260.31'
C2	534.00'	249.50'	N 64°32'31" W	247.24'
C3	5930.50'	363.87'	N 18°48'19" E	363.81'
C4	2067.50'	227.29'	N 13°47'56" E	227.18'
C5	6150.50'	203.98'	S 15°28'40" W	203.97'
C6	6150.50'	244.84'	S 13°23'14" W	244.82'
C7	4035.00'	584.49'	N 63°59'55" W	583.98'
C8	1933.03'	173.41'	S 14°22'33" W	173.35'
C9	6150.50'	428.45'	S 18°25'23" W	428.36'

PROJECT INFORMATION	
LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-16-7653 0740-07-8021
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	2,850,035 SQ.FT. - 65.43 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN



LEGEND

○	EXISTING REBAR	N/F	NOW OR FORMERLY
■	EXISTING CONCRETE MONUMENT	D.B.	DEED BOOK
▲	CALCULATED POINT	B.M.	BOOK OF MAPS
⊙	WETLAND FLAGS	PG.	PAGE
⊙	CONTROLLED ACCESS R/W	SQ.FT.	SQUARE FEET
⊙		AC.	ACRE
—	BOUNDARY LINE	ERB	EXISTING REBAR
- - -	ADJOINER LINE	EIP	EXISTING IRON PIPE
- · - · -	RIGHT OF WAY LINE	EIS	EXISTING IRON STAKE
- · - · -	ANNEXATION LINE		
- - - - -	EASEMENT LINE		
⊘		⊘	WETLANDS
		⊘	APEX FLOODPLAIN

THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK

NOT TO SCALE

McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

RXR REALTY
75 ROCKEFELLER PLAZA
NEW YORK, NEW YORK 10019

VERIDEA
ANNEXATION PLAT FOR
THE TOWN OF APEX
VERIDEA PARKWAY
HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

REVISIONS

NO.	DATE	APEX COMMENTS
1	03.04.2026	APEX COMMENTS
2	03.20.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F1
CHECKED BY	JBT
DRAWN BY	CIS
SCALE	NOT TO SCALE
DATE	01.29.2026

SHEET

**ANNEXATION
PLAT
1-5**

GENERAL NOTES

1. SEE SHEET 1 FOR GENERAL NOTES.
2. SEE SHEET 1 FOR LINE AND CURVE TABLES.



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 VERIDEA PARKWAY
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA



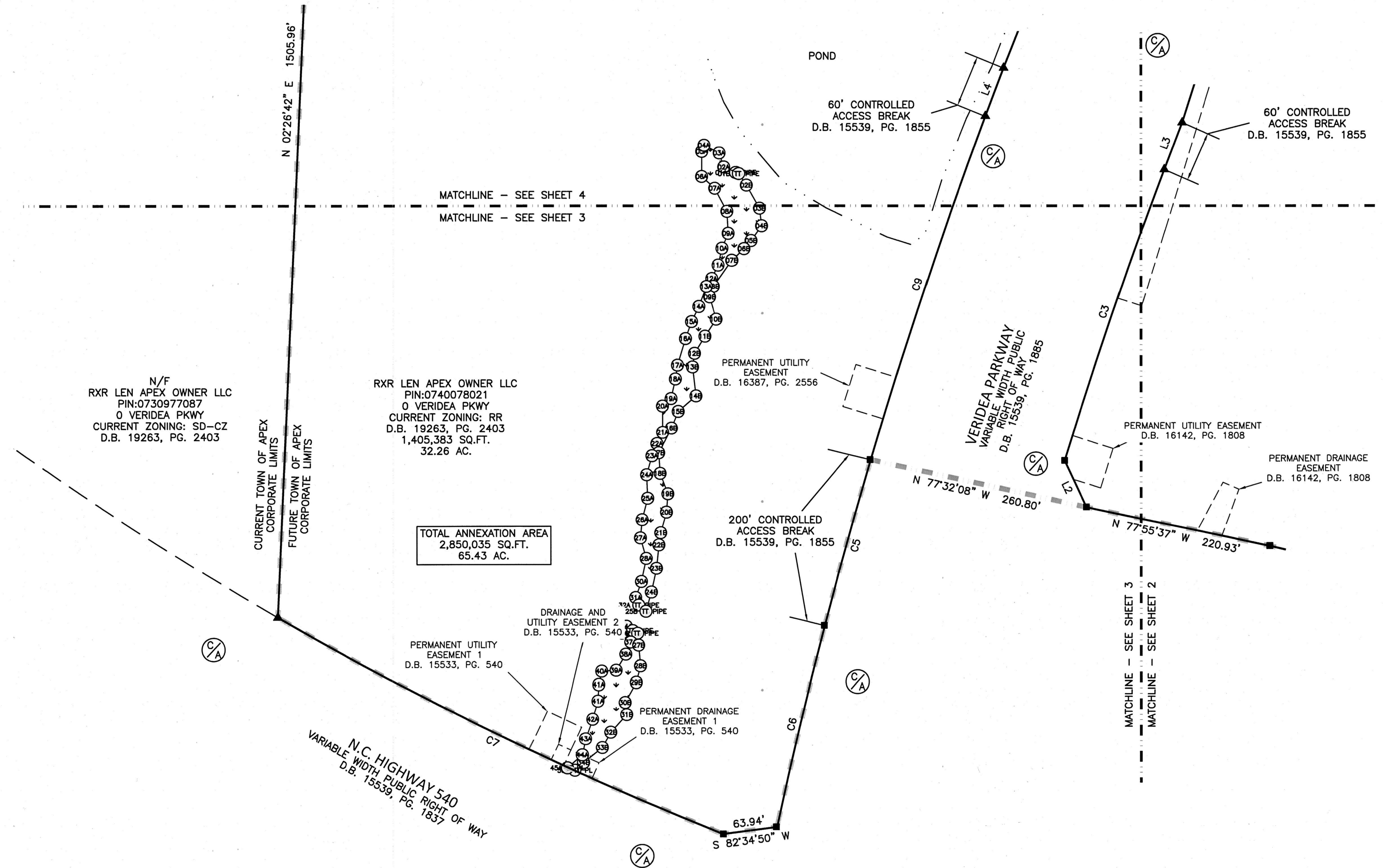
REVISIONS

NO.	DATE	APEX COMMENTS
1	03.04.2026	APEX COMMENTS
2	03.20.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F1
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=100'
DATE	01.29.2026

SHEET
ANNEXATION PLAT
3-5



N/F
 RXR LEN APEX OWNER LLC
 PIN:0730977087
 0 VERIDEA PKWY
 CURRENT ZONING: SD-CZ
 D.B. 19263, PG. 2403

RXR LEN APEX OWNER LLC
 PIN:0740078021
 0 VERIDEA PKWY
 CURRENT ZONING: RR
 D.B. 19263, PG. 2403
 1,405,383 SQ.FT.
 32.26 AC.

TOTAL ANNEXATION AREA
 2,850,035 SQ.FT.
 65.43 AC.

PERMANENT UTILITY EASEMENT 1
 D.B. 15533, PG. 540

DRAINAGE AND UTILITY EASEMENT 2
 D.B. 15533, PG. 540

PERMANENT DRAINAGE EASEMENT 1
 D.B. 15533, PG. 540

200' CONTROLLED ACCESS BREAK
 D.B. 15539, PG. 1855

60' CONTROLLED ACCESS BREAK
 D.B. 15539, PG. 1855

60' CONTROLLED ACCESS BREAK
 D.B. 15539, PG. 1855

VERIDEA PARKWAY
 VARIABLE WIDTH, PUBLIC RIGHT OF WAY
 D.B. 15539, PG. 1885

PERMANENT UTILITY EASEMENT
 D.B. 16142, PG. 1808

PERMANENT DRAINAGE EASEMENT
 D.B. 16142, PG. 1808

N 02°26'42" E 1505.96'

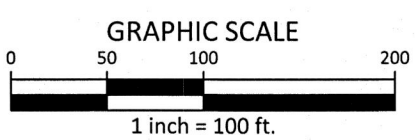
MATCHLINE - SEE SHEET 4
 MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 3
 MATCHLINE - SEE SHEET 2

N.C. HIGHWAY 540
 VARIABLE WIDTH, PUBLIC RIGHT OF WAY
 D.B. 15539, PG. 1837

LEGEND

- | | | | |
|-----------|----------------------------|--------|---------------------|
| ○ | EXISTING REBAR | N/F | NOW OR FORMERLY |
| ■ | EXISTING CONCRETE MONUMENT | D.B. | DEED BOOK |
| ▲ | CALCULATED POINT | B.M. | BOOK OF MAPS |
| ⬢ | WETLAND FLAGS | PG. | PAGE |
| ⊙ | CONTROLLED ACCESS R/W | SQ.FT. | SQUARE FEET |
| — | BOUNDARY LINE | AC. | ACRE |
| - - - | ADJOINER LINE | ERB | EXISTING REBAR |
| - · - · - | RIGHT OF WAY LINE | EIP | EXISTING IRON PIPE |
| - · - · - | ANNEXATION LINE | EIS | EXISTING IRON STAKE |
| - · - · - | EASEMENT LINE | | |
| ⬇ | WETLANDS | | |
| ⊗ | APEX FLOODPLAIN | | |



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GENERAL NOTES

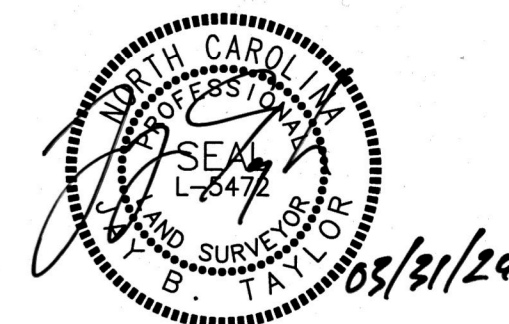
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2. SEE SHEET 1 FOR LINE AND CURVE TABLES.



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VERIDEA
 ANNEXATION PLAT FOR
 THE TOWN OF APEX
 VERIDEA PARKWAY
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA



REVISIONS

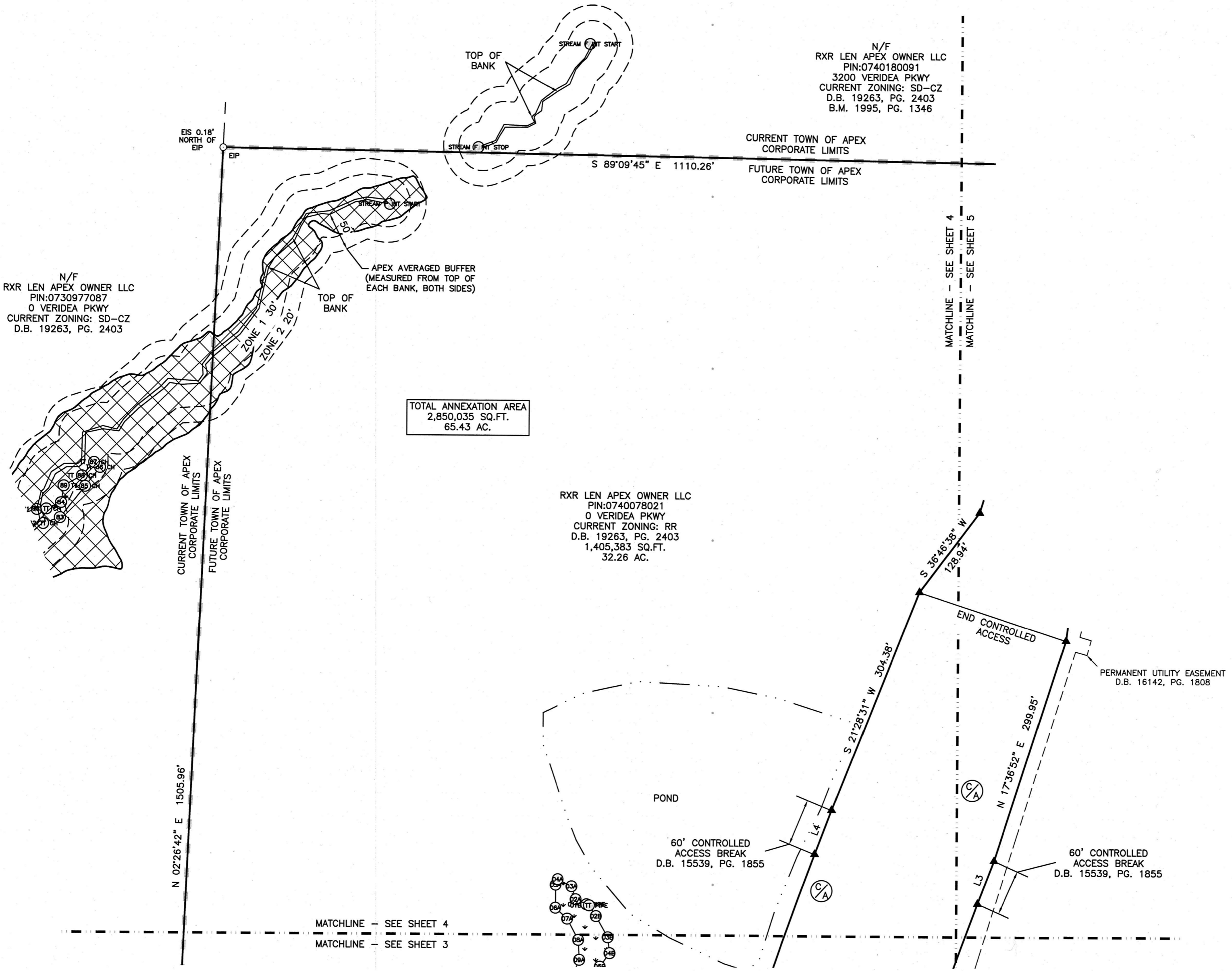
NO.	DATE	APEX COMMENTS
1	03.04.2026	APEX COMMENTS
2	03.20.2026	APEX COMMENTS

PLAN INFORMATION

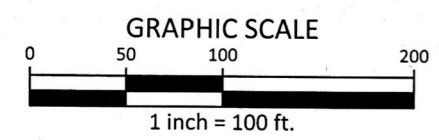
PROJECT NO.	RXR-24001
FILENAME	RXR24001-F1
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=100'
DATE	01.29.2026

SHEET

**ANNEXATION
 PLAT
 4-5**



TOTAL ANNEXATION AREA
 2,850,035 SQ.FT.
 65.43 AC.



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GENERAL NOTES

1. SEE SHEET 1 FOR GENERAL NOTES.
2. SEE SHEET 1 FOR LINE AND CURVE TABLES.



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 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA



REVISIONS

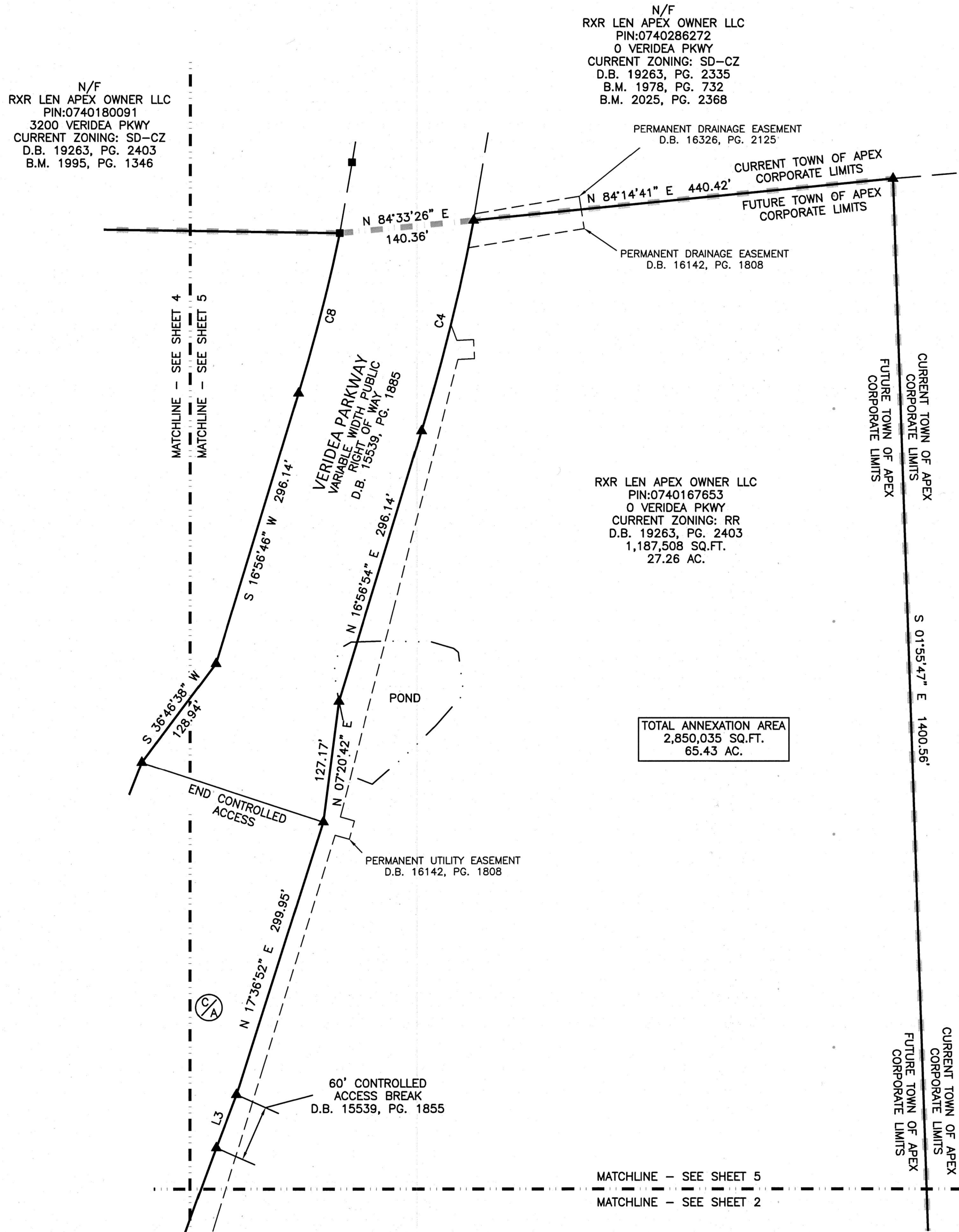
NO.	DATE	APEX COMMENTS
1	03.04.2026	APEX COMMENTS
2	03.20.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO. RXR-24001
 FILENAME RXR24001-F1
 CHECKED BY JBT
 DRAWN BY CJS
 SCALE 1"=100'
 DATE 01.29.2026

SHEET

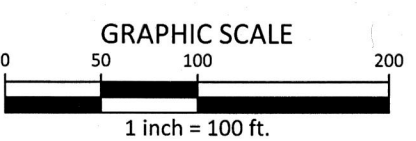
**ANNEXATION
 PLAT
 5-5**



TOTAL ANNEXATION AREA
 2,850,035 SQ.FT.
 65.43 AC.

LEGEND

	EXISTING REBAR	N/F	NOW OR FORMERLY
	EXISTING CONCRETE MONUMENT	D.B.	DEED BOOK
	CALCULATED POINT	B.M.	BOOK OF MAPS
	WETLAND FLAGS	PG.	PAGE
	CONTROLLED ACCESS R/W	SQ.FT.	SQUARE FEET
	BOUNDARY LINE	AC.	ACRE
	ADJOINER LINE	ERB	EXISTING REBAR
	RIGHT OF WAY LINE	EIP	EXISTING IRON PIPE
	ANNEXATION LINE	EIS	EXISTING IRON STAKE
	EASEMENT LINE		
	WETLANDS		
	APEX FLOODPLAIN		



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SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471"; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(1)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

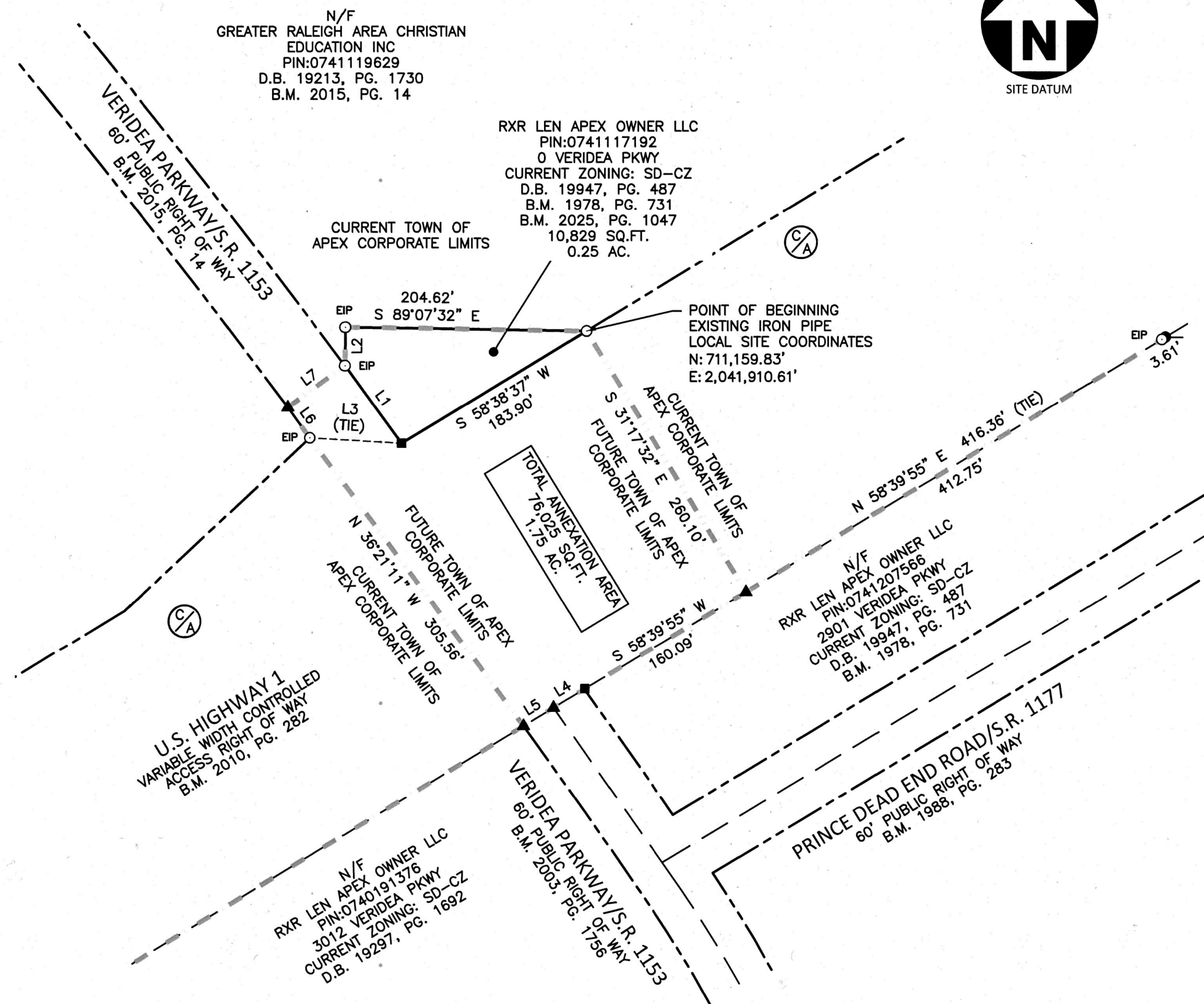
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- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GRID DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720074100J PANEL 0741 DATED MAY 2, 2006; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 35°53'59" W	81.82'
L2	N 00°44'04" E	32.54'
L3	N 86°30'54" W	77.81'
L4	S 58°41'20" W	31.03'
L5	S 58°41'20" W	29.77'
L6	N 35°43'21" W	32.12'
L7	N 53°44'50" E	60.08'

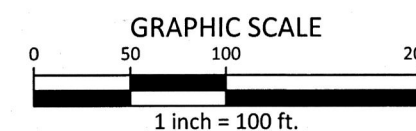
PROJECT INFORMATION	
LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0741-11-7192
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	76,025 SQ.FT. - 1.75 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

LEGEND

- | | | | |
|-----|----------------------------|--------|--------------------|
| ○ | EXISTING IRON PIPE | N/F | NOW OR FORMERLY |
| ● | IRON PIPE SET | D.B. | DEED BOOK |
| ■ | EXISTING CONCRETE MONUMENT | B.M. | BOOK OF MAPS |
| ⊙ | CONTROLLED ACCESS R/W | PG. | PAGE |
| --- | BOUNDARY LINE | SQ.FT. | SQUARE FEET |
| --- | ADJOINER LINE | AC. | ACRE |
| --- | RIGHT OF WAY LINE | EIP | EXISTING IRON PIPE |
| --- | ANNEXATION LINE | | |



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE _____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK



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VERIDEA
ANNEXATION PLAT FOR
THE TOWN OF APEX
VERIDEA PARKWAY
HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

REVISIONS

NO.	DATE	APEX COMMENTS
1	03. 05. 2026	APEX COMMENTS
2	03. 20. 2026	APEX COMMENTS

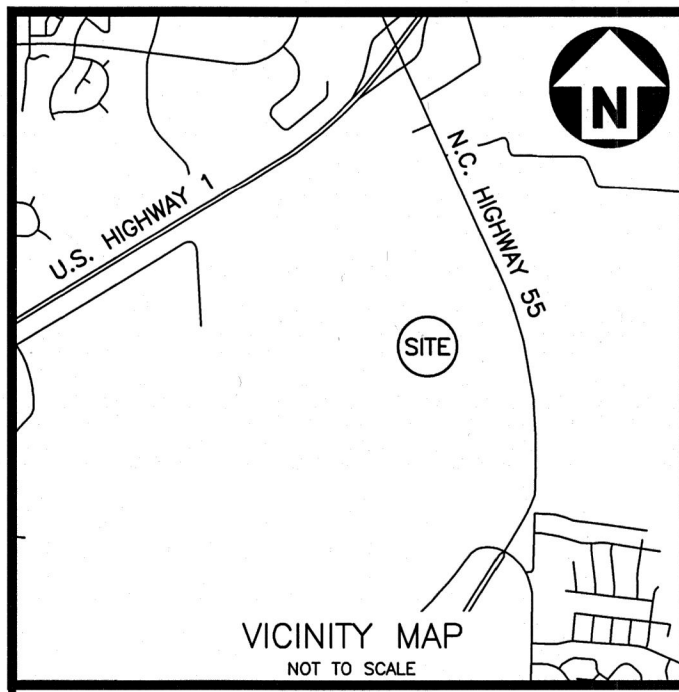
PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F3
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=100'
DATE	01. 28. 2026

SHEET

ANNEXATION PLAT
1-1

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J. B. Taylor
 JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

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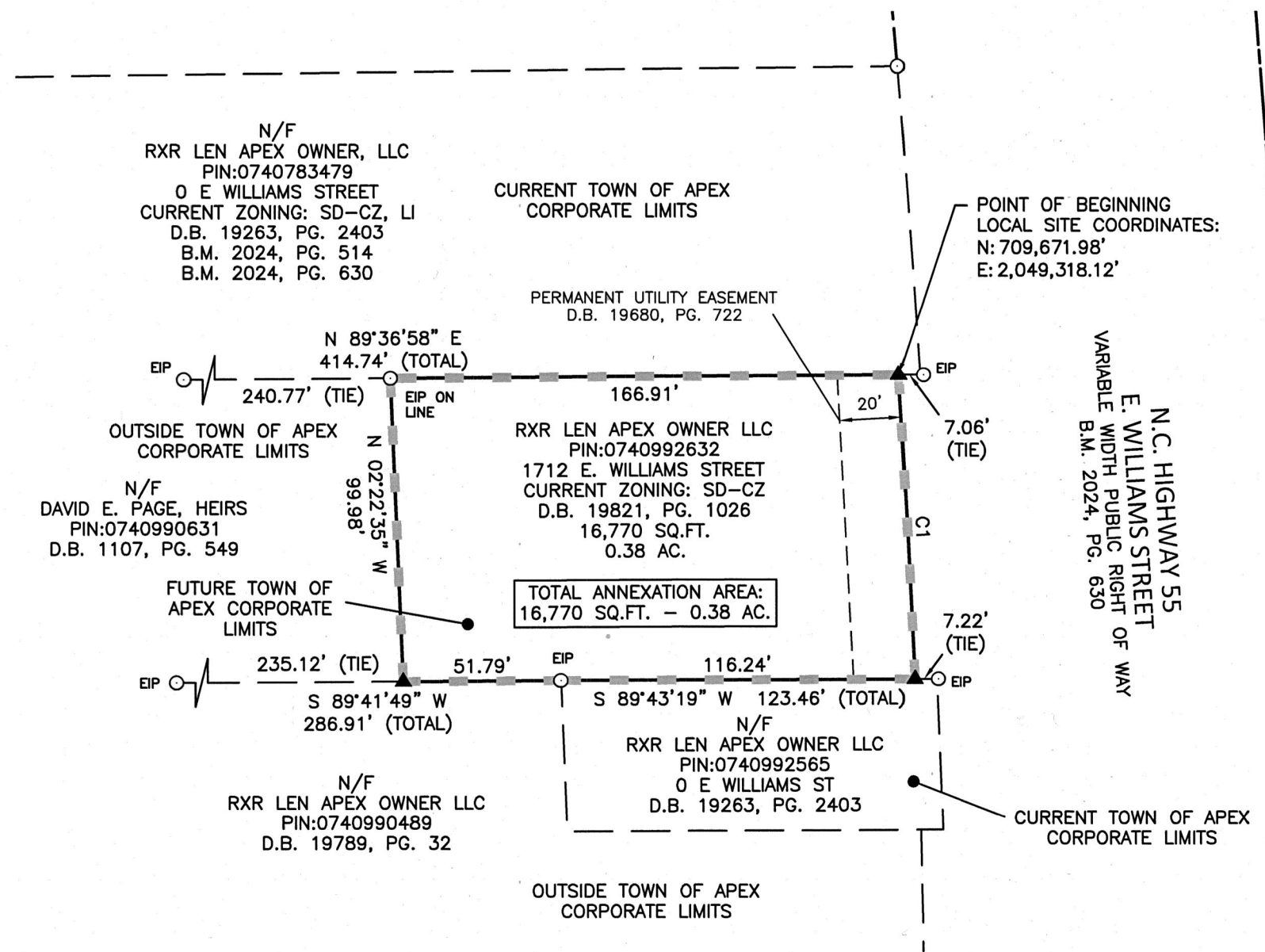
CLIENT
 RXR REALTY
 75 ROCKEFELLER PLAZA
 NEW YORK, NEW YORK 10019

VERIDEA
 ANNEXATION PLAT FOR
 THE TOWN OF APEX
 1712 E. WILLIAMS STREET
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA

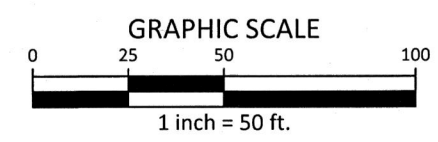
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ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-99-2632
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	16,770 SQ.FT. - 0.38 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

LEGEND

- EXISTING IRON PIPE
- ▲ CALCULATED POINT
- BOUNDARY LINE
- - - ADJOINER LINE
- · - · - RIGHT OF WAY LINE
- ANNEXATION LINE
- - - EASEMENT LINE
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE



CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1	5412.50'	100.31'	S 03°00'35" E



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
 I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
 ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK

REVISIONS

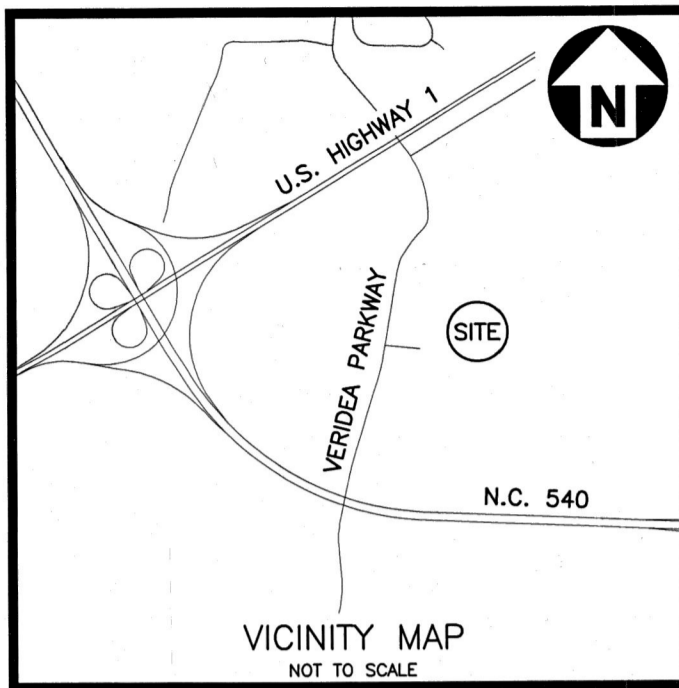
NO.	DATE	APEX COMMENTS
1	03.05.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F4
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=50'
DATE	01.29.2026

SHEET

ANNEXATION PLAT
1-1



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471"+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.
- STREAM BUFFERS ARE PER APPROVED TOWN OF APEX BUFFER CALL NO. 22-010 AND NO. 22-017.
- JURISDICTIONAL STREAMS AND WETLANDS SHOWN PER UASCE DETERMINATION DATED 5/31/2017.

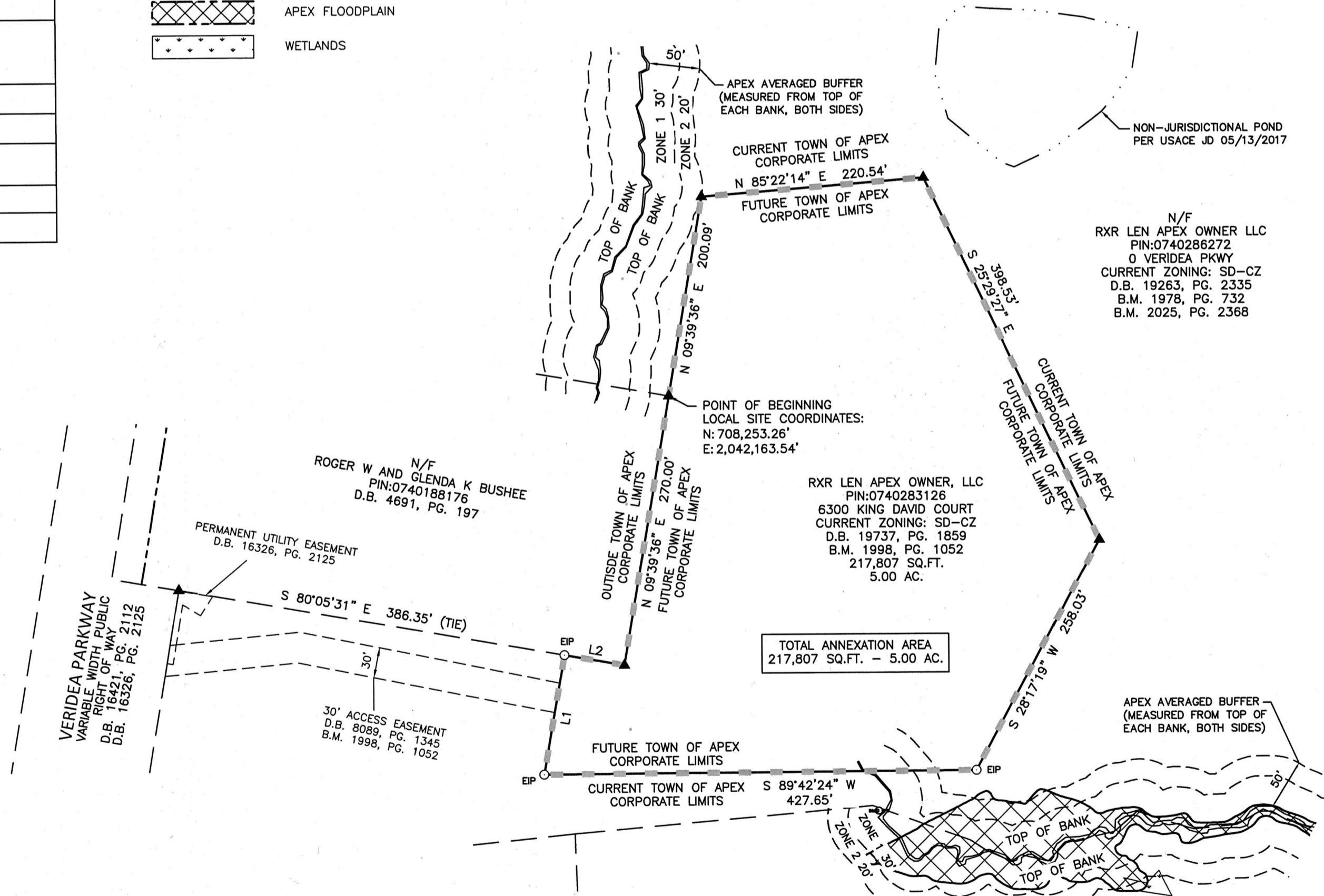
McADAMS
The John R. McAdams Company, Inc.
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75 ROCKEFELLER PLAZA
NEW YORK, NEW YORK 10019

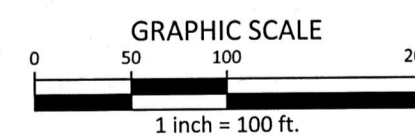
PROJECT INFORMATION	
LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-28-3126
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	217,807 SQ.FT. - 5.00 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

LEGEND

- | | | | |
|-----|--------------------|--------|--------------------|
| ○ | EXISTING IRON PIPE | N/F | NOW OR FORMERLY |
| ▲ | CALCULATED POINT | D.B. | DEED BOOK |
| --- | BOUNDARY LINE | B.M. | BOOK OF MAPS |
| --- | ADJOINER LINE | PG. | PAGE |
| --- | RIGHT OF WAY LINE | SQ.FT. | SQUARE FEET |
| --- | ANNEXATION LINE | AC. | ACRE |
| --- | EASEMENT LINE | EIP | EXISTING IRON PIPE |
| ▨ | APEX FLOODPLAIN | | |
| ▨ | WETLANDS | | |



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 09°53'16" E	120.00'
L2	S 80°06'44" E	60.00'



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
 I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
 ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK

VERIDEA
ANNEXATION PLAT FOR
THE TOWN OF APEX
6300 KING DAVID COURT
HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

REVISIONS

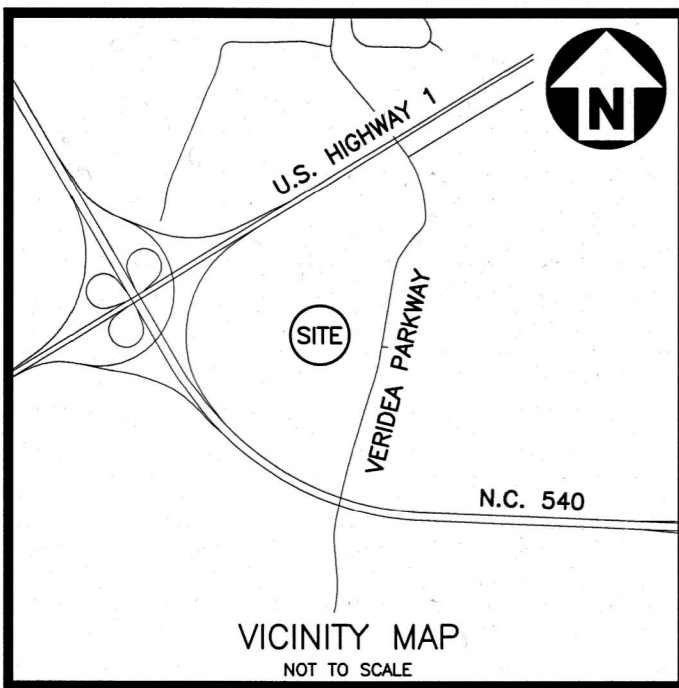
NO.	DATE	REVISIONS
1	03.05.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F5
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=100'
DATE	01.29.2026

SHEET

ANNEXATION PLAT
1-1



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471'+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

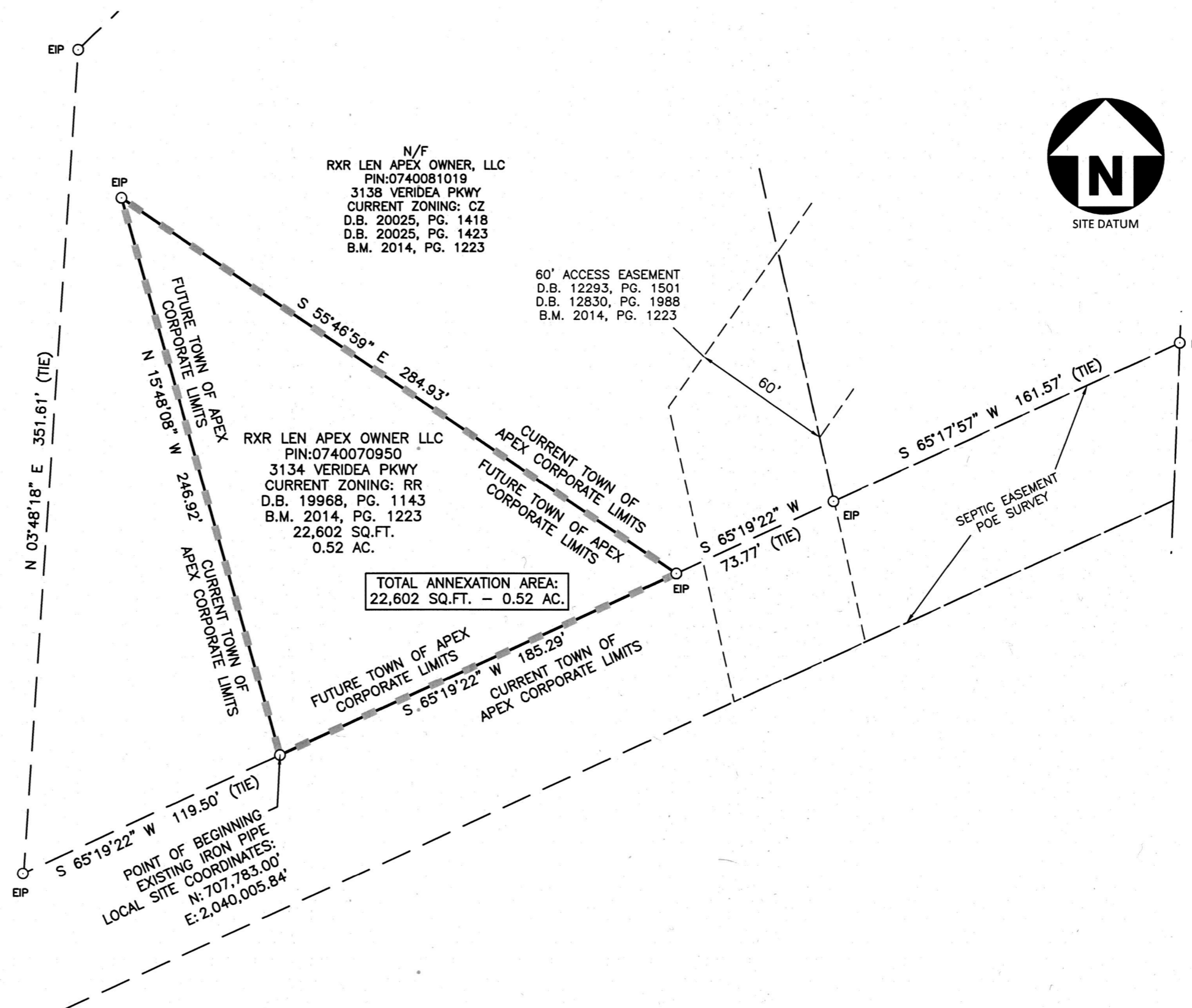
- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720073000K PANEL 0730 DATED JULY 19, 2022 AND 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.

PROJECT INFORMATION

LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-07-0950
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	22,602 SQ.FT. - 0.52 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

LEGEND

- EXISTING IRON PIPE
- ▲ CALCULATED POINT
- BOUNDARY LINE
- - - ADJOINER LINE
- · - · - ANNEXATION LINE
- · - · - EASEMENT LINE
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE



McADAMS
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fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
RXR REALTY
75 ROCKEFELLER PLAZA
NEW YORK, NEW YORK 10019

VERIDEA
ANNEXATION PLAT FOR
THE TOWN OF APEX
3134 VERIDEA PARKWAY
HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

REVISIONS

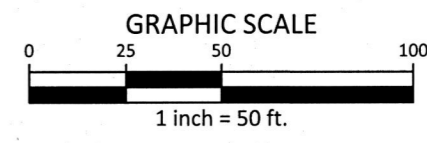
NO.	DATE	APEX COMMENTS
1	03.05.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F6
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=50'
DATE	01.29.2026

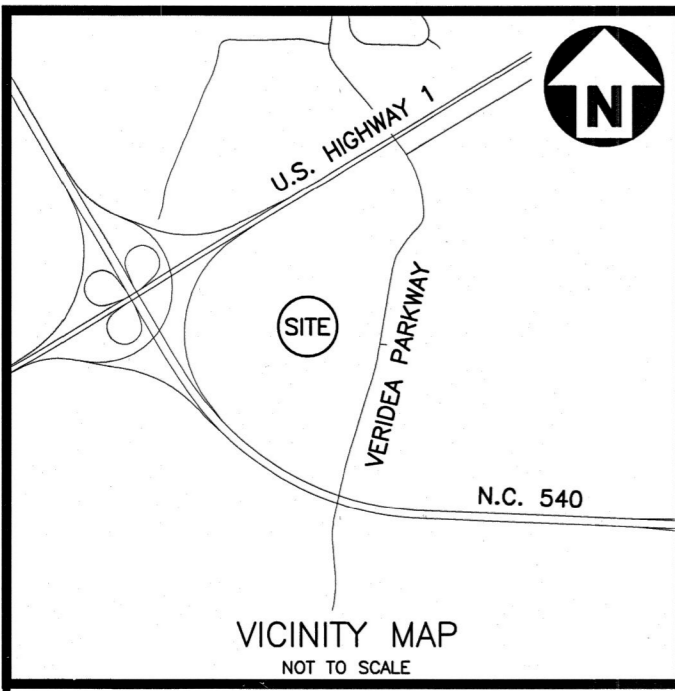
SHEET

ANNEXATION PLAT
1-1



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK

X:\Projects\RXR\RXR24001\02-Geomatics\Survey\Plats\RXR24001-F6_0039783.dwg - 3/27/2026 5:20:56 PM, Connor Stearns



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471"+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

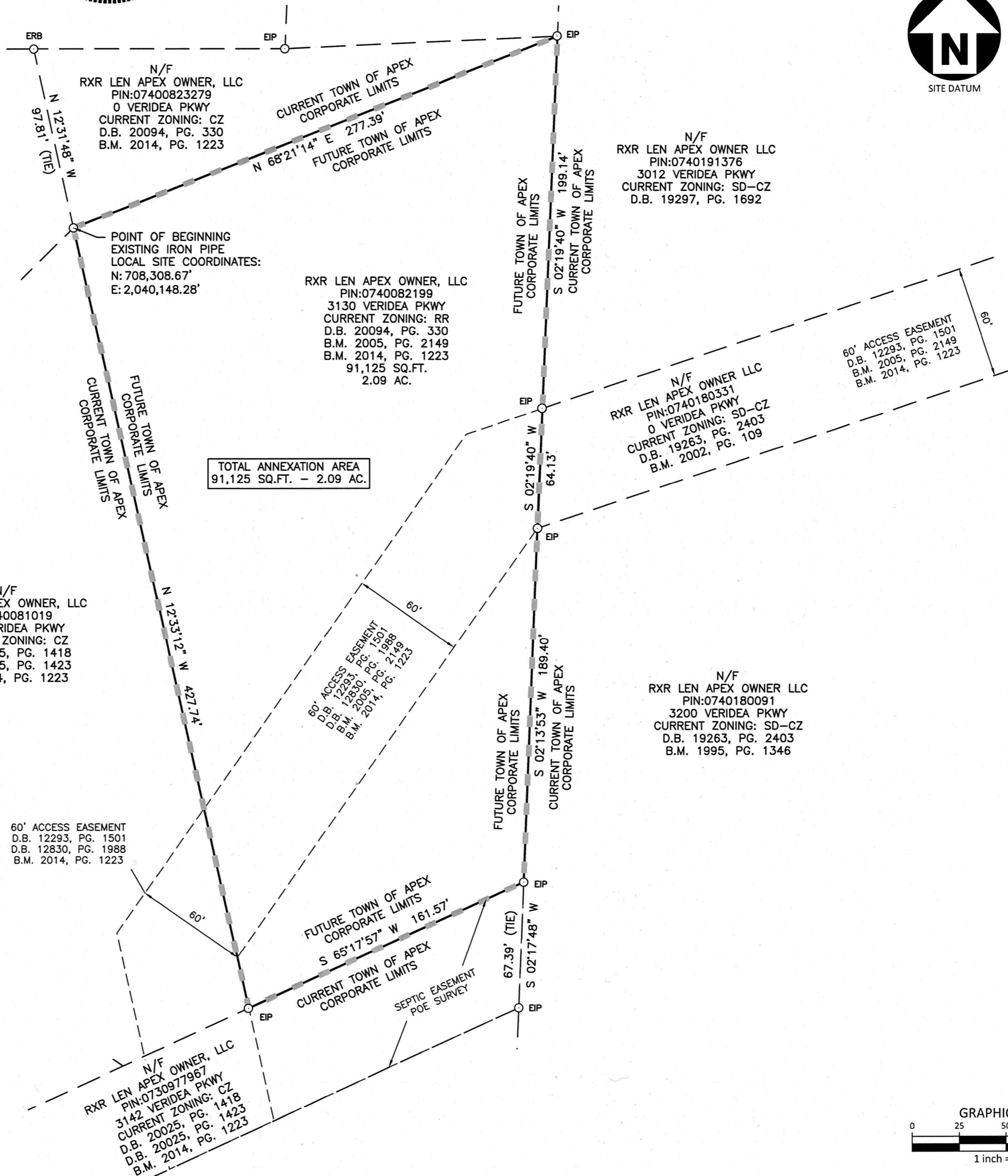
- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720073000K PANEL 0730 DATED JULY 19, 2022 AND 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.

LEGEND

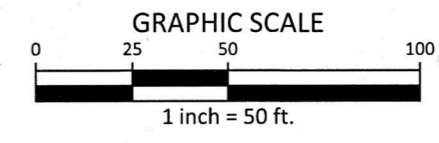
- EXISTING IRON PIPE
- EXISTING REBAR
- ▲ CALCULATED POINT
- BOUNDARY LINE
- ADJOINER LINE
- ANNEXATION LINE
- EASEMENT LINE
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE
- ERB EXISTING REBAR



PROJECT INFORMATION	
LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-08-2199
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	91,125 SQ.FT. - 2.09 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
 I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
 ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK



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 phone 919. 361. 5000
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 license number: C-0293, C-187
 www.mcadamsco.com

CLIENT
 RXR REALTY
 75 ROCKEFELLER PLAZA
 NEW YORK, NEW YORK 10019

VERIDEA
 ANNEXATION PLAT FOR
 THE TOWN OF APEX
 3130 VERIDEA PARKWAY
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA

REVISIONS

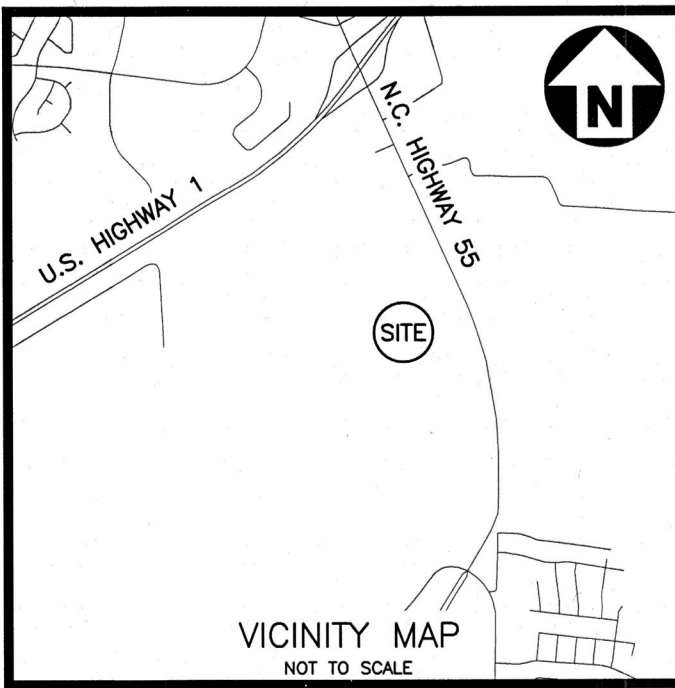
NO.	DATE	APEX COMMENTS
1	03.05.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F7
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=50'
DATE	01.28.2026

ANNEXATION PLAT
1-1

X:\Projects\RXR\R24001\02_Geomatics\Survey\Plats\RXR24001-F7_00664-08.dwg: 3/27/2026 5:19:56 PM, Connor Stearns



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1':80,471'+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D), THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026

J. Taylor
 JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP. 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.

LEGEND

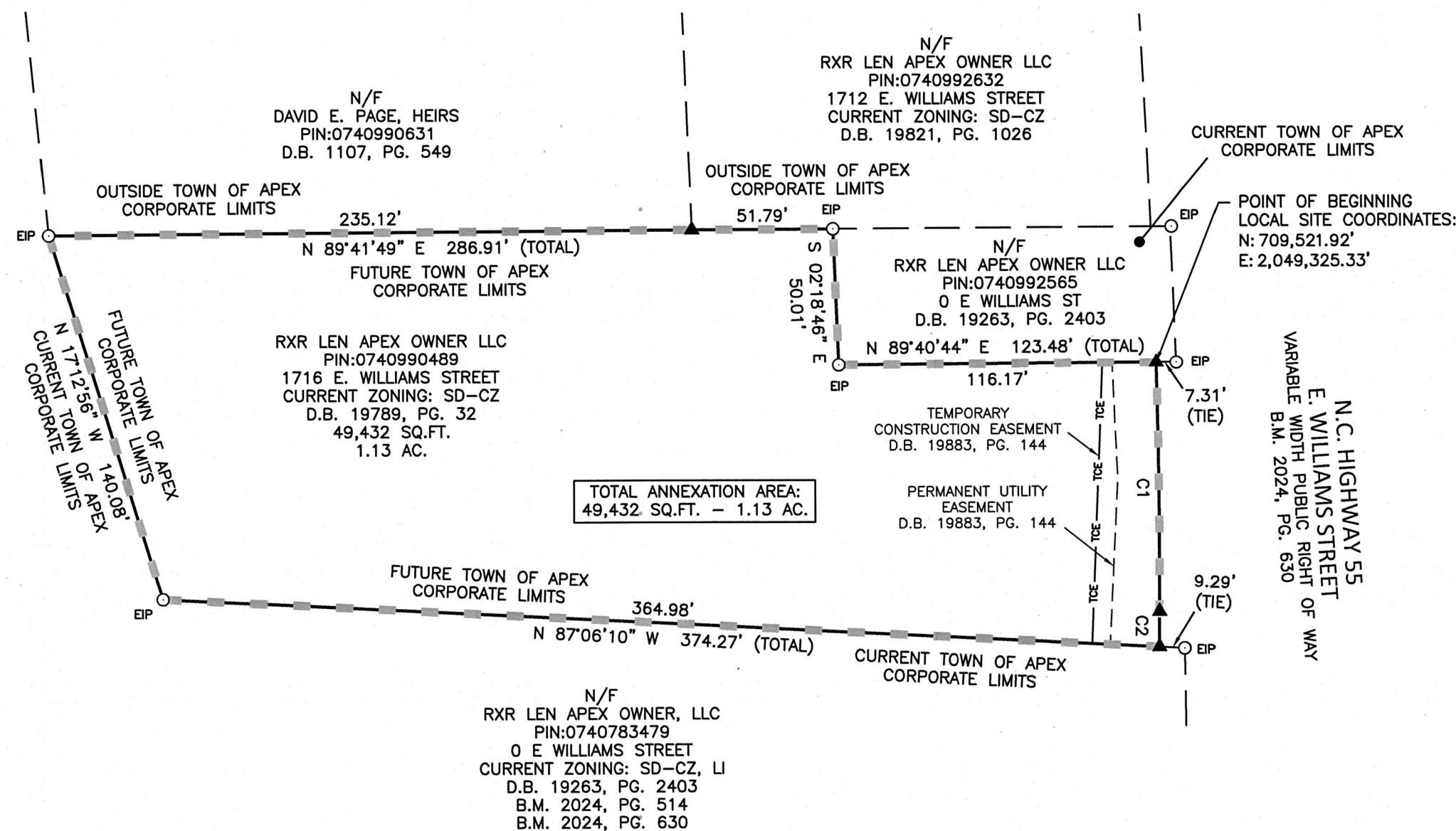
- EXISTING IRON PIPE
- ▲ CALCULATED POINT
- BOUNDARY LINE
- - - ADJOINER LINE
- - - ANNEXATION LINE
- - - EASEMENT LINE
- - - TEMPORARY CONSTRUCTION EASEMENT LINE
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE



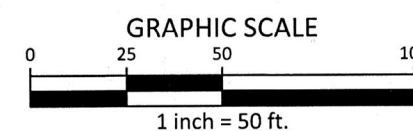
PROJECT INFORMATION

LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-99-0489
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	49,432 SQ.FT. - 1.13 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2791.21'	91.54'	S 00°35'17" E	91.54'
C2	5411.27'	12.91'	S 00°14'58" W	12.91'



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
 I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
 ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK



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CLIENT
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 NEW YORK, NEW YORK 10019

VERIDEA
 ANNEXATION PLAT FOR
 THE TOWN OF APEX
 1716 E. WILLIAMS STREET
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA

REVISIONS

NO.	DATE	APEX COMMENTS
1	03.05.2026	APEX COMMENTS

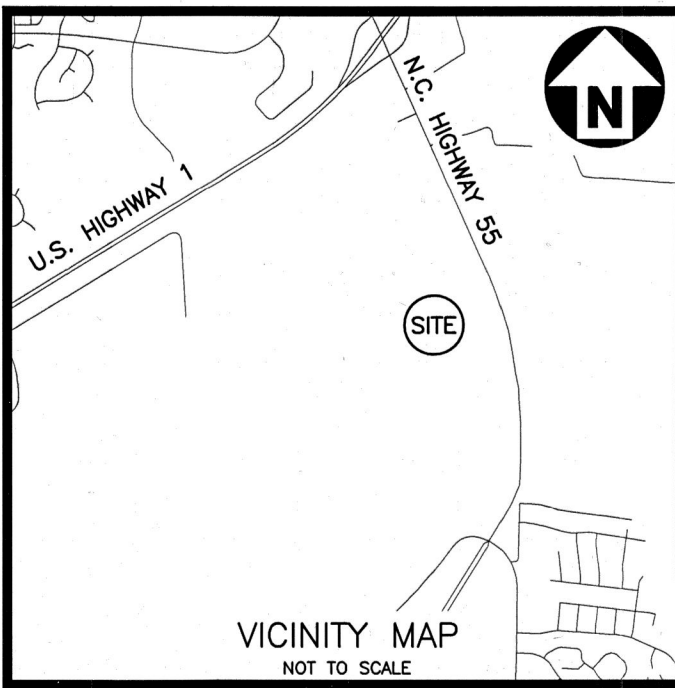
PLAN INFORMATION

PROJECT NO. RXR-24001
 FILENAME RXR24001-F8
 CHECKED BY JBT
 DRAWN BY CJS
 SCALE 1"=50'
 DATE 01.29.2026

SHEET

ANNEXATION PLAT
1-1

X:\Projects\RXR\RXR24001\02_Geomatic\Survey\Plats\RXR24001-F8_0013417.dwg, 3/27/2026 5:18:59 PM, Connor Stearns



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471'+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE: THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS NOT ON SITE.



PROJECT INFORMATION

LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-99-2174
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	6,386 SQ.FT. - 0.15 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	5633.75'	100.26'	N 00°30'27" W	100.26'

LEGEND

- EXISTING IRON PIPE
- ▲ CALCULATED POINT
- BOUNDARY LINE
- - - ADJOINER LINE
- - - ANNEXATION LINE
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE

RXR LEN APEX OWNER, LLC
PIN:0740783479
0 E WILLIAMS STREET
CURRENT ZONING: SD-CZ, LI
D.B. 19263, PG. 2403
B.M. 2024, PG. 514
B.M. 2024, PG. 630
7,079,600 SQ.FT.
162.52 AC.

RXR LEN APEX OWNER, LLC
PIN:0740992174
0 E WILLIAMS STREET
CURRENT ZONING: SD-CZ, LI
D.B. 19263, PG. 2403
B.M. 2024, PG. 514
B.M. 2024, PG. 630
7,079,600 SQ.FT.
162.52 AC.

RXR LEN APEX OWNER, LLC
PIN:0740783479
0 E WILLIAMS STREET
CURRENT ZONING: SD-CZ, LI
D.B. 19263, PG. 2403
B.M. 2024, PG. 514
B.M. 2024, PG. 630
7,079,600 SQ.FT.
162.52 AC.

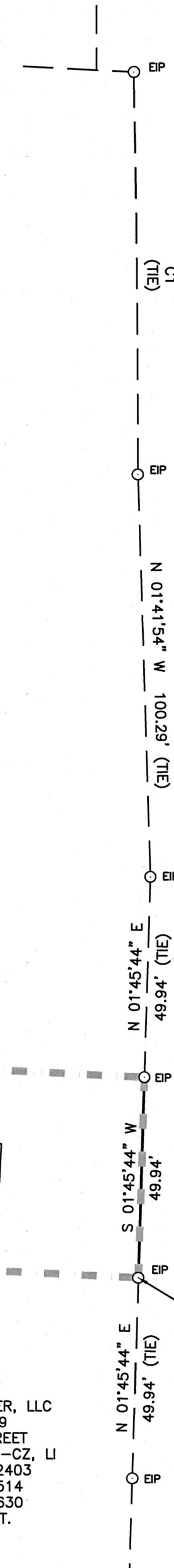
CURRENT TOWN OF APEX CORPORATE LIMITS
S 87°04'26" E 127.90'
FUTURE TOWN OF APEX CORPORATE LIMITS

FUTURE TOWN OF APEX CORPORATE LIMITS
N 87°06'47" W 127.65'
CURRENT TOWN OF APEX CORPORATE LIMITS

TOTAL ANNEXATION AREA:
6,386 SQ.FT. - 0.15 AC.

POINT OF BEGINNING EXISTING IRON PIPE
LOCAL SITE COORDINATES:
N: 709,116.67'
E: 2,049,336.28'

N.C. HIGHWAY 55
E. WILLIAMS STREET
VARIABLE WIDTH PUBLIC RIGHT OF WAY
B.M. 2024, PG. 630



THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK



McADAMS
The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
RXR REALTY
75 ROCKEFELLER PLAZA
NEW YORK, NEW YORK 10019

VERIDEA
ANNEXATION PLAT FOR
THE TOWN OF APEX
E. WILLIAMS STREET
HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
NORTH CAROLINA

REVISIONS

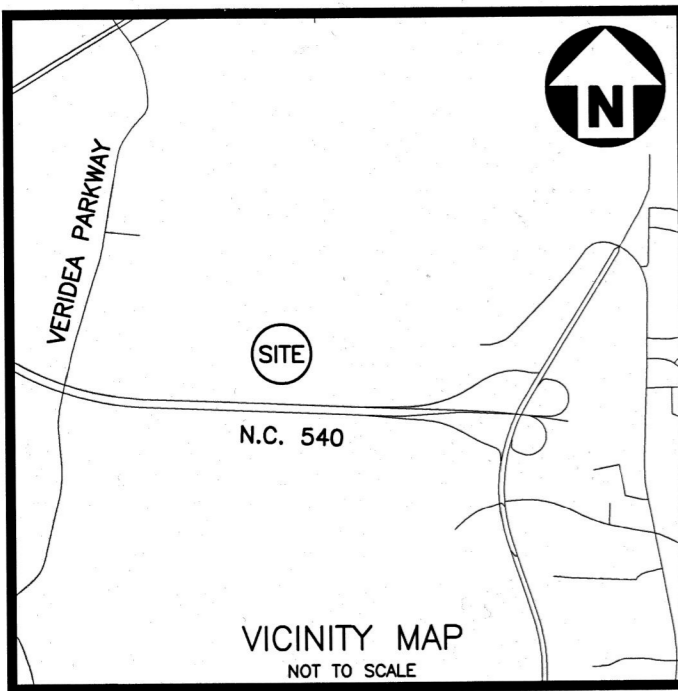
NO.	DATE	APEX COMMENTS
1	03.05.2026	APEX COMMENTS

PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F9
CHECKED BY	JBT
DRAWN BY	CIS
SCALE	1"=30'
DATE	01.29.2026

SHEET

ANNEXATION PLAT
1-1



SURVEYOR'S CERTIFICATE

I, JAY B. TAYLOR, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1":80,471"; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

I HEREBY CERTIFY THIS PLAT OF THE FOLLOWING TYPE: G.S. 47-30 (F)(11)(D). THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXEMPTION OR EXCEPTION TO THE DEFINITION OF SUBDIVISION.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 31 DAY OF March, A.D., 2026.

JAY B. TAYLOR, PROFESSIONAL LAND SURVEYOR L-5472



GENERAL NOTES

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS AN ANNEXATION PLAT.
- BEARINGS FOR THIS SURVEY ARE BASED ON SITE DATUM.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: SD-CZ PER WAKE COUNTY GIS.
- AREA BY COORDINATE GEOMETRY.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT**
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- FLOOD NOTE:** THERE IS NOT A FEMA FLOODPLAIN ON THE SUBJECT PROPERTY PER FEMA MAP 3720074000K PANEL 0740 DATED JULY 19, 2022; THE SUBJECT PARCEL IS IN ZONE "X." FLOOD STUDY PREPARED BY MCADAMS AND APPROVED BY THE TOWN OF APEX IS SHOWN ON SITE.
- STREAM BUFFERS ARE PER APPROVED TOWN OF APEX BUFFER CALL NO. 22-010 AND NO. 22-017.
- JURISDICTIONAL STREAMS AND WETLANDS SHOWN PER UASCE DETERMINATION DATED 5/31/2017.

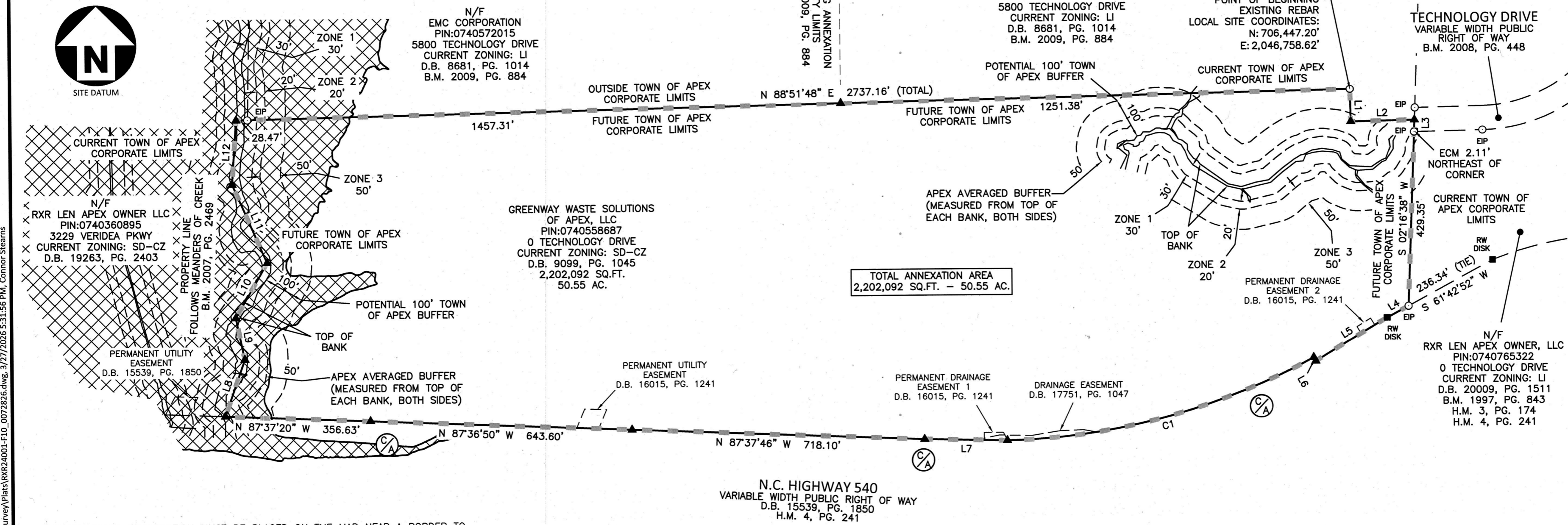
CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	1650.00'	786.41'	S 75°17'10" W	778.99'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 01°08'38" E	80.10'
L2	N 88°51'22" E	155.80'
L3	S 02°16'38" W	29.95'
L4	S 61°42'52" W	59.45'
L5	S 59°07'34" W	205.74'
L6	N 28°22'04" W	10.00'
L7	N 88°45'04" W	203.97'
L8	N 19°26'04" E	147.77'
L9	N 11°48'54" W	104.71'
L10	N 30°01'31" E	156.29'
L11	N 23°38'07" W	210.79'
L12	N 03°52'45" E	158.77'

PROJECT INFORMATION	
LANDOWNER	RXR LEN APEX OWNER LLC GENERAL COUNSEL 625 RXR PLAZA NEW YORK, NEW YORK 11556-3815
ENGINEER	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
SURVEYOR	MCADAMS 2905 MERIDIAN PARKWAY DURHAM, NORTH CAROLINA 27713 PHONE: (919)-361-5000
PARCEL ID	0740-55-8687
MAP BOOK AND PAGE NUMBER	SEE PLAT SHEETS
DEED BOOK AND PAGE NUMBER	SEE PLAT SHEETS
SITE ZONING	SD-CZ
TOTAL ANNEXATION ACREAGE AREA	2,202,092 SQ.FT. - 50.55 AC.
RIVER BASIN	CAPE FEAR RIVER BASIN

LEGEND

- EXISTING IRON PIPE
- EXISTING REBAR
- ▲ CALCULATED POINT
- EXISTING RIGHT OF WAY DISK
- ⊙ CONTROLLED ACCESS R/W
- BOUNDARY LINE
- - - ADJOINER LINE
- · - · - ANNEXATION LINE
- · - · - EASEMENT LINE
- ▨ APEX FLOODPLAIN
- N/F NOW OR FORMERLY
- D.B. DEED BOOK
- B.M. BOOK OF MAPS
- H.M. HIGHWAY MAPS
- PG. PAGE
- SQ.FT. SQUARE FEET
- AC. ACRE
- EIP EXISTING IRON PIPE
- ERB EXISTING REBAR
- RW DISK EXISTING REBAR WITH RIGHT OF WAY DISK



VERIDEA
 ANNEXATION PLAT FOR
 THE TOWN OF APEX
 TECHNOLOGY DRIVE
 HOLLY SPRINGS TOWNSHIP, WAKE COUNTY,
 NORTH CAROLINA

REVISIONS

NO.	DATE	DESCRIPTION
1	03.05.2026	APEX COMMENTS

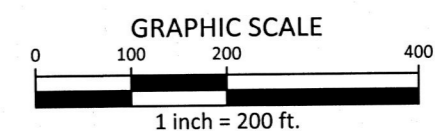
PLAN INFORMATION

PROJECT NO.	RXR-24001
FILENAME	RXR24001-F10
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=200'
DATE	01.29.2026

SHEET

ANNEXATION PLAT

1-1



X:\Projects\RXR\24001\F10_Geomatics\Survey\Plats\RXR24001-F10_0072826.dwg, 3/27/2026 5:31:56 PM, Connor Stearns

THE FOLLOWING CERTIFICATION MUST BE PLACED ON THE MAP NEAR A BORDER TO ALLOW THE MAP TO BE SEALED: ANNEXATION # _____
 I, ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK, APEX, NORTH CAROLINA CERTIFY THIS A TRUE AND EXACT MAP OF ANNEXATION ADOPTED THE ____ DAY OF _____, 2023, BY THE TOWN COUNCIL. I SET MY HAND AND SEAL OF THE TOWN OF APEX, _____ DAY/MONTH/YEAR
 ALLEN COLEMAN, CMC, NCCCC, TOWN CLERK