

STATEMENT OF TOWN COUNCIL AND ORDINANCE AMENDING THE OFFICIAL ZONING DISTRICT MAP OF THE TOWN OF APEX TO CHANGE THE ZONING OF APPROXIMATELY 13.55 ACRES LOCATED AT 8108 JENKS RD; 1440 & 1508 WIMBERLY RD FROM RURAL RESIDENTIAL (RR) TO PLANNED UNIT DEVELOPMENT-CONDITIONAL ZONING (PUD-CZ)

#24CZ11

WHEREAS, Wood Partners, owner/applicant (the "Applicant"), submitted a completed application for a conditional zoning on the 1st day of June, 2024 (the "Application"). The proposed conditional zoning is designated #24CZ11;

WHEREAS, the Planning Director for the Town of Apex, Dianne Khin, caused proper notice to be given (by publication and posting) of a public hearing on #24CZ11 before the Planning Board on the 12th day of May, 2025;

WHEREAS, the Apex Planning Board held a public hearing on the 12th day of May, 2025, gathered facts, received public comments and formulated a recommendation regarding the application for conditional zoning #24CZ11. A motion was made by the Apex Planning Board to recommend denial; the motion passed unanimously for the application for #24CZ11;

WHEREAS, pursuant to N.C.G.S. §160D-601 and Sec. 2.2.11.E of the Unified Development Ordinance, the Planning Director caused proper notice to be given (by publication and posting), of a public hearing on #24CZ11 before the Apex Town Council on the 27th day of May, 2025;

WHEREAS, the Apex Town Council held a public hearing on the 27th day of May, 2025. Bruce Venable, Planner II, presented the Planning Board's recommendation at the public hearing;

WHEREAS, all persons who desired to present information relevant to the application for #24CZ11 were allowed to present evidence at the public hearing before the Apex Town Council. No one who wanted to speak was turned away;

WHEREAS, the Apex Town Council finds that the approval of the rezoning is not consistent with the 2045 Land Use Plan and other adopted plans in that the 2045 Land Use Map designates this area as Office Employment/Commercial Services and approval of this rezoning will automatically amend the 2045 Land Use Map to High Density Residential. This designation on the 2045 Land Use Map includes the zoning district Planned Unit Development-Conditional Zoning (PUD-CZ) and the Apex Town Council has considered that the proposed rezoning to PUD-CZ will maintain the character and appearance of the area while providing the flexibility to accommodate growth in population, economy, and infrastructure consistent with the intent of the 2045 Land Use Map;

WHEREAS, the Apex Town Council finds that the approval of the rezoning to Planned Unit Development-Conditional Zoning (PUD-CZ) is reasonable and in the public interest in that: The rezoning will allow for the development of high-density residential housing including affordable units, which are needed to support the continued residential growth in this area. Additionally, the rezoning will promote compatible development with surrounding land uses and contribute to an increased tax base, supporting the Town's long-term fiscal sustainability; and

WHEREAS, the Apex Town Council by a vote of 3 to 2 approved Application #24CZ11 rezoning the subject tracts located at 8108 Jenks Rd; 1440 & 1508 Wimberly Rd from Rural Residential (RR) to Planned Unit Development-Conditional Zoning (PUD-CZ).

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF APEX

Section 1: The lands that are the subject of the Ordinance are those certain lands described in Attachment "A" – Legal Description which is incorporated herein by reference, and said lands are hereafter referred to as the "Rezoned Lands."

Ordinance Amending the Official Zoning District Map #24CZ11

Section 2: The Town of Apex Unified Development Ordinance, including the Town of Apex North Carolina Official Zoning District Map which is a part of said Ordinance, is hereby amended by changing the zoning classification of the "Rezoned Lands" from 8108 Jenks Rd; 1440 & 1508 Wimberly Rd from Rural Residential (RR) to Planned Unit Development-Conditional Zoning (PUD-CZ).

Section 3: The Planning Director is hereby authorized and directed to cause the said Official Zoning District Map for the Town of Apex, North Carolina, to be physically revised and amended to reflect the zoning changes ordained by this Ordinance.

Section 4: The "Rezoned Lands" are subject to all of the conditions in Attachment "B" Altera Heights PUD which are imposed as part of this rezoning:

Section 5: The "Rezoned Lands" shall be perpetually bound to the conditions imposed including the uses authorized, unless subsequently changed or amended as provided for in the Unified Development Ordinance. Site plans for any development to be made pursuant to this amendment to the Official Zoning District Map shall be submitted for site plan approval as provided for in the Unified Development Ordinance.

Section 6: This Ordinance shall be in full force and effect from and after its adoption.

Motion by Council Member Zegeman

Seconded by Council Member Gantt

With 5 Council Member(s) voting "aye."

With 0 Council Member(s) voting "no."

This the 10th day of June 2025.

TOWN OF APEX

Jacques K. Gilbert
Mayor

ATTEST:

Allen Coleman
Allen Coleman, CMC, NCCCC
Town Clerk

APPROVED AS TO FORM:

Town Attorney
Town Attorney



Legal Description
Altera Heights PUD

BEGINNING ON THE SOUTHERN RIGHT OF WAY OF WIMBERLY ROAD (60' PUBLIC RIGHT OF WAY) AT AN EXISTING IRON PIPE ON THE NORTHEASTERN CORNER OF LOT 1 RECORDED IN BOOK OF MAPS 1994 PAGE 435 RECORDED IN THE WAKE COUNTY REGISTER OF DEEDS AND HAVING N.C. GRID COORDINATES OF N: 728,630.67, E: 2,026,294.61 NAD83/2011, THENCE FROM SAID POINT AND WITH THE SOUTHERN RIGHT OF WAY SOUTH 49° 11' 09" EAST FOR A DISTANCE OF 107.51 FEET TO AN IRON PIPE SET, THENCE SOUTH 40° 46' 30" EAST FOR A DISTANCE OF 106.86 FEET TO AN IRON PIPE SET, THENCE SOUTH 33° 47' 29" EAST FOR A DISTANCE OF 79.92 FEET TO AN IRON PIPE SET, THENCE SOUTH 28° 06' 25" EAST FOR A DISTANCE OF 94.74 FEET TO AN IRON PIPE SET, THENCE SOUTH 24° 00' 16" EAST FOR A DISTANCE OF 484.42 FEET TO AN IRON PIPE SET, THENCE SOUTH 25° 31' 04" EAST FOR A DISTANCE OF 82.88 FEET TO AN IRON PIPE SET, THENCE SOUTH 27° 41' 54" EAST FOR A DISTANCE OF 31.47 FEET TO AN IRON PIPE SET, THENCE SOUTH 23° 56' 01" WEST FOR A DISTANCE OF 47.61 FEET TO AN IRON PIPE SET ON THE NORTHERN RIGHT OF WAY OF JENKS ROAD (60' PUBLIC RIGHT OF WAY), THENCE ALONG THE NORTHERN RIGHT OF WAY SOUTH 75° 33' 56" WEST FOR A DISTANCE OF 115.59 FEET TO AN IRON PIPE, THENCE SOUTH 74° 18' 49" WEST A DISTANCE OF 68.97 FEET TO AN IRON PIPE WITH CAP, THENCE LEAVING THE NORTHERN RIGHT OF WAY OF JENKS ROAD (60' PUBLIC RIGHT OF WAY) NORTH 88° 58' 44" WEST FOR A DISTANCE OF 563.29 FEET TO AN ANGLE IRON, THENCE NORTH 88° 58' 44" WEST FOR A DISTANCE OF 47.06 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 424.08 FEET TO AN AXLE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 12.51 FEET TO AN IRON PIPE THENCE NORTH 01° 32' 21" EAST A DISTANCE OF 151.76 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 15.73 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST A DISTANCE OF 84.35 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 18" EAST FOR A DISTANCE OF 411.13 FEET TO AN IRON PIPE SET ON THE SOUTHERN RIGHT OF WAY OF WIMBERLY ROAD (60' PUBLIC RIGHT OF WAY), THENCE WITH THE SOUTHERN RIGHT OF WAY SOUTH 61° 03' 43" EAST FOR A DISTANCE OF 170.57 FEET TO AN IRON PIPE SET, THENCE SOUTH 59° 15' 00" EAST FOR A DISTANCE OF 74.16 FEET TO AN IRON PIPE SET, THENCE SOUTH 56° 01' 14" EAST FOR A DISTANCE OF 93.72 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 13.55 ACRES, MORE OR LESS.

Attachment "B"



ALTERA HEIGHTS

Planned Unit Development

Apex, North Carolina

Submittal Dates

First Submittal: June 3, 2024

Second Submittal: August 2, 2024

Third Submittal: February 7, 2024

Fourth Submittal: April 4, 2025

Fifth Submittal: April 23, 2025

Sixth Submittal: May 22, 2025

Developer

Wood Partners

1414 Raleigh Road, Suite 429

Chapel Hill, NC 27517

Civil Engineer

BGE, Inc.

5438 Wade Park Blvd, Suite 420

Raleigh, NC 27607

Land Use Attorney

Matthew J. Carpenter

Parker Poe Adams & Bernstein LLP

301 Fayetteville Street, Suite 1400

Raleigh, NC 27601



PPAB 12398952v1



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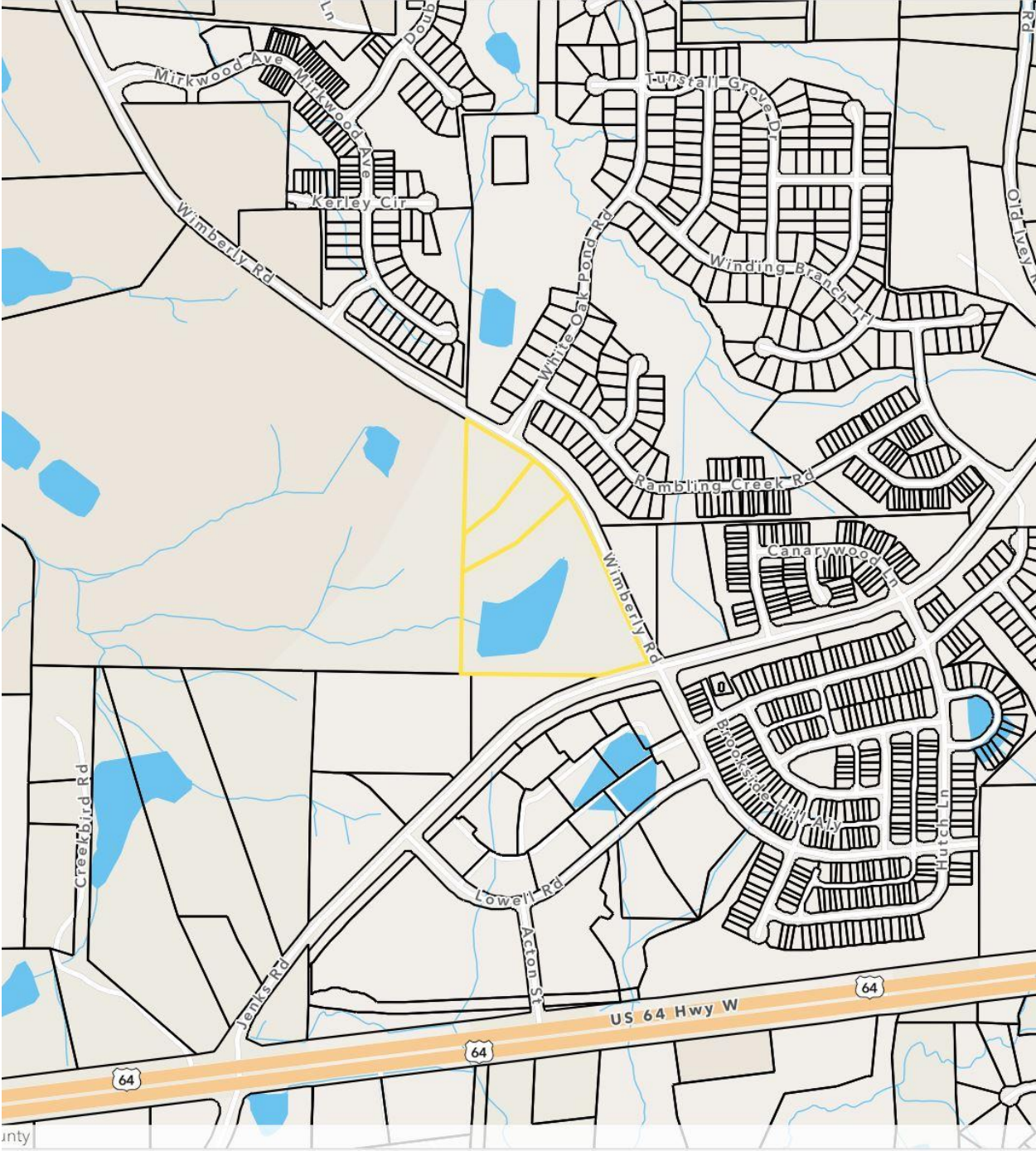
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VICINITY MAP



PROJECT DATA

Name of Project: Altera Heights

Property Owner: See attached **Exhibit B**

Developer: Wood Partners
1414 Raleigh Road, Suite 429
Chapel Hill, NC 27517

Prepared by: Parker Poe Adams & Bernstein LLP
301 Fayetteville Street, Suite 1400
Raleigh, NC 27601

BGE, Inc.
5438 Wade Park Blvd., Suite 420
Raleigh, NC 27607

Current Zoning: Rural Residential (RR)

Proposed Zoning: Planned Unit Development Conditional Zoning (PUD-CZ)

Current 2045 LUM Designations: Office Employment/Commercial Services

Proposed 2045 LUM Designations: High Density Residential

Site Address: 8108 Jenks Rd, 1508 Wimberly Rd, 1440 Wimberly Rd

Property Identification Number: 0722673959, 0722682430, 0722681610

Total Acreage: 13.55 acres

Area Designated as Mixed Use on LUM: None

Area Proposed as Non-Residential: None

PURPOSE STATEMENT

This document and the accompanying exhibits submitted herewith (collectively, the “PUD”) are provided pursuant to the Town of Apex Unified Development Ordinance (“UDO”) Planned Unit Development provisions. This PUD addresses the development of an approximately 13.55-acre site at the corner of Wimberly Road and Jenks Road. The property is in the Town’s ETJ and primarily undeveloped with two existing single-family homes.

Altera Heights aims to offer upscale living at cost-effective rates to fill a gap in the housing market. The project will be an attainable housing community for middle income earners, those often overlooked by the multi-family housing market which consists primarily of government subsidized affordable projects on one end and luxury high rent apartment communities on the other. In addition, the community will provide 12% of the total units as AMI restricted affordable units to ensure affordability for different income bands. The community will be conveniently located near goods and services and future commercial development on US-64, offering people of all backgrounds the opportunity to live in and enjoy Apex.

The Town of Apex 2045 Land Use Map (the “LUM”) designates the property as Office/Commercial Services. However, non-residential uses are infeasible on the property. The office market has not recovered from COVID-19; in first quarter 2024, the direct vacancy rate for office space in Raleigh-Durham increased to 15.6% and the suburban vacancy rate increased to 16.2%.¹ Seven of the ten largest vacancies were in suburban submarkets, mostly concentrated in the RTP/I-40 Corridor submarket which had the highest overall vacancy rate of 30.9%. Commercial uses on the site face challenges due to the lot configuration. Because of the configuration of the Town owned property to the south (PIN 0722671588), the property has minimal frontage on Jenks Road, the primary transportation corridor, and will only have driveway access to Wimberly Road. Additionally, non-residential development is drawn to US-64 where visibility is better and daily trips are higher.

Given these constraints, an attainable housing community is the highest and best use of the property. It will further Goal 1.2(d) of the Affordable Housing Incentive Zoning Policy and Procedures Manual, to create “mixed-income communities, with affordable housing units integrated within residential and mixed-use market rate developments.” According to the Affordable Housing Plan, over the next decade, Apex is projected to add 1,900 jobs with incomes below \$75,000, which will further contribute to the Town’s affordable housing need; jobs such as grocery cashiers, firefighters, and nurses.

¹ See Cushman & Wakefield Q1 2024 Raleigh Office Report. https://cw-gbl-gws-prod.azureedge.net/-/media/cw/marketbeat-pdfs/2024/q1/us-reports/office/raleigh-durham_americas_marketbeat_office_q12024.pdf?rev=e3d179927e8343c69bd3895c5d3d6fab

CONSISTENCY WITH PLANNED UNIT DEVELOPMENT STANDARDS

- (i) *The uses proposed to be developed in the PD plan for PUD-CZ are those uses permitted in Sec. 4.2.2 Use Table***

RESPONSE: The uses permitted within this PUD are permitted within this designation in the UDO Section 4.2.2 Use Table.

- (ii) *The uses proposed in the PD Plan for PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of non-residential land area is included in certain mixed-use areas as specified on the 2045 Land Use Map. The location of the uses proposed by the PUD-CZ must be shown in the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.***

RESPONSE: Altera Heights is a multi-family development. None of the parcels in the PUD have three stripes on the LUM. Accordingly, this PUD is not required to designate 30% of the property as non-residential.

- (iii) *The dimensional standards in Sec. 5.1.3 Table of Intensity and Dimensional Standards, Planned Development Districts may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.***

RESPONSE: This PUD specifies intensity and dimensional standards for the project. The proposed PUD is consistent with the UDO Planned Unit Development standards – to provide site specific, high-quality neighborhoods that preserve natural features and exhibit compatibility with, and connectivity to, surrounding land uses. Except as specifically stated in this PUD, the development will comply with all requirements of the UDO and will comply with all applicable requirements of the North Carolina Building Code and the North Carolina Fire Code.

- (iv) *The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Advance Apex: The 2045 Transportation Plan and the Town of Apex Standard Specifications and Standard Details, and greenway improvements as required by the Town of Apex Parks, Recreation, Greenways, and Open Space Plan and the Advance Apex: The 2045 Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.***

RESPONSE: The project will have 10-foot Side Paths along its frontage on Wimberly Road and Jenks Road as recommended by the Bicycle and Pedestrian System Plan Map. Internal sidewalks will connect to the Side Paths to improve pedestrian connectivity and safety.

- (v) *The design of development in the PD Plan for PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient compact network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing or proposed street system in the surrounding area indicate that a through street is not essential in the location of the proposed cul-de-sac, or where sensitive environmental areas such as streams, floodplains, and wetlands would be substantially disturbed by making road connections.***

RESPONSE: The project does not propose any new public streets. Additionally, vehicular cross access connections are undesirable due to the use of adjacent properties. The adjacent property to the west is the Cary-Apex Water Plant. The adjacent property to the south is owned by the Town and will be used for utilities. The project will improve pedestrian connectivity by constructing Side Paths along its frontage on Wimberly Road and Jenks Road.

- (vi) *The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.***

RESPONSE: The proposed development is compatible with the character of the existing and planned uses in the surrounding area. This area of Town includes a wide array of housing types including the Villages at Westford luxury apartments and Westford Townhomes to the south, the Alderwood single-family subdivision to the east, and the future Arden 55+ community to the west. The project will add an attainable rental housing type, with conditions to ensure a high quality product that complements existing neighborhoods in the area.

- (vii) *The development proposed in the PD Plan for PUD-CZ has architectural and design standards that are exceptional and provide higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.***

RESPONSE: The development will feature high quality and thoughtful design. Architectural standards, design controls, and conceptual elevations are included in this PUD.

CONSISTENCY WITH CONDITIONAL ZONING STANDARDS

Altera Heights is consistent with the conditional zoning standards set forth in UDO Section 2.3.3.F.1-10. Please see the accompanying PUD-CZ Application for the statements of consistency addressing each standard.

PERMITTED USES

The Property may be used for the uses listed below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply. Homeowners Association covenants shall not restrict the construction of accessory dwelling units.

The following uses shall be permitted:

Residential

- Multi-family or apartment
- Condominium

Utilities

- Utility, minor

Recreational

- Greenway
- Park, Active
- Park, Passive
- Recreation Facility, private

AFFORDABLE HOUSING

A minimum of 12% of the total residential apartment units (as shown on the first site plan submittal) shall be designated as restricted low-income affordable housing rental units (the "Affordable Units") for a minimum affordability period of 15 years starting from the date of issuance of the first residential Certificate of Occupancy (the "Affordable Restriction Period").

- 5% of the total residential apartment units shall be Affordable Units occupied by low-income households earning no more than 80% of the Raleigh, NC Metropolitan Statistical Area (MSA) Area Median Income, adjusted for family size, as most recently published by the U.S. Department of Housing and Urban Development (HUD)(the "AMI") and rented at maximum rent limits per bedroom count, no greater than the 80% AMI limits as stipulated by the most recently published NC Housing Finance Agency Low-Income Housing Tax Credit Multifamily Tax Subsidy Program income and rent limits for the Wake County Metropolitan Area (the "MTSP Rent Limits").
- 5% of the total residential apartment units shall be Affordable Units occupied by low-income households earning no more than 100% AMI and rented at maximum rent limits as stipulated by the 100% AMI MTSP Rent Limits.
- 2% of the total residential apartment units shall be Affordable Units occupied by low-income households earning no more than 110% AMI and rented at maximum rent limits as stipulated by the 110% AMI MTSP Rent Limits.
- If the Affordable Units calculation results in a fraction between 0.00 and 0.49, the number of Affordable Units shall be rounded down to the nearest whole number. If the Affordable Units calculation results in a fraction between 0.50 and 0.99, the number of Affordable Units shall be rounded up to the nearest whole number.
- Prior to issuance of the first residential Certificate of Occupancy, a restrictive covenant between the Town and property owner shall be executed and recorded in the Wake County Registry to memorialize the affordable housing terms and conditions.
- During the Affordable Restriction Period, the property owner shall be responsible for performing, or contracting for, all property management and administration duties to ensure compliance with this affordable housing condition and shall submit annual compliance reports to the Town verifying compliance.
- Following expiration of the Affordable Restriction Period, this affordable housing condition shall expire, and the property owner shall be relieved of all obligations set forth in this affordable housing condition, and the Affordable Units may be freely marketed and leased at market-rate rents.

DESIGN CONTROLS

Multi-Family Design Controls

- Acreage: 13.55
- Maximum number of multi-family apartment units: 300
- Maximum Building Height: 60 ft./4 stories
- Minimum Building Setbacks
 - Front 10 ft.
 - Rear 10 ft.
 - Corner 10 ft.
 - Minimum Building Separation 30 ft.
 - From Buffer or RCA 10 ft.

LANDSCAPING, BUFFERING, AND SCREENING

Perimeter buffers shall be built and planted to the following lot width and planting standards:

Location:	Buffer Size & Type:
Along the southern property line	30 ft. Type B/15 ft. Type B*
Along the western property line	25 ft. Type A
Along Wimberly Road	20 ft. Type B**

*There is an existing Duke Energy Electric Easement (Deed Book 5389, Page 112)(the “Jenks Duke Easement”) along the property’s Jenks Road frontage. The Jenks Road right of way dedication and road widening set forth in the Transportation Improvements section of this PUD may require relocation of the Jenks Duke Easement north onto the property as shown on the Preliminary Layout Plan (the “Relocation”). If the Relocation occurs, the portion of the buffer adjacent to the easement shall be reduced to a 15-foot Type B buffer and located outside of the relocated Jenks Duke Easement.

**This buffer may overlap with the existing Town of Apex Electric Easement (Deed Book 16203, Page 1465) and Duke Energy Electric Easement along Wimberly Road provided there is a 10-foot wide planting area as measured from the edge of the easement.

ARCHITECTURAL STANDARDS

Altera Heights offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Elevations included are conceptual examples. Final elevations must comply with these architectural standards but may vary from the conceptual elevations. Further details may be provided at the time of Site Plan submittal.

RESIDENTIAL DESIGN GUIDELINES

Multi-Family/Apartments/Condominiums:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
2. Rear and side elevations of units that have right-of-way frontage shall have trim around the windows.
3. A minimum of three of the following features shall be used on each building:
 - a. Decorative shake
 - b. Board and batten
 - c. Decorative porch railing/posts
 - d. Shutters
 - e. Decorative/functional air vents on roof or foundation
 - f. Recessed windows
 - g. Decorative windows
 - h. Decorative brick/stone
 - i. Gables
 - j. Decorative cornices
 - k. Tin/metal roof
4. Garage doors must have windows, decorative details, or carriage-style adornments on them.
5. Windows that are not recessed must be trimmed.

PARKING AND LOADING

Multi-Family buildings shall provide the following minimum parking spaces per dwelling unit based on the number of bedrooms:

Bedrooms per unit	Minimum ratio
1 or 2	1.3 spaces per dwelling unit
3	1.8 spaces per dwelling unit

SIGNAGE

Signage shall comply with UDO Section 8.7.

NATURAL RESOURCES AND ENVIRONMENTAL DATA

RIVER BASINS AND WATERSHED PROTECTION OVERLAY DISTRICTS

The property is in the Primary Watershed Protection Overlay District as shown on the Town of Apex Watershed Protection Overlay Map 2019. This PUD will comply with all built upon area,

vegetated conveyances, structural SCMs and riparian stream buffer requirements of UDO Section 6.1.8.

Resource Conservation Areas (RCA)

This PUD will meet the requirements of Section 8.1.2 of the UDO, Resource Conservation Area, and Section 2.3.4, Planned Development Districts.

The PUD will provide a minimum of 25% of the gross project area as Resource Conservation Area ("RCA"). Designated RCA areas will be consistent with the items listed in UDO Section 8.1.2(B). Preserved streams, wetlands, and associated riparian buffers provide the primary RCAs throughout the site. Additional RCA areas may include perimeter and street front buffers, stormwater management areas, and greenways.

Floodplain

The project site does not sit within a designated current or future 100-year floodplain as shown on the Town of Apex Watershed & FEMA Map dated April 2015. FIRM Panel 3720072200J dated May 2, 2006 does not include a floodplain within the property boundary.

Historic Structures

There are no known historic structures present on the Property.

Environmental Commitments Summary

As shown elsewhere in the PUD, the following environmental conditions shall apply to the Development:

- The project shall install at least one (1) sign per SCM discouraging the use of fertilizer and to reduce pet waste near SCM drainage areas. The sign shall be installed in locations that are publicly accessible, such as adjacent to, but outside of public property and/or public easement(s), amenity centers, sidewalks, greenways, or side paths.
- At least 70% of plants shall be native species. Landscaping will be coordinated with and approved by the Planning Director at site plan or subdivision review.
- The project shall install a sign adjacent to wooded or natural condition Resource Conservation Area that indicates the area is RCA and to be preserved in perpetuity and not disturbed.
- The project shall install at least two (2) pet waste stations in the project in locations that are publicly accessible, such as adjacent to amenity centers, SCMs, sidewalks, greenways, or side paths.
- No invasive species shall be permitted. No single species of tree or shrub shall constitute more than 20% of the plant material of its type within a single development site.

- The project shall use full cutoff LED fixtures that have a maximum color temperature of 3,000K for all exterior lighting, including, but not limited to, parking lot and building mounted fixtures.

STORMWATER MANAGEMENT

The Development shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1 of the UDO.

Acceptable stormwater structures shall include detention ponds, constructed wetlands, bio-retention areas, or other approved devices consistent with the NC DEQ Stormwater Design Manual and the Town of Apex UDO.

PARKS AND RECREATION

Altera Heights PUD #24CZ11 was reviewed at the 02/26/2025 PRCR Advisory Commission meeting. The Commission unanimously recommended a fee in lieu of dedication for a maximum of 300 Multi-Family units. The fee in lieu rate will be set at the time of Town Council action on the Rezoning and run for the life of the project. The total fee-in-lieu (based on the final unit count) will be calculated at Site Plan and Construction Document review and deposited prior to issuance of the first building permit for each building.

PUBLIC FACILITIES

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4(F)(1)(f) and be designed to comply with the Town's Sewer and Water Master Plan and Standards and Specifications. Road and utility infrastructure shall be as follows:

TRANSPORTATION IMPROVEMENTS

The following conditions regarding transportation improvements (the "Road Improvements") apply and shall be phased consistent with the Traffic Impact Analysis that has been performed for this rezoning, which is on file with the Town of Apex. All proposed driveway access and improvements on state-maintained roadways are subject to both Apex and NCDOT review and approval. All proposed roadway infrastructure and right-of-way dedications will be consistent with the Town of Apex Comprehensive Transportation Plan.

1. **Wimberly Road Widening.** Developer shall widen Wimberly Road to accommodate turn lanes as required based on a minimum 35-foot back to back curb and gutter 2-lane section with a 10-foot Side Path in a 60-foot right-of-way. Developer shall dedicate up to 5 feet of additional right of way along the property's frontage where needed to accommodate required turn lanes.

2. **Wimberly Road/White Oak Pond Road/North Site Driveway Intersection.** Developer shall construct a full-movement stop-controlled two-lane driveway across from White Oak Pond Road.
3. **Wimberly Road/Retreat at Preserve at White Oak Driveway/South Site Driveway Intersection.** Developer shall construct:
 - a. a full-movement stop-controlled two-lane driveway across from the planned Alderwood commercial site driveway approximately 550 feet north of Jenks Road;
 - b. a northbound left turn lane on Wimberly Road with a minimum 50 feet of storage and appropriate deceleration length and taper; and
 - c. a southbound left turn lane on Wimberly Road with a minimum 25 feet of storage and appropriate deceleration length and taper.
4. **Jenks Road/Wimberly Road Intersection.**
 - a. Developer shall dedicate right-of-way in the northwestern quadrant of the intersection sufficient for the future construction of a metal pole traffic signal with signal cabinet and associated equipment.
 - b. Prior to recordation of the Final Plat for the last phase of the development, Developer shall pay a fee in lieu for 50% of the estimated costs to design, acquire easements for, and construct a metal pole span wire traffic signal with pedestrian accommodations. Prior to Final Plat approval for the last phase of the development, Developer shall provide a preliminary signal geometric plan and engineer's estimate to the Town for review and approval.
5. **Jenks Road Widening.** Developer shall dedicate right of way and widen the northern half of Jenks Road for the length of the property's Jenks Road frontage based on a minimum 84-foot back to back curb and gutter 4-lane divided section with a 10-foot Side Path in a 110-foot right-of-way (the "Jenks Road Widening").
6. **Right of Way/Easement Acquisition.** The Road Improvements are intended to be located in existing Jenks Road and Wimberly Road rights of way and in additional right of way to be dedicated along the subject property's road frontage. If any Road Improvements require offsite rights of way, easements, or other property interests, the developer shall be responsible for acquiring all offsite easements and right of way necessary to construct committed transportation improvements. In the event that developer is unable to acquire the aforementioned easements and right of way through good faith efforts, Developer shall request assistance from the Town of Apex. In the event that the Town is unwilling or unable to assist with the acquisitions, Developer shall update engineering plans accordingly and pay a fee in lieu based on the fair market value of the offsite easements and right of way and estimated construction cost of the improvements, based on an engineer's estimate, subject to Town review and approval. Payment of the fee in

lieu shall satisfy the requirement to construct the committed transportation improvements.

CROSS ACCESS

Adjacent to the west of the property is the Cary-Apex Water Treatment Plant (PIN 0722488535). Adjacent to the south of the property is an undeveloped tract owned by the Town of Apex to be used for utilities (PIN 0722671588). Due to the nature of adjacent uses, the project shall not be required to provide vehicular or pedestrian cross access to adjacent properties.

PEDESTRIAN AND BICYCLE IMPROVEMENTS

Per the Town of Apex Bicycle and Pedestrian System Plan Map and UDO requirements, the developer shall construct a 10-foot Side Path along the property's Jenks Road and Wimberly Road frontage.

WATER AND SANITARY SEWER

All lots within the Development will be served by Town of Apex water and sanitary sewer. The utility design will be finalized at the time of Site Plan approval and be based on available facilities adjacent to the site at that time. The design will meet the current Town of Apex Sewer and Water Master Plan and Standards and Specifications. A conceptual utility plan is included in the PUD Concept Plan for reference.

OTHER UTILITIES

Electricity will be provided by Apex Electric. Phone and cable will be provided by the Developer via third parties and shall meet Town of Apex standards as outlined in the UDO.

PHASING

The project may be completed in phases. Final locations of phases will be determined at the time of Site Plan review and approval.

CONSISTENCY WITH LAND USE PLAN

The Town of Apex 2045 Land Use Map (the "LUM") designates the property as Office/Commercial Services. However, non-residential uses are infeasible on the property. The office market has not recovered from COVID-19; in first quarter 2024, the direct vacancy rate for office space in Raleigh-Durham increased to 15.6% and the suburban vacancy rate increased to 16.2%.² Seven of the ten largest vacancies were in suburban submarkets, mostly concentrated in the RTP/I-40

² See Cushman & Wakefield Q1 2024 Raleigh Office Report. https://cw-gbl-gws-prod.azureedge.net/-/media/cw/marketbeat-pdfs/2024/q1/us-reports/office/raleigh-durham_americas_marketbeat_office_q12024.pdf?rev=e3d179927e8343c69bd3895c5d3d6fab

Corridor submarket which had the highest overall vacancy rate of 30.9%. Commercial uses on the site face challenges due to the lot configuration. Because of the configuration of the Town owned property to the south (PIN 0722671588), the property has minimal frontage on Jenks Road, the primary transportation corridor, and will only have driveway access to Wimberly Road. Additionally, non-residential development is drawn to US-64 where visibility is better and daily trips are higher.

Given those constraints, an attainable housing community is the highest and best use of the property. It will further Goal 1.2(d) of the Affordable Housing Incentive Zoning Policy and Procedures Manual (the "Affordable Policy"), to create "mixed-income communities, with affordable housing units integrated within residential and mixed-use market rate developments." According to the Affordable Housing Plan (the "Affordable Plan"), over the next decade, Apex is projected to add 1,900 jobs with incomes below \$75,000, which will further contribute to the Town's affordable housing need; jobs such as grocery cashiers, firefighters, and nurses.

COMPLIANCE WITH UDO

The development standards proposed for this PUD comply with those set forth in the Town's Unified Development Ordinance (UDO). This PUD shall be the primary governing document for the development of Altera Heights. All standards and regulations in this PUD shall control over general standards of the UDO. Provided, however, that if a specific regulation is not addressed in this PUD, UDO regulations shall control.

EXHIBIT A
Legal Description
The Property

BEGINNING ON THE SOUTHERN RIGHT OF WAY OF WIMBERLY ROAD (60' PUBLIC RIGHT OF WAY) AT AN EXISTING IRON PIPE ON THE NORTHEASTERN CORNER OF LOT 1 RECORDED IN BOOK OF MAPS 1994 PAGE 435 RECORDED IN THE WAKE COUNTY REGISTER OF DEEDS AND HAVING N.C. GRID COORDINATES OF N: 728,630.67, E: 2,026,294.61 NAD83/2011, THENCE FROM SAID POINT AND WITH THE SOUTHERN RIGHT OF WAY SOUTH 49° 11' 09" EAST FOR A DISTANCE OF 107.51 FEET TO AN IRON PIPE SET, THENCE SOUTH 40° 46' 30" EAST FOR A DISTANCE OF 106.86 FEET TO AN IRON PIPE SET, THENCE SOUTH 33° 47' 29" EAST FOR A DISTANCE OF 79.92 FEET TO AN IRON PIPE SET, THENCE SOUTH 28° 06' 25" EAST FOR A DISTANCE OF 94.74 FEET TO AN IRON PIPE SET, THENCE SOUTH 24° 00' 16" EAST FOR A DISTANCE OF 484.42 FEET TO AN IRON PIPE SET, THENCE SOUTH 25° 31' 04" EAST FOR A DISTANCE OF 82.88 FEET TO AN IRON PIPE SET, THENCE SOUTH 27° 41' 54" EAST FOR A DISTANCE OF 31.47 FEET TO AN IRON PIPE SET, THENCE SOUTH 23° 56' 01" WEST FOR A DISTANCE OF 47.61 FEET TO AN IRON PIPE SET ON THE NORTHERN RIGHT OF WAY OF JENKS ROAD (60' PUBLIC RIGHT OF WAY), THENCE ALONG THE NORTHERN RIGHT OF WAY SOUTH 75° 33' 56" WEST FOR A DISTANCE OF 115.59 FEET TO AN IRON PIPE, THENCE SOUTH 74° 18' 49" WEST A DISTANCE OF 68.97 FEET TO AN IRON PIPE WITH CAP, THENCE LEAVING THE NORTHERN RIGHT OF WAY OF JENKS ROAD (60' PUBLIC RIGHT OF WAY) NORTH 88° 58' 44" WEST FOR A DISTANCE OF 563.29 FEET TO AN ANGLE IRON, THENCE NORTH 88° 58' 44" WEST FOR A DISTANCE OF 47.06 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 424.08 FEET TO AN AXLE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 12.51 FEET TO AN IRON PIPE THENCE NORTH 01° 32' 21" EAST A DISTANCE OF 151.76 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST FOR A DISTANCE OF 15.73 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 21" EAST A DISTANCE OF 84.35 FEET TO AN IRON PIPE, THENCE NORTH 01° 32' 18" EAST FOR A DISTANCE OF 411.13 FEET TO AN IRON PIPE SET ON THE SOUTHERN RIGHT OF WAY OF WIMBERLY ROAD (60' PUBLIC RIGHT OF WAY), THENCE WITH THE SOUTHERN RIGHT OF WAY SOUTH 61° 03' 43" EAST FOR A DISTANCE OF 170.57 FEET TO AN IRON PIPE SET, THENCE SOUTH 59° 15' 00" EAST FOR A DISTANCE OF 74.16 FEET TO AN IRON PIPE SET, THENCE SOUTH 56° 01' 14" EAST FOR A DISTANCE OF 93.72 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 13.55 ACRES, MORE OR LESS.

EXHIBIT B
Ownership Addendum

PIN 0722673959

Address: 8108 Jenks Road

Acreage: 9.64 acres

Owner: Terry Cichocki

Deed Book/Page: 16193/229

Owner Address: 8108 Jenks Road, Apex, NC 27523

PIN 0722682430

Address: 1508 Wimberly Road

Acreage: 2.08 acres

Owner: Danny Ottaway and Joan Ottaway

Deed Book/Page: 13368/821

Owner Address: 10401 Chapel Hill Road, Morrisville, NC 27560

PIN 0722681610

Address: 1440 Wimberly Road

Acreage: 1.83 acres

Owner: Terry Poole

Deed Book/Page: 12394/1101

Owner Address: 1440 Wimberly Road, Apex, NC 27523



5438 WADE PARK BLVD.
SUITE 420
RALEIGH NC 27607
WWW.BGEINC.COM
NC LICENSE #C-4397

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CONTACT:
RYAN FISHER
rfisher@bgeinc.com
(984) 212-8825

DEVELOPER:
WP EAST ACQUISITIONS, LLC.
1414 RALEIGH ROAD, SUITE 429
CHAPEL HILL, NC 27517
PHONE: (704) 332-8995

PLANNED DEVELOPMENT PLAN FOR PUD-CZ

ALTERA HEIGHTS

JENKS ROAD AND WIMBERLY ROAD

APEX, NORTH CAROLINA

FIRST SUBMITTAL: JUNE 3RD, 2024
SECOND SUBMITTAL: AUGUST 2ND, 2024
THIRD SUBMITTAL: FEBRUARY 7TH, 2025
FOURTH SUBMITTAL: APRIL 4TH, 2025

SITE DATA TABLE	
DEVELOPER	WP EAST ACQUISITIONS, LLC. 1414 RALEIGH ROAD, SUITE 429 CHAPEL HILL, NC 27517
PARCELS	0722681610, 0722862430, 0722673959
SITE AREA	GROSS 13.55 ACRES
	R/W DEDICATION 0.13 ACRES
	NET 13.42 ACRES
EXISTING ZONING	RR (RURAL RESIDENTIAL)
PROPOSED ZONING	PUD-CZ
RIVER BASIN	CAPE FEAR
WATERSHED OVERLAY	PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT
HISTORIC STRUCTURES	NONE
MAX BUILT UPON AREA (IMPERVIOUS)	9.39 ACRES (70%)
2045 LAND USE MAP (LUM) DESIGNATION	OFFICE EMPLOYMENT, COMMERCIAL
AREA DESIGNATED AS MIXED-USE ON 2045 LUM	NONE
AREA OF MIXED-USE PROPOSED AS NON-RESIDENTIAL	NONE
PROPOSED USE	MULTI-FAMILY APARTMENTS
MAXIMUM DENSITY	300 UNITS
BUFFER CALL IDENTIFICATION NUMBER	APEX 23-008
EXISTING SF OF BUILDINGS	4,158 SF
PROPOSED BLDG HEIGHT	60 FEET (4 STORIES)
REQUIRED PARKING SPACES	1-2 BEDROOMS 1.3 SPACES PER DWELLING
	3+ BEDROOMS 1.8 SPACES PER DWELLING
REQUIRED RESOURCE CONSERVATION AREA	25% (RCA AREA WILL MEET CRITERIA IN UDO SECTION 8.1.2.)
SETBACKS	FRONT 10 FEET
	CORNER 10 FEET
	REAR 10 FEET
	BUILDING SEPARATION 30 FEET

OWNERS	
1.	PIN: 0722673959 TERRY CICHOCKI 8108 JENKS ROAD APEX, NC 27523-9423
2.	PIN: 0722682430 DANNY L. AND JOAN M. OTTAWAY 10401 CHAPEL HILL ROAD MORRISVILLE, NC 27560-8710
3.	PIN: 0722681610 TERRY D. POOLE 1440 WIMBERLY ROAD APEX, NC 27523-9660

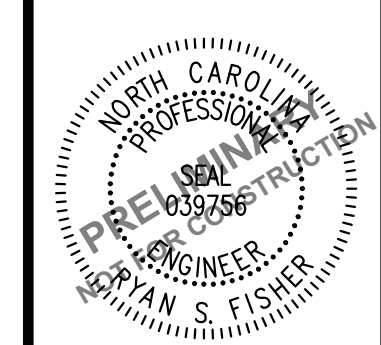
SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0-0	COVER SHEET
C1-0	EXISTING CONDITIONS
C1-1	PRELIMINARY LAYOUT PLAN
C1-2	CONCEPTUAL BUILDING ELEVATIONS
C1-3	CONCEPTUAL BUILDING ELEVATIONS
C1-4	CONCEPTUAL BUILDING ELEVATIONS
C1-5	CONCEPTUAL BUILDING ELEVATIONS
C1-6	CONCEPTUAL BUILDING ELEVATIONS
C1-7	CONCEPTUAL BUILDING ELEVATIONS
C1-8	CONCEPTUAL BUILDING ELEVATIONS
C1-9	CONCEPTUAL BUILDING ELEVATIONS
C1-10	CONCEPTUAL BUILDING ELEVATIONS
C1-11	CONCEPTUAL BUILDING ELEVATIONS
C1-12	CONCEPTUAL BUILDING ELEVATIONS
C1-13	CONCEPTUAL BUILDING ELEVATIONS
C1-14	CONCEPTUAL BUILDING ELEVATIONS
C1-15	CONCEPTUAL BUILDING ELEVATIONS
C1-16	CONCEPTUAL BUILDING ELEVATIONS
C1-17	CONCEPTUAL BUILDING ELEVATIONS
C1-18	CONCEPTUAL BUILDING ELEVATIONS

REZONING CONDITIONS	
ARCHITECTURAL CONDITIONS:	
1. VINYL SIDING IS NOT PERMITTED; HOWEVER, VINYL WINDOWS, DECORATIVE ELEMENTS, AND TRIM ARE PERMITTED.	
2. REAR AND SIDE ELEVATIONS OF UNITS THAT HAVE RIGHT-OF-WAY FRONTAGE SHALL HAVE TRIM AROUND THE WINDOWS.	
3. A MINIMUM OF THREE OF THE FOLLOWING FEATURES SHALL BE USED ON EACH BUILDING:	
a. DECORATIVE SHAKE	
b. BOARD AND BATTEN	
c. DECORATIVE PORCH RAILING/POSTS	
d. SHUTTERS	
e. DECORATIVE/FUNCTIONAL AIR VENTS ON ROOF OR FOUNDATION	
f. RECESSED WINDOWS	
g. DECORATIVE WINDOWS	
h. DECORATIVE BRICKSTONE	
i. GABLES	
j. DECORATIVE CORNICES	
k. TIN/METAL ROOF	
4. GARAGE DOORS MUST HAVE WINDOWS, DECORATIVE DETAILS, OR CARRIAGE-STYLE ADORNMENTS ON THEM.	
5. WINDOWS THAT ARE NOT RECESSED MUST BE TRIMMED.	
AS SHOWN ELSEWHERE IN THE PUD, THE FOLLOWING ENVIRONMENTAL CONDITIONS SHALL APPLY TO THE DEVELOPMENT:	
1. THE PROJECT SHALL INSTALL AT LEAST ONE (1) SIGN PER SCM DISCOURAGING THE USE OF FERTILIZER AND TO REDUCE PET WASTE NEAR SCM DRAINAGE AREAS. THE SIGN SHALL BE INSTALLED IN LOCATIONS THAT ARE PUBLICLY ACCESSIBLE, SUCH AS ADJACENT TO, BUT OUTSIDE OF PUBLIC PROPERTY AND/OR PUBLIC EASEMENT(S), AMENITY CENTERS, SIDEWALKS, GREENWAYS, OR SIDE PATHS.	
2. AT LEAST 70% OF PLANTS SHALL BE NATIVE SPECIES. LANDSCAPING WILL BE COORDINATED WITH AND APPROVED BY THE PLANNING DIRECTOR AT SITE PLAN OR SUBDIVISION REVIEW.	
3. NO INVASIVE SPECIES SHALL BE PERMITTED. NO SINGLE SPECIES OF TREE OR SHRUB SHALL CONSTITUTE MORE THAN 20% OF THE PLANT MATERIAL OF ITS TYPE WITHIN A SINGLE DEVELOPMENT SITE.	
4. THE PROJECT SHALL INSTALL A SIGN ADJACENT TO WOODED OR NATURAL CONDITION RESOURCE CONSERVATION AREA THAT INDICATES THE AREA IS RCA AND TO BE PRESERVED IN PERPETUITY AND NOT DISTURBED.	
5. THE PROJECT SHALL INSTALL AT LEAST TWO (2) PET WASTE STATIONS IN THE PROJECT IN LOCATIONS THAT ARE PUBLICLY ACCESSIBLE, SUCH AS ADJACENT TO AMENITY CENTERS, SCMS, SIDEWALKS, GREENWAYS, OR SIDE PATHS.	
6. THE PROJECT SHALL USE FULL CUTOFF LED FIXTURES THAT HAVE A MAXIMUM COLOR TEMPERATURE OF 3000K FOR ALL EXTERIOR LIGHTING, INCLUDING, BUT NOT LIMITED TO, PARKING LOT AND BUILDING MOUNTED FIXTURES.	



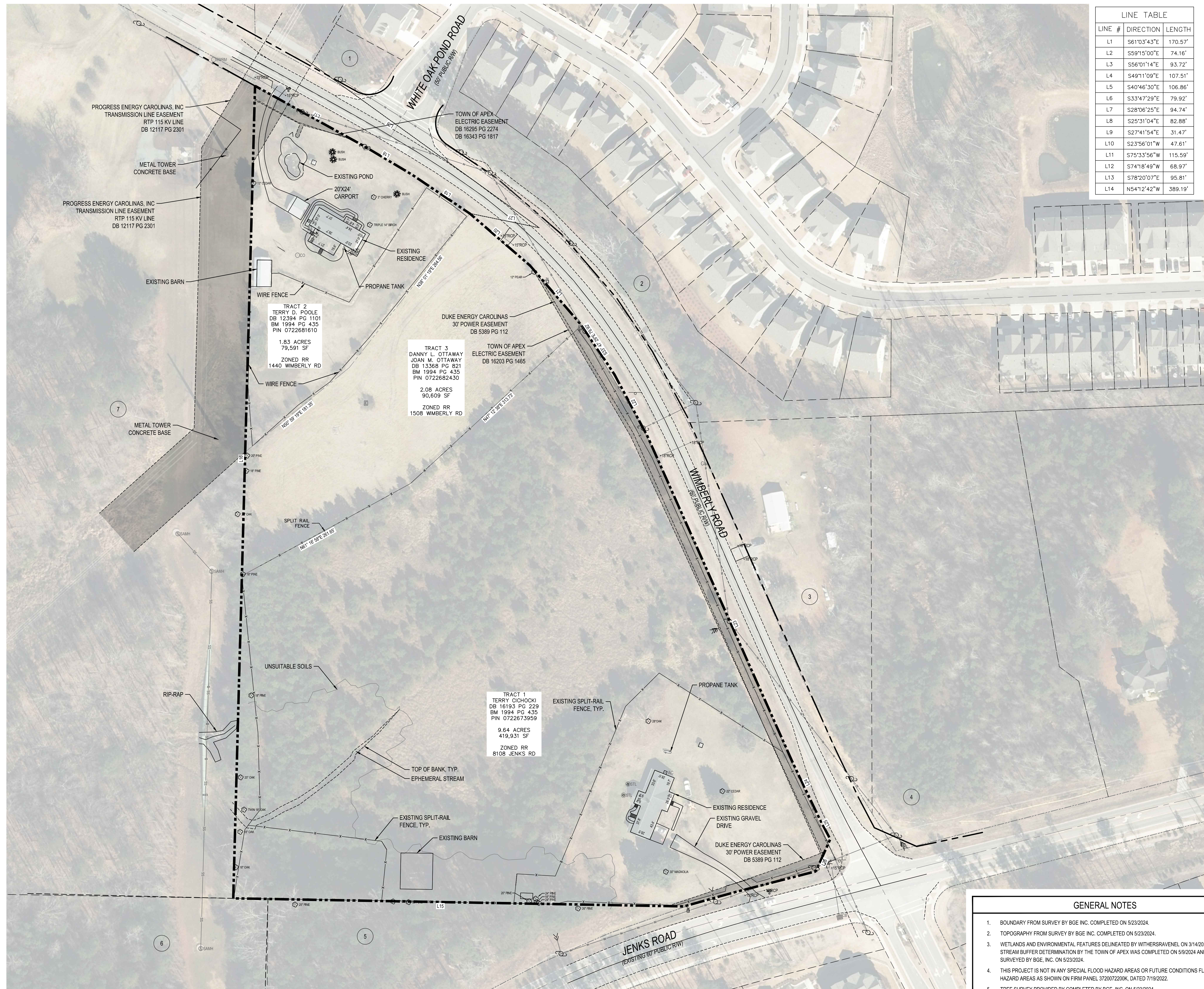
VICINITY MAP
SCALE: 1" = 1000'

G:\NCA\Projects\Wood Partners\13123-00 Jenks Road Multifamily\03 - DWG\PlanSheets\On-Site\Planned Development Plan\C0-0 - COVER.dwg Layout: C0-0 Plotted: 4/4/2025 9:28:04 AM



PUD-CZ DRAWINGS
FOR:
ALTERA HEIGHTS
8108 JENKS ROAD
APEX, NC 27523-9423

FILE NUMBER:
13123-00



LINE #	DIRECTION	LENGTH
L1	S61°03'43"E	170.57'
L2	S59°15'00"E	74.16'
L3	S56°01'14"E	93.72'
L4	S49°11'09"E	107.51'
L5	S40°46'30"E	106.86'
L6	S33°47'29"E	79.92'
L7	S28°06'25"E	94.74'
L8	S25°31'04"E	82.88'
L9	S27°41'54"E	31.47'
L10	S23°56'01"W	47.61'
L11	S75°33'56"W	115.59'
L12	S74°18'49"W	68.97'
L13	S78°20'07"E	95.81'
L14	N54°12'42"W	389.19'

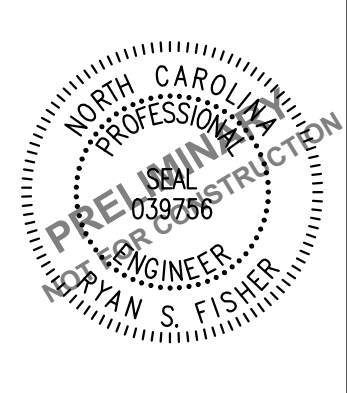
- ADJACENT PROPERTY OWNER INFORMATION:**
- PIN: 0722682652
DB: 018946 PG: 02091
THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIATION
15501 WESTON PARKWAY, SUITE 100
CARY, NC 27513-8636
 - PIN: 0722689944
DB: 017584 PG: 02495
THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIATION
15501 WESTON PARKWAY, SUITE 100
CARY, NC 27513-8636
 - PIN: 0722687241
D.B. 019165 PG. 02160
COLUMBIA INVESTMENTS LLC.
P.O. BOX 1897
APEX, NC 27502-1100
 - PIN: 0722689065
D.B. 019165 PG. 02155
COLUMBIA INVESTMENTS LLC.
P.O. BOX 1897
APEX, NC 27502-1100
 - PIN: 0722671588
D.B. 017267 PG. 01687
TOWN OF APEX
P.O. BOX 250
APEX, NC 27502-0250
 - PIN: 0722576478
D.B. 019499 PG. 02788
CRP/BI JENKS ROAD APEX OWNER LLC
1001 PENNSYLVANIA AVE NW SUITE 220
WASHINGTON, DC 20004-2525
 - PIN: 0722488535
D.B. 004409 PG. 00746
TOWN OF APEX / TOWN OF CARY
P.O. BOX 8005
CARY, NC 27512-8005

RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	DESCRIPTION
04/04/2025	02/07/2025	08/02/2024	REV
DESIGNED BY:	CM		
DRAWN BY:	CM		
REVIEWED BY:	RF		

BGE
5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BGEINC.COM
NC LICENSE #C-4397

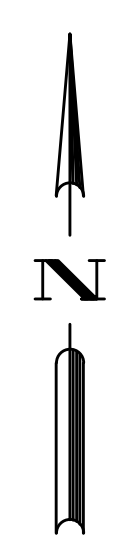
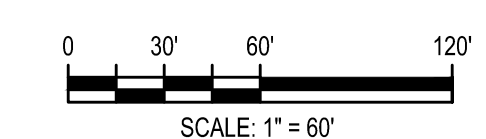
WP EAST ACQUISITIONS, LLC.
1414 RALEIGH ROAD, SUITE 429
CHAPEL HILL, NC 27517

ALTERA HEIGHTS
APEX, NORTH CAROLINA 27525-9423

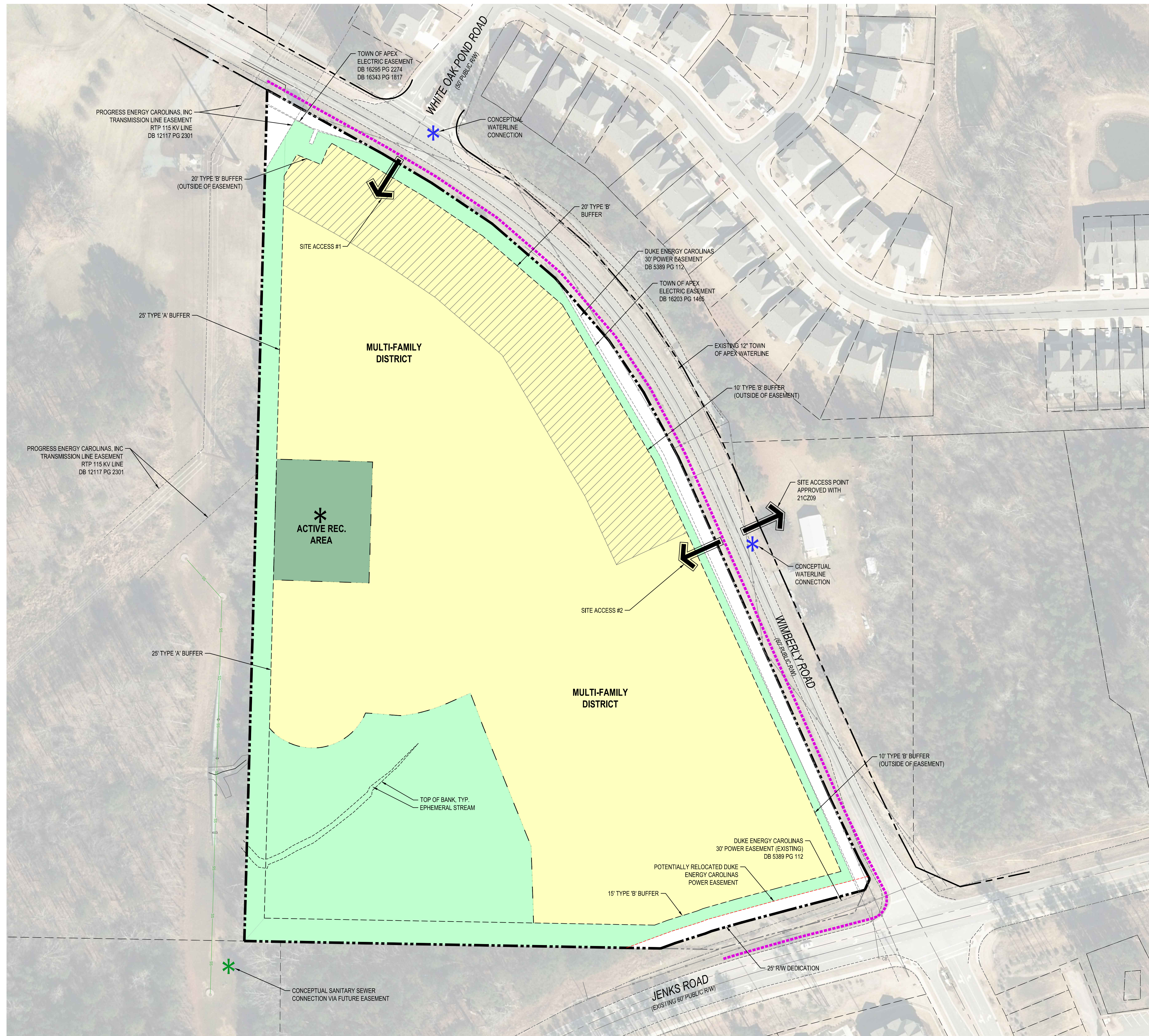


FILE NUMBER:
DATE: 06/03/2024
C1-0

- GENERAL NOTES**
- BOUNDARY FROM SURVEY BY BGE INC. COMPLETED ON 5/23/2024.
 - TOPOGRAPHY FROM SURVEY BY BGE INC. COMPLETED ON 5/23/2024.
 - WETLANDS AND ENVIRONMENTAL FEATURES DELINEATED BY WITHERSRAVENEL ON 3/14/2024. STREAM BUFFER DETERMINATION BY THE TOWN OF APEX WAS COMPLETED ON 9/9/2024 AND SURVEYED BY BGE, INC. ON 5/23/2024.
 - THIS PROJECT IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS AS SHOWN ON FIRM PANEL 3720072200K, DATED 7/19/2022.
 - TREE SURVEY PROVIDED BY COMPLETED BY BGE, INC. ON 5/23/2024.



G:\NCA\Projects\Wood Partners\13123-00 Jenks Road Multifamily\03 - DWG\PlanSheets\On-Site\Planned Development Plan\C1-1 - PRELIM LAYOUT PLAN.dwg Layout: C1-0 Plotted: 4/4/2025 9:29:59 AM



LEGEND

- PROPERTY LINE
- MULTIFAMILY CONCEPTUAL DEVELOPMENT BLOCK
- BUILDINGS LOCATED IN THIS AREA SHALL BE LIMITED TO 3 FLOORS (50 FT)
- RESOURCE CONSERVATION AREA
- ACTIVE RECREATION AREA
- CONCEPTUAL SITE ACCESS
- CONCEPTUAL 10' SIDEPATH
- CONCEPTUAL WATERLINE CONNECTION
- CONCEPTUAL SANITARY SEWER CONNECTION

PRELIMINARY LAYOUT NOTES

GENERAL NOTES:

- ALL ZONING PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE PURPOSES ONLY. FINAL DESIGN COMPONENTS SHALL BE DETERMINED DURING THE MINOR SITE PLAN APPROVAL PROCESS.
- REFER TO THE PUD TEXT DOCUMENTS FOR ALLOWABLE USES, ZONING CONDITIONS AND OTHER DESIGN STANDARDS.
- ALL VEHICULAR ACCESS LOCATIONS AND PEDESTRIAN CIRCULATION ARE CONCEPTUAL AND SHALL BE FINALIZED DURING THE MINOR SITE PLAN APPROVAL PROCESS.
- TREE PROTECTION FENCING SHALL BE PLACED IN ACCORDANCE WITH THE TOWN OF APEX'S UNIFIED DEVELOPMENT ORDINANCE.
- EXACT LOCATION OF OPEN SPACE AND RESOURCE CONSERVATION AREA TO BE FINALIZED DURING THE MINOR SITE PLAN APPROVAL PROCESS.
- NO SIGNS ARE APPROVED AS PART OF THE PUD-CZ APPROVAL PROCESS. A SEPARATE SIGN PERMIT MUST BE OBTAINED IN ACCORDANCE WITH THE TOWN OF APEX'S UNIFIED DEVELOPMENT ORDINANCE.
- SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
- SITE ITEMS SUCH AS BUT NOT LIMITED TO, LIGHTING, LANDSCAPING, SCREENING, SITE STABILIZATION (SEEDING), PARKING, AND PAVEMENT MARKING, MUST BE COMPLETED PRIOR TO SCHEDULING A FINAL SITE INSPECTION.

UTILITY NOTES:

- THIS PROJECT IS REQUESTING FULL TOWN SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER AND ELECTRICITY.
- THE SITE WILL NOT UTILIZE PRIVATE SEWAGE DISPOSAL SYSTEMS.
- ALL UTILITY EASEMENTS SHALL BE PROVIDED AS NECESSARY. EXACT LOCATION SHALL BE DETERMINED AT THE TIME OF CONSTRUCTION DRAWINGS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE TOWN OF APEX STANDARDS AND SPECIFICATIONS.
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS SHALL BE OWNED, OPERATED, AND MAINTAINED BY THE TOWN OF APEX.

N

0 30' 60' 120'

SCALE: 1" = 60'

	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	DATE	DESCRIPTION
A	04/04/2025	02/07/2025	08/02/2024	REV	
DESIGNED BY: CM					
DRAWN BY: CM					
REVIEWED BY: RF					

5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4387

WP EAST ACQUISITIONS, LLC.
1414 RALEIGH ROAD, SUITE 429
CHAPEL HILL, NC 27517

ALTERA HEIGHTS
APEX, NORTH CAROLINA 27525-9423

PRELIMINARY LAYOUT PLAN

FILE NUMBER:
DATE: 06/03/2024
C1-1

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AMENITY BUILDING FRONT AND REAR ELEVATION

NOT TO SCALE

NOTE: FRONT AND REAR ELEVATIONS OF AMENITY BUILDING ARE IDENTICAL

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1				
	SW 6186: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound	
	SCHEME 2			
SW 6150: Universal Khaki		SW 7625: Mount Etna	SW 6071: Popular Gray	
SCHEME 3				
	SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White	
BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	



REV	DATE	DESCRIPTION
1	04/04/2025	RESPONSE TO COMMENTS
2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

BCE
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WWW.BCEINC.COM
NC LICENSE #C-4397 ©2025

WP EAST ACQUISITIONS, LLC.
1414 RALEIGH ROAD, SUITE 429
CHAPEL HILL, NC 27517

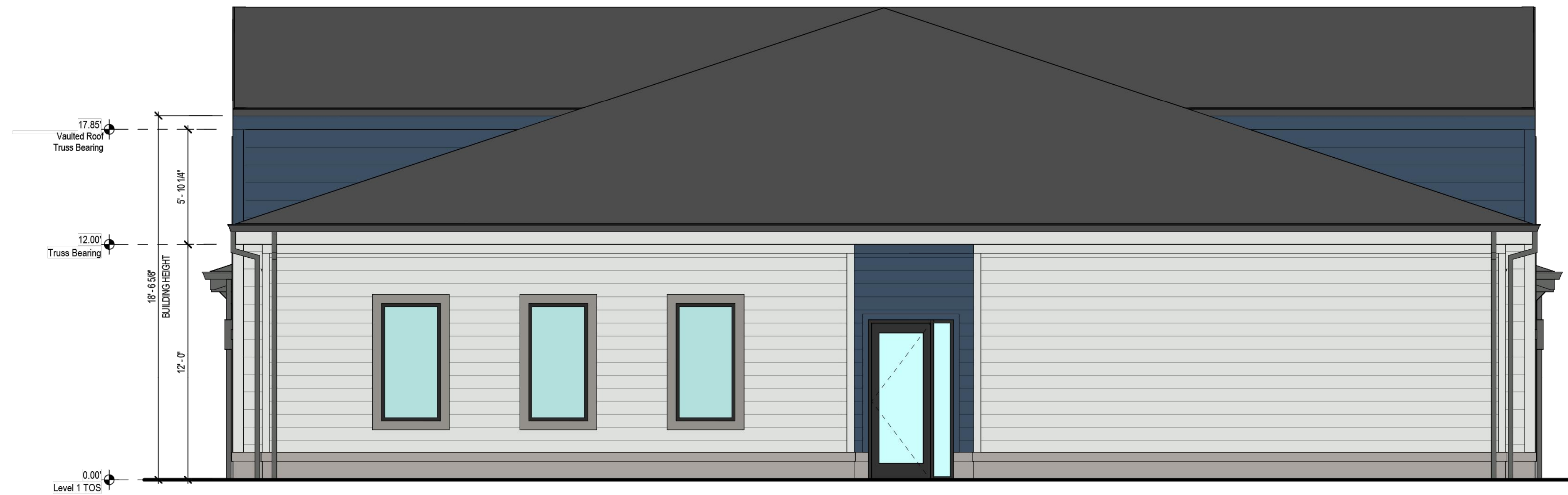
ALTERA HEIGHTS
APEX, NORTH CAROLINA 27525-9423

CONCEPTUAL BUILDING ELEVATIONS



FILE NUMBER:
DATE: 06/03/2024

C1-2



AMENITY BUILDING WEST ELEVATION
NOT TO SCALE



AMENITY BUILDING EAST ELEVATION
NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1 SW 6165: Connected Gray SW 7068: Grizzle Gray SW 7004: Snowbound	SCHEME 2 SW 6150: Universal Khaki SW 7625: Mount Etna SW 6071: Popular Gray	SCHEME 3 SW 7672: Knitting Needles SW 7602: Indigo Batik SW 7070: Site White	 BOARD & BATTEN VENEER	 HORIZONTAL SIDING VENEER	 ROOF SHINGLES	 FIBER CEMENT PANEL & TRIM		
			FILE NUMBER:				DATE: 06/03/2024	

RESPONSE TO COMMENTS	04/04/2025	CM
RESPONSE TO COMMENTS	02/07/2025	CM
RESPONSE TO COMMENTS	08/02/2024	RF
REV	DATE	DESCRIPTION

BCE
5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4397 ©2025

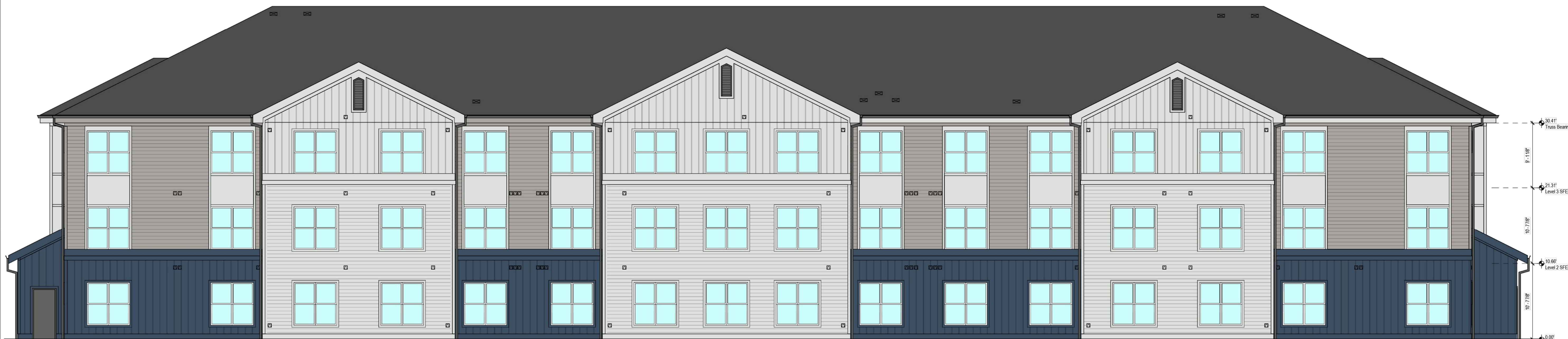
WP EAST ACQUISITIONS, LLC.
1414 RALEIGH ROAD, SUITE 429
CHAPEL HILL, NC 27517

ALTERA HEIGHTS
APEX, NORTH CAROLINA 27525-9423

CONCEPTUAL BUILDING ELEVATIONS

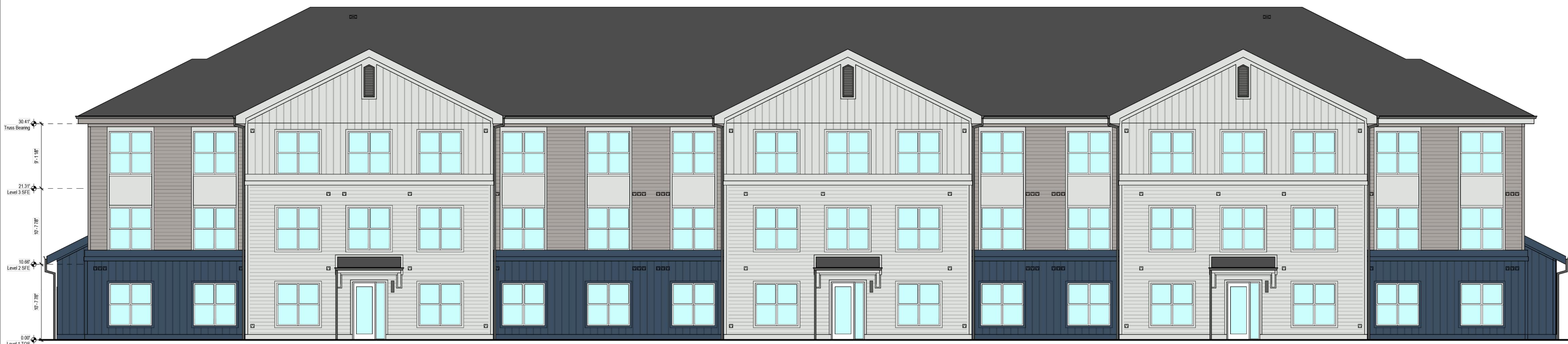
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DATE: 06/03/2024

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RESIDENTIAL BUILDING TYPE B1 REAR ELEVATION - OPTION 2

NOT TO SCALE



RESIDENTIAL BUILDING TYPE B1 FRONT ELEVATION - OPTION 2

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1				SCHEME 2				SCHEME 3								
	SW 8165: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound		SW 6150: Universal Khaki	SW 7625: Mount Etna	SW 6071: Popular Gray		SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White	BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	



RESPONSE TO COMMENTS	04/04/2025	CM
RESPONSE TO COMMENTS	02/07/2025	CM
RESPONSE TO COMMENTS	08/02/2024	RF
DESIGNED BY:	CM	
DRAWN BY:	CM	
REVIEWED BY:	RF	

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APEX, NORTH CAROLINA 27525-9423

CONCEPTUAL BUILDING ELEVATIONS

FILE NUMBER:
DATE: 06/03/2024

C1-4



RESIDENTIAL BUILDING TYPE B1 EAST ELEVATION - OPTION 2

scale: 3/16" = 1'-0"

NOT TO SCALE

NOT TO SCALE



RESIDENTIAL BUILDING TYPE B1 WEST ELEVATION - OPTION 2

scale: 3/16" = 1'-0"

NOT TO SCALE

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1			
SCHEME 2			
SCHEME 3			



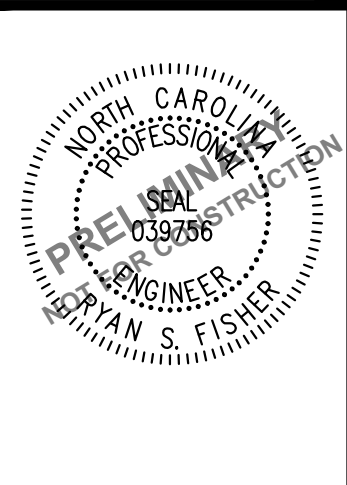
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3	04/04/2025	RESPONSE TO COMMENTS

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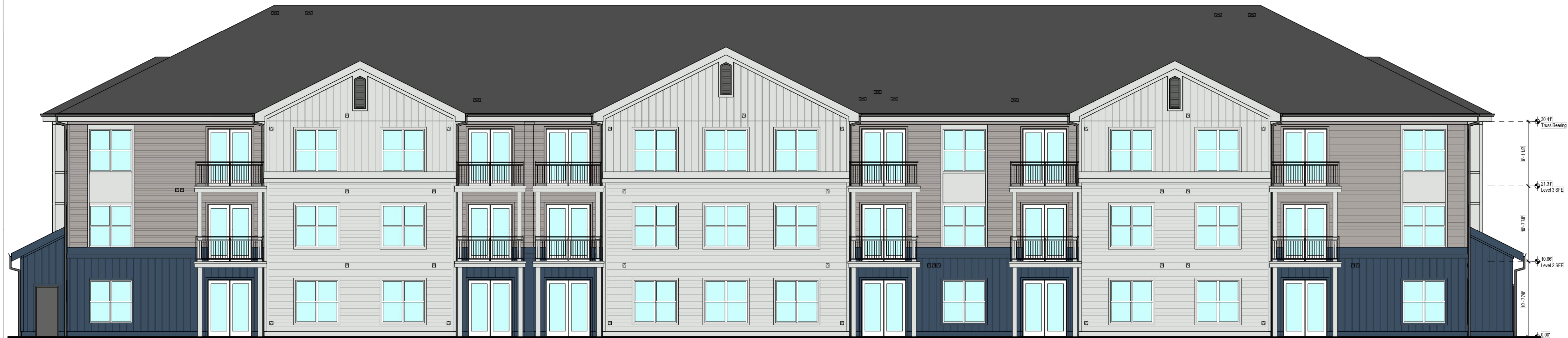
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CONCEPTUAL BUILDING ELEVATIONS



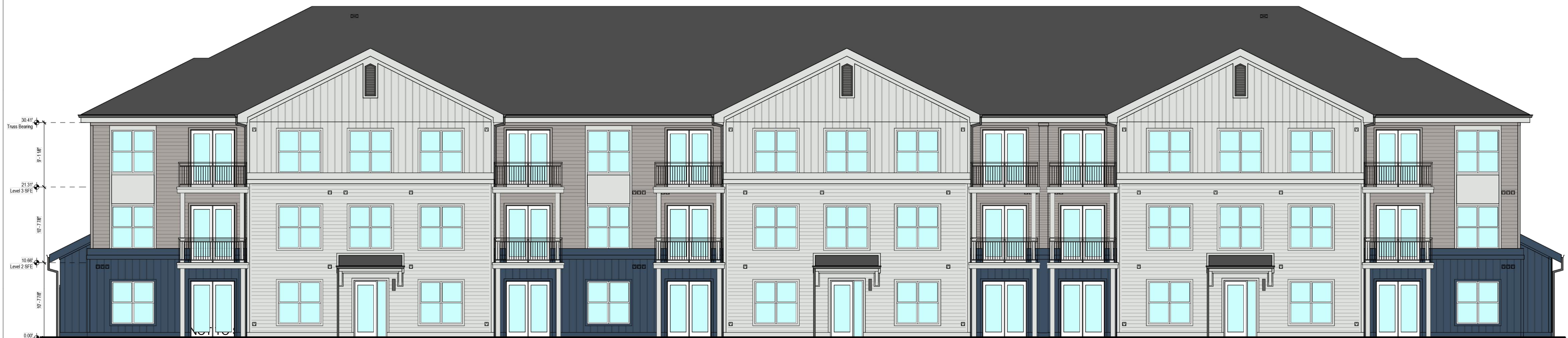
FILE NUMBER:
 DATE: 06/03/2024

C1-5



RESIDENTIAL BUILDING TYPE B1 W/ BALCONIES REAR ELEVATION - OPTION 2

NOT TO SCALE



RESIDENTIAL BUILDING TYPE B1 W/ BALCONIES FRONT ELEVATION - OPTION 2

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1		SW 6165: Connected Gray	SCHEME 2		SW 6150: Universal Khaki	SCHEME 3		SW 7672: Knitting Needles		SW 7070: Site White
		SW 7068: Grizzle Gray			SW 7625: Mount Etina			SW 7602: Indigo Batik		BOARD & BATTEN VENEER
		SW 7004: Snowbound			SW 6071: Popular Gray			HORIZONTAL SIDING VENEER		ROOF SHINGLES

	FIBER CEMENT PANEL & TRIM		
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G:\NC\Projects\Wood Partners\13123-00 Jenks Road Multifamily03 - DWG\PlanSheets\On-Site\Planned Development Plan\C1.2 - CONCEPTUAL BLDG ELEV.dwg Layout: C1-6 Plotted: 4/4/2025 9:31:48 AM

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02	02/07/2025	RESPONSE TO COMMENTS
03	08/02/2024	RESPONSE TO COMMENTS

DESIGNED BY: CM
 DRAWN BY: CM
 REVIEWED BY: RF

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CONCEPTUAL BUILDING ELEVATIONS



FILE NUMBER:

DATE: 06/03/2024

C1-6



RESIDENTIAL BUILDING TYPE B1 W/ BALCONIES EAST ELEVATION - OPTION 2

NOT TO SCALE



RESIDENTIAL BUILDING TYPE B1 W/ BALCONIES WEST ELEVATION - OPTION 2

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1				SCHEME 2				SCHEME 3									
	SW 6165: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound		SW 6150: Universal Khaki	SW 7625: Mount Elna	SW 6071: Popular Gray		SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White	BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM		



REV	DATE	DESCRIPTION
1	04/04/2025	RESPONSE TO COMMENTS
2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

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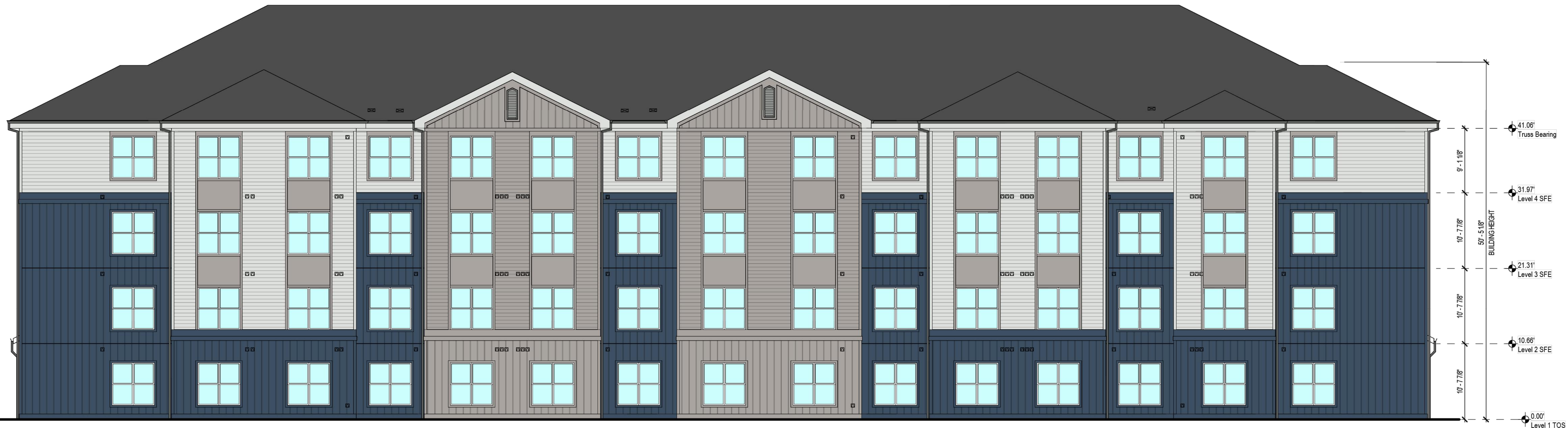
ALTERA HEIGHTS
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CONCEPTUAL BUILDING ELEVATIONS



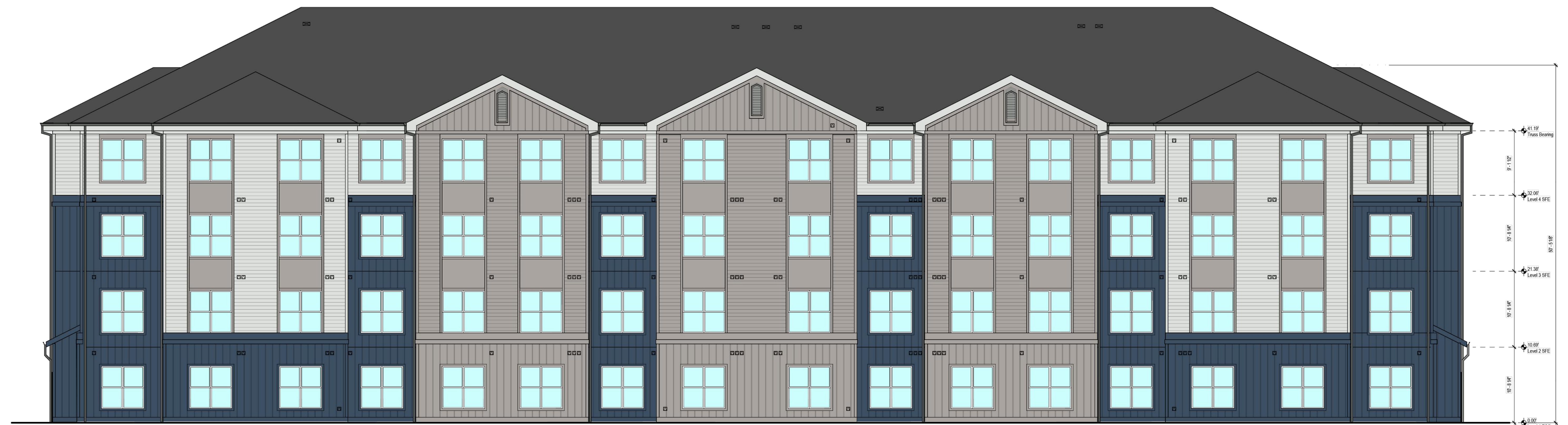
FILE NUMBER:
 DATE: 06/03/2024

C1-7



RESIDENTIAL BUILDING REAR ELEVATION - OPTION 1

NOT TO SCALE



RESIDENTIAL BUILDING FRONT ELEVATION - OPTION 1

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1			
	SW 6165: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound
	SCHEME 2		
SW 6150: Universal Khaki		SW 7625: Mount Etna	SW 6071: Popular Gray
SCHEME 3			
	SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White



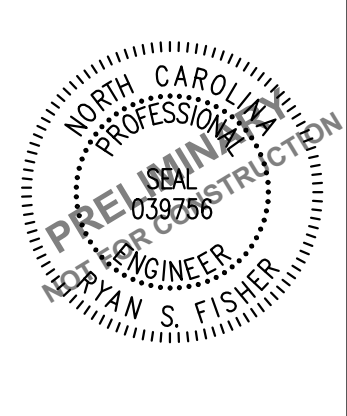
REV	DATE	DESCRIPTION
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2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

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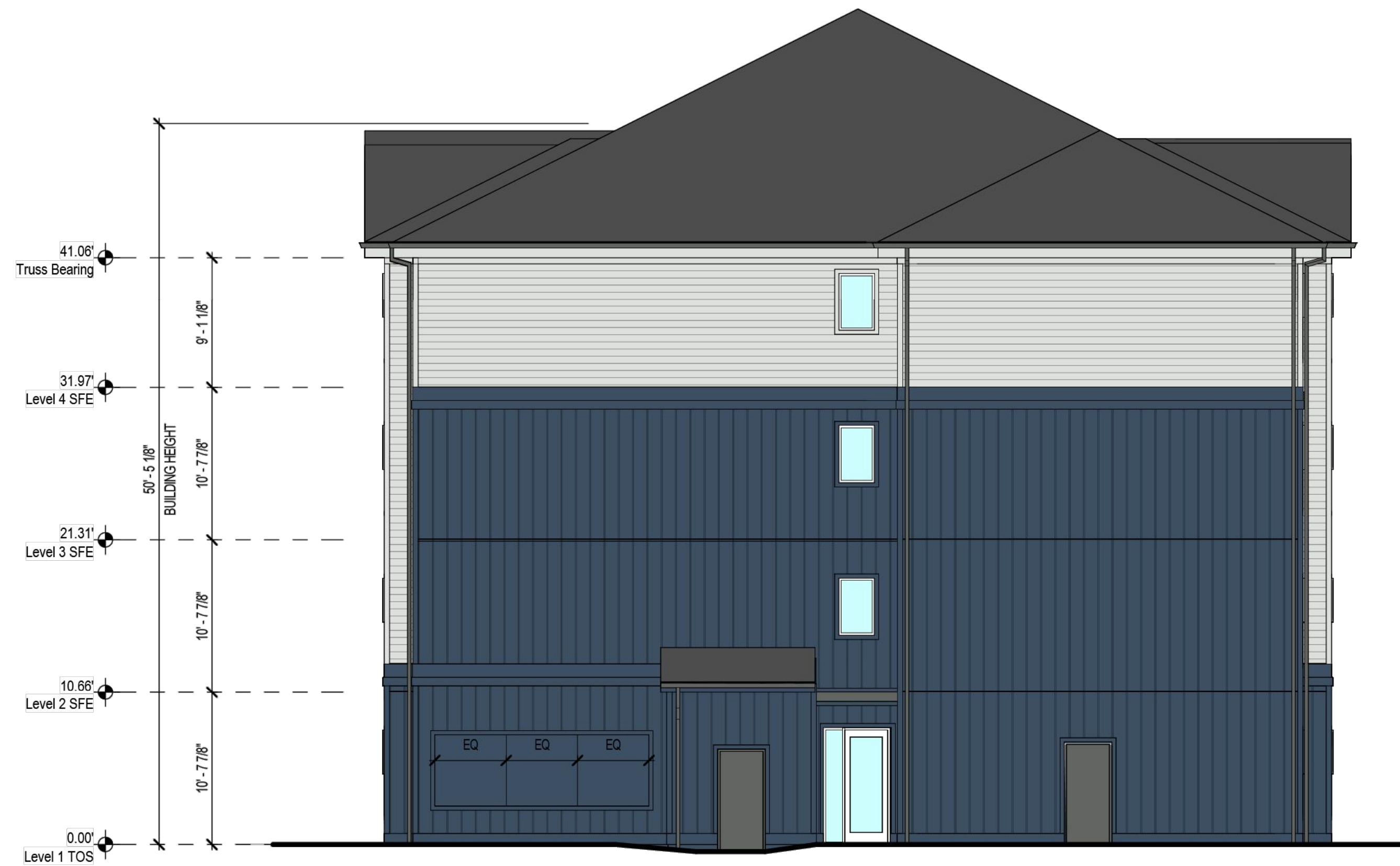
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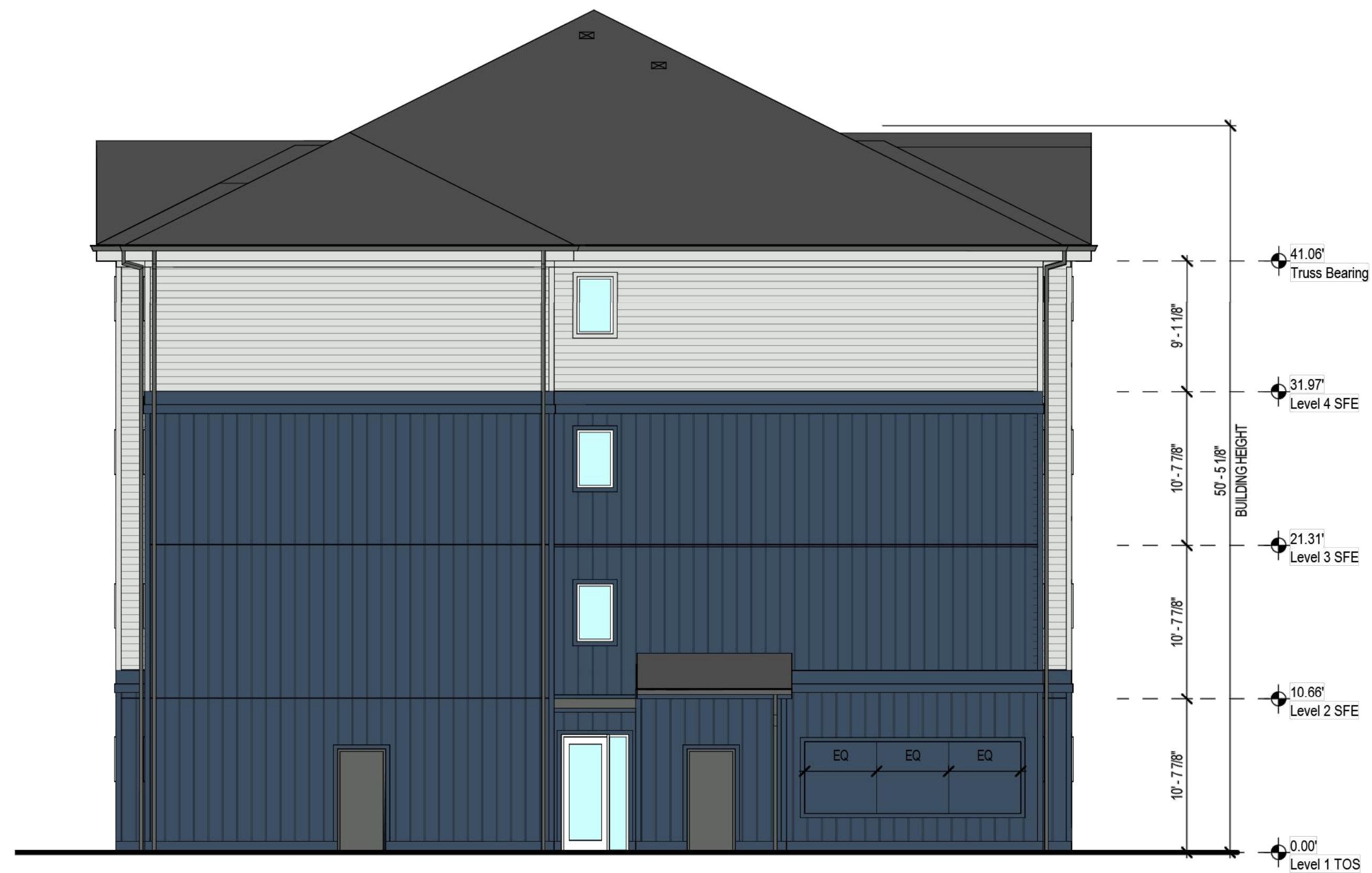
DATE: 06/03/2024

C1-8



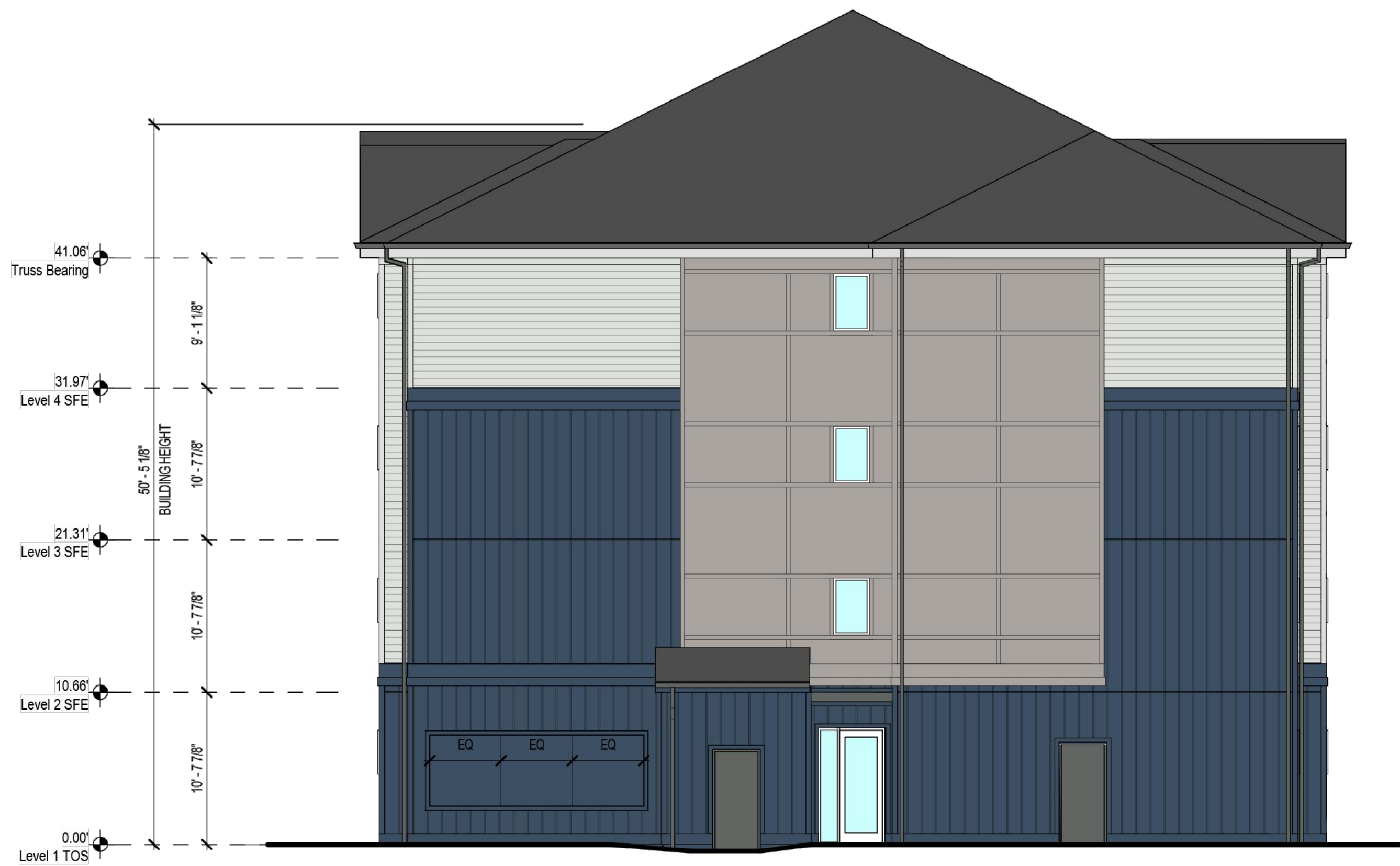
RESIDENTIAL BUILDING EAST ELEVATION - OPTION 1

NOT TO SCALE



RESIDENTIAL BUILDING WEST ELEVATION - OPTION 1

NOT TO SCALE



RESIDENTIAL BUILDING EAST ELEVATION - OPTION 2

NOT TO SCALE



RESIDENTIAL BUILDING WEST ELEVATION - OPTION 2

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

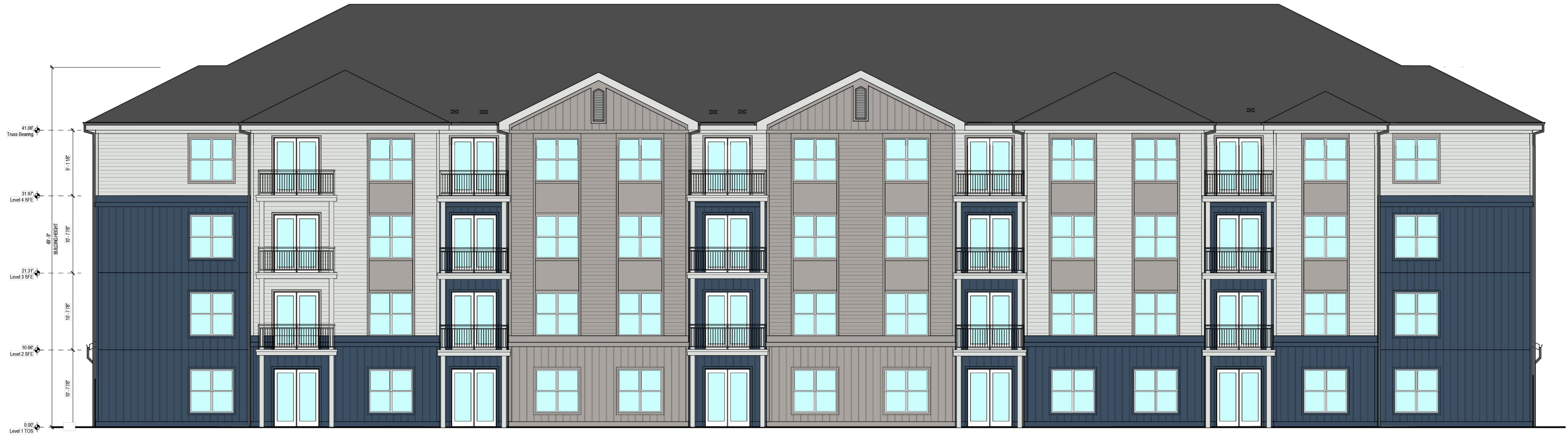
SCHEME 1			

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RESPONSE TO COMMENTS	DATE	DESCRIPTION
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DESIGNED BY:	CM	
DRAWN BY:	CM	
REVIEWED BY:	RF	
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ALTERA HEIGHTS APEX, NORTH CAROLINA 27523-9423		
CONCEPTUAL BUILDING ELEVATIONS		
FILE NUMBER:	C1-9	
DATE:	06/03/2024	

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RESIDENTIAL BUILDING REAR ELEVATION - OPTION 2

NOT TO SCALE



RESIDENTIAL BUILDING FRONT ELEVATION - OPTION 2

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1			
SCHEME 2			



04/04/2025	RESPONSE TO COMMENTS	REVISION	DESCRIPTION
02/07/2025	RESPONSE TO COMMENTS	REV	
08/02/2024	RESPONSE TO COMMENTS	REV	
DESIGNED BY:	CM		
DRAWN BY:	CM		
REVIEWED BY:	RF		
BCE			
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CONCEPTUAL BUILDING ELEVATIONS			
FILE NUMBER:	C1-10		
DATE:	06/03/2024		

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RESIDENTIAL BUILDING EAST ELEVATION - OPTION 3

NOT TO SCALE



RESIDENTIAL BUILDING WEST ELEVATION - OPTION 3

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1			
SCHEME 2			
SCHEME 3			

BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	



REV	DATE	DESCRIPTION
1	04/04/2025	RESPONSE TO COMMENTS
2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

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CONCEPTUAL BUILDING ELEVATIONS

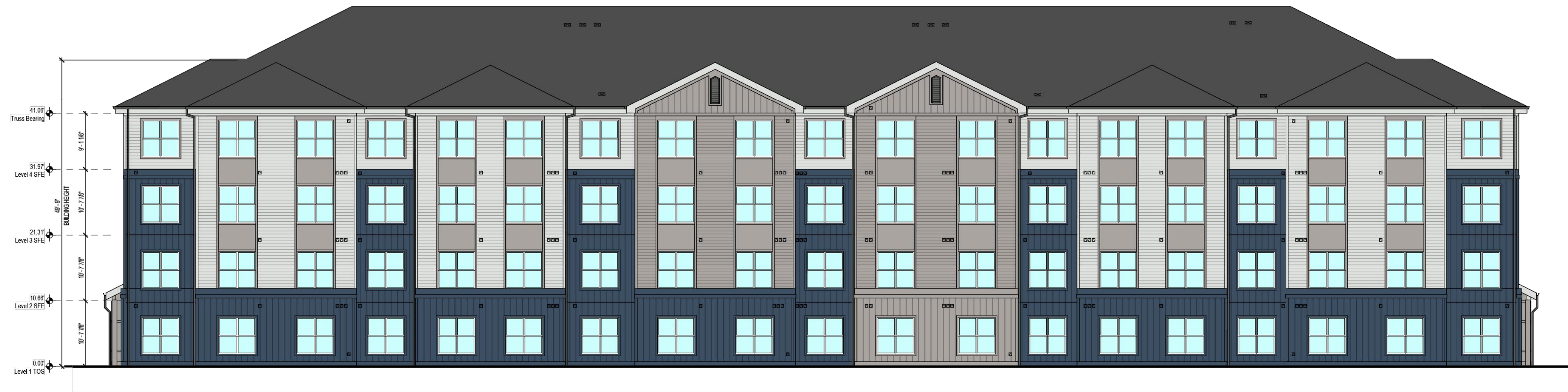


FILE NUMBER:
 DATE: 06/03/2024
C1-11

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RESIDENTIAL BUILDING TYPE D2 REAR ELEVATION
NOT TO SCALE



RESIDENTIAL BUILDING TYPE D2 FRONT ELEVATION
NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1

- SW 6166: Connected Gray
- SW 7068: Grizzle Gray
- SW 7004: Snowbound

SCHEME 2

- SW 6150: Universal Khaki
- SW 7625: Mount Etha
- SW 6071: Popular Gray

SCHEME 3

- SW 7672: Knitting Needles
- SW 7602: Indigo Batik
- SW 7070: Site White

- BOARD & BATTEN VENEER
- HORIZONTAL SIDING VENEER
- ROOF SHINGLES
- FIBER CEMENT PANEL & TRIM
- WINDOW



REV	DATE	DESCRIPTION
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2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

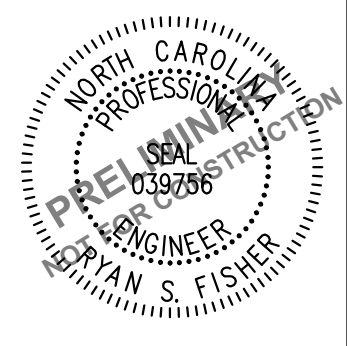
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DRAWN BY: CM
REVIEWED BY: RF

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CONCEPTUAL BUILDING ELEVATIONS



FILE NUMBER:
DATE: 06/03/2024
C1-12



RESIDENTIAL BUILDING TYPE D2 EAST ELEVATION

NOT TO SCALE



RESIDENTIAL BUILDING TYPE D2 WEST ELEVATION

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1				SCHEME 2				SCHEME 3			
	SW 6166: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound		SW 6150: Universal Khaki	SW 7625: Mount Etna	SW 6071: Popular Gray		SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White

BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	



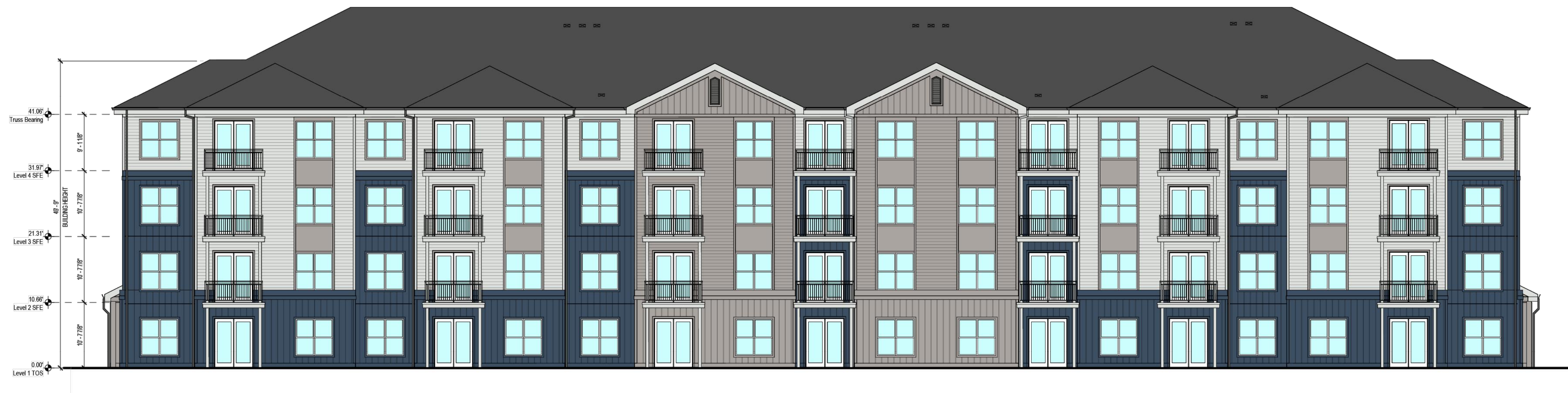
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DESIGNED BY:	CM						
DRAWN BY:	CM						
REVIEWED BY:	RF						
REV	DATE						DESCRIPTION
©2025							
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ALTERA HEIGHTS APEX, NORTH CAROLINA 27523-9423							
CONCEPTUAL BUILDING ELEVATIONS							
FILE NUMBER:							
DATE: 06/03/2024							
C1-13							

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RESIDENTIAL BUILDING TYPE D2 W/ BALCONIES REAR ELEVATION

NOT TO SCALE



RESIDENTIAL BUILDING TYPE D2 W/ BALCONIES FRONT ELEVATION

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

SCHEME 1			
	SW 6166: Connected Gray	SW 7068: Grizzle Gray	SW 7004: Snowbound
	SCHEME 2		
SW 6150: Universal Khaki		SW 7625: Mount Etna	SW 6071: Popular Gray
SCHEME 3			
	SW 7672: Knitting Needles	SW 7602: Indigo Batik	SW 7070: Site White

BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	

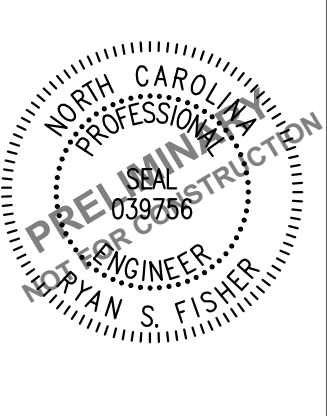


REV	DATE	DESCRIPTION
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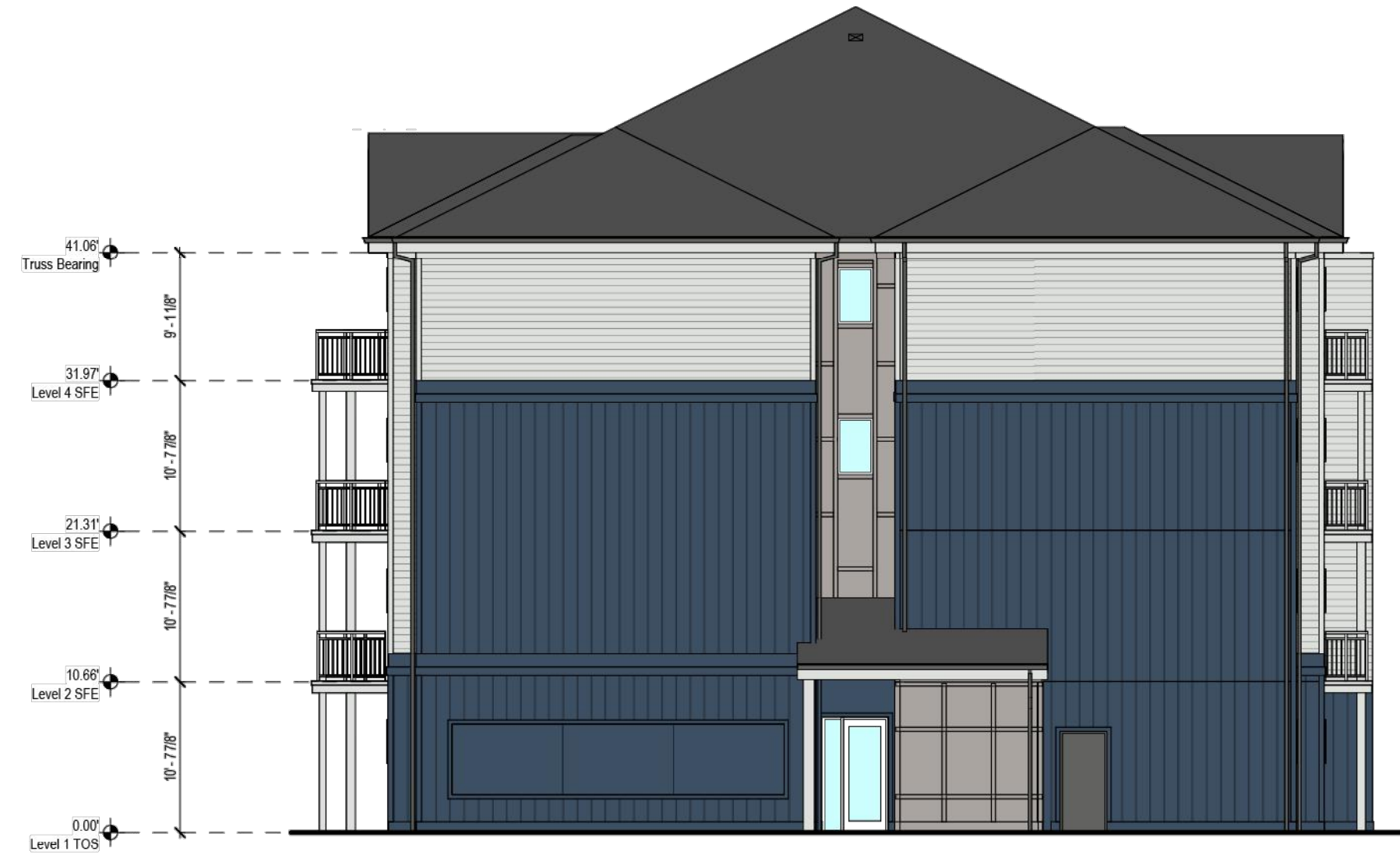
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FILE NUMBER:
DATE: 06/03/2024
C1-14



RESIDENTIAL BUILDING TYPE D2 W/ BALCONIES EAST ELEVATION

NOT TO SCALE



RESIDENTIAL BUILDING TYPE D2 W/ BALCONIES WEST ELEVATION

NOT TO SCALE

Color selections are representative examples. Final colors selected may differ but will be materially consistent with options shown here.

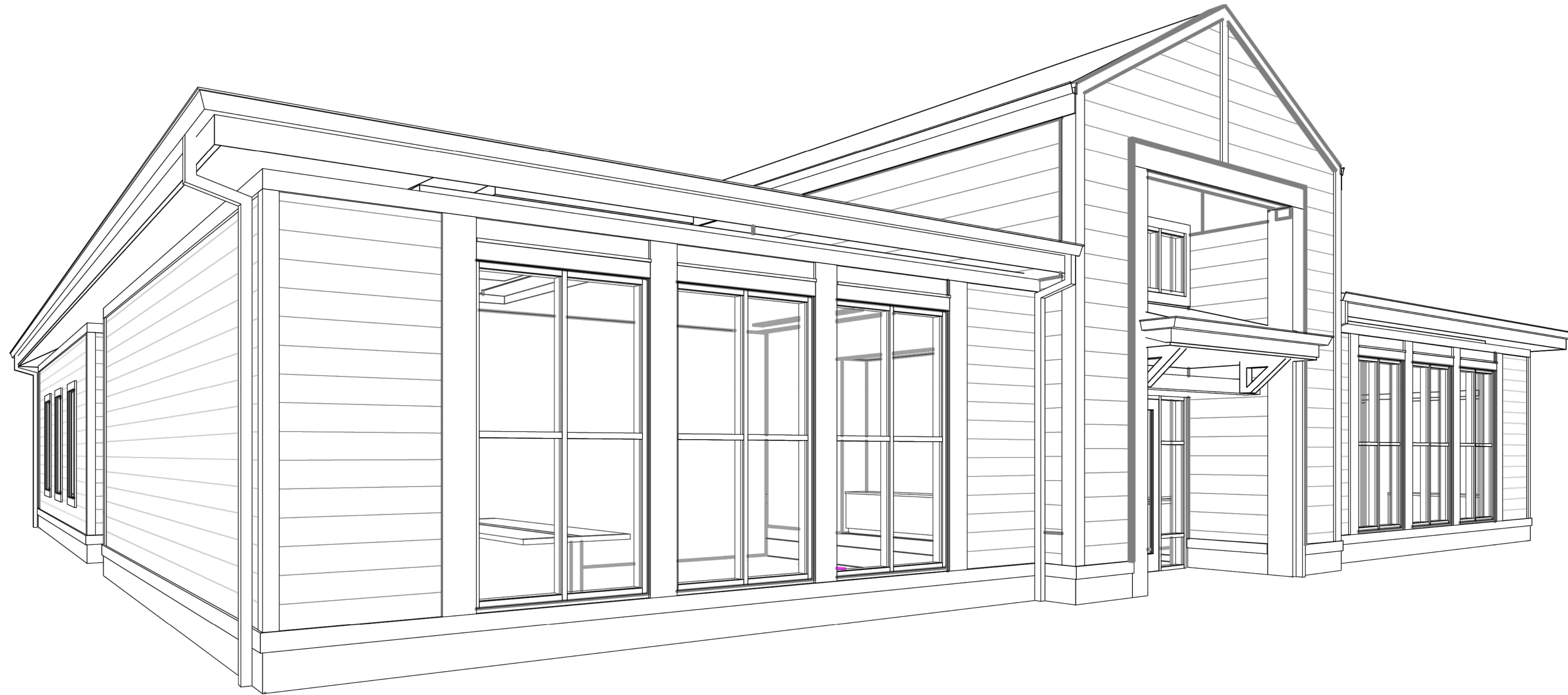
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BOARD & BATTEN VENEER	HORIZONTAL SIDING VENEER	ROOF SHINGLES	FIBER CEMENT PANEL & TRIM	



	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	RESPONSE TO COMMENTS	DESCRIPTION
A	04/04/2025	02/07/2025	08/02/2024	REV	DATE
DESIGNED BY:			CM		
DRAWN BY:			CM		
REVIEWED BY:			RF		
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CONCEPTUAL BUILDING ELEVATIONS					
FILE NUMBER:					
DATE: 06/03/2024					
C1-15					

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AMENITY BUILDING PERSPECTIVE

NOT TO SCALE



REV	DATE	DESCRIPTION
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2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

DESIGNED BY: CM
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CONCEPTUAL BUILDING ELEVATIONS

FILE NUMBER:
 DATE: 06/03/2024
 C1-16



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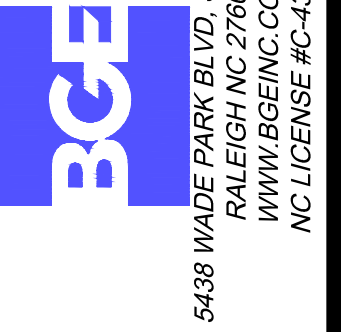
RESIDENTIAL BUILDING PERSPECTIVE

NOT TO SCALE



REV	DATE	DESCRIPTION
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2	02/07/2025	RESPONSE TO COMMENTS
3	08/02/2024	RESPONSE TO COMMENTS

DESIGNED BY: CM
 DRAWN BY: CM
 REVIEWED BY: RF



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CONCEPTUAL BUILDING ELEVATIONS



FILE NUMBER:

DATE: 06/03/2024

C1-17

