

# STAFF REPORT

Rezoning #25CZ19 Camp Branch Lane

May 12, 2026 Town Council Meeting



The Public Hearing was closed at the March 24, 2026, Town Council meeting and the vote continued to the May 12, 2026, Town Council meeting.

Changes from the original staff report are in **BOLD** text.

All property owners, tenants, and neighborhood associations within 500 feet of this rezoning have been notified per UDO Sec. 2.2.11 *Public Notification*.

### **BACKGROUND INFORMATION:**

**Location:** 0 & 7104 Camp Branch Lane  
**Applicant:** Chris Bowley, Lennar Carolinas, LLC

### **PROJECT DESCRIPTION:**

**Acreage:** ± 22.19 acres  
**PIN:** 0731142050 & 0731140691  
**Current Zoning:** Rural Residential (RR)  
**Proposed Zoning:** Medium Density Residential-Conditional Zoning (MD-CZ)  
**2045 Land Use Map:** Medium Density Residential  
**Town Limits:** ETJ

### **Adjacent Zoning & Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>North:</b>	Medium Density-Conditional Use (MD-CU #03CU04) Rural Residential (RR)	Vacant
<b>South:</b>	Rural Residential (RR)	Single-family residential
<b>East:</b>	Rural Residential (RR)	Single-family residential
<b>West:</b>	Rural Residential (RR)	Holland Rd; Single-family residential

### **Existing Conditions:**

The properties to be rezoned are fully wooded with mature trees and a stream that courses North-South through the site. A second branch of the stream follows the northern parcel boundary of the rezoning. One single-family home and associated accessory buildings are located within the rezoning area.

### **Neighborhood Meeting:**

The applicant conducted two neighborhood meetings on October 29, 2025 and February 16, 2026. Both neighborhood meeting reports are attached.

### **2045 Land Use Map:**

The 2045 Land Use Map classifies the subject properties as Medium Density Residential. The proposed rezoning to Medium Density Residential-Conditional Zoning (MD-CZ) is consistent with that land use classification.

### **WCPSS Coordination:**

A Letter of Impact from Wake County Public School System (WCPSS) was received for this rezoning and is included in the staff report packet. WCPSS indicated that schools at the middle grade levels within the current

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assignment area for the proposed rezoning are anticipated to have insufficient capacity for future students. School expansion, construction, or reassignment within the next five years may address concerns at these grade levels.

## PROPOSED ZONING CONDITIONS:

### Limitation of Uses:

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

### Permitted Uses:

- |                               |                                 |
|-------------------------------|---------------------------------|
| 1. Single-family              | 5. Greenway                     |
| 2. Accessory apartment        | 6. Park, active                 |
| 3. Utility, minor             | 7. Park, passive                |
| 4. Wireless support structure | 8. Recreation facility, private |

### Zoning Conditions

- 1. There shall be a maximum of fifty-eight (58) residential units on the property.**
2. Minimum lot width shall be forty (40) feet.
3. The minimum side setbacks shall be five (5) feet and the minimum combined side setback shall be ten (10) feet.
4. The minimum front setback shall be twenty (20) feet.
5. There shall be a 20-foot Type B buffer and privacy fence along the shared property line with PIN 0731149410 (the "Donnelly Property"). The privacy fence shall have a minimum height of six (6) feet and be located along the west side of the buffer.
6. There shall be a privacy fence with a minimum height of six (6) feet where residential lots are adjacent to the buffer along PIN 0731038661. The privacy fence shall be located along the north side of the buffer.
7. The public right of way for the stub street to the Donnelly Property shall extend to the shared property line with the Donnelly Property (the "Property Line"), but the paved street and curb and gutter shall terminate approximately 25 feet west of the Property Line. Developer shall pay a fee-in-lieu for the future extension of the stub street in accordance with the UDO.
8. The development shall construct a stub street to PIN 0731038661 in a location determined by developer and coordinated with Town staff during Master Subdivision Plan and Construction Document review.
- 9. The Developer shall construct a stub street to PIN 0731038864 subject to review and approval of Town staff during Master Subdivision Plan and Construction Document review. If the permitting agencies will not permit the street stub to the property line, or if the street stub causes any impacts to riparian buffers or wetlands, Developer shall extend the stub street to the extent possible without impacting riparian buffers or wetlands and pay a fee in lieu for the remainder to the property line in the amount of the estimated cost of engineering design, mitigation fees (as applicable), and construction cost based on an engineer's estimate subject to review and approval by Town staff.**



10. Subject to Town of Apex and North Carolina Department of Transportation review and approval, Developer shall dedicate public right-of-way for the length of the property's Holland Road frontage, measured 40 feet from the existing centerline of Holland Road, and widen and improve Holland Road for the length of the property's Holland Road frontage based on a 50-foot curb and gutter 3-lane thoroughfare section with an 11-foot turn lane, 11-foot travel lanes, and 6-foot bike lanes, and construct 5-foot sidewalk offset one foot from the right-of-way consistent with the Town of Apex Bicycle and Pedestrian System Plan Map (the "Road Widening"). There are one or more streams on the property and the Road Widening will require approval from the U.S. Army Corps of Engineers and any other applicable governing body (the "Permitting Body") to permit the stream disturbance. If the Permitting Body will not permit the stream disturbance, developer shall pay a fee-in-lieu for the portion of the Road Widening that cannot be completed including the estimated cost of final design and permitting.
11. A southbound left turn lane shall be provided on Holland Road to serve Camp Branch Lane. In the event the developer is unable to acquire all necessary rights of way and easements for construction of the southbound left turn lane through good faith efforts, and the Town of Apex is unable or unwilling to assist in that acquisition, then the developer shall redesign the road improvements to eliminate the turn lane and pay a fee in lieu in the amount of the estimated cost of acquisition and construction subject to review and approval of an engineer's estimate.
12. **Subject to Town of Apex and NCDOT approval, a second fire safety/emergency management services access drive shall be provided along Holland Road (the "Emergency Access"). The Emergency Access shall be constructed to Town of Apex standards for fire apparatus roads, be a minimum of 20 feet wide, be stabilized to a minimum of 32-tons, be unobstructed, and have gated access with a knox-box or equivalent equipment.**
13. The following architectural conditions shall apply to single-family units:
  - a. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
  - b. Garage doors shall have windows, decorative details, or carriage style adornments.
  - c. A varied color palette shall be used on all homes to include a minimum of three color families.
  - d. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
  - e. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
  - f. **The garage shall not protrude more than one (1) foot out from the façade or front porch. Living space above a garage shall not be considered part of the front façade.**
14. A minimum of **ten percent (10%)** of the total units on the property shall be affordable housing units. The affordable units may be for sale or for rent units, at the election of developer prior to issuance of building permits for the affordable units. Final affordable housing unit floor plan selection which includes unit size and bedroom size will be at the discretion of the developer. If the affordable units calculation results in a fraction between 0.50 and 0.99, the affordable units shall be rounded up to the nearest whole number. If the affordable units calculation results in a fraction between 0.01 and 0.49, the affordable units shall be rounded down to the nearest whole number.



For sale affordable units (the “For Sale Units”) shall be subject to the following terms and conditions:

- The For Sale Units shall be constructed on-site and sold (includes unit price and lot price) at a mutually agreeable maximum affordable median income ownership initial sales price (the “Initial Sales Price”).
- The For Sale Units shall be occupied by households earning no more than one-hundred twenty (120%) of the Raleigh NC Metropolitan Statistical Area (MSA), Area Median Income (AMI) as most recently published by HUD (the “Income Limit”). For purposes of calculating the Initial Sales Price for the For Sale Units, affordable shall mean a reasonable down payment and monthly housing costs expected during the first calendar year of occupancy, including utilities or utility allowances, mortgage loan principal and interest, mortgage insurance, property taxes, homeowner’s insurance, homeowner’s association dues, if any, and all other property assessments, dues and fees assessed as a condition of property ownership (the “Housing Costs”). For purposes of the calculation, monthly Housing Costs shall not exceed thirty percent (30%) of the Income Limit divided by twelve (12).
- A restrictive covenant (i.e. resale deed restriction) with a minimum affordability period of twenty (20) years (the “Affordability Period”) shall be recorded in the Wake County Registry against the For Sale Units concurrently at the close of escrow upon the sale of each For Sale Unit.
- Following the first sale of the For Sale Units to a buyer for use as a residence, Developer shall not be responsible for managing the For Sale Units or performing marketing, applicant screening, and selection related to future sales of the For Sale Units.

For rent affordable units (the “Rental Units”) shall be subject to the following terms and conditions:

- The Rental Units shall be occupied by low-income households earning no more than eighty percent (80%) of the Raleigh, NC Metropolitan Statistical Area (MSA) Area Median Income, as most recently published by the U.S. Department of Housing and Urban Development (HUD) for a period of thirty (30) years starting from the date of issuance of the first residential Certificate of Occupancy (the “Affordability Period”).
- Prior to issuance of the first Certificate of Occupancy for the Rental Units, a restrictive covenant between the Town and property owner shall be executed and recorded in the Wake County Registry to memorialize the affordable housing terms and conditions.
- During the Affordability Period, the property owner shall submit annual compliance reports to the Town to verify compliance with the affordable housing terms and conditions.
- Following expiration of the Affordability Period, this affordable housing condition shall expire, and the property owner shall be relieved of all obligations set forth in this affordable housing condition, and the Rental Units may be freely marketed and leased at market rate rents.

15. Homeowner Association covenants shall not restrict the construction of accessory dwelling units.

16. **The development shall install at least one pet waste stations per twenty-five (25) residential units in locations that are publicly accessible, such as adjacent to amenity centers, SCMs,**



**sidewalks, greenways, or side paths. If there are fewer than 25 homes, at least one pet waste station shall be installed.**

17. The development shall install one (1) sign per Stormwater Control Measure to reduce pet waste and prohibit fertilizer in a location that is publicly accessible, such as adjacent to a sidewalk.
18. **At least 75% of newly installed plants shall be native species of North Carolina. Landscaping will be coordinated with and approved by the Planning Department at site or subdivision review.**
19. **No single species of native or adaptive vegetation shall constitute more than 20% of the plant material of its type within a single development site.**
20. **The HOA Declaration of Covenants shall not prohibit clover or native grass mixed species lawns.**
21. **The HOA Declaration of Covenants shall not require that fallen leaves or dormant plants be removed during the winter on areas without turf grass, including individual homes and HOA owned common areas.**
22. **A solar PV system of at least 3.5kW shall be installed on at least 10% of single-family homes in the development. Solar installation shall be under construction prior to issuance of 90% of the building permits for the development.**
23. Each unit shall have at least one electrical receptacle suitable for electric vehicle charging with minimum voltage of 220V.

The zoning condition shown below was removed at the applicant's request after the Planning Board public hearing. As a result, any proposed development will have to comply with the standards related to the required number of access points.

"Development shall only be required to provide one (1) point of access to the public street system."

**After the Town Council public hearing the applicant provided the following conditions related to number of access points.**

9. **"The Developer shall construct a stub street to PIN 0731038864 subject to review and approval of Town staff during Master Subdivision Plan and Construction Document review. If the permitting agencies will not permit the street stub to the property line, or if the street stub causes any impacts to riparian buffers or wetlands, Developer shall extend the stub street to the extent possible without impacting riparian buffers or wetlands and pay a fee in lieu for the remainder to the property line in the amount of the estimated cost of engineering design, mitigation fees (as applicable), and construction cost based on an engineer's estimate subject to review and approval by Town staff.";**  
and
13. **"Subject to Town of Apex and NCDOT approval, a second fire safety/emergency management services access drive shall be provided along Holland Road (the "Emergency Access"). The Emergency Access shall be constructed to Town of Apex standards for fire apparatus roads, be a minimum of 20 feet wide, be stabilized to a minimum of 32-tons, be unobstructed, and have gated access with a knox-box or equivalent equipment."**

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May 12, 2026 Town Council Meeting



## Environmental Advisory Board:

The Apex Environmental Advisory Board (EAB) held a meeting for this rezoning on December 18, 2025. The zoning conditions suggested by the EAB are listed below along with the applicant's response to each condition.

EAB Suggested Condition	Applicant's Response
No buffer averaging shall be allowed for Zone 3 of the riparian buffers.	Not Added
The project shall install one (1) sign per SCM to reduce pet waste and prohibit fertilizer, in locations that are publicly accessible, such as adjacent to amenity centers, sidewalks, greenways, or side paths.	Added
The project shall ensure that 75% of the landscaping shall be native species, which shall provide diverse and abundant pollinator and bird food sources. Special attention shall be paid to providing diverse and abundant pollinator and bird food sources, including plants that bloom in succession from spring to fall. Landscaping shall be coordinated with and approved by the Planning Department at site or subdivision review.	Amended
<b>No single species of native or adaptive vegetation shall constitute more than 20% of the plant material of its type within a single development site.</b>	<b>Added</b>
<b>HOA covenants, conditions, and restrictions shall not prohibit clover or native grass mixed species lawns.</b>	<b>Amended</b>
<b>In order to support nesting and overwintering wildlife and pollinators, HOA covenants shall not require that fallen leaves or dormant plants be removed during the winter on areas without turf grass, including individual homes and HOA owned common areas.</b>	<b>Amended</b>
<b>If single family, the project shall install at least one (1) pet waste station per 25 residential units/townhomes and at least two (2) pet waste stations per apartment building throughout the community in locations that are publicly accessible, such as adjacent to amenity centers, SCMs, sidewalks, greenways or side paths. If there are fewer than 25 homes, at least one (1) pet waste station shall be installed.</b>	<b>Amended</b>
<b>A solar PV system of at least 3.5kW shall be installed on at least (6) homes within the development. All solar installation required by this condition shall be completed or under construction prior to 90% of the building permits being issued for the development. The lot(s) on which this home/these homes is/are located shall be identified on the Master Subdivision Plat, which may be amended from time to time.</b>	<b>Amended</b>
Wire all garages with 220-volt outlets at the exterior to provide for EV charging stations in SF and Townhomes.	Added

## Housing Staff Recommendation:

Based on the adopted 2025 Update to the Apex Affordable Housing Plan and the adopted 2025 Update to the Affordable Housing Incentive Zoning Policy, the Housing Program recommends at least 10% of the residential units or lots be designated as affordable or workforce housing. This policy is satisfied by zoning condition #14.

## PLANNING STAFF RECOMMENDATION:

Planning staff recommends approval of Rezoning #25CZ19 with the conditions as offered by the applicant.



**PLANNING BOARD RECOMMENDATION:**

The Planning Board held a public hearing on March 9, 2026 and unanimously recommended approval.

**ANALYSIS STATEMENT OF THE REASONABLENESS OF THE PROPOSED REZONING:**

This Statement will address consistency with the Town’s comprehensive and other applicable plans, reasonableness, and effect on public interest:

The 2045 Land Use Map classifies the subject properties as Medium Density Residential. The proposed rezoning to Medium Density Residential-Conditional Zoning (MD-CZ) is consistent with that land use classification.

The proposed rezoning is reasonable and in the public interest as the proposed density and uses are consistent with those contemplated by the 2045 Land Use Map. The conditions provided will allow the property to be developed in a manner that is consistent with the residential character of the area and limits the allowable density consistent with subdivisions within 300 feet of the rezoning. The proposed rezoning also includes dedication of right-of-way along the parcel’s frontage consistent with the Apex Transportation Plan.

**CONDITIONAL ZONING STANDARDS:**

The Town Council shall find the MD-CZ designation demonstrates compliance with the following standards. 2.3.3.F:

**Legislative Considerations**

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest.

- 1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use’s appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.
- 2) *Compatibility.* The proposed Conditional Zoning (CZ) District use’s appropriateness for its proposed location and compatibility with the character of surrounding land uses.
- 3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use’s compliance with Sec 4.4 *Supplemental Standards*, if applicable.
- 4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use’s minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.
- 5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use’s minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.
- 6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use’s avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.
- 7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use’s effect on the health,



safety, or welfare of the residents of the Town or its ETJ.

- 8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.
- 9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.
- 10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.



621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
919.361.5000

October 27, 2025

Jessica McClure  
Town of Apex  
73 Hunter Street, PO Box 250  
Apex, NC 27502  
919.372.7448

**RE: Camp Branch Lane Residential – Apex, North Carolina – Trip Generation Letter**

Dear Ms. McClure,

### Trip Generation Letter

This letter presents a summary of the trip generation potential for the proposed Camp Branch Lane residential development to be located east of Holland Road and west of Southwinds Run in Apex, North Carolina. The purpose of this letter is to review the anticipated trip generation potential of the proposed site. The proposed development is expected to consist of 58 single family homes.

Site access will be served via one (1) existing full movement driveway along Holland Road.

#### Similar Site Data

Based on the Institute for Transportation Engineers (ITE) *Trip Generation Manual*, 11<sup>th</sup> Edition, and the suggested method of trip calculations provided in NCDOT’s *Rate vs. Equation spreadsheet*, trips for the proposed development were calculated for weekday daily, weekday AM peak hour, and weekday PM peak hour. Refer to Table 1 below for the trip generation for the proposed land uses.

TABLE 1: TRIP GENERATION									
Land Use (ITE Code)	Density	Calculation Methodology	Daily Trips	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Single Family Homes (210)	58 units	Adjacent / Equation	611	11	34	45	38	22	60

The proposed development is expected to generate 611 daily trips consisting of 45 trips (11 entering and 34 exiting) during the weekday AM peak hour and 60 trips (38 entering and 22 exiting) during the weekday PM peak hour.

Based on the Town of Apex (Town) Unified Development Ordinance (UDO), a Traffic Impact Analysis (TIA) is required if the trip generation threshold is expected to generate greater than 1,000 daily trips or greater than 100 peak hour trips. The threshold for the North Carolina Department of Transportation (NCDOT) requiring a TIA of a proposed development is that of generating more than 3,000 daily trips. Based on a review of the proposed density and associated trip generation potential, the proposed development is expected to be well below these thresholds. Due to these reasons, offsite traffic impacts by the proposed development are expected to be negligible and a TIA is not expected to be required by the review agencies.

### Summary

This letter presents a summary of the trip generation potential for the Camp Branch Lane residential development. The proposed development is located east of Holland Road and west of Southwinds Run in Apex, North Carolina. The purpose of this letter is to review the anticipated trip generation potential of the proposed site. The proposed development is expected to consist of 58 single family homes.

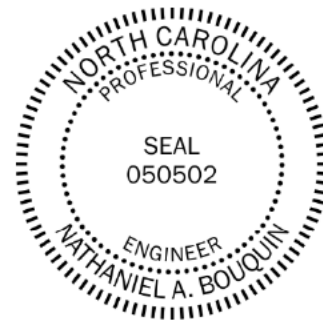
Based on review of the trip generation calculations using the methodology contained within the ITE *Trip Generation Manual*, 11<sup>th</sup> Edition, the proposed development is expected to generate a maximum of 611 daily trips consisting of 45 trips during the weekday AM peak hour and 60 trips during the weekday PM peak hour. This falls below the typical threshold for requiring a Traffic Impact Analysis (TIA) set by the Town of Apex of generating greater than 1,000 daily trips or 100 peak hour trips. Due to the low trip generation estimates for the proposed development, the development is expected to have a negligible impact on the area street network.

If you should have any questions or comments relative to this study, please feel free to contact me at 919.961.4065.

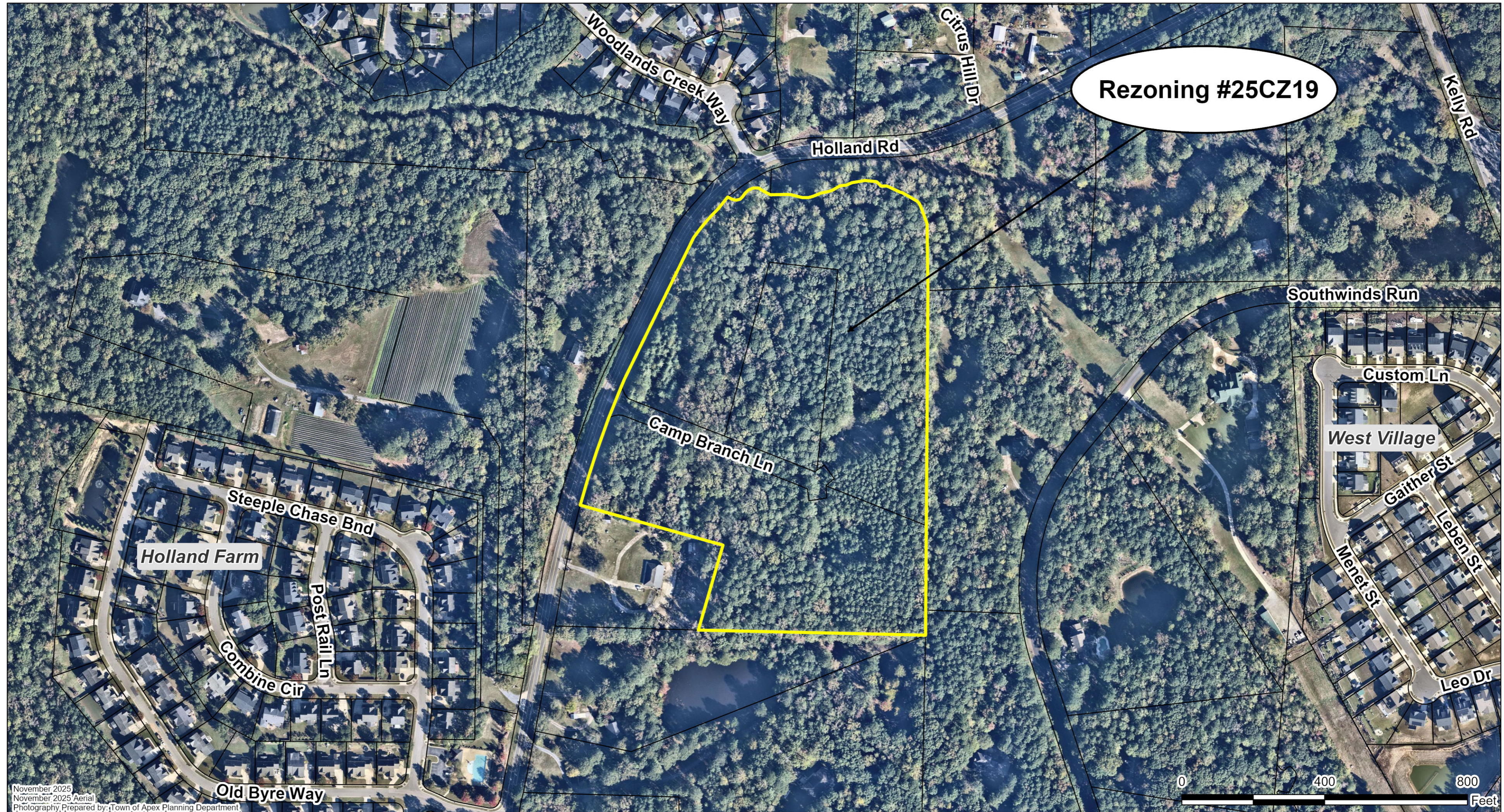
Sincerely,  
**McAdams**

Nate Bouquin, PE, PTOE | Practice Lead, Traffic Engineering  
bouquin@mcadamsco.com | 919. 961. 4065

The John R. McAdams Company, Inc.  
NC License #C-0293



Rezoning #25CZ19



## PETITION TO AMEND THE OFFICIAL ZONING MAP

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Application #: #25CZ19 Submittal Date: 11/3/2025  
Fee Paid: \_\_\_\_\_

### Project Information

Project Name: Camp Branch Lane Rezoning  
Address(es): 0 & 7104 Camp Branch Lane  
PIN(s): 0731142050 & 0731140691  
Acreage: 22.19 acres  
Current Zoning: Rural Residential (RR) Proposed Zoning: Medium Density Conditional (MD-CZ)  
Current 2045 LUM Classification(s): Medium Density Residential  
Is the proposed rezoning consistent with the 2045 LUM Classification(s)? Yes  No

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use:	Acreage:	<u>N/A</u>
Area proposed as non-residential development:	Acreage:	<u>N/A</u>
Percent of mixed use area proposed as non-residential:	Percent:	<u>N/A</u>

### Applicant Information

Name: Lennar Carolinas, LLC  
Address: 1010 Sync Street, Suite 600  
City: Morrisville State: NC Zip: 27560  
Phone: 919-337-9444 E-mail: chris.bowley@lennar.com

### Owner Information

Name: Estate of Thomas Ames Carter  
Address: 7104 Camp Branch Lane  
City: Apex State: NC Zip: 27502  
Phone: N/A E-mail: N/A

### Agent Information

Name: Matthew J. Carpenter  
Address: 301 Fayetteville Street, Suite 1400  
City: Raleigh State: NC Zip: 27601  
Phone: 919-835-4032 E-mail: MatthewCarpenter@parkerpoe.com

Other contacts: Eric Blocher; eric@curryeng.com; 984-225-4150  
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\_\_\_\_\_





**PETITION INFORMATION**

Application #:                   #25CZ19                   Submittal Date:                   11/3/2025                  

3) Zoning district supplemental standards. The proposed Conditional Zoning (CZ) District use’s compliance with Sec 4.4 Supplemental Standards, if applicable

[REDACTED] e attached

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4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use’s minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance

[REDACTED] e attached

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5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use’s minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resource

[REDACTED] e attached

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6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use’s avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities

[REDACTED] e attached

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7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use’s effect on the health, safety, or welfare of the residents of the Town or its ET

[REDACTED] e attached

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**PETITION INFORMATION**

Application #:           #25CZ19                                Submittal Date:           11/3/2025          

8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties [redacted]

[redacted] e attached

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9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use [redacted]

[redacted] e attached

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10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics [redacted]

[redacted] e attached

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**Camp Branch Lane**

**Proposed Uses and Zoning Conditions**

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

1. Single-family
2. Accessory apartment
3. Utility, minor
4. Wireless support structure
5. Greenway
6. Park, active
7. Park, passive
8. Recreation facility, private

**Zoning Conditions**

1. There shall be a maximum of fifty-eight (58) residential units on the property.
2. Minimum lot width shall be forty (40) feet.
3. The minimum side setbacks shall be five (5) feet and the minimum combined side setback shall be ten (10) feet.
4. The minimum front setback shall be twenty (20) feet.
5. There shall be a 20-foot Type B buffer and privacy fence along the shared property line with PIN 0731149410 (the “Donnelly Property”). The privacy fence shall have a minimum height of six (6) feet and be located along the west side of the buffer.
6. There shall be a privacy fence with a minimum height of six (6) feet where residential lots are adjacent to the buffer along PIN 0731038661. The privacy fence shall be located along the north side of the buffer.
7. The public right of way for the stub street to the Donnelly Property shall extend to the shared property line with the Donnelly Property (the “Property Line”), but the paved street and curb and gutter shall terminate approximately 25 feet west of the Property Line. Developer shall pay a fee-in-lieu for the future extension of the stub street in accordance with the UDO.
8. The development shall construct a stub street to PIN 0731038661 in a location determined by developer and coordinated with Town staff during Master Subdivision Plan and Construction Document review.
9. The Developer shall construct a stub street to PIN 0731038864 subject to review and approval of Town staff during Master Subdivision Plan and Construction Document review. If the permitting agencies will not permit the street stub to the property line, or if the street stub causes any impacts to riparian buffers or wetlands, Developer shall extend the stub street to the extent possible without impacting riparian buffers or wetlands and pay a fee in lieu for the remainder to the property line in the amount of the estimated cost of engineering design, mitigation fees (as applicable), and construction cost based on an engineer’s estimate subject to review and approval by Town staff.
10. Subject to Town of Apex and North Carolina Department of Transportation review and approval, Developer shall dedicate public right-of-way for the length of the property’s Holland Road frontage, measured 40 feet from the existing centerline of Holland Road, and widen and improve Holland Road for the length of the property’s Holland Road frontage based on a 50-foot curb and gutter 3-lane thoroughfare section with an 11-foot turn lane, 11-foot travel lanes, and 6-foot bike lanes, and construct 5-foot sidewalk offset one foot from the right-of-way consistent with the Town of Apex Bicycle and Pedestrian System Plan Map (the “Road Widening”). There are one or more streams on the property and the Road Widening will require approval from the U.S. Army Corps of Engineers and any other applicable governing body (the “Permitting Body”) to permit the stream

disturbance. If the Permitting Body will not permit the stream disturbance, developer shall pay a fee-in-lieu for the portion of the Road Widening that cannot be completed including the estimated cost of final design and permitting plus 15% contingency subject to review and approval of an engineer's estimate.

11. A southbound left turn lane shall be provided on Holland Road to serve Camp Branch Lane. In the event the developer is unable to acquire all necessary rights of way and easements for construction of the southbound left turn lane through good faith efforts, and the Town of Apex is unable or unwilling to assist in that acquisition, then the developer shall redesign the road improvements to eliminate the turn lane and pay a fee in lieu in the amount of the estimated cost of acquisition and construction plus 15% contingency subject to review and approval of an engineer's estimate.
12. Subject to Town of Apex and NCDOT approval, a second fire safety/emergency management services access drive shall be provided along Holland Road (the "Emergency Access"). The Emergency Access shall be constructed to Town of Apex standards for fire apparatus roads, be a minimum of 20 feet wide, be stabilized to a minimum of 32-tons, be unobstructed, and have gated access with a knox-box or equivalent equipment.
13. The following architectural conditions shall apply to single-family units:
  - a. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
  - b. Garage doors shall have windows, decorative details, or carriage style adornments.
  - c. A varied color palette shall be used on all homes to include a minimum of three color families.
  - d. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
  - e. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
  - f. The garage shall not protrude more than one (1) foot out from the façade or front porch. Living space above a garage shall not be considered part of the front façade.
14. A minimum of ten percent (10%) of the total units on the property shall be affordable housing units. The affordable units may be for sale or for rent units, at the election of developer prior to issuance of building permits for the affordable units. Final affordable housing unit floor plan selection which includes unit size and bedroom size will be at the discretion of the developer. If the affordable units calculation results in a fraction between 0.50 and 0.99, the affordable units shall be rounded up to the nearest whole

#25CZ19

number. If the affordable units calculation results in a fraction between 0.01 and 0.49, the affordable units shall be rounded down to the nearest whole number.

For sale affordable units (the “For Sale Units”) shall be subject to the following terms and conditions:

- The For Sale Units shall be constructed on-site and sold (includes unit price and lot price) at a mutually agreeable maximum affordable median income ownership initial sales price (the “Initial Sales Price”).
- The For Sale Units shall be occupied by households earning no more than one-hundred twenty (120%) of the Raleigh NC Metropolitan Statistical Area (MSA), Area Median Income (AMI) as most recently published by HUD (the “Income Limit”). For purposes of calculating the Initial Sales Price for the For Sale Units, affordable shall mean a reasonable down payment and monthly housing costs expected during the first calendar year of occupancy, including utilities or utility allowances, mortgage loan principal and interest, mortgage insurance, property taxes, homeowner’s insurance, homeowner’s association dues, if any, and all other property assessments, dues and fees assessed as a condition of property ownership (the “Housing Costs”). For purposes of the calculation, monthly Housing Costs shall not exceed thirty percent (30%) of the Income Limit divided by twelve (12).
- A restrictive covenant (i.e. resale deed restriction) with a minimum affordability period of twenty (20) years (the “Affordability Period”) shall be recorded in the Wake County Registry against the For Sale Units concurrently at the close of escrow upon the sale of each For Sale Unit.
- Following the first sale of the For Sale Units to a buyer for use as a residence, Developer shall not be responsible for managing the For Sale Units or performing marketing, applicant screening, and selection related to future sales of the For Sale Units.

For rent affordable units (the “Rental Units”) shall be subject to the following terms and conditions:

- The Rental Units shall be occupied by low-income households earning no more than eighty percent (80%) of the Raleigh, NC Metropolitan Statistical Area (MSA) Area Median Income, as most recently published by the U.S. Department of Housing and Urban Development (HUD) for a period of thirty (30) years starting from the date of issuance of the first residential Certificate of Occupancy (the “Affordability Period”).
- Prior to issuance of the first Certificate of Occupancy for the Rental Units, a restrictive covenant between the Town and property owner shall be

executed and recorded in the Wake County Registry to memorialize the affordable housing terms and conditions.

- During the Affordability Period, the property owner shall submit annual compliance reports to the Town to verify compliance with the affordable housing terms and conditions.
  - Following expiration of the Affordability Period, this affordable housing condition shall expire, and the property owner shall be relieved of all obligations set forth in this affordable housing condition, and the Rental Units may be freely marketed and leased at market rate rents.
15. Homeowner Association covenants shall not restrict the construction of accessory dwelling units.
  16. The development shall install at least one pet waste stations per twenty-five (25) residential units in locations that are publicly accessible, such as adjacent to amenity centers, SCMs, sidewalks, greenways, or side paths. If there are fewer than 25 homes, at least one pet waste station shall be installed.
  17. The development shall install one (1) sign per Stormwater Control Measure to reduce pet waste and prohibit fertilizer in a location that is publicly accessible, such as adjacent to a sidewalk.
  18. At least 75% of the landscaping shall be native species which shall provide diverse and abundant pollinator and bird food sources. Landscaping shall be coordinated with and approved by the Planning Department at site or subdivision review.
  19. No single species of native or adaptive vegetation shall constitute more than 20% of the plant material of its type within a single development site.
  20. The HOA Declaration of Covenants shall not prohibit clover or native grass mixed species lawns.
  21. The HOA Declaration of Covenants shall not require that fallen leaves or dormant plants be removed during the winter on areas without turf grass, including individual homes and HOA owned common areas.
  22. A solar PV system of at least 3.5kW shall be installed on at least 10% of single-family homes in the development. Solar installation shall be under construction prior to issuance of 90% of the building permits for the development.
  23. Each unit shall have at least one electrical receptacle suitable for electric vehicle charging with minimum voltage of 220V.

## **Legislative Considerations - Conditional Zoning**

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest. Use additional pages as needed.

- 1. Consistency with 2045 Land Use Map. The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.**

*Response:* The proposed Medium Density Conditional Zoning District ("MD-CZ") is appropriate for this location and consistent with the Property's Medium Density Residential LUM designation. The proposed MD-CZ district permits single-family homes, but does not permit townhomes, to maintain consistency with the character of the area which is predominantly single-family homes. Additionally, proposed condition 1 limits maximum density to four units per acre.

- 2. Compatibility. The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.**

*Response:* The proposed district is appropriate for the location. Although adjacent properties to the west and south are designated Medium Density Residential on the LUM which is consistent with the proposed zoning, they are currently undeveloped and have single-family homes on large 1+ acre lots. Accordingly, the proposed zoning prohibits townhomes and caps density at 4 units per acre to be consistent with the LUM designation but not overwhelm adjacent properties. Proposed conditions and density mirror those of neighboring communities like Holland Farm, Crockett's Ridge, Bella Casa, and West Village.

- 3. Zoning district supplemental standards. The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 Supplemental Standards, if applicable.**

*Response:* The proposed uses will comply with all applicable Supplemental Standards.

- 4. Design minimizes adverse impact. The design of the proposed Conditional Zoning (CZ) District use's minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.**

*Response:* A stream runs north/south through the Property parallel with and adjacent to Holland Road. The stream will likely require a 100-foot riparian buffer on each side. Surrounding areas north and west of the stream are low lying and likely considered wetlands. These environmental features encumber a significant portion of the property. The proposed MD-CZ zoning will allow a conservation style subdivision with RCAs and existing natural features along Holland Road to protect environmental sensitive areas, and lots on the eastern portion of the property. Modest reductions in minimum lot width and side setback requirements are requested to achieve the proposed 3-4/units acre density which is consistent with the Medium Density LUM designation but mindful of adjacent large lot single-family properties.

Existing adjacent properties are either undeveloped or have single-family homes on large lots separated by wooded areas. The adjacent property to the north (PIN 0731149865) is an undeveloped wooded 6.74-acre lot encumbered by riparian buffers and wetlands, and unlikely to be developed. The adjacent property to the east (0731149410) is a single-family home on a 9.42-acre lot. The majority of the lot is wooded and the home is located over 200 feet from the shared property line. The lot is unlikely to redevelop as existing restrictive covenants limit the lot to one single-family home. For additional separation, proposed condition 6 commits to a 6-foot tall privacy fence and 20-foot buffer along the eastern property line. PIN 0731038661 is largely wooded and the existing house is close to Holland Road, over 350 feet from the shared property line. PIN 0731038864 has the closest residential structure at approximately 100 feet from the property line, but will be separated from the proposed development by a wooded perimeter buffer and stream buffer.

Finally, the project will meet all UDO requirements for buffers, trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration.

- 5. *Design minimizes environmental impact. The proposed Conditional Zoning District use's minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.***

*Response:* The project will meet all local, state, and federal environmental regulations. There is an existing stream located on the northern and western portion of the Property. No lots will be located in riparian buffers. The project will meet the UDO RCA requirement (35% (30% RCA requirement plus expected additional 5% RCA for mass grading)).

- 6. *Impact on public facilities. The proposed Conditional Zoning (CZ) District use's avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.***

*Response:* The proposed district will not have an adverse impact on public facilities and services.

- 7. *Health, safety, and welfare. The proposed Conditional Zoning (CZ) District use's effect on the health, safety, or welfare of the residents of the Town or its ETJ.***

*Response:* The proposed use will not have adverse effects on health, safety, or welfare of residents of the Town or its ETJ. Rather, it will add to the housing supply in a growing corridor of Apex in a manner that is compatible with the existing development pattern of the area.

- 8. *Detrimental to adjacent properties. Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.***

*Response:* The proposed district is not substantially detrimental to adjacent properties. As discussed above, the proposed single-family homes will be consistent—and in some instances smaller—in size, scale, density, and character to the existing Holland Farm, Crockett's Ridge, Bella Casa, and West Village Subdivisions. Conditions are proposed to mitigate impacts on adjacent undeveloped tracts.

- 9. *Not constitute nuisance or hazard. Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.***

*Response:* The proposed district will not constitute a nuisance or hazard due to traffic impact, noise, or because of the number of persons using the district. As mentioned above, the district will limit the allowed density to four units per acre, incorporate open space, and comply with all UDO required buffers.

**10. *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.**

*Response:* The project will comply with all other applicable standards of the UDO.

AGENT AUTHORIZATION FORM

Application #: \_\_\_\_\_ Submittal Date: \_\_\_\_\_

**The Estate of Thomas Ames Carter** is the owner\* of the property for which the attached application is being submitted:

- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: **0 & 7104 Camp Branch Lane**

The agent for this project is: **Tucker Ennis and Chris Bowley**

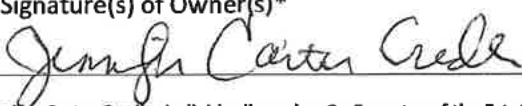
I am the owner of the property and will be acting as my own agent


Agent Name: **Tucker Ennis and Chris Bowley**

Address: **1010 Sync Street, Suite 600, Morrisville, NC 27560**

Telephone Number: **(919) 337-9444**

E-Mail Address: **tucker.ennis@lennar.com**

Signature(s) of Owner(s)\*  
  
 \_\_\_\_\_  
 Jennifer Carter Credle, individually and as Co-Executor of the Estate of Thomas A. Carter  
 Type or print name 10/29/25  
 Date

  
 \_\_\_\_\_  
 Jocelyn Carter Pease, individually and as Co-Executor of the Estate of Thomas A. Carter  
 Type or print name 10/29/2025  
 Date

Attach additional sheets if there are additional owners.

\*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

**AFFIDAVIT OF OWNERSHIP**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

The undersigned, Tucker Ennis (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at PIN # 0731142050 & PIN # 0731140691 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated N/A, and recorded in the Wake County Register of Deeds Office on N/A, in Book N/A Page N/A.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on N/A, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on N/A, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 20<sup>th</sup> day of OCTOBER, 2025.



(seal)

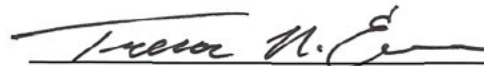
Tucker Ennis

Type or print name

STATE OF NORTH CAROLINA

COUNTY OF WAKE

I, the undersigned, a Notary Public in and for the County of WAKE, hereby certify that TUCKER ENNIS, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's \_\_\_\_\_, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Notary Public  
State of North Carolina

My Commission Expires: MAY 1, 2027

**AFFIDAVIT OF OWNERSHIP: EXHIBIT A – LEGAL DESCRIPTION**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

**Insert legal description below.**

See attached.

**CAMP BRANCH LANE  
PIN: 0731-14-0691  
7104 CAMP BRANCH LANE  
BUCKHORN TOWNSHIP – WAKE COUNTY – NORTH CAROLINA  
LEGAL DESCRIPTION**

BEGINNING AT A CALCULATED POINT IN THE RIGHT-OF-WAY OF HOLLAND ROAD/S.R. 1187 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, SAID POINT HAVING NC GRID NAD83(2011) COORDINATES NORTHING: 714,377.13, EASTING: 2,030,799.10; THENCE NORTH 21°13'52" EAST 0.42 FEET TO A CALCULATED POINT; THENCE NORTH 21°13'52" EAST 48.07 FEET TO A CALCULATED POINT; THENCE NORTH 23°55'12" EAST 106.39 FEET TO A CALCULATED POINT; THENCE NORTH 25°05'30" EAST 108.15 FEET TO A CALCULATED POINT; THENCE NORTH 24°30'05" EAST 355.48 FEET TO A CALCULATED POINT; THENCE NORTH 26°34'29" EAST 39.90 FEET TO A CALCULATED POINT IN THE CENTERLINE OF A BRANCH; THENCE RUNNING WITH THE CENTERLINE OF SAID BRANCH SOUTH 84°03'42" EAST 88.06 FEET TO A CALCULATED POINT; THENCE NORTH 88°12'55" EAST 63.26 FEET TO A CALCULATED POINT; THENCE SOUTH 59°58'11" EAST 39.58 FEET TO A CALCULATED POINT; THENCE NORTH 13°24'29" EAST 26.15 FEET TO A CALCULATED POINT; THENCE SOUTH 76°56'24" EAST 47.71 FEET TO A CALCULATED POINT; THENCE SOUTH 60°22'04" EAST 31.61 FEET TO A CALCULATED POINT; THENCE NORTH 69°21'25" EAST 26.28 FEET TO A CALCULATED POINT; THENCE SOUTH 62°29'41" EAST 42.54 FEET TO A CALCULATED POINT; THENCE NORTH 77°41'47" EAST 65.67 FEET TO A CALCULATED POINT; THENCE NORTH 51°14'07" EAST 41.68 FEET TO A CALCULATED POINT; THENCE NORTH 47°17'20" EAST 29.04 FEET TO A CALCULATED POINT; THENCE NORTH 89°09'59" EAST 19.66 FEET TO A CALCULATED POINT; THENCE SOUTH 61°58'42" EAST 33.59 FEET TO A CALCULATED POINT; THENCE SOUTH 64°33'34" EAST 38.33 FEET TO A CALCULATED POINT; THENCE NORTH 83°54'55" EAST 47.35 FEET TO A CALCULATED POINT; THENCE SOUTH 53°34'16" EAST 24.69 FEET TO A CALCULATED POINT; THENCE SOUTH 86°07'58" EAST 29.54 FEET TO A CALCULATED POINT, SAID POINT BEING THE NORTHEASTERN MOST COMMON CORNER OF LANDS NOW OR FORMERLY OWNED BY MYRTLE B. BAKER HEIRS AS RECORDED IN ESTATE FILE 14-E-986 IN THE WAKE COUNTY REGISTER OF DEEDS; THENCE RUNNING WITH THE COMMON LINE OF SAID LANDS NOW OR FORMERLY OWNED BY MYRTLE B. BAKER HEIRS SOUTH 00°34'58" EAST 266.70 FEET TO AN EXISTING IRON STAKE, SAID IRON STAKE BEING THE NORTHERN MOST COMMON CORNER OF LANDS NOW OR FORMERLY OWNED BY TIMOTHY L. DONNELLY AND CYNTHIA O. DONNELLY AS RECORDED IN DEED BOOK 7858, PAGE 100 AND AS DEPICTED ON A SURVEY RECORDED IN BOOK OF MAPS 1992, PAGE 688 IN THE WAKE COUNTY REGISTER OF DEEDS OFFICE; THENCE LEAVING THE COMMON LINE OF SAID LANDS NOW OR FORMERLY OWNED BY MYRTLE B. BAKER HEIRS AND RUNNING WITH THE COMMON LINE OF SAID LANDS NOW OR FORMERLY OWNED BY TIMOTHY L. DONNELLY AND CYNTHIA O. DONNELLY SOUTH 00°24'02" WEST 965.06 FEET TO AN EXISTING SECTION OF RAILROAD TRACK, SAID SECTION OF RAILROAD TRACK BEING THE SOUTHEASTERN MOST COMMON CORNER OF LANDS NOW OR FORMERLY OWNED BY BRIAN GREGORY BRILL AND ANTHONY NEAL AS RECORDED IN DEED BOOK 19178, PAGE 2750 AND AS DEPICTED ON A SURVEY RECORDED IN BOOK OF MAPS 1992, PAGE 688 IN THE WAKE COUNTY REGISTER OF DEEDS, AND LANDS NOW OR FORMERLY OWNED BY JAMES R. TRUELOVE AND TINA U. TRUELOVE AS RECORDED IN DEED BOOK 10783, PAGE 947 AND AS DEPICTED ON A SURVEY RECORDED IN BOOK OF MAPS 1992, PAGE 688 IN THE WAKE COUNTY REGISTER OF DEEDS, AND LANDS NOW OR FORMERLY OWNED BY DAVID C. LEE AND KATELYN E. LEE AS RECORDED IN DEED BOOK 16245, PAGE 1513 AND AS DEPICTED ON A SURVEY RECORDED IN BOOK OF MAPS 1992, PAGE 688 IN THE WAKE COUNTY REGISTER OF DEEDS; THENCE LEAVING SAID COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY BRIAN GREGORY BRILL AND ANTHONY NEAL AND RUNNING WITH THE COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY DAVID C. LEE AND KATELYN E. LEE NORTH 88°39'44" WEST 649.86 FEET TO A CALCULATED POINT, SAID CALCULATED POINT BEING THE NORTHEASTERN MOST COMMON CORNER OF SAID LANDS NOW OR FORMERLY OWNED BY DAVID C. LEE AND KATELYN E. LEE AND LANDS NOW OR FORMERLY OWNED BY AMOS A. JONES AS RECORDED IN DEED BOOK 6883, PAGE 579 AND AS DEPICTED ON A SURVEY RECORDED IN BOOK OF MAPS 1991, PAGE 1133 IN THE WAKE COUNTY REGISTER OF DEEDS OFFICE; THENCE LEAVING SAID COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY DAVID C. LEE AND KATELYN E. LEE AND RUNNING WITH THE COMMON LINE OF SAID LANDS NOW OR FORMERLY OWNED BY AMOS A. JONES NORTH 15°47'06" EAST 248.05 FEET TO AN EXISTING IRON PIPE; THENCE NORTH 74°41'08" WEST 425.00 FEET TO A CALCULATED POINT IN THE RIGHT-OF-WAY OF HOLLAND ROAD/S.R. 1187

#25CZ19

VARIABLE WIDTH PUBLIC RIGHT-OF-WAY; THENCE LEAVING SAID COMMON LINE OF LANDS NOW OR FORMERLY OWNED BY AMOS. A JONES NORTH 15°18'10" EAST 36.11 FEET TO A CALCULATED POINT; THENCE NORTH 17°06'25" EAST 104.11 FEET TO A CALCULATED POINT; THENCE NORTH 20°32'36" EAST 106.98 FEET TO A CALCULATED POINT; THENCE NORTH 21°13'52" EAST 57.58 FEET TO A CALCULATED POINT; WHICH IS THE POINT AND PLACE OF BEGINNING, CONTAINING 966,651 SQUARE FEET OR 22.19 ACRES AND IS THE SAME PARCELS DESCRIBED AS "LOT 1" AND "LOT 2" ON A SURVEY TITLED "CAMP BRANCH LANE ALTA/NSPS LAND TITLE SURVEY" PRODUCED BY THE JOHN R. MCADAMS COMPANY, DATED NOVEMBER 13, 2025.

## Wake County Residential Development Notification

Please complete each section of this form and submit with your application.

Please complete each section of this form and submit with your application.

Please send any questions about this form to:  
[studentassignment-gis-group@wcpss.net](mailto:studentassignment-gis-group@wcpss.net).

Developer Company Information	
Company Name	
Company Phone Number	919-835-4032
Developer Representative Name	Matthew J. Carpenter
Developer Representative Phone Number	919-835-4032
Developer Representative Email	matthewcarpenter@parkerpoe.com

New Residential Subdivision Information	
Date of Application for Subdivision	TBD
City, Town or Wake County Jurisdiction	Town of Apex
Name of Subdivision	TBD
Address of Subdivision (if unknown enter nearest cross streets)	0 & 7104 Camp Branch Lane
REID(s)	0195688 & 0021230
PIN(s)	0731142050 & 0731140691

Projected Dates Information	
Subdivision Completion Date	
Subdivision Projected First Occupancy Date	

Lot by Lot Development Information																
Unit Type	Total # of Units	Senior Living	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Square Foot Range		Price Range		Anticipated Completion Units & Dates				
								Min	Max	Low	High	Year	# Units	Year	# Units	Year
Single Family	60					60		1500	4500	TBD	TBD	2028				
Townhomes																
Condos																
Apartments																
Other																

# NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

October 15, 2025

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at

0 Camp Branch Lane

0731142050

7104 Camp Branch Lane

0731140691

Address(es)

PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. If you are unable to attend, please refer to the Project Contact Information page for ways to contact the applicant. Notified neighbors may request that the applicant provide updates and send plans via email or mail. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at <http://www.apexnc.org/180>. Applications for Rezoning must hold a second Neighborhood Meeting in the month prior to the anticipated public hearing date.

A Neighborhood Meeting is required because this project includes (check all that apply):

Application Type	Approving Authority
<input checked="" type="checkbox"/> Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/> Major Site Plan	Technical Review Committee (staff)
<input type="checkbox"/> Minor Site Plan for the uses "Day care facility", "Government service", "School, public or private", "Restaurant, drive-through", or "Convenience store with gas sales"	Technical Review Committee (staff)
<input type="checkbox"/> Special Use Permit	Board of Adjustment (QJPH*)
<input type="checkbox"/> Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

\*Quasi-Judicial Public Hearing: The Board of Adjustment cannot discuss the project prior to the public hearing.

The following is a description of the proposal including any proposed long range plan amendments (also see attached map(s) and/or plan sheet(s)):

The applicant/property owner is proposing to rezone the property to Medium Density Residential Conditional Zoning District (MD-CZ) or Planned Unit Development Conditional Zoning (PUD-CZ) to allow for a residential development consisting of up to 60 single-family detached lots.

Estimated submittal date: November 1, 2025

MEETING INFORMATION:	
Property Owner(s) name(s):	Thomas A. Carter Heirs
Applicant(s):	Lennar Carolinas, LLC c/o Matthew J. Carpenter
Contact information (email/phone):	matthewcarpenter@parkerpoe.com; (919) 835-4032
Meeting Address:	Virtual (Zoom) - See attached notice letter
Date/Time of meeting**:	October 29, 2025
Welcome: 5:30 PM	Project Presentation: between 5:30 - 6:30 PM
	Question & Answer: between 5:30 - 6:30 PM

\*\*Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180>.

#25CZ19



To: Neighboring Property Owners and Tenants  
From: Matthew J. Carpenter  
Date: October 15, 2025  
  
Re: Notice of Virtual Neighborhood Meeting

You are invited to attend a neighborhood meeting on October 29, 2025 at 5:30 PM to discuss an upcoming application to rezone two properties located at 0 Camp Branch Lane (PIN 0731142050) and 7104 Camp Branch Lane (PIN 0731140691) from Rural Residential (RR) to Medium Density Residential Conditional Zoning (MD-CZ) or Planned Unit Development Conditional Zoning (PUD-CZ) to allow for a residential development consisting of up to 60 single-family detached lots.

During the meeting, the applicant will describe the nature of the rezoning request and field any questions from the public. Enclosed are: (1) a vicinity map outlining the location of the subject parcels; (2) a zoning map of the subject area; (3) a Land Use Map exhibit; (4) a preliminary PUD concept plan; (5) a project contact information sheet; and (6) a common construction issues & who to call information sheet.

The meeting will be held virtually. You can participate online via Zoom or by telephone. To participate in the Zoom online meeting:

Visit:	<a href="https://zoom.us/join">https://zoom.us/join</a>
Enter the following meeting ID:	896 1083 6578
Enter the following password:	979806

To participate by telephone:

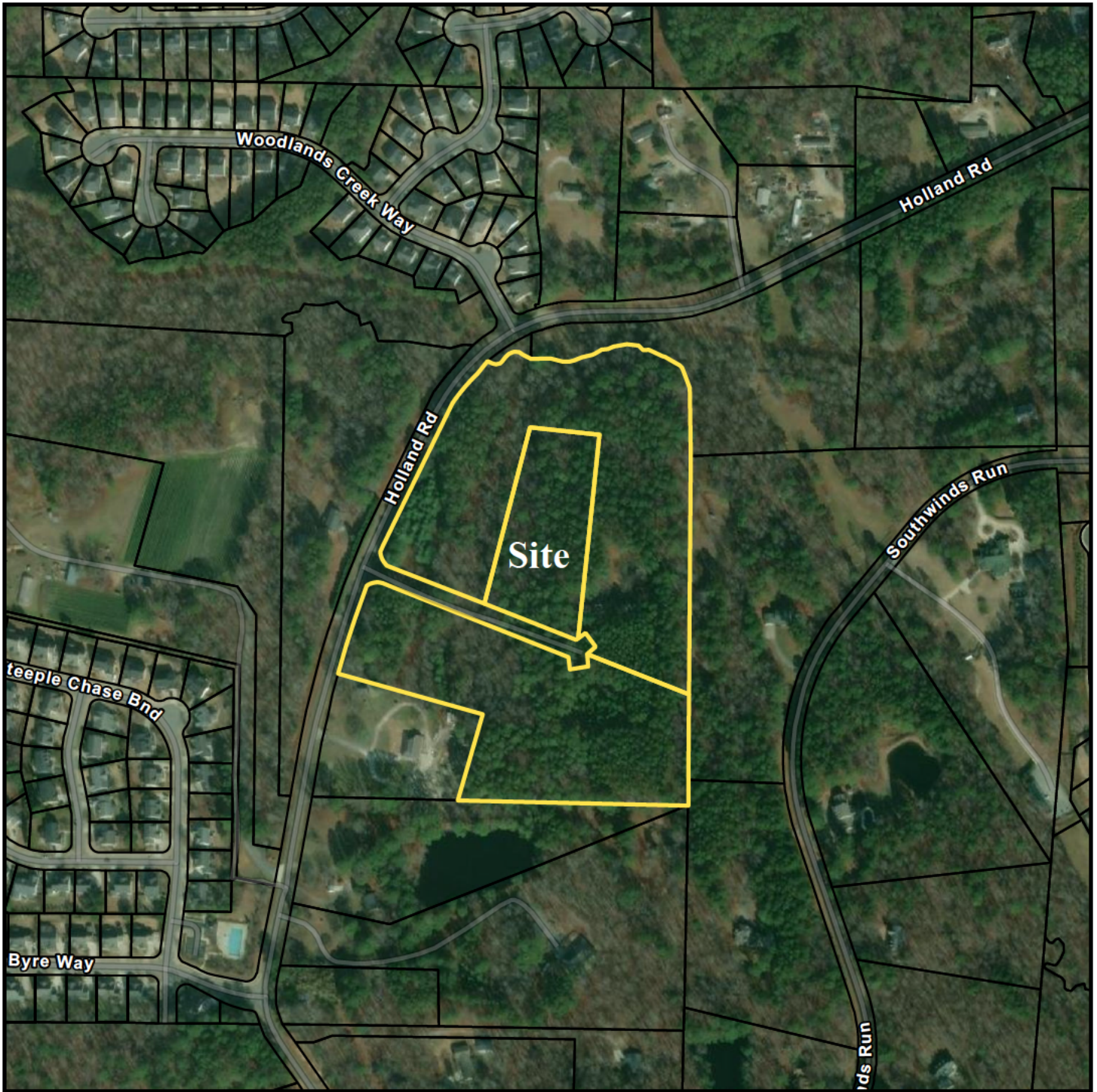
Dial:	1 929 205 6099
Enter the following meeting ID:	896 1083 6578 #
Enter the Participant ID:	#
Enter the Meeting password:	979806 #

If you have any questions about this rezoning, please contact me at (919) 835-4032 or via email at [matthewcarpenter@parkerpoe.com](mailto:matthewcarpenter@parkerpoe.com).

Sincerely,

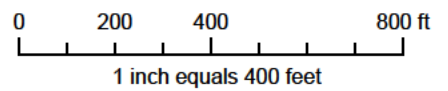
A handwritten signature in blue ink, appearing to read 'Matthew Carpenter', written over a horizontal line.

Matthew Carpenter



# 0 & 7104 Camp Branch Lane

## Vicinity Map



**Disclaimer**  
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

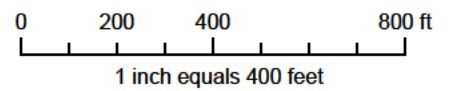
# #25CZ19



## 0 & 7104 Camp Branch Lane

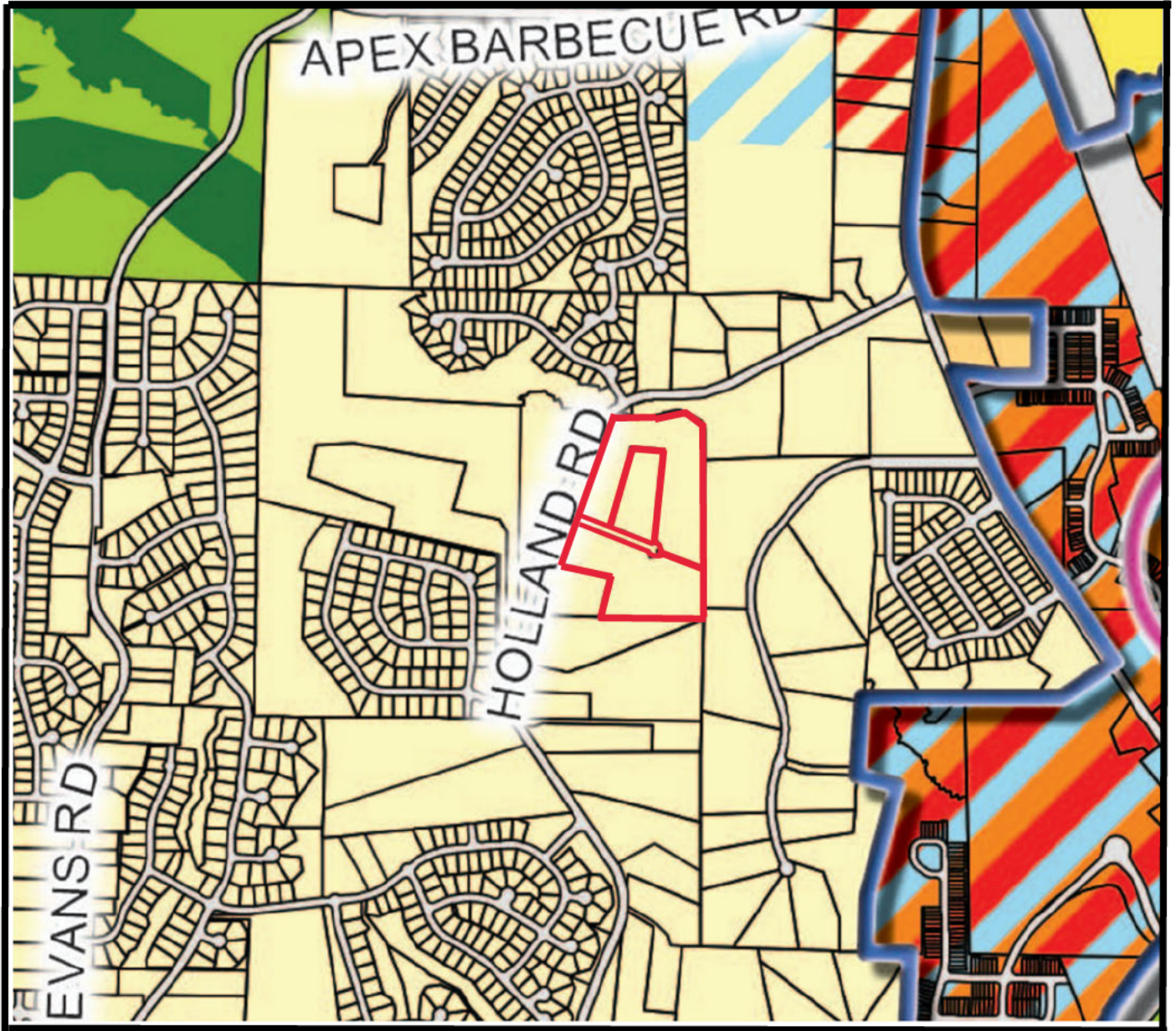
## Zoning Map

## Current Zoning: RR



**Disclaimer**  
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**2045 LAND USE MAP EXHIBIT**



**0 & 7104 Camp Branch Lane**

**Current LUM Designation: Medium Density**

**Residential**

**Proposed LUM Designation: TBD; Medium Density**

**Residential OR Low Density Residential**





## PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

### Development Contacts:

Project Name: Camp Branch Lane Rezoning Zoning: Rural Residential (RR)

Location: 0 & 7104 Camp Branch Lane

Property PIN(s): 0731142050 & 0731140691 Acreage/Square Feet: 20.72 acres

Property Owner: Thomas A. Carter Heirs

Address: 7104 Camp Branch Lane

City: Apex State: NC Zip: 27502

Phone: n/a Email: n/a

Developer: Lennar Carolinas, LLC c/o Matthew J. Carpenter

Address: 301 Fayetteville Street, Suite 1400

City: Raleigh State: NC Zip: 27601

Phone: (919) 835-4032 Fax: n/a Email: matthewcarpenter@parkerpoe.com

Engineer: Curry Engineering c/o Eric Blocher

Address: 205 S. Fuquay Avenue

City: Fuquay-Varina State: NC Zip: 27526

Phone: (919) 552-0849 ext. 106 Fax: n/a Email: eric@curryeng.com

Builder (if known): Lennar Carolinas, LLC c/o Matthew J. Carpenter

Address: 301 Fayetteville Street, Suite 1400

City: Raleigh State: NC Zip: 27601

Phone: (919) 835-4032 Fax: n/a Email: matthewcarpenter@parkerpoe.com

**Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.**

### Town of Apex Department Contacts

Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planning Manager	(919) 372-7468
Transportation & Infrastructure Development Russell Dalton, Traffic Engineering Manager	(919) 249-3358
Water Resources Department Jessica Bolin, Environmental Engineering Manager (Stormwater, Sedimentation & Erosion Control)	(919) 249-3537
Matt Reker, Utility Engineer/FOG Program Manager (Water & Sewer)	(919) 946-4394
Electric Utilities Division Jared Harris, Electric Technical Services Manager	(919) 372-7466

# NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

Meeting Address: virtual via zoom  
 Date of meeting: October 29, 2025 Time of meeting: 5:30 PM  
 Property Owner(s) name(s): Estate of Thomas Ames Carter  
 Applicant(s): Lennar Carolinas, LLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only. For virtual meetings, applicants must include all known participants and request the information below.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Tim Donnelly	2508 SOUTHWINDS RUN	N/A		<input checked="" type="checkbox"/>
2.	Beth Jordan	Not provided	N/A		<input type="checkbox"/>
3.	Meredith McLaurin Little	3200 Wake Forest Rd.	N/A		<input type="checkbox"/>
4.	James Lee	2700 HOLLAND Rd.	N/A		<input type="checkbox"/>
5.	Bryan Pearson	1007 WOODLANDS CREEK WAY	N/A		<input type="checkbox"/>
6.	James R. Truelove	2717 HOLLAND Rd.	N/A		<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>

Use additional sheets, if necessary.

# SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): Estate of Thomas Ames Carter

Applicant(s): Lennar Carolinas, LLC

Contact information (email/phone): \_\_\_\_\_

Meeting Address: virtual via zoom

Date of meeting: October 29, 2025 Time of meeting: 5:30 PM

Please summarize the questions/comments and your responses from the Neighborhood Meeting or emails/phone calls received in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #2:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #3:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #4:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Summary of Neighborhood Meeting**  
**0 & 7104 Camp Branch Lane**  
**October 29, 2025**

I. WELCOME

- a. Introduction of Development Team
  - i. Matthew Carpenter w/Parker Poe
  - ii. Chris Bowley, w/ Lennar, the developer
  - iii. Eric Blocher, w/Curry Engineering
- b. Explanation of process. This is the pre-filing neighborhood meeting for a potential rezoning request, the very first step in a long development process. So, the purpose of tonight's meeting is to explain our plans and take your feedback into consideration as we put together our rezoning application.

II. PRESENTATION

- a. Site Overview - location, environmental constraints of the site, and existing uses adjacent.
- b. 2045 Land Use Map (LUM) Designation
  - i. The LUM is the primary policy document the Town uses to evaluate rezoning requests. This property is designated Medium Density Residential which recommends single-family homes and townhomes with an overall density up to 6 units/acre.
  - ii. This a typical designation near mixed-use designations—like the one to the east of the site—where the Town envisions lower density housing types as a transition from the higher density and commercial uses in a mixed-use designation.
- c. Existing and Proposed Zoning
  - i. The current zoning is Rural Residential. The proposed zoning district is Medium Density Conditional (MD-CZ), which is what the LUM recommends and is consistent with surrounding residential development. The purpose of the rezoning is to allow for a single-family residential subdivision.
- d. Draft of Zoning Conditions
  - i. The “conditional” part of the district means that we’ll include in our rezoning application certain zoning conditions that will be binding on the property and any future development.
  - ii. We haven’t finalized these conditions yet and they will likely change after staff review, but we wanted to provide the current conditions for feedback.
  - iii. The current draft conditions are: permitted use as single-family homes with a maximum density of 4 units/acre, a 20-foot Type B buffer and fence along the eastern property line, 40-foot minimum lot width, only 1 street access will be required given the environmental constraints and issue with site distance due to the curve in Holland Road, no stub street to the east, and certain architectural conditions.
- e. Rezoning Process and Timeline
  - i. As I mentioned, this is the very first step in the rezoning process.

- ii. After this meeting, the next step is application submittal which will likely be November 3, 2025.
- iii. After submittal, the application will be reviewed by Town staff from each department. Staff will provide comments and we will revise our application and resubmit until all staff comments have been addressed.
- iv. After staff comments have been addressed, the case will go to Planning Board. Planning Board will hold a public hearing, review the case, and make a recommendation to Town Council.
- v. Following the Planning Board meeting, Town Council will hold a public hearing and make the final decision on the rezoning. The full process will likely take six months or more.

### III. QUESTION AND ANSWER SESSION

- a. ***Can fencing be installed on the southern boundary line?***
  - i. We can discuss this with the development team, but given the stream and environmental conditions on the western portion of the southern boundary line it could be difficult or result in a small area where a fence could be placed.
- b. ***What is the plan for controlling runoff to nearby communities?***
  - i. The UDO requires developments to treat all stormwater runoff on site through stormwater control devices. Although stormwater controls will be designed and located at subdivision plat review, we anticipate there will be one or more stormwater ponds on the property to treat runoff.
- c. ***Concern about the pond to the south.***
  - i. We will take the pond into consideration when designing our stormwater control measures. As I mentioned, the UDO requires us to treat all stormwater runoff on site, so we are not permitted to overwhelm the existing pond to the south.
- d. ***Will the fence be a 6' privacy fence?***
  - i. Yes, our current zoning condition specifies a 6' privacy fence, we just paraphrased on the presentation slide.
- e. ***Can the fence be placed at the back of the lots and not the lot line?***
  - i. That's not an issue and typically how fences adjacent to perimeter buffers are installed. We will specify the location in the condition and work with staff on the language during review.
- f. ***Can water and sewer lines be stubbed to the eastern property line?***
  - i. Yes, we plan to stub water and sewer lines as required by the UDO. The condition that no stub street shall be required only applies to the street. We will work with you and planning staff on where utility stubs are located.
- g. ***The zoning condition regarding no sub street could be interpreted to not allow extension in the future. Can the condition be revised to clarify that it shall not preclude extension of the street in the future?***
  - i. Yes, this is a great point. We will revise the zoning condition to ensure that it will not preclude extension of the street in the future.
- h. ***Will Holland Road be widened? Curb and gutter?***

- i. Yes, all developments must widen the road along their frontage during subdivision plat review. So, here, the project will widen the road and install curb and gutter on the project's side of Holland Road. There is a large stream that crosses Holland Road along the site frontage. Disturbance of the stream for road widening has to be approved by the US Army Corps of engineers. If the Army Corps does not approve the disturbance, then the widening and curb and gutter will stop short of the stream.

OWNER	MAILING ADDRESS	
ALVIRA, KENNY NIVAR CROOMS-NIVAR, EBONY	1000 EDINBURGH DOWNS LN	APEX NC 27502-5248
BAKER, MARY LOU	39 OLD SCHOOL LN	LILLINGTON NC 27546-7674
BAKER, MYRTLE B HEIRS	MABEL J MATTHEWS EXEC	PO BOX 153
BAKER, THOMAS N JR	2300 CITRUS HILL DR	APEX NC 27502-4026
BRILL, BRIAN GREGORY, ANTHONY NEAL	249 BASHFORD RD	VALATIE NY 12184-3805
CARTER, THOMAS A HEIRS	7104 CAMP BRANCH LN	APEX NC 27502-8462
CHEELY, GEORGE RAY CHEELY, JEAN S	2601 SOUTHWINDS RUN	APEX NC 27502-6514
COLE, DAVID C LEE, KATELYN E	2713 HOLLAND RD	APEX NC 27502-9631
CROCKETTS RIDGE PHASE II INC	PO BOX 1149	APEX NC 27502-3149
DICKINSON, WILLIAM GORDON TRUSTEE PACIS DICKINSON, IRIS RIA TRUSTEE	1977 STEEPLE CHASE BND	APEX NC 27502-9102
DONNELLY, TIMOTHY L DONNELLY, CYNTHIA O	2508 SOUTHWINDS RUN	APEX NC 27502-6511
FITZGERALD, MICHAEL L FITZGERALD, JODY L	1981 STEEPLE CHASE BND	APEX NC 27502-9102
FRIEDLER, DEBORAH M	1008 WOODLANDS CREEK WAY	APEX NC 27502-5250
GAONKAR, ATMARAN B VAIDYA, MRUDULA M	1101 WOODLANDS CREEK WAY	APEX NC 27502-5244
HARVEY, JAMES MICHAEL HARVEY, JESSICA DANIELLE	1973 STEEPLE CHASE BND	APEX NC 27502-9102
HIMES, SCOTT C HIMES, MARIE P	1004 EDINBURGH DOWNS LN	APEX NC 27502-5248
HINTERMEISTER, GERALD HINTERMEISTER, RONDA	1008 EDINBURGH DOWNS LN	APEX NC 27502-5248
HOLLAND FARM COMMUNITY ASSN INC	KDK PROPERTY MANAGEMENT	PO BOX 863
JABLONSKI, JAMES JOHN	2612 HOLLAND RD	APEX NC 27502-9149
JAYASEELAN, NAVEEN KUMAR ATHINATHAN, SHANMUGAPRIYA	1002 WOODLANDS CREEK WAY	APEX NC 27502-5250
JONES, AMOS A	2641 HOLLAND RD	APEX NC 27502-9149
JONES-SAIDYKHAN, ANDREA SAIDYKHAN, OUSMAN	2520 HOLLAND RD	APEX NC 27502-9331
KELLY COMMONS LLC	10210 GREEN LEVEL CHURCH RD	CARY NC 27519-8229
KENNEDY, ROBERT B	1006 WOODLANDS CREEK WAY	APEX NC 27502-5250
LEE, JAMES D LEE, KARMA F	2700 HOLLAND RD	APEX NC 27502-9631
LEE, JAMES D TRUSTEES LEE, KARMA F TRUSTEES	2700 HOLLAND RD	APEX NC 27502-9631
MATTHEWS, MABEL JEAN	PO BOX 153	NEW HILL NC 27562-0153
MORGAN, JOSEPH GLENN BYERS MORGAN, TAMMY RENEA	1013 WOODLANDS CREEK WAY	APEX NC 27502-5251
PEARSON, ADRIANA A PEARSON, BRYAN W	1007 WOODLANDS CREEK WAY	APEX NC 27502-5251
RAY, JUSTIN RAY, SARA	1965 STEEPLE CHASE BND	APEX NC 27502-9102
RINALDI, LORA	1010 EDINBURGH DOWNS LN	APEX NC 27502-5248
SACCO, MARIE	1012 EDINBURGH DOWNS LN	APEX NC 27502-5248
SANDERS, ADAM O SANDERS, DANA K	1989 STEEPLE CHASE BND	APEX NC 27502-9102
SCIACCA, ANGELA HART, THEODORE	1009 WOODLANDS CREEK WAY	APEX NC 27502-5251
SIMPSON, SHERIKA SHURMAINE TRUSTEE TRUSTEE OF THE SIMPSON LIVING TRUST	1010 WOODLANDS CREEK WAY	APEX NC 27502-5250
SMITH, SUSAN L C	2721 HOLLAND RD	APEX NC 27502-9631
TANG, LINNAN ZHANG, CHI	1011 WOODLANDS CREEK WAY	APEX NC 27502-5251
THOMPSON, MICHAEL F THOMPSON, CLAUDIA L	2625 SOUTHWINDS RUN	APEX NC 27502-6514
THUMAR, DHIRAJLAL BHIMJIBHAI THUMAR, JAYSHREEBEN DHIRAJLAL	1000 WOODLANDS CREEK WAY	APEX NC 27502-5250
TRUELOVE, JAMES R TRUELOVE, TINA U	2717 HOLLAND RD	APEX NC 27502-9631
XU, JIAQI	37594 SAND DRIFT RD	NEWARK CA 94560-7328
ZUCHOWSKI, ALAN ZUCHOWSKI, PATRICIA JO	1969 STEEPLE CHASE BND	APEX NC 27502-9102
PERCY JOHNSON	165 SOMMERVILLE PARK RD	RALEIGH NC 27603
APEX TOWN OF	PO BOX 250	APEX NC 27502
Current Tenant	2432 Holland RD	APEX NC 27502
Current Tenant	2300 Kelly RD	APEX NC 27502
Current Tenant	2616 Southwinds RUN	APEX NC 27502
Current Tenant	1004 Woodlands Creek WAY	APEX NC 27502

NEW HILL NC 27562-0153

HILLSBOROUGH NC 27278-0863

# AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Matthew J. Carpenter, do hereby declare as follows:  
Print Name

1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Minor Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7.B *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners and tenants abutting and within 500 feet of the subject property and any neighborhood association that represents citizens in the notification area via first class mail a minimum of 14 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at virtually via Zoom (location/address) on 10/29/25 (date) from 5:30PM (start time) to 6:30PM (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

10/30/25  
Date

By: [Signature]

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, Amy W. Stephenson, a Notary Public for the above State and County, on this the 30th day of October, 2025.



Amy W. Stephenson  
Notary Public  
Amy W. Stephenson  
Print Name

My Commission Expires: October 2, 2028

# NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town’s website or disclosed to third parties.

January 30, 2026

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at

0 Camp Branch Lane

0731142050

7104 Camp Branch Lane

0731140691

Address(es)

PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. If you are unable to attend, please refer to the Project Contact Information page for ways to contact the applicant. Notified neighbors may request that the applicant provide updates and send plans via email or mail. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at <http://www.apexnc.org/180>. Applications for Rezoning must hold a second Neighborhood Meeting in the month prior to the anticipated public hearing date.

A Neighborhood Meeting is required because this project includes (check all that apply):

Application Type	Approving Authority
<input checked="" type="checkbox"/> Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/> Major Site Plan	Technical Review Committee (staff)
<input type="checkbox"/> Minor Site Plan for the uses “Day care facility”, “Government service”, “School, public or private”, “Restaurant, drive-through”, or “Convenience store with gas sales”	Technical Review Committee (staff)
<input type="checkbox"/> Special Use Permit	Board of Adjustment (QJPH*)
<input type="checkbox"/> Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

\*Quasi-Judicial Public Hearing: The Board of Adjustment cannot discuss the project prior to the public hearing.

The following is a description of the proposal including any proposed long range plan amendments (also see attached map(s) and/or plan sheet(s)):

The applicant/property owner is proposing to rezone the property to Medium Density Residential Conditional Zoning District (MD-CZ) to allow for a residential development consisting of up to 60 single-family detached lots.

Estimated submittal date: Submitted November 1, 2025

MEETING INFORMATION:	
Property Owner(s) name(s):	<u>Thomas A. Carter Heirs</u>
Applicant(s):	<u>Lennar Carolinas, LLC c/o Matthew J. Carpenter</u>
Contact information (email/phone):	<u>matthewcarpenter@parkerpoe.com; (919) 835-4032</u>
Meeting Address:	<u>Virtual (Zoom) - See attached notice letter</u>
Date/Time of meeting**:	<u>February 16, 2026</u>
Welcome: 5:30 PM	Project Presentation: <u>between 5:30 - 6:30 PM</u> Question & Answer: <u>between 5:30 - 6:30 PM</u>

\*\*Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180>.



To: Neighboring Property Owners and Tenants  
From: Matthew J. Carpenter  
Date: January 30, 2026  
  
Re: Notice of Second Virtual Neighborhood Meeting

You are invited to attend a second virtual neighborhood meeting on February 16, 2026 at 5:30 PM to discuss 25CZ19, the requested rezoning of 0 Camp Branch Lane (PIN 0731142050) and 7104 Camp Branch Lane (PIN 0731140691) from Rural Residential (RR) to Medium Density Residential Conditional Zoning (MD-CZ) to allow for a residential development consisting of up to 60 single-family detached lots.

During the meeting, the applicant will describe the nature of the rezoning request, provide updates since the first neighborhood meeting, and field any questions from the public. Enclosed are: (1) a vicinity map outlining the location of the subject parcels; (2) a zoning map of the subject area; (3) a Land Use Map exhibit; (4) a project contact information sheet; and (5) a common construction issues & who to call information sheet.

The meeting will be held virtually. You can participate online via Zoom or by telephone. To participate in the Zoom online meeting:

Visit:	<a href="https://zoom.us/join">https://zoom.us/join</a>
Enter the following meeting ID:	812 8645 9928
Enter the following password:	054976

To participate by telephone:

Dial:	1 929 205 6099
Enter the following meeting ID:	812 8645 9928 #
Enter the Participant ID:	#
Enter the Meeting password:	054976 #

If you have any questions about this rezoning, please contact me at (919) 835-4032 or via email at [matthewcarpenter@parkerpoe.com](mailto:matthewcarpenter@parkerpoe.com).

Sincerely,

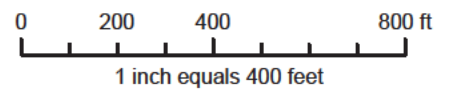
A handwritten signature in blue ink, appearing to read 'Matthew Carpenter', with a long horizontal line extending to the right.

Matthew Carpenter

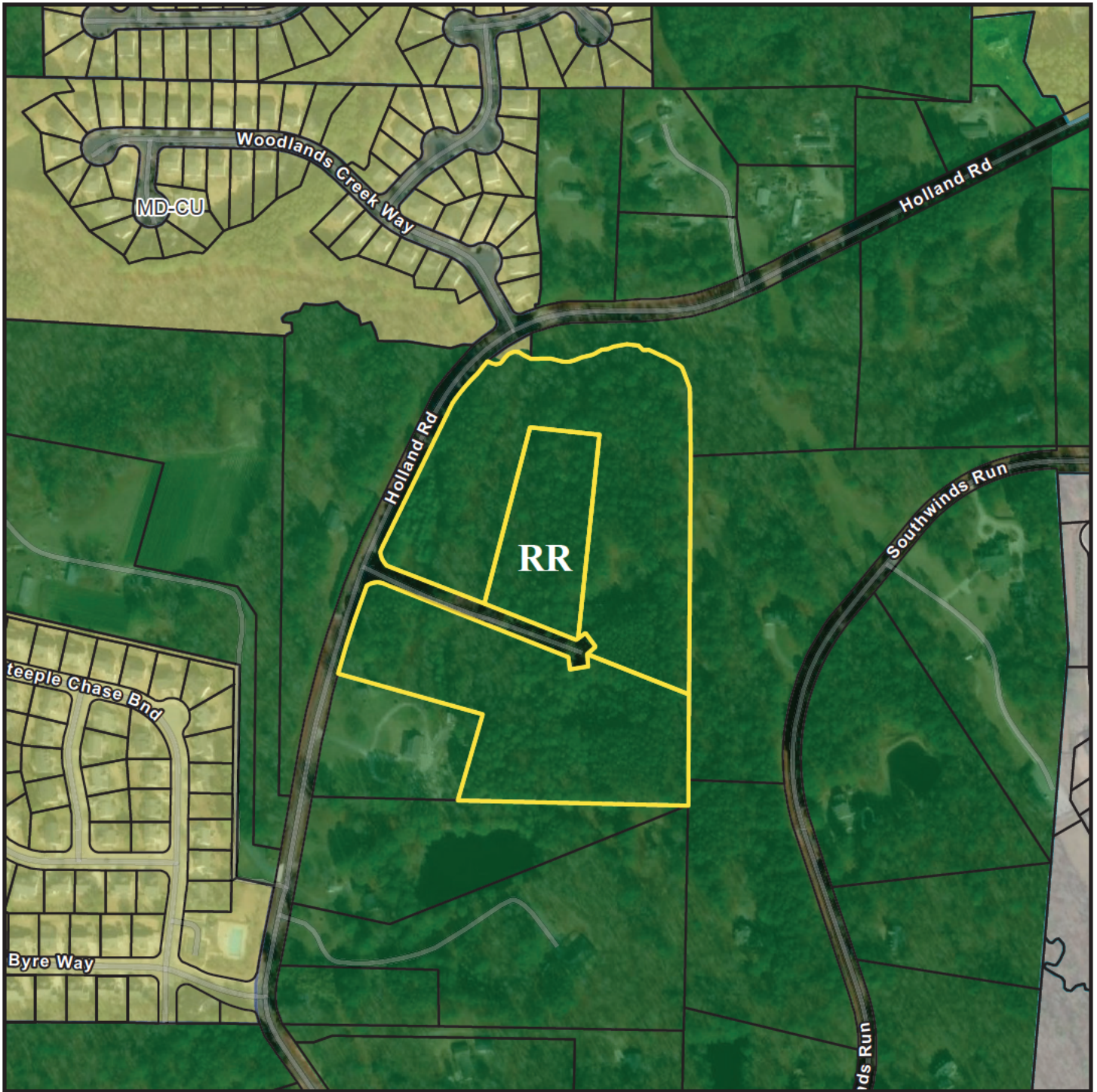


# 0 & 7104 Camp Branch Lane

## Vicinity Map



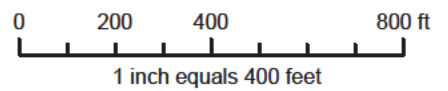
***Disclaimer***  
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# 0 & 7104 Camp Branch Lane

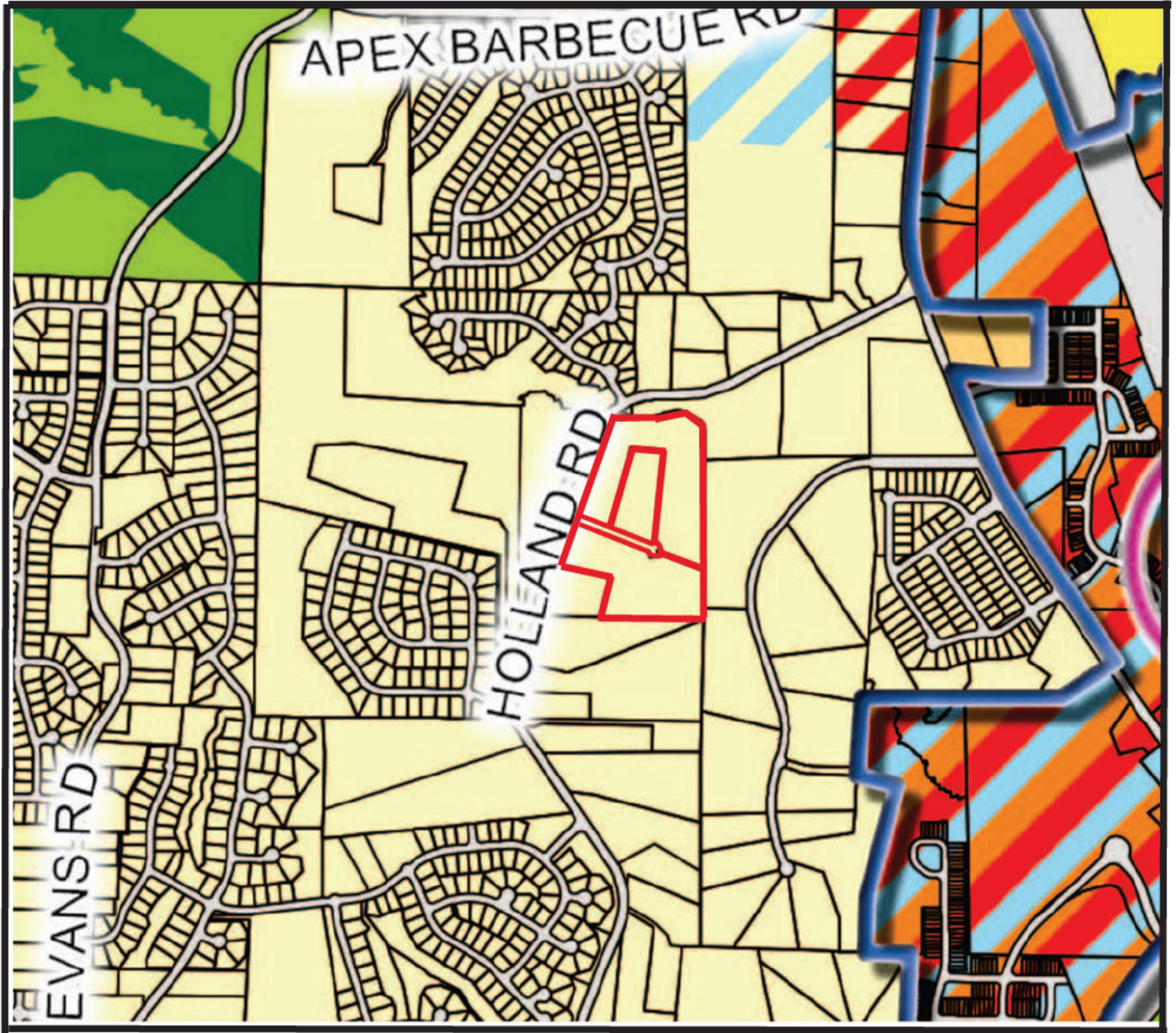
## Zoning Map

**Current Zoning: RR**



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**2045 LAND USE MAP EXHIBIT**



**0 & 7104 Camp Branch Lane**

**Current LUM Designation: Medium Density**

**Residential**

**Proposed LUM Designation: TBD; Medium Density**

**Residential OR Low Density Residential**



# PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

## Development Contacts:

Project Name: Camp Branch Lane Rezoning Zoning: Rural Residential (RR)  
 Location: 0 & 7104 Camp Branch Lane  
 Property PIN(s): 0731142050 & 0731140691 Acreage/Square Feet: 20.72 acres

Property Owner: Thomas A. Carter Heirs  
 Address: 7104 Camp Branch Lane  
 City: Apex State: NC Zip: 27502  
 Phone: n/a Email: n/a

Developer: Lennar Carolinas, LLC c/o Matthew J. Carpenter  
 Address: 301 Fayetteville Street, Suite 1400  
 City: Raleigh State: NC Zip: 27601  
 Phone: (919) 835-4032 Fax: n/a Email: matthewcarpenter@parkerpoe.com

Engineer: Curry Engineering c/o Andy Petty  
 Address: 205 S. Fuquay Avenue  
 City: Fuquay-Varina State: NC Zip: 27526  
 Phone: (919) 552-0849 Fax: n/a Email: andy@curryeng.com

Builder (if known): Lennar Carolinas, LLC c/o Matthew J. Carpenter  
 Address: 301 Fayetteville Street, Suite 1400  
 City: Raleigh State: NC Zip: 27601  
 Phone: (919) 835-4032 Fax: n/a Email: matthewcarpenter@parkerpoe.com

**Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.**

Town of Apex Department Contacts	
Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planning Manager	(919) 372-7468
Transportation & Infrastructure Development Russell Dalton, Traffic Engineering Manager	(919) 249-3358
Water Resources Department Jessica Bolin, Environmental Engineering Manager (Stormwater, Sedimentation & Erosion Control)	(919) 249-3537
Matt Reker, Utility Engineer/FOG Program Manager (Water & Sewer)	(919) 946-4394
Electric Utilities Division Jared Harris, Electric Technical Services Manager	(919) 372-7466

# #25CZ19

## NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Address: virtual via zoom

Date of meeting: October 29, 2025 Time of meeting: 5:30 PM

Property Owner(s) name(s): Estate of Thomas Ames Carter

Applicant(s): Lennar Carolinas, LLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only. For virtual meetings, applicants must include all known participants and request the information below.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Tim Donnelly	2508 SOUTHWINDS RUN	N/A		<input checked="" type="checkbox"/>
2.	Beth Jordan	Not provided	N/A		<input type="checkbox"/>
3.	Meredith McLaurin Little	3200 Wake Forest Rd.	N/A		<input type="checkbox"/>
4.	James Lee	2700 HOLLAND Rd.	N/A		<input type="checkbox"/>
5.	Bryan Pearson	1007 WOODLANDS CREEK WAY	N/A		<input type="checkbox"/>
6.	James R. Truelove	2717 HOLLAND Rd.	N/A		<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>

Use additional sheets, if necessary.

# SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

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Applicant(s): Lennar Carolinas, LLC

Contact information (email/phone): \_\_\_\_\_

Meeting Address: virtual via zoom

Date of meeting: October 29, 2025 Time of meeting: 5:30 PM

Please summarize the questions/comments and your responses from the Neighborhood Meeting or emails/phone calls received in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #2:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #3:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Question/Concern #4:

See attached.

\_\_\_\_\_  
\_\_\_\_\_

Applicant's Response:

See attached.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Summary of Second Neighborhood Meeting**  
**0 & 7104 Camp Branch Lane**  
**February 16, 2026**

- I. WELCOME
  - a. Introduction of Development Team
    - i. Matthew Carpenter w/Parker Poe
    - ii. Chris Bowley, w/ Lennar, the developer
    - iii. Eric Blocher, w/Curry Engineering
  - b. Explanation of process. This is the second neighborhood meeting. The pre-filing neighborhood meeting was held on October 29, 2025. Since then we have submitted our rezoning request and completed two rounds of staff review.
- II. PRESENTATION
  - a. Site Overview - location, environmental constraints of the site, and existing uses adjacent.
  - b. 2045 Land Use Map (LUM) Designation
    - i. The LUM is the primary policy document the Town uses to evaluate rezoning requests. This property is designated Medium Density Residential which recommends single-family homes and townhomes with an overall density up to 6 units/acre.
    - ii. This a typical designation near mixed-use designations—like the one to the east of the site—where the Town envisions lower density housing types as a transition from the higher density and commercial uses in a mixed-use designation.
  - c. Existing and Proposed Zoning
    - i. The current zoning is Rural Residential. The proposed zoning district is Medium Density Conditional (MD-CZ), which is what the LUM recommends and is consistent with surrounding residential development. The purpose of the rezoning is to allow for a single-family residential subdivision.
  - d. Zoning Conditions
    - i. The applicant explained the 18 proposed zoning conditions.
  - e. Rezoning Process and Timeline
    - i. After staff comments have been addressed, the case will go to Planning Board, which we are anticipating for Monday March 9<sup>th</sup>. Planning Board will hold a public hearing, review the case, and make a recommendation to Town Council.
    - ii. Town Council will then make a vote to approve or deny this request. We are anticipating a Town Council vote on Tuesday March 24<sup>th</sup>.
    - iii. If this rezoning request is approved, we have to submit a site plan and subdivision plan which is reviewed by the Town and typically takes 9 to 12 months to complete.
    - iv. Next, construction drawings and building permits are submitted and reviewed by the Town which will take an additional 6 months to be approved.

III. QUESTION AND ANSWER SESSION

- a. *Can you please clarify the percentage of units which will be affordable?*
  - i. Currently, we are committing to 5% of the total unit counts to be affordable. We have not landed on an exact unit count, so we do not have a specific affordable unit count yet.

OWNER	MAILING ADDRESS	
ALVIRA, KENNY NIVAR CROOMS-NIVAR, EBONY	1000 EDINBURGH DOWNS LN	APEX NC 27502-5248
BAKER, MARY LOU	39 OLD SCHOOL LN	LILLINGTON NC 27546-7674
BAKER, MYRTLE B HEIRS	MABEL J MATTHEWS EXEC	PO BOX 153
BAKER, THOMAS N JR	2300 CITRUS HILL DR	APEX NC 27502-4026
BRILL, BRIAN GREGORY, ANTHONY NEAL	249 BASHFORD RD	VALATIE NY 12184-3805
CARTER, THOMAS A HEIRS	7104 CAMP BRANCH LN	APEX NC 27502-8462
CHEELY, GEORGE RAY CHEELY, JEAN S	2601 SOUTHWINDS RUN	APEX NC 27502-6514
COLE, DAVID C LEE, KATELYN E	2713 HOLLAND RD	APEX NC 27502-9631
CROCKETTS RIDGE PHASE II INC	PO BOX 1149	APEX NC 27502-3149
DICKINSON, WILLIAM GORDON TRUSTEE PACIS DICKINSON, IRIS RIA TRUSTEE	1977 STEEPLE CHASE BND	APEX NC 27502-9102
DONNELLY, TIMOTHY L DONNELLY, CYNTHIA O	2508 SOUTHWINDS RUN	APEX NC 27502-6511
FITZGERALD, MICHAEL L FITZGERALD, JODY L	1981 STEEPLE CHASE BND	APEX NC 27502-9102
FRIEDLER, DEBORAH M	1008 WOODLANDS CREEK WAY	APEX NC 27502-5250
GAONKAR, ATMARAN B VAIDYA, MRUDULA M	1101 WOODLANDS CREEK WAY	APEX NC 27502-5244
HARVEY, JAMES MICHAEL HARVEY, JESSICA DANIELLE	1973 STEEPLE CHASE BND	APEX NC 27502-9102
HIMES, SCOTT C HIMES, MARIE P	1004 EDINBURGH DOWNS LN	APEX NC 27502-5248
HINTERMEISTER, GERALD HINTERMEISTER, RONDA	1008 EDINBURGH DOWNS LN	APEX NC 27502-5248
HOLLAND FARM COMMUNITY ASSN INC	KDK PROPERTY MANAGEMENT	PO BOX 863
JABLONSKI, JAMES JOHN	2612 HOLLAND RD	APEX NC 27502-9149
JAYASEELAN, NAVEEN KUMAR ATHINATHAN, SHANMUGAPRIYA	1002 WOODLANDS CREEK WAY	APEX NC 27502-5250
JONES, AMOS A	2641 HOLLAND RD	APEX NC 27502-9149
JONES-SAIDYKHAN, ANDREA SAIDYKHAN, OUSMAN	2520 HOLLAND RD	APEX NC 27502-9331
KELLY COMMONS LLC	10210 GREEN LEVEL CHURCH RD	CARY NC 27519-8229
KENNEDY, ROBERT B	1006 WOODLANDS CREEK WAY	APEX NC 27502-5250
LEE, JAMES D LEE, KARMA F	2700 HOLLAND RD	APEX NC 27502-9631
LEE, JAMES D TRUSTEES LEE, KARMA F TRUSTEES	2700 HOLLAND RD	APEX NC 27502-9631
MATTHEWS, MABEL JEAN	PO BOX 153	NEW HILL NC 27562-0153
MORGAN, JOSEPH GLENN BYERS MORGAN, TAMMY RENEA	1013 WOODLANDS CREEK WAY	APEX NC 27502-5251
PEARSON, ADRIANA A PEARSON, BRYAN W	1007 WOODLANDS CREEK WAY	APEX NC 27502-5251
RAY, JUSTIN RAY, SARA	1965 STEEPLE CHASE BND	APEX NC 27502-9102
RINALDI, LORA	1010 EDINBURGH DOWNS LN	APEX NC 27502-5248
SACCO, MARIE	1012 EDINBURGH DOWNS LN	APEX NC 27502-5248
SANDERS, ADAM O SANDERS, DANA K	1989 STEEPLE CHASE BND	APEX NC 27502-9102
SCIACCA, ANGELA HART, THEODORE	1009 WOODLANDS CREEK WAY	APEX NC 27502-5251
SIMPSON, SHERIKA SHURMAINE TRUSTEE TRUSTEE OF THE SIMPSON LIVING TRUST	1010 WOODLANDS CREEK WAY	APEX NC 27502-5250
SMITH, SUSAN L C	2721 HOLLAND RD	APEX NC 27502-9631
TANG, LINNAN ZHANG, CHI	1011 WOODLANDS CREEK WAY	APEX NC 27502-5251
THOMPSON, MICHAEL F THOMPSON, CLAUDIA L	2625 SOUTHWINDS RUN	APEX NC 27502-6514
THUMAR, DHIRAJLAL BHIMJIBHAI THUMAR, JAYSHREEBEN DHIRAJLAL	1000 WOODLANDS CREEK WAY	APEX NC 27502-5250
TRUELOVE, JAMES R TRUELOVE, TINA U	2717 HOLLAND RD	APEX NC 27502-9631
XU, JIAQI	37594 SAND DRIFT RD	NEWARK CA 94560-7328
ZUCHOWSKI, ALAN ZUCHOWSKI, PATRICIA JO	1969 STEEPLE CHASE BND	APEX NC 27502-9102
PERCY JOHNSON	165 SOMMERVILLE PARK RD	RALEIGH NC 27603
APEX TOWN OF	PO BOX 250	APEX NC 27502
Current Tenant	2432 Holland RD	APEX NC 27502
Current Tenant	2300 Kelly RD	APEX NC 27502
Current Tenant	2616 Southwinds RUN	APEX NC 27502
Current Tenant	1004 Woodlands Creek WAY	APEX NC 27502

NEW HILL NC 27562-0153

HILLSBOROUGH NC 27278-0863

# AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Matthew J. Carpenter, do hereby declare as follows:  
Print Name

1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Minor Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7.B *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners and tenants abutting and within 500 feet of the subject property and any neighborhood association that represents citizens in the notification area via first class mail a minimum of 14 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at virtually via Zoom (location/address) on 2/16/2026 (date) from 5:30 PM (start time) to 6:30 PM (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

2/20/2026  
Date

By: [Signature]

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, Matthew Carpenter, a Notary Public for the above State and County, on this the 20th day of February, 2026.



[Signature]  
Notary Public  
Maria Stallings  
Print Name

My Commission Expires: April 11, 2026



## TOWN OF APEX

POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

# PUBLIC NOTIFICATION OF PUBLIC HEARINGS CONDITIONAL ZONING #25CZ19 Camp Branch Lane

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Planning Board and Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

**Applicant:** Lennar Carolinas, LLC

**Authorized Agent:** Chris Bowley

**Property Addresses:** 0 & 7104 Camp Branch Lane

**Acreage:** ±22.19 acres

**Property Identification Numbers (PINs):** 0731142050 & 0731140691

**2045 Land Use Map Designation:** Medium Density Residential

**Existing Zoning of Properties:** Rural Residential (RR)

**Proposed Zoning of Properties:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Public Hearing Location:** Apex Town Hall  
Council Chamber, 2<sup>nd</sup> Floor  
73 Hunter Street, Apex, North Carolina

*Separate comments must be provided for the two public hearings by the deadlines specified below.*

### **Planning Board Public Hearing Date and Time: March 9, 2026 4:30 PM**

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

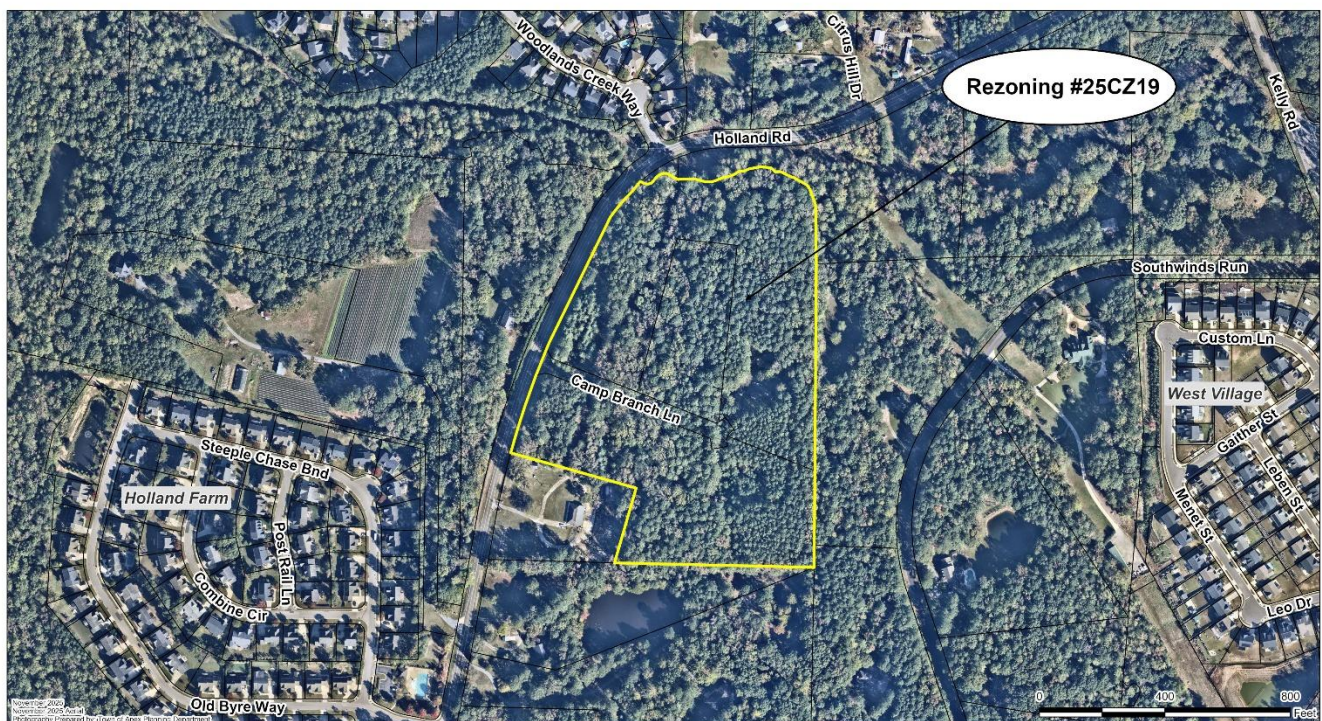
If you are unable to attend, you may provide a written statement by email to [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), or submit it to the clerk of the Planning Board, Jeri Pederson (322 N. Mason Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Planning Board vote. You must provide your name and address for the record. The written statements will be delivered to the Planning Board prior to their vote. Please include the Public Hearing name in the subject line.

### **Town Council Public Hearing Date and Time: March 24, 2026 6:00 PM**

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

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### **Vicinity Map:**



Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/imaps>. The 2045 Land Use Map may be viewed online at [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Planning Director



## TOWN OF APEX

POST OFFICE BOX 250  
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Dianne F. Khin, AICP  
Planning Director

Published Dates: February 27 - March 24, 2026



**TOWN OF APEX**  
PO BOX 250  
APEX, NORTH CAROLINA 27502  
TELÉFONO 919-249-3426

**NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS**  
**ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ19**  
Camp Branch Lane

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del Ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante la Junta de Planificación y el Consejo Municipal del Ayuntamiento de Apex. El propósito de estas audiencias es considerar lo siguiente:

**Solicitante:** Lennar Carolinas, LLC

**Agente autorizado:** Chris Bowley

**Dirección de las propiedades:** 0 y 7104 Camp Branch Lane

**Superficie:** ±22.19 acres

**Números de identificación de las propiedades:** 0731142050 & 0731140691

**Designación en el Mapa de Uso Territorial para 2045:** Medium Density Residential

**Ordenamiento territorial existente de las propiedades:** Rural Residential (RR)

**Ordenamiento territorial propuesto para las propiedades:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Lugar de la audiencia pública:** Ayuntamiento de Apex

Cámara del Consejo, 2º piso

73 Hunter Street, Apex, Carolina del Norte

**Los comentarios para cada una de las dos audiencias públicas deben presentarse por separado en los plazos especificados a continuación.**

**Fecha y hora de la audiencia pública de la Junta de Planificación: 9 de marzo de 2026 4:30 P.M.**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

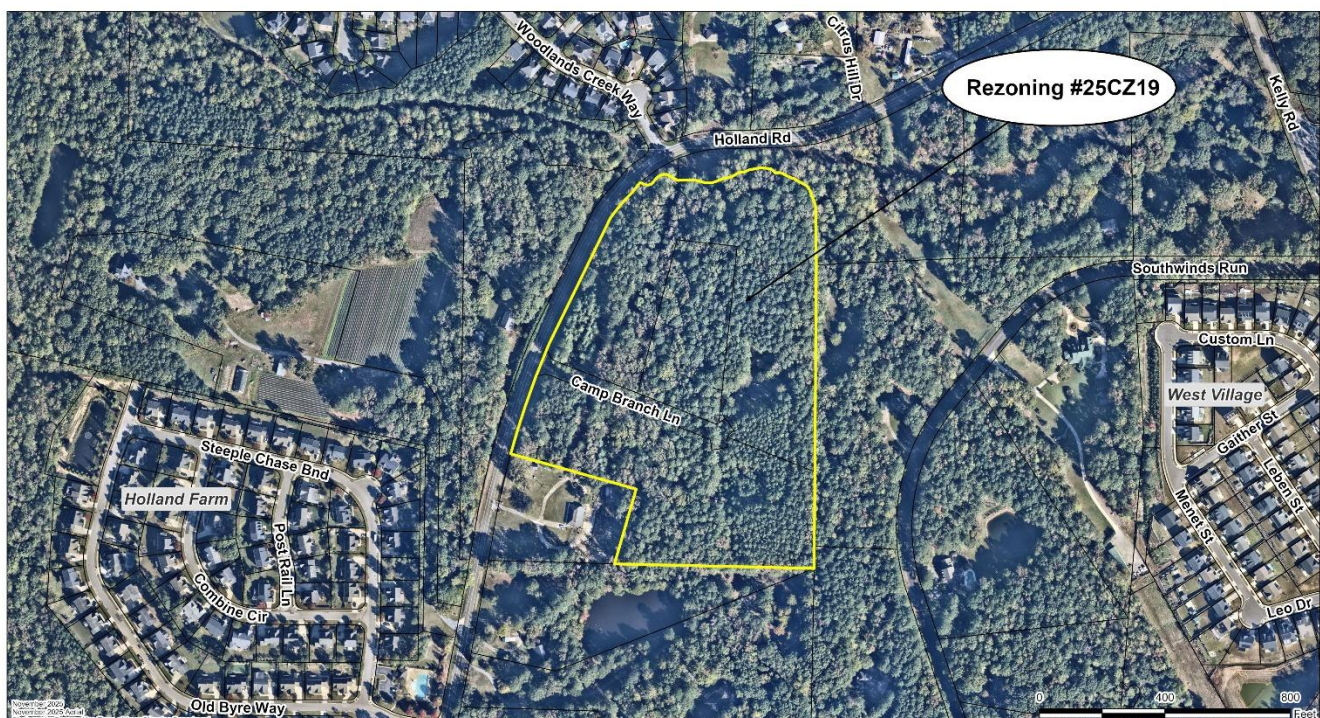
Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la secretaria de la Junta de Planificación, Jeri Pederson (322 N. Mason Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación de la Junta de Planificación. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán a la Junta de Planificación antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

**Fecha y hora de la audiencia pública del Consejo Municipal: 24 de marzo de 2026 6:00 PM**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

**Mapa de las inmediaciones:**



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Directora de Planificación



## TOWN OF APEX

PO BOX 250  
APEX, NORTH CAROLINA 27502  
TELÉFONO 919-249-3426

## NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ19 Camp Branch Lane

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**Ordenamiento territorial propuesto para las propiedades:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Lugar de la audiencia pública:** Ayuntamiento de Apex

Cámara del Consejo, 2º piso

73 Hunter Street, Apex, Carolina del Norte

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### **Fecha y hora de la audiencia pública de la Junta de Planificación: 9 de marzo de 2026 4:30 P.M.**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la secretaria de la Junta de Planificación, Jeri Pederson (322 N. Mason Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación de la Junta de Planificación. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán a la Junta de Planificación antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

### **Fecha y hora de la audiencia pública del Consejo Municipal: 24 de marzo de 2026 6:00 PM**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

### **Mapa de las inmediaciones:**



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Directora de Planificación

Fechas de publicación: 27 de febrero - 24 de marzo de 2026



**TOWN OF APEX**

POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

**AFFIDAVIT CERTIFYING  
Public Notification – Written (Mailed) Notice**

Section 2.2.11

Town of Apex Unified Development Ordinance

Project Name: Conditional Zoning #25CZ19  
Project Location: 0 & 7104 Camp Branch Lane  
Authorized Agent: Chris Bowley  
Firm: Lennar Carolinas, LLC  
Planning Board/Town Council Public Hearing Dates: March 9, 2026 and March 24, 2026  
Project Planner: Joshua Killian, Planner II

This is to certify that I, as Planning Director, mailed or caused to have mailed by first class postage for the above mentioned project on February 27, 2026, a notice containing the time and place, location, nature and scope of the application, where additional information may be obtained, and the opportunity for interested parties to be heard, to the property owners and tenants within 500' of the land subject to notification. I further certify that I relied on information from the Wake County Tax Assessor and the Town of Apex Master Address Repository provided to me by Town of Apex GIS Staff as to accuracy of the list and accuracy of mailing addresses of property owners and tenants within 500' of the land subject to notification.

3/2/2026  
Date

*Mianne F. Khan*  
Planning Director

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, Lauren J Sisson, a Notary Public for the above

State and County, this the 2nd day of MARCH, 2026.

*[Signature]*  
Notary Public



My Commission Expires: 10 / 3 / 2027



**TOWN OF APEX**  
 POST OFFICE BOX 250  
 APEX, NORTH CAROLINA 27502  
 PHONE 919-249-3426

**Public Hearing was closed; vote was continued to May 12, 2026**

**PUBLIC NOTIFICATION  
 OF PUBLIC HEARINGS  
 CONDITIONAL ZONING #25CZ19  
 Camp Branch Lane**

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

- Applicant:** Lennar Carolinas, LLC
- Authorized Agent:** Chris Bowley
- Property Addresses:** 0 & 7104 Camp Branch Lane
- Acreage:** ±22.19 acres
- Property Identification Numbers (PINs):** 0731142050 & 0731140691
- 2045 Land Use Map Designation:** Medium Density Residential
- Existing Zoning of Properties:** Rural Residential (RR)
- Proposed Zoning of Properties:** Medium Density Residential-Conditional Zoning (MD-CZ)
- Public Hearing Location:** Apex Town Hall  
 Council Chamber, 2<sup>nd</sup> Floor  
 73 Hunter Street, Apex, North Carolina

***Comments received prior to the Planning Board public hearing will not be provided to the Town Council. Separate comments for the Town Council public hearing must be provided by the deadline specified below.***

**Town Council Public Hearing Date and Time: ~~March 24~~, May 12, 2026 6:00 PM**

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

If you are unable to attend, you may provide a written statement by email to [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), or submit it to the Office of the Town Clerk (73 Hunter Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Town Council vote. You must provide your name and address for the record. The written statements will be delivered to the Town Council prior to their vote. Please include the Public Hearing name in the subject line.

**Vicinity Map:**



Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/imaps>. The 2045 Land Use Map may be viewed online at [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
 Planning Director



## TOWN OF APEX

POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

**Public Hearing was closed; vote was continued to May 12, 2026**

### **PUBLIC NOTIFICATION OF PUBLIC HEARINGS CONDITIONAL ZONING #25CZ19 Camp Branch Lane**

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

**Applicant:** Lennar Carolinas, LLC

**Authorized Agent:** Chris Bowley

**Property Addresses:** 0 & 7104 Camp Branch Lane

**Acreage:** ±22.19 acres

**Property Identification Numbers (PINs):** 0731142050 & 0731140691

**2045 Land Use Map Designation:** Medium Density Residential

**Existing Zoning of Properties:** Rural Residential (RR)

**Proposed Zoning of Properties:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Public Hearing Location:** Apex Town Hall

Council Chamber, 2<sup>nd</sup> Floor

73 Hunter Street, Apex, North Carolina

**Comments received prior to the Planning Board public hearing will not be provided to the Town Council. Separate comments for the Town Council public hearing must be provided by the deadline specified below.**

**Town Council Public Hearing Date and Time:** ~~March 24~~, **May 12, 2026 6:00 PM**

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

If you are unable to attend, you may provide a written statement by email to [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), or submit it to the Office of the Town Clerk (73 Hunter Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Town Council vote. You must provide your name and address for the record. The written statements will be delivered to the Town Council prior to their vote. Please include the Public Hearing name in the subject line.

#### Vicinity Map:



Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/imaps>. The 2045 Land Use Map may be viewed online at [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Planning Director

Published Dates: February 27 - ~~March 24~~, **May 12, 2026**



Search



8:31 AM  
3/30/2026



**TOWN OF APEX**  
PO BOX 250  
APEX, NORTH CAROLINA 27502  
TELÉFONO 919-249-3426

**Se terminó la audiencia pública; la votación ha sido postergada al 12 de mayo de 2026**  
**NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS**  
**ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ19**  
Camp Branch Lane

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del Ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante el Consejo Municipal del Ayuntamiento de Apex. El propósito de estas audiencias es considerar lo siguiente:

**Solicitante:** Lennar Carolinas, LLC

**Agente autorizado:** Chris Bowley

**Dirección de las propiedades:** 0 y 7104 Camp Branch Lane

**Superficie:** ±22.19 acres

**Números de identificación de las propiedades:** 0731142050 & 0731140691

**Designación en el Mapa de Uso Territorial para 2045:** Medium Density Residential

**Ordenamiento territorial existente de las propiedades:** Rural Residential (RR)

**Ordenamiento territorial propuesto para las propiedades:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Lugar de la audiencia pública:** Ayuntamiento de Apex

Cámara del Consejo, 2º piso

73 Hunter Street, Apex, Carolina del Norte

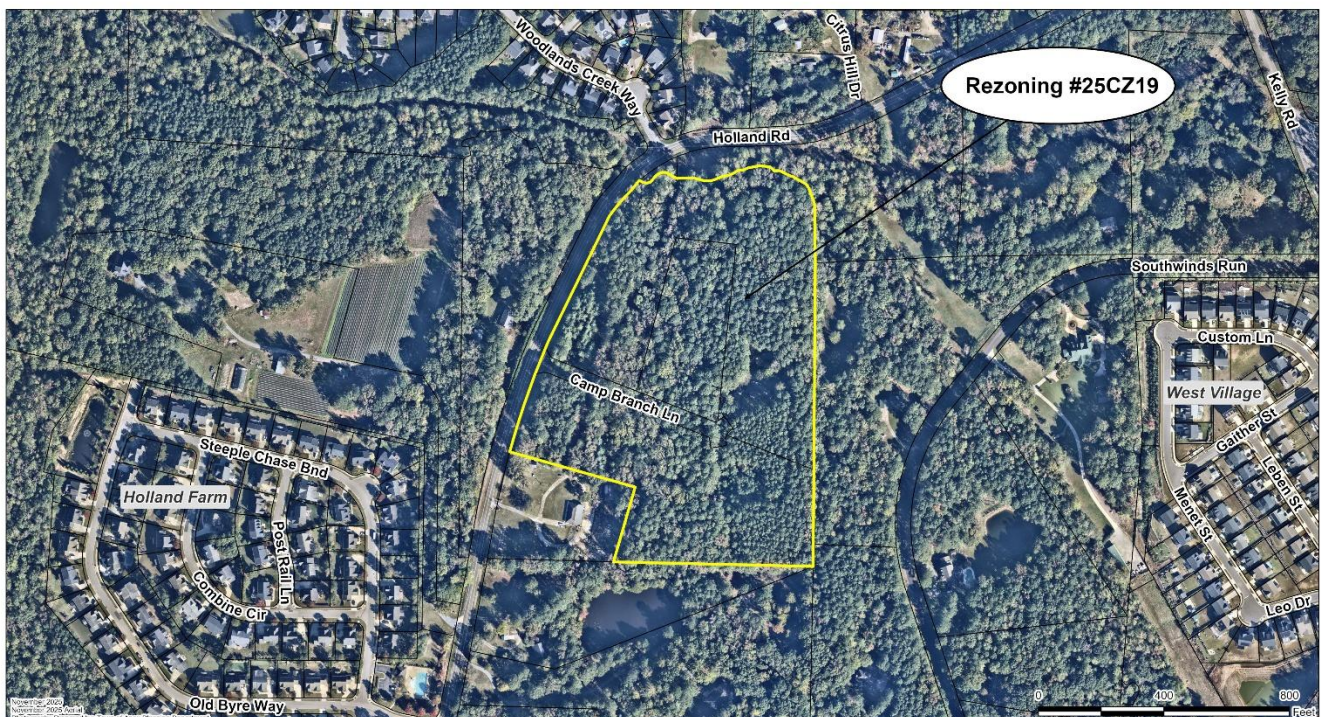
**Los comentarios para cada una de las dos audiencias públicas deben presentarse por separado en los plazos especificados a continuación.**

**Fecha y hora de la audiencia pública del Consejo Municipal:** ~~24 de marzo~~ **12 de mayo de 2026 6:00 PM**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

**Mapa de las inmediaciones:**



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Directora de Planificación



## TOWN OF APEX

PO BOX 250  
APEX, NORTH CAROLINA 27502  
TELÉFONO 919-249-3426

# Se terminó la audiencia pública; la votación ha sido postergada al 12 de mayo de 2026

## NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS

### ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ19

#### Camp Branch Lane

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del Ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante el Consejo Municipal del Ayuntamiento de Apex. El propósito de estas audiencias es considerar lo siguiente:

**Solicitante:** Lennar Carolinas, LLC

**Agente autorizado:** Chris Bowley

**Dirección de las propiedades:** 0 y 7104 Camp Branch Lane

**Superficie:** ±22.19 acres

**Números de identificación de las propiedades:** 0731142050 & 0731140691

**Designación en el Mapa de Uso Territorial para 2045:** Medium Density Residential

**Ordenamiento territorial existente de las propiedades:** Rural Residential (RR)

**Ordenamiento territorial propuesto para las propiedades:** Medium Density Residential-Conditional Zoning (MD-CZ)

**Lugar de la audiencia pública:** Ayuntamiento de Apex

Cámara del Consejo, 2º piso

73 Hunter Street, Apex, Carolina del Norte

**Los comentarios para cada una de las dos audiencias públicas deben presentarse por separado en los plazos especificados a continuación.**

**Fecha y hora de la audiencia pública del Consejo Municipal:** ~~24 de marzo~~ **12 de mayo de 2026 6:00 PM**

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a [public.hearing@apexnc.org](mailto:public.hearing@apexnc.org), o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

#### Mapa de las inmediaciones:

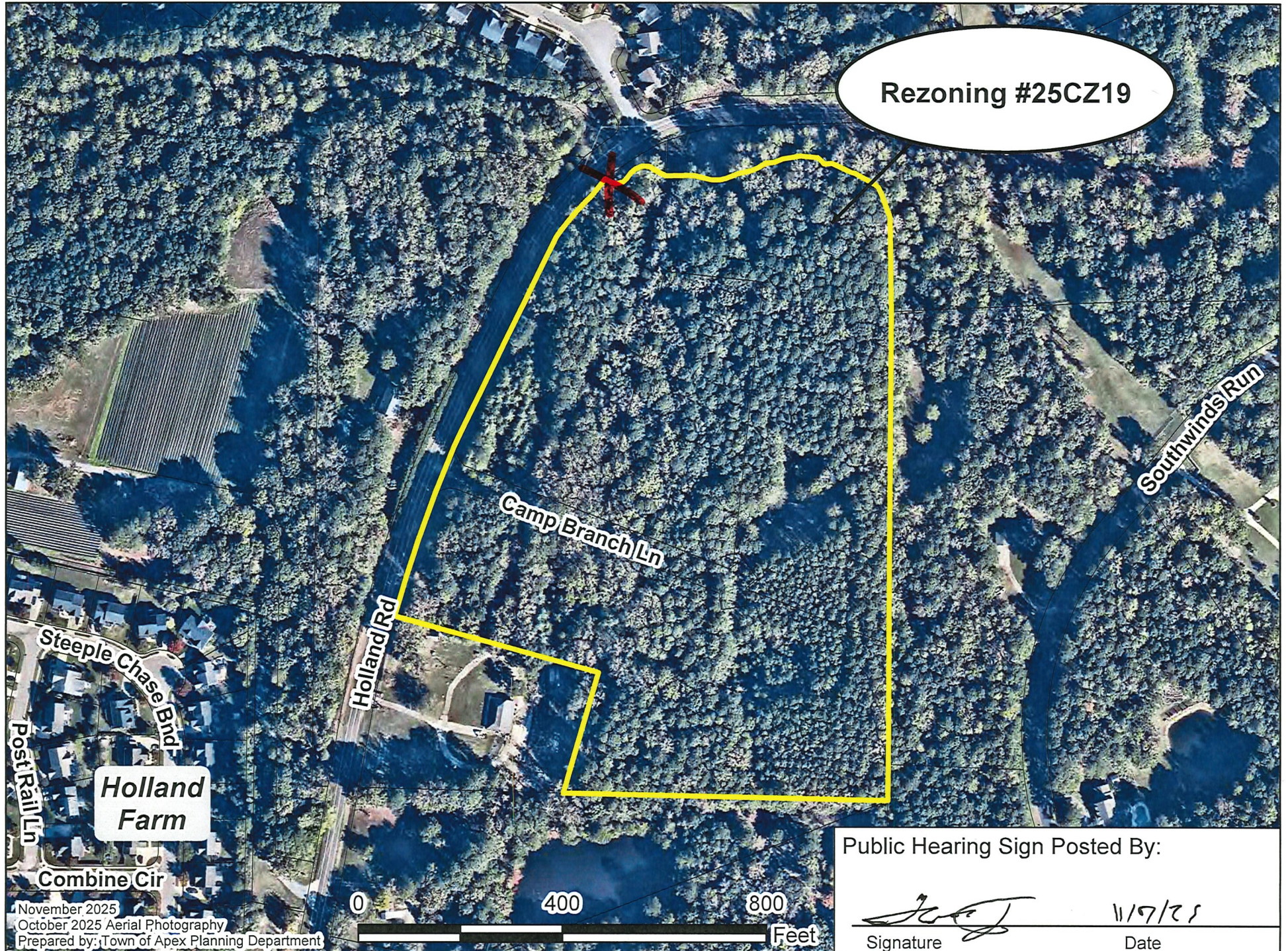


Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: [www.apexnc.org/DocumentCenter/View/478](http://www.apexnc.org/DocumentCenter/View/478). Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/52516>.

Dianne F. Khin, AICP  
Directora de Planificación



Rezoning #25CZ19



Public Hearing Sign Posted By:

*Joe J*  
Signature

11/7/25  
Date

November 2025  
October 2025 Aerial Photography  
Prepared by: Town of Apex Planning Department



Office of Student Assignment  
5625 Dillard Dr.  
Cary, NC 27518  
studentassignment@wcpss.net

tel: (919) 431-7333  
fax: (919) 694-7753

February 25, 2026

Dianne Khin, AICP  
Director, Planning Department  
Town of Apex  
Dianne.Khin@apexnc.org

Dear Dianne,

The Wake County Public School System (WCPSS) Office of School Assignment received information about a proposed rezoning/development within the Town of Apex planning area. We are providing this letter to share information about WCPSS's capacity related to the proposal. The following information about the proposed rezoning/development was provided through the Wake County Residential Development Notification database:

- Date of application: November 3, 2025
- Name of development: 25CZ19 Camp Branch Lane
- Address of rezoning: 0 & 7104 Camp Branch Lane (PINs 0731142050 & 0731140691)
- Total number of proposed residential units: 88
- Type(s) of residential units proposed: Single-family detached

Based on the information received at the time of application, the Office of School Assignment is providing the following assessment of possible impacts to the Wake County Public School System:

- Schools at all grade levels within the current assignment area for the proposed rezoning/development are anticipated to have sufficient capacity for future students.
- Schools at the following grade levels within the current assignment area for the proposed rezoning/development are anticipated to have insufficient capacity for future students; transportation to schools outside of the current assignment area should be anticipated:

Elementary                                       Middle                                       High

The following mitigation of capacity concerns due to school construction or expansion is anticipated:

- Not applicable – existing school capacity is anticipated to be sufficient.
- School expansion or construction within the next five years is not anticipated to address concerns.
- School expansion or construction within the next five years may address concerns at these grade levels:  
*or reassignment*

Elementary                                       Middle                                       High

Thank you for sharing this information with the Town of Apex Planning Board and Town Council as they consider the proposed rezoning/development.

Sincerely

Susan W. Pullium, MSA  
Senior Director