

Prepared for:

ENVISION HOMES, LLC

4441 Six Forks Road

Suite 106-117

Raleigh, NC 27609

PD PLAN

Wolfe Properties PUD

A PLANNED UNIT DEVELOPMENT

Town of Apex, North Carolina

October 1, 2019

Revised December 6, 2019

Revised February 14, 2020

Revised March 13, 2020

Revised May 6, 2020

FINAL VERSION – June 10, 2020



Prepared by:

Andrew Petty, PE

The Curry Engineering Group, PLLC

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Fuquay-Varina, NC 27526

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2.0 Vicinity Map

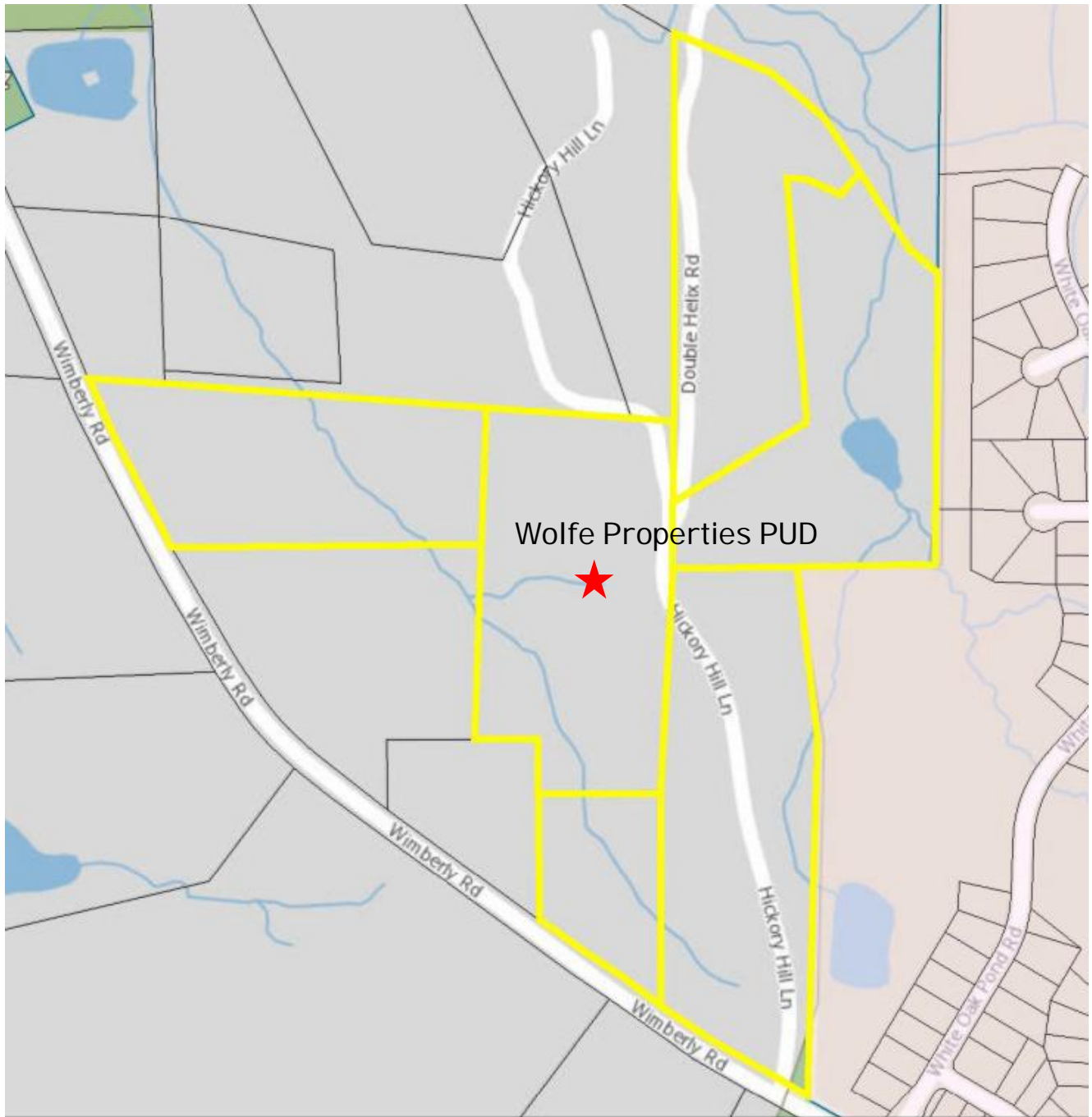


Figure 1 - Vicinity Map – Courtesy of Wake County iMaps 2019

3.0 Project Data

3.1 Project Name: Wolfe Properties PUD

3.2 Owner/Developer: Envision Homes, LLC
4441 Six Forks Road, Suite 106-117
Raleigh, NC 27609
(919) 389-7595

3.3 Prepared By: The Curry Engineering Group, PLLC
205 S Fuquay Avenue
Fuquay-Varina, NC 27526
(919) 552-0849

3.4 Designated Single Point of Contact: Andrew Petty, PE
The Curry Engineering Group, PLLC

3.5 Current and Proposed Zoning of the Property:

Current Zoning: County R-80 W & Town of Apex RR
Proposed Zoning: PUD-CZ

3.6 Current and Proposed Land Uses:

Current: Residential, Vacant
Proposed: Residential

3.7 Current and Proposed 2045 Land Use Designation:

Current: Low Density Residential
Proposed: Low Density Residential

4.0 Purpose Statement

Wolfe Properties PUD is a proposed residential project to be developed under the Town of Apex ordinance as a Planned Unit Development (PUD). The project contains six parcels under contract by Envision Homes, LLC. The project is located along Wimberly Road and adjacent to the Preserve at White Oak development. These parcels are all designated as Low Density Residential on the 2045 Land Use Map.

The proposal to rezone this property to PUD-CZ is in keeping with the town's objectives to create high quality developments with a small town feel. This development will be a pedestrian friendly community with sidewalks along both sides of the internal public streets and sidewalk stubs to the future Town of Apex Park. The project will cluster small lots and multi-family dwelling units near the future town park to create a community feel and ensure the future park is an amenity to the community. This development will enhance the value of the surrounding properties by providing quality residential development for the areas as a mixed residential development.

5.0 Permitted Uses

The Town of Apex UDO allows a mixture of uses in the PUD zoning district and the owners have chosen to further restrict the allowable uses as listed below:

Residential Uses

Single family (Minimum Lot Size = 6,000 sf)

Townhome (Minimum Width = 20')

Accessory Apartment

Utilities

Utility, minor

Recreational Uses

Greenway

Park, active

Park, passive

Recreational facility, private

Government Services – Limited to Parcel #1 and #2 as shown on the PUD Plan.

6.0 Design Controls

6.1 Maximum Densities

Maximum residential density for the project is 3.0 units per gross acre or a maximum of 130 units. The total gross acreage for the property is 43.52. This development proposes 130 units.

6.2 Proposed Maximum Height of the Buildings and Number of Stories

Single Family Maximum Height – 42'	Single Family Maximum Stories – 2
Townhouses – Maximum Height – 50'	Townhouses Maximum Stories – 3

6.3 Proposed Minimum Building Setbacks

Residential Single Family Detached

From Buffer or RCA – 10'
Front Yard – 10' Minimum
Side Yard – 5' Minimum (no aggregate)
Corner Side Yard – 10' Minimum
Rear Yard – 10' Minimum
Driveways from Back of Sidewalk to Garage – 20' (12' minimum width)

Townhouses

From Buffer or RCA – 10'
Front Yard – 10' Minimum
Side Yard (end units) – 5' Minimum
Rear Yard – 5' Minimum
From Public Right-of-Way to Garage – 18' Minimum where no sidewalk is present
From Public Right-of-Way to Garage – 20' Minimum where sidewalk is present
Building Side to Side – 10'
Building Side to Rear – 30'
Building Rear to Rear – 40'

6.4 Percentage of Built upon Area

The UDO allows for a maximum 70 percent of built upon area in PUD project and the Wolfe Properties PUD will not exceed that amount.

6.5 Perimeter Buffers

The PD plans show buffers around the site to provide visual breaks between uses and public roads. We are proposing a 30' Type B buffer along Wimberly Road assuming the buffer is under disturbed. If the buffer is disturbed it shall be increased to a 50' Type B buffer. The perimeter buffers have been shown to be a 20' Type B buffer with the exception of property that abuts Town property; this shall be 10' Type B buffer. If Government Services are proposed, the buffers shall be a Type A. A 100' no clear cut buffer is a deed restriction buffer along the

property line that abuts property with PIN: 0723-51-7896. The only disturbance permitted within this buffer shall be a driveway to serve the referenced PIN and the installation of a fence within the buffer near the common property line. Such fence shall not be chain link.

6.6 Economy Housing Condition

Where economy housing is housing that can be purchased by a household that earns approximately the median household income for Apex, Wolfe Properties PUD will address economy housing by providing a minimum of 10% of the total number of units of the development, as determined at the master subdivision phase. The townhouse units shall have a minimum width of 18' and a maximum width of 20' with no garages and allowable parking in compliance with Section 8.3 however they shall adhere to all other setback and architectural conditions set forth in the PUD plan.

7.0 Architectural Standards

7.1 Single Family Detached Residential Standards

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. Garage doors must contain windows, decorative details or carriage-style adornments.
3. House entrances for homes with front facing single-car garages must have a covered porch/stoop area leading to the front door.
4. The garage cannot protrude more than one foot out from the front façade or front porch unless it is a side entry garage.
5. The visible side of a home on a corner lot facing the public street shall contain at least 2 decorative elements such as, but not limited to, the following elements.
 - Windows
 - Bay Window
 - Recessed Window
 - Decorative Window
 - Trim around the Windows
 - Wrap around porch or Side Porch
 - Two or More Building Materials
 - Decorative Brick/Stone
 - Decorative Trim
 - Decorative Shake
 - Decorative Air Vents on Gable
 - Decorative Gable
 - Decorative Cornice
 - Column
 - Portico
 - Balcony
 - Dormer

6. All windows on a side elevation shall have decorative trim, shutters or shall be a bay window.
7. Front porches, when provided, shall be at least six-feet (6') deep.
8. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complimenting the siding color.
9. Eaves shall project at least 12 inches from the wall of the structure.
10. The roof shall be pitched at 5:12 or greater for 75% of the building designs. These lots will be identified on the Master Subdivision Plan
11. A minimum of 50% of all single family homes will be restricted to have a master bedroom located on the first floor of the building. However, up to 50% of the homes shall be permitted to have a master bedroom not on the first floor. These units shall be identified on the final plat.

7.2 Residential Townhome Standards

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. There shall be one roof element such as a gable or dormer on each unit.
3. Garage doors must contain windows, decorative details or carriage-style adornments.
4. House entrances for units with front facing single-car garages must have a covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than one foot out from the front façade or front porch.
6. All exterior windows shall have decorative trim on all four sides.
7. On corner lots, the side elevation facing the public street shall contain at least two decorative elements such as but not limited to:
 - Trim around windows
 - Two or more building materials
 - Decorative brick/stone
 - Side Entry

7.3 Non-Residential Use Standards

1. EIFS or synthetic stucco shall not be used in the first four feet above grade.
2. The building exterior shall have more than one (1) material color.
3. The building shall have more than one parapet height.

4. The following exterior materials shall not be permitted: vinyl siding, metal walls, and painted, smooth-faced concrete block (decorative blocks are acceptable).

8.0 Parking and Loading

Parking and loading requirements for the residential areas shall conform to the parking standards listed in the Town of Apex UDO Section 8.3.

9.0 Signs

Signage for this project will comply with UDO section 8.7. The developer shall submit a master sign plan that shows signage locations and details of signage patterns throughout the development.

10.0 Natural Resource and Environmental Data

- 10.1 This project is located in the Jordan Lake drainage basin which is in the Cape Fear Basin. This project currently falls just outside the primary watershed protection overlay district as shown on the Town of Apex watershed maps; however once annexed it will be in the primary watershed protection overlay district.
- 10.2 There is no FEMA mapped floodplain on the site as shown on FEMA FIRM Map Number 3720072300 or 3720072201, dated May 2, 2006.
- 10.3 There are no known historic structures on this project.
- 10.4 The PUD is required to provide at least 25% of the total area for Resource Conservation Area and landscape buffers. If the residential single family lots are mass graded, then the project shall dedicate an additional 5% RCA. For this project that will equate to 10.88 acres of required RCA area. This project proposes to dedicate 10.90 acres and will increase that area if mass graded.
- 10.5 Existing deciduous trees greater than 18" in diameter that are removed by site development shall be replaced by planting a 1.5" caliper native tree from the Town of Apex Design and Development Manual either on-site or at an alternative site location approved by Town Planning Staff.

11.0 Stormwater Management

Wolfe Properties PUD will meet all applicable requirements and standards as described in section 6.1 of the Apex UDO. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff for the 1 year and 10 year storm events. This project will commit to providing attenuation for the 2 year and 25 year storms as well.

Wolfe Properties PUD will use approved devices to control the stormwater sediment runoff. These devices may include wet detention basins, constructed wetlands, bioretention areas, sand filters or any other approved stormwater control measure. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings.

12.0 Parks and Recreation

The Wolfe Properties PUD was reviewed by the Parks, Recreation and Cultural Resources Advisory Commission on February 26th, 2020 and they unanimously recommended a land dedication in the location provided in the PUD Plan, located contiguous to the southern boundary of the future park property along the frontage of Wimberly Road to comply with Sec 14.1.3 Standards of Dedication. The total acreage to be dedicated will be determined by the total unit count at the time of Master Subdivision Plan approval. They also recommended the reservation of a Public Greenway Easement along one of the Utility Easement corridors to provide access to the Park for the Wolfe Properties PUD as well as the Preserve at White Oak Creek with the location being determined at the time the Master Subdivision Plan approval.

Additionally, to assist the Town of Apex with future plans, the project offers the following conditions:

1. Zoning condition for environmental assessment: A Phase I environmental assessment will be completed on the property to be dedicated to the Town and provided to the Town prior to construction plan approval.
2. Zoning condition for land dedication: If the Town of Apex determines that it wants the land dedication for the purposes of a public safety station versus park land, the land dedication will occur by January 31, 2021 or prior to construction plan approval of Public Safety Station #6 (PSS #6), whichever comes later. If the land will be used for park purposes, the timing specified in the UDO will be followed.
3. Zoning condition for road improvements: If the Town of Apex determines that it wants the land dedication for the purposes of a public safety station versus park land, road improvements for the collector street will be completed from Wimberly Road to just past the planned public safety station driveway no later than February 28, 2022 or prior to the certificate of occupancy, whichever comes later. If the land will be used for park purposes, the timing specified in the UDO will be followed.
4. Zoning condition for timing of CD approval: If the Town of Apex determines that it wants the land dedication for the purposes of a public safety station versus park land, a temporary driveway permit signed by NCDOT will suffice for Construction Drawing approval, provided the final driveway permit application has been submitted to NCDOT; any changes from the temporary driveway permit to the final driveway permit will be the responsibility of the developer, and this shall in no way release the developer from all other applicable requirements prior to Construction Drawing approval."

5. In the event the Town has not provided notice to the applicant of the decision to use the land for PSS #6 by August 3, 2020, the developer will be given an additional amount of time, equivalent to the length of time the Town's decision is delayed beyond August 3, 2020, to complete all conditions.

13.0 Public Facilities

All internal public streets will have sidewalks on both sides of the street. Roadway improvements will be required along Wimberly Road and these improvements will be coordinated with the Town of Apex and NCDOT. The roadway widening along Wimberly Road shall be based on the Town of Apex's thoroughfare plan. The project will provide a minor collector street through the subdivision that will stub to north for future extension as shown on the town's thoroughfare plan. Bicycle and pedestrian improvements associated with subdivision plans for any development to be made pursuant to this amendment to the Official Zoning District Map shall comply with the adopted Comprehensive Transportation Plan in effect at the time of subdivision plan approval as provided for in the UDO.

In compliance with the Town of Apex's UDO Section 13.19.4, the project offers, subject to NCDOT review and approval the following off-site roadway improvements:

1. Green Level West and Wimberly Road Intersection: The developer shall construct a northbound taper right turn lane on Wimberly Road with 50-foot of full width deceleration and a 100-foot taper prior to the first plat. Construction of curb and gutter will be limited to only along the 50-foot deceleration along the sidewalk and storm drainage structures will only be placed in areas as necessary to continue existing drainage patterns and not restrict existing structures.
2. Wimberly Road and Jenks Road Intersection: The developer shall construct a southbound taper right turn lane on Wimberly Road with 50-foot of full width deceleration and a 100-foot taper prior to the first plat. No curb & gutter will be installed. Vegetated conveyances will be utilized to stay consistent with current conditions and no upgrades to existing storm drainage infrastructure.

As shown on the PUD Utility Plan, the sanitary sewer connection will connect to an existing sewer manhole and line near the northern end of Double Helix Road. Water distribution service will be provided to this project by eight inch waterline connection to the existing twelve inch waterline along Wimberly Road.

14.0 Phasing

The project shall be developed in multiple phases and construction would likely start in 2020.

15.0 Consistency with Land Use Plan

The Town of Apex 2045 Land Use Map currently designates these parcels as Low Density Residential. We believe this PUD is appropriate for the area and is consistent with the current intent of the Town Council.

16.0 Compliance with the UDO

The proposed plans for Wolfe Properties PUD are in compliance with the standards and allowances provided in the current approved version of the Town of Apex Unified Development Ordinance. Any variance from UDO requirements has been noted in this plan.

17.0 Land Use Notes

- 17.1 This project will require the formation of a Homeowners Association which will handle the maintenance of common areas, buffers, RCA, stormwater devices, etc.
- 17.2 Any existing houses on the properties will be either moved or removed from the site.

END OF REPORT

RESIDENTIAL LOT TYPE LEGEND

50' WIDE SINGLE FAMILY LOTS	COMMON AREAS HOA
TOWNHOME LOTS	LAND DEDICATED TO TOWN OF APEX
WETLANDS	PONDS & SCM

TOWN OF APEX
WAKE COUNTY R-40W ZONING

SITE AREA	43.52 ac
ZONING	R-40W
LAND USE	Low Density Residential (LDR)
REZONING REQUIRED (Y/N)	Y
REZONING DISTRICT	PUD-CZ
MAXIMUM DENSITY	3 units/ac
MAXIMUM NUMBER OF UNITS	130 units
PROPOSED UNITS	121 units
SINGLE FAMILY DETACHED	55
TOWNHOMES	66
PARKS & RECREATION LAND DEDICATION REQUIRED	3.30 ac (1/30th SF & 1/45th TH)
PARKS & RECREATION LAND DEDICATION PROVIDED	3.37 ac
PROPOSED DENSITY	2.78 units/ac
RESOURCE CONSERVATION AREA REQUIRED	9.95 ac (25%)
RESOURCE CONSERVATION AREA PROVIDED	11.82 ac (27.2%)

End of Subdivision Road stubbing to the proeprty line of Tract 1

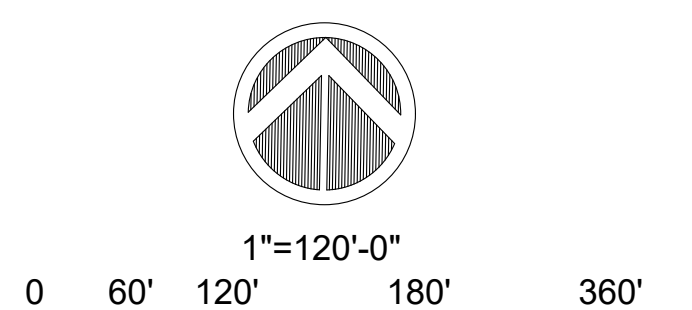
Grantee to allow Grantor within this area to stub the subdivision road

Tract 2

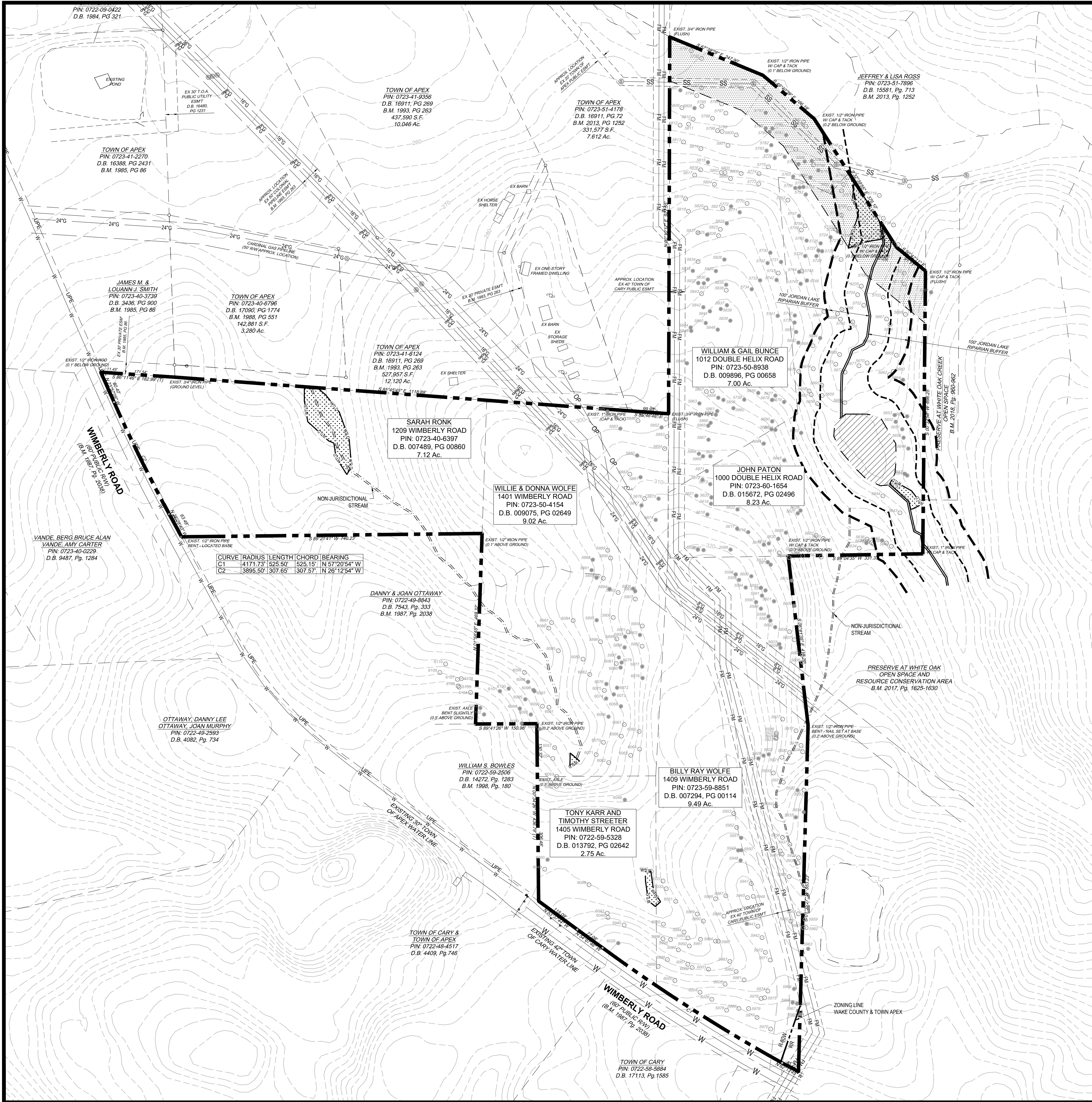
EXHIBIT "B"

WOLFE PROPERTIES PUD

APEX, NORTH CAROLINA
SINGLE FAMILY DETACHED & TOWN HOME SITES



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Surveyor:

Taylor Land Consultants
5448 Apex Peakway
Apex, NC 27502
919.801.1104 (o)
919.337.7998 (m)
Contact: Jeremy Taylor, PLS

GENERAL NOTES:

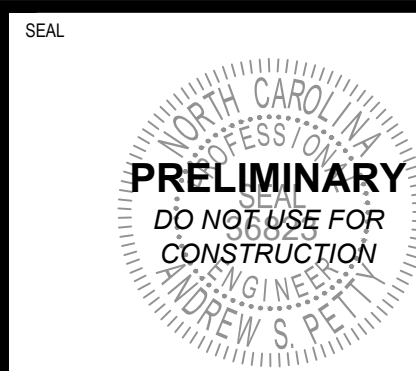
- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. TOPOGRAPHY SHOWN ON THIS IS PLAN IS PER WAKE COUNTY GIS - FOR PRELIMINARY USE ONLY.
- THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THE INFORMATION SHOWN REPRESENTS A FIELD SURVEY CONDUCTED SEPTEMBER 2019.
NOTED:
 - MISCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED. ALL AREA CALCULATED BY COORDINATE COMPUTATION.
 - THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- EXISTING CONDITIONS SHOWN DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON SITE. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO START OF EXCAVATION.
- PROPERTY IS LOCATED WITHIN THE PRIMARY WATERSHED OVERLAY DISTRICT.
- PROPERTIES ARE NOT LOCATED IN A HISTORIC DISTRICT NOR CONTAIN ANY HISTORIC STRUCTURES PER THE "WAKE COUNTY INVENTORY OF HISTORIC STRUCTURES - APEX JURISDICTION."
- FOR SURFACE WATER INFORMATION, REFER TO APEX STREAM BUFFER DETERMINATION LETTER APEX #19-004

TOWN REQUIRED PUD NOTES:

- PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
- SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
- ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
- NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.



SCALE: 1 IN = 120 FT
SCALE IN FEET
HORIZONTAL



WOLFE PROPERTIES PUD - PD PLANS EXISTING CONDITIONS PLAN

Curry ENGINEERING
C-01

208 S. Tryon Avenue
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N.C. LIC. NO. P-4738

Z:\PROJECTS\EQ\DEVELOPMENT\2024\02\WOLFE\PLANS\DWG\PLANSHEET_FLESC02_TREE SURVEY.DWG
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TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5595	PINE 23.5
5651	OAK 21.5
5587	PINE 19
5652	PINE 21
5588	PINE 22
5589	PINE 21
5590	PINE 24
5591	PINE 19.5
5592	PINE 19.5
5593	PINE 19
5594	PINE 20.5
5596	PINE 20.5
5597	PINE 21
5598	PINE 21
5599	PINE 21
5600	PINE 21
5601	PINE 21
5602	PINE 19
5603	PINE 19
5604	PINE 18

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5605	OAK 21.5
5606	POP 27.5
5607	MAP 23
5608	OAK 22
5609	PINE 21
5610	PINE 21.5
5611	POP 18
5612	PINE 19
5613	PINE 19.5
5614	PINE 21
5615	PINE 20
5616	PINE 19
5617	PINE 19
5618	PINE 19
5619	PINE 19
5620	PINE 18
5621	PINE 19
5622	PINE 24
5623	OAK 24
5624	OAK 24

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5625	OAK 21
5626	POP 27.5
5627	PINE 29
5628	PINE 20
5629	PINE 19
5630	PINE 20
5631	OAK 21
5632	OAK 27
5633	OAK 21
5634	POP 31
5636	POP 19.5
5637	PINE 18.5
5638	MAP 22
5639	OAK 18
5640	PINE 24.5
5641	MAP 18
5642	MAP 22
5643	MAP 20
5644	MAP 21.5
5645	PINE 27

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5646	MAP 20
5647	PINE 21
5648	PINE 26.5
5649	PINE 24
5650	PINE 24
5653	PINE 21
5654	PINE 18
5656	OAK 26
5657	OAK 21.5
5658	OAK 20
5659	OAK 21.5
5660	POP 21.5
5661	MAP 21.5
5662	MAP 18
5663	OAK 19
5664	PINE 18.5
5665	OAK 19
5666	MAP 19
5667	MAP 18.5
5668	POP 20.5

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5669	OAK 19
5670	MAP 22
5671	POP 18
5672	OAK 24.5
5673	POP 24
5674	GUM 22
5675	OAK 20
5676	OAK 19
5677	PINE 19
5678	PINE 18
5679	PINE 19
5680	PINE 19
5681	PINE 19
5682	PINE 18
5683	PINE 20
5684	PINE 19
5685	PINE 23.5
5686	OAK 19
5687	POP TWIN 19
5688	PINE 23

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5689	PINE 19.5
5690	OAK 20
5691	PINE 20
5692	PINE 19
5693	OAK 24.5
5694	PINE 18.5
5695	POP 24
5696	OAK 22
5698	POP 19
5699	POP 22
5700	POP 23
5701	OAK 27
5702	MAP 25
5703	POP 18.5
5704	OAK 25/PIN
5705	POP 18.5
5706	POP 19
5707	OAK 22.5
5708	POP 22
5709	POP 21.5

DANNY & JOAN OTTAWAY
PIN: 0722-49-8543
D.B. 7543, Pg. 333
B.M. 1987, Pg. 2038

WILLIAM S. BOWLES
PIN: 0722-59-2506
D.B. 14272, Pg. 1283
B.M. 1998, Pg. 180

TOWN OF CARY &
TOWN OF APEX
PIN: 0722-48-4517
D.B. 4409, Pg. 746

TOWN OF CARY
PIN: 0722-58-3884
D.B. 17113, Pg. 1585

Surveyor:

Taylor Land Consultants
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919.801.1104 (o)
919.337.7998 (m)
Contact: Jeremy Taylor, PLS

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5710	MAP 18.5
5711	OAK 26.5
5712	OAK 19.5
5713	OAK 20.5
5714	POP 18.5
5715	OAK 18.5/PIN
5716	GUM 27.5
5717	DT 27
5718	PINE 21
5719	OAK 23.5
5720	POP 20
5721	POP 19
5722	PINE 21
5723	OAK 22
5724	PINE 27
5725	PINE 19.5
5726	PINE 18.5
5727	PINE 18
5728	PINE 21.5
5729	PINE 20.5

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5770	OAK 19
5771	PINE 20.5
5772	PINE 20
5773	POP 22.5
5774	OAK 19.5
5775	OAK 18.5/TWIN
5776	PINE 20.5
5777	PINE 21
5778	POP 22
5779	OAK 19
5780	POP 20
5781	PINE 18
5782	PINE 22
5783	PINE 21
5784	PINE 20
5785	PINE 23
5786	PINE 21
5787	PINE 22
5788	OAK 19
5789	OAK 25.5

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5832	PINE 18
5833	PINE 21
5834	OAK 18.5
5835	PINE 18
5836	OAK 19
5837	PINE 19
5838	PINE 18
5839	PINE 18.5
5840	PINE 19
5841	PINE 20
5842	PINE 19.5
5843	OAK 20
5844	PINE 19
5845	PINE 21
5846	PINE 27
5848	PINE 25
5849	OAK 18/TWIN
5850	MAP 21.5
5851	GUM 23
5852	PINE 20

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5895	PINE 18.5
5896	OAK 18.5
5897	PINE 18.5
5898	PINE 18
5899	MAP 20.5
5900	PINE 21.5
5901	OAK 20.5
5902	OAK 22.5
5903	PINE 20
5904	DT 21
5906	OAK 18
5907	OAK 19
5908	PINE 22
5909	PINE 20.5

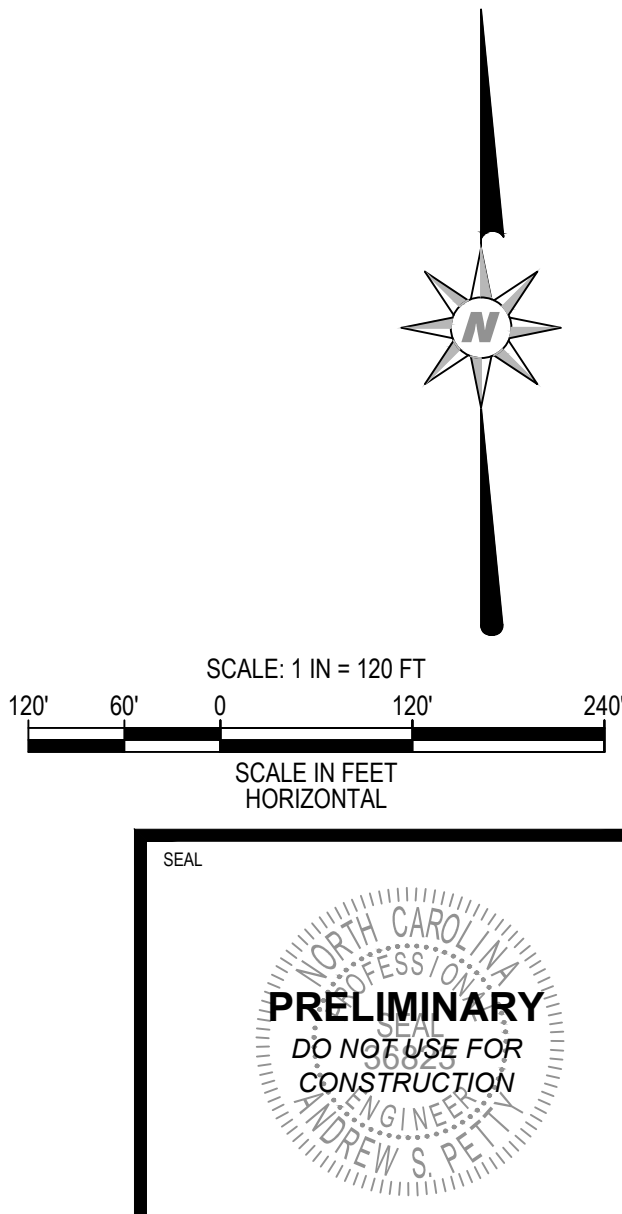
TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5730	PINE 22.5
5731	PINE 20
5732	PINE 18
5733	PINE 18
5734	PINE 18
5735	PINE 18
5736	PINE 18
5737	PINE 19
5738	PINE 18
5739	PINE 19
5740	PINE 19
5741	PINE 18.5
5742	PINE 18
5743	OAK 19.5
5744	PINE 22
5745	POP 18
5746	PINE 21
5747	PINE 20
5748	POP 22
5749	POP 18

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5791	POP 20
5792	OAK 20.5
5793	DT 23
5794	OAK 18
5795	OAK 20.5
5796	OAK 18
5797	OAK 19.5
5798	OAK 20.5
5799	OAK 19
5800	POP 21
5801	OAK 18.5
5802	DT 21/TWIN
5803	OAK 18
5804	OAK 21
5805	MAP 19
5806	OAK 25/TWIN
5807	PINE 18
5808	PINE 20.5
5809	OAK 24
5810	OAK 19

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5750	OAK 29.5/TWIN
5751	OAK 18
5752	POP 20
5753	PINE 26
5754	PINE 20.5
5755	PINE 19
5756	PINE 18
5757	PINE 23
5758	OAK 19
5759	POP 20
5760	PINE 20
5761	PINE 19
5762	OAK 18
5763	PINE 18.5
5764	PINE 22.5
5765	PINE 19.5
5766	POP 18
5767	PINE 20
5768	PINE 21.5
5769	PINE 20

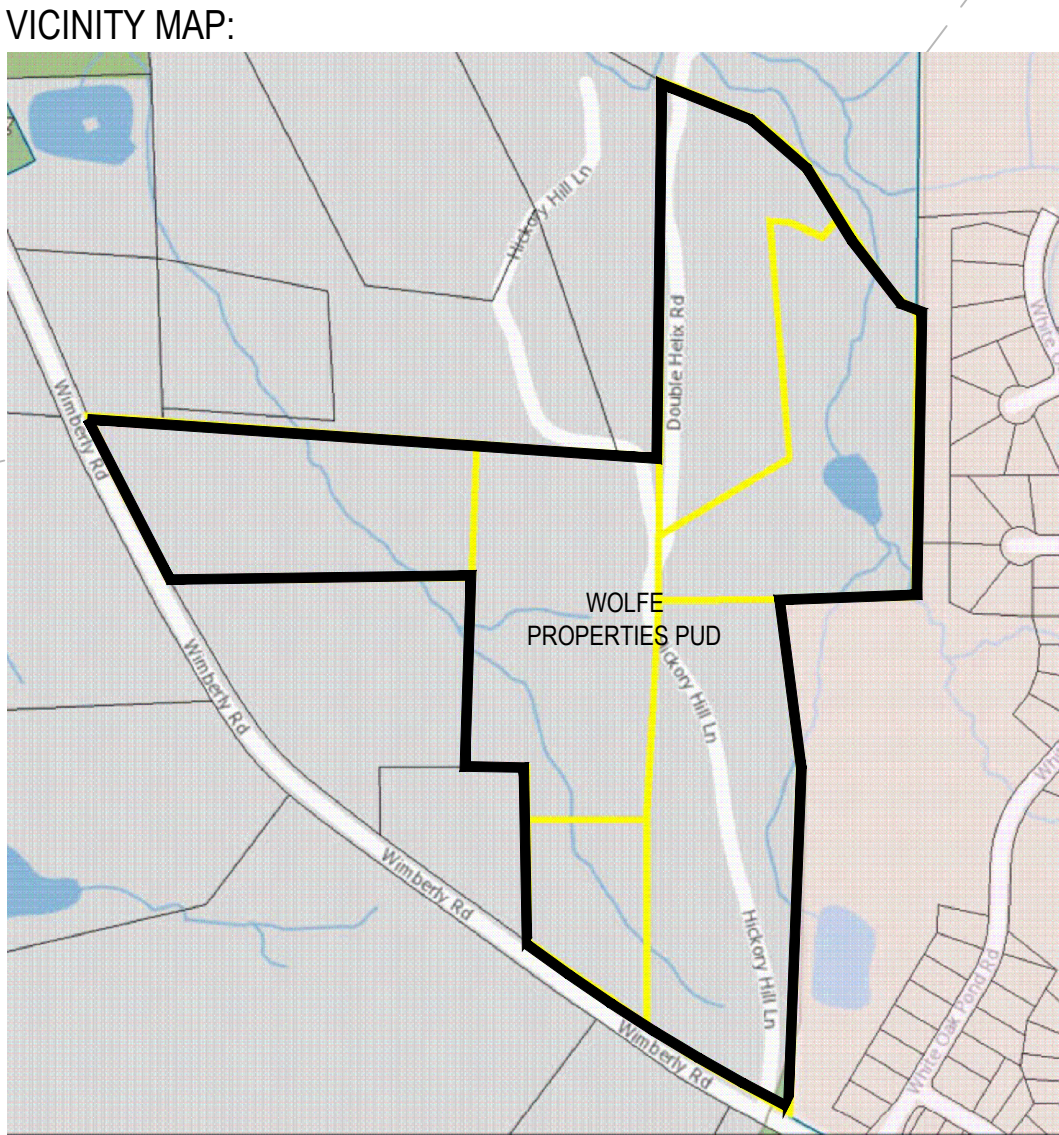
TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5811	OAK 19.5
5812	OAK 22.5
5813	OAK 19.5
5814	OAK 24
5815	PINE 19
5816	OAK 22
5817	OAK 18.5
5818	OAK 19.5
5819	OAK 19
5820	OAK 19
5821	POP 18
5822	PINE 19
5823	POP 22
5825	PINE 21
5826	POP 20.5
5827	OAK 22.5
5828	PINE 18.5
5829	PINE 18.5
5830	PINE 19
5831	PINE 19

TREE SUMMARY TABLE	
POINT #	DESCRIPTION (TYPE - DBH INCH)
5873	PINE 18
5874	PINE 25
5875	PINE 19.5
5876	OAK 27.5
5877	PINE 19.5
5880	PINE 23
5881	PINE 20.5
5882	OAK 24.5
5883	PINE 19
5884	PINE 20
5885	PINE 25
5886	OAK 22.5
5887	PINE 23
5888	PINE 20.5
5889	OAK 23.5
5890	OAK 23.5
5891	PINE 18.5
5892	OAK 18
5893	OAK 18
5894	PINE 21



WOLFE PROPERTIES PUD - PD PLANS TREE SURVEY

REVISIONS	
A.	TOWN OF APEX COMMENTS
12/6/2019	
DATE: OCTOBER 1, 2019	HOIST SCALE: 1" = 120'
FILE NO. 2019-021	ONG SHEET SIZE: 24" x 36"



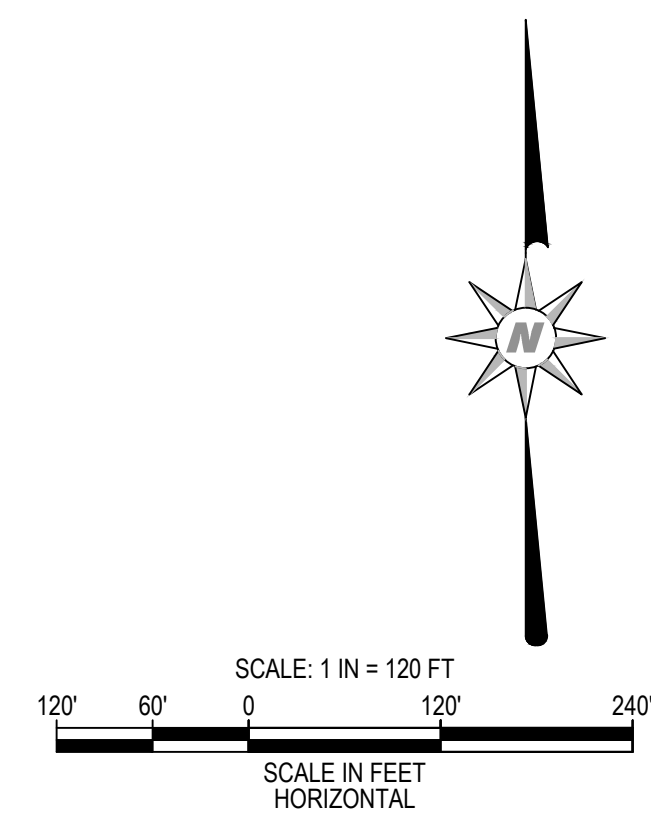
IN COMPLIANCE WITH THE TOWN OF APEX'S UDO SECTION 13.19.4, THE PROJECT OFFERS, SUBJECT TO NCDOT REVIEW AND APPROVAL THE FOLLOWING OFF-SITE ROADWAY IMPROVEMENTS:

1. GREEN LEVEL WEST AND WIMBERLY ROAD INTERSECTION: THE DEVELOPER SHALL CONSTRUCT A NORTHBOUND TAPER RIGHT TURN LANE ON WIMBERLY ROAD WITH 50-FOOT OF FULL WIDTH DECELERATION AND A 100-FOOT TAPER PRIOR TO THE FIRST PLAT. CONSTRUCTION OF CURB AND GUTTER WILL BE LIMITED TO ONLY ALONG THE 50-FOOT DECELERATION ALONG THE SIDEWALK AND STORM DRAINAGE STRUCTURES WILL ONLY BE PLACED IN AREAS AS NECESSARY TO CONTINUE EXISTING DRAINAGE PATTERNS AND NOT RESTRICT EXISTING STRUCTURES.
2. WIMBERLY ROAD AND JENKS ROAD INTERSECTION: THE DEVELOPER SHALL CONSTRUCT A SOUTHBOUND TAPER RIGHT TURN LANE ON WIMBERLY ROAD WITH 50-FOOT OF FULL WIDTH DECELERATION AND A 100-FOOT TAPER PRIOR TO THE FIRST PLAT. NO CURB & GUTTER WILL BE INSTALLED. VEGETATED CONVEYANCES WILL BE UTILIZED TO STAY CONSISTENT WITH CURRENT CONDITIONS AND NO UPGRADES TO EXISTING STORM DRAINAGE INFRASTRUCTURE.

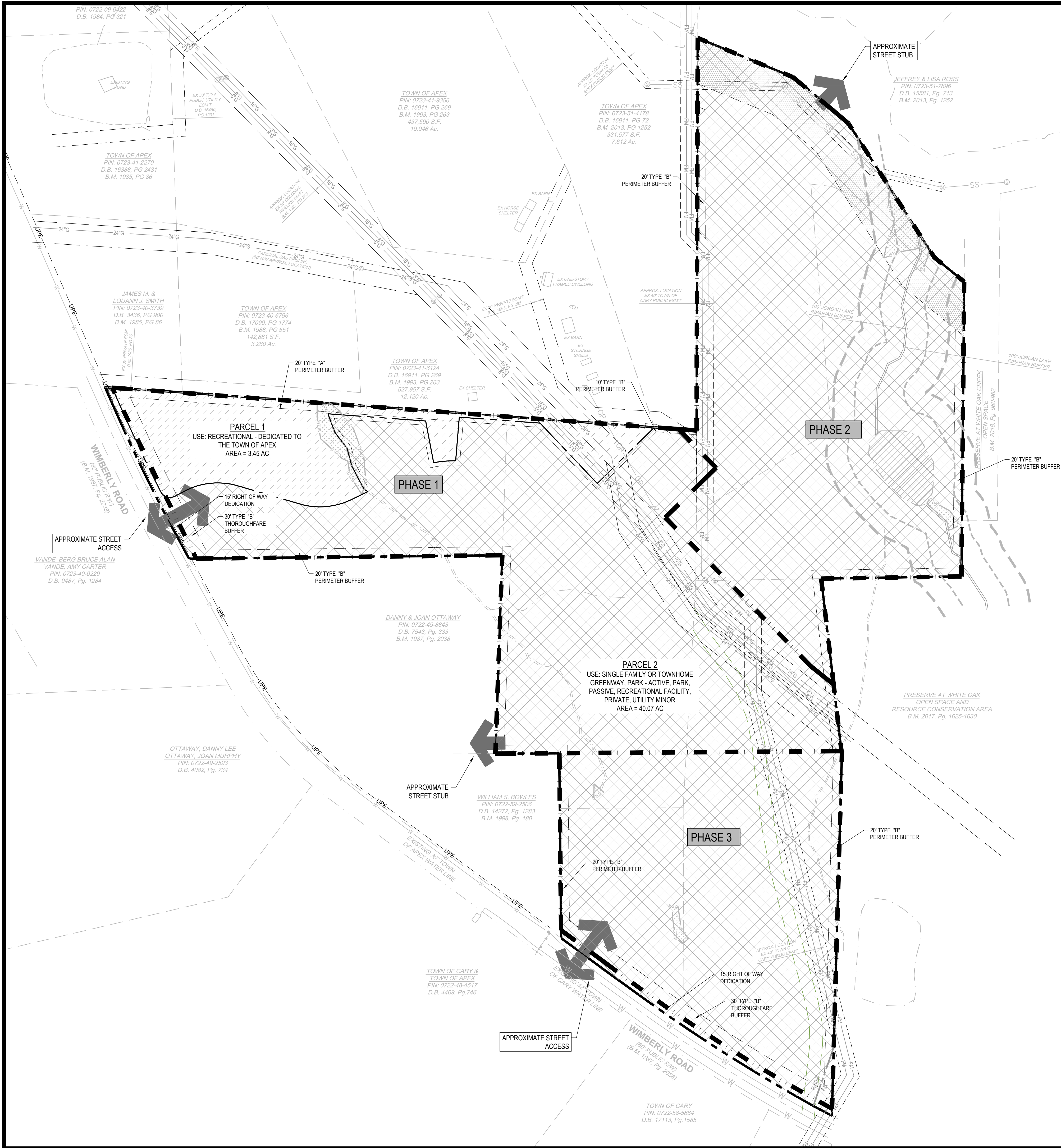
1. THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. TOPOGRAPHY SHOWN ON THIS IS PLAN IS PER WAKE COUNTY GIS - FOR PRELIMINARY USE ONLY.
2. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THE INFORMATION SHOWN REPRESENTS A FIELD SURVEY CONDUCTED SEPTEMBER 2019.
3. THE ENGINEER UNDERSTANDS THE SURVEY INFORMATION PROVIDED TO MEET THE FOLLOWING CRITERIA:
 - MISCLOSURE WAS DISTRIBUTED BY THE COMPASS METHOD. THE DISTANCES ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED. ALL AREA CALCULATED BY COORDINATE COMPUTATION.
 - THIS PLAN HAS BEEN PREPARED FOR LAYOUT AND PERMITTING PURPOSES ONLY.
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
4. EXISTING CONDITIONS SHOWN DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON SITE. CONTRACTOR TO FIELD VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO START OF EXCAVATION.
5. PROPERTY IS LOCATED WITHIN THE PRIMARY WATERSHED OVERLAY DISTRICT.
6. PROPERTIES ARE NOT LOCATED IN A HISTORIC DISTRICT NOR CONTAIN ANY HISTORIC STRUCTURES PER THE "WAKE COUNTY INVENTORY OF HISTORIC STRUCTURES - APEX JURISDICTION."

1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER, SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS, BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

DEVELOPMENT NAME	WOLFE PROPERTY PUD
PROPERTY ADDRESS	SEE EXISTING CONDITIONS PLAN
PUD TOTAL AREA	43.52 ACRES
PUBLIC ROAD R/W DEDICATION (WIMBERLY ROAD)	0.42 AC
WAKE COUNTY PINS	SEE EXISTING CONDITIONS PLAN
CURRENT ZONING	R-80W (COUNTY) & RR (TOWN)
PROPOSED ZONING	PLANNED URBAN DEVELOPMENT (PUD-CZ)
RCA/BUFFER AREA	
REQUIRED	10.88 AC (25%)
RCA PROPOSED	10.90 AC (25%)
CURRENT 2045 LUM DESIGNATION	LOW DENSITY RESIDENTIAL
PROPOSED 2045 LUM DESIGNATION	LOW DENSITY RESIDENTIAL
PROPOSED MAXIMUM BUILDING HEIGHT	42 FEET - SF
	50 FEET - TH
PROPOSED TOWNHOME NUMBER OF STORIES	3
PROPOSED RESIDENTIAL DENSITY	3 UNITS/ACRE
PROPOSED PARKING REQUIREMENTS	2 SPACES PER UNIT
	PLUS GUEST PARKING AT 1SPACE/4 UNITS
WATERSHED DISTRICT	PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT CAPE FEAR
<u>PROPOSED MINIMUM BUILDING SETBACKS</u>	
SINGLE FAMILY DETACHED	
FROM BUFFER OR RCA - 10'	
FRONT YARD - 10' MINIMUM	
SIDE YARD - 5' MINIMUM (NO AGGREGATE)	
CORNER SIDE YARD - 10' MINIMUM	
REAR YARD - 10' MINIMUM	
DRIVEWAYS FROM BACK OF SIDEWALK TO GARAGE - 20' MIN.	
<u>TOWNHOMES</u>	
FROM BUFFER OR RCA - 10'	
FRONT YARD - 5' MINIMUM	
SIDE YARD (END UNITS) - 5' MINIMUM	
REAR YARD - 5' MINIMUM	
FROM PUBLIC RIGHT-OF-WAY TO GARAGE - 18' MIN. WHERE NO SIDEWALK IS PRESENT	
FROM PUBLIC RIGHT-OF-WAY TO GARAGE - 20' MIN. WHERE SIDEWALK IS PRESENT	
BUILDING SIDE TO SIDE - 10'	
BUILDING SIDE TO REAR - 30'	
BUILDING REAR TO REAR - 40'	



Z:\PROJECTS\EQUALIZER\JULIAN\2024\24021\WIMBERLY TOWNES - APPLICANTS\ZONING\PD PLANS\SHEET 4 PHASING PLAN.DWG
PLOTTED: 6/10/2024 11:01 AM



PHASING NOTES:

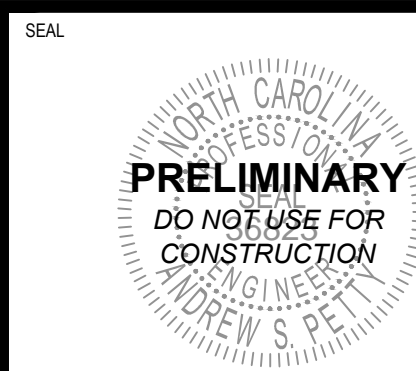
1. THE PHASE LINES SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE DURING THE MASTER SUBDIVISION PLAN PROCESS.
2. THE PHASE NUMBERS ARE DIAGRAMMATIC ARE NOT NECESSARILY THE ORDER IN WHICH THE PHASES WILL BE CONSTRUCTED. THE DEVELOPER HAS THE ABILITY TO DEVELOP THESE PHASES IN ANY ORDER DEPENDING ON THE AVAILABILITY OF MUNICIPAL SERVICES.

TOWN REQUIRED PUD NOTES:

1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER. SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

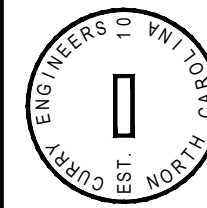


SCALE: 1 IN = 120 FT
SCALE IN FEET
HORIZONTAL



WOLFE PROPERTIES PUD - PD PLANS
PHASING PLAN

208 S. Tuckey Avenue
Fayetteville, NC 27504
T: (919) 552-0849
F: (919) 552-2843



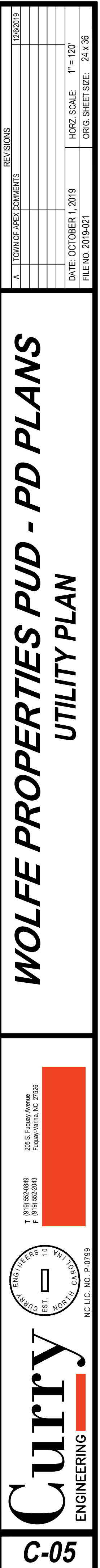
Curry
ENGINEERING
C-04

REVISIONS	DATE	DESCRIPTION
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100	10/26/2019	10/26/2019



1. THE PARCEL AREAS AND RCA AREAS ARE APPROXIMATE AND MAY CHANGE AT THE TIME OF MASTER SUBDIVISION PLAN APPROVALS.
2. THE LOCATION AND ALIGNMENT OF THE MINOR RESIDENTIAL STREET SHOWN HEREON ARE PRELIMINARY AND MAY CHANGE AT THE TIME OF MASTER PLAN APPROVAL.
3. THE MAINTENANCE OF RCA, COMMON AREAS AND THE STORMWATER DEVICES SHALL BE MANAGED BY THE OWNER/DEVELOPER OF EACH PARCEL.
4. THE MINOR RESIDENTIAL STREET SHALL HAVE SIDEWALK ON ONE SIDE OF THE STREET INTERNAL, PUBLIC STREET CONNECTIONS TO THE MINOR RESIDENTIAL STREET SHALL MEET TOWN OF APEX STANDARDS AND SPECIFICATIONS.
5. THE FUTURE LOCATIONS FOR WATER AND SEWER MAINS ARE APPROXIMATE AND SHALL BE DESCRIBED IN MORE DETAIL AT THE TIME OF MASTER PLANS. THESE UTILITY LOCATIONS ARE ILLUSTRATIVE TO SHOW CONNECTIONS AND SIZING.
6. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH.
7. ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGN ARE REQUIRED.
8. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.
9. TOWN OF APEX ELECTRIC UTILITIES CONTACT IS RODNEY SMITH AT 919-249-3342.

1. PROTECTION FENCING MUST BE PLACED AROUND FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
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Cottage 2 Story

Wimberly Road

12.03.19

ENVISION HOMES
a better life

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Farmhouse 2 Story

Wemberly Road

12.03.19

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ENVISION HOMES
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Euro Two Story

Wimberly Road

12.03.19

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Rustic Farmhouse 1 1/2 Story

Wimberly Road

12.03.19

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