

# ATTACHMENT B

## ARDEN AT SUMMIT PINES

Planned Unit Development

Apex, North Carolina

### **Submittal Dates**

First Submittal: January 3, 2022  
Second Submittal: February 11, 2022  
Third Submittal: March 11, 2022  
Fourth Submittal: April 8, 2022  
Fifth Submittal: April 27, 2022

### **Developer**

FC Apex, LLC  
7315 Wisconsin Avenue, Suite 925 W  
Bethesda, MD 20814

### **Civil Engineer**

ESE of North Carolina, PC  
5400 Trinity Road, Suite 204  
Raleigh, NC 27607

### **Land Use Attorneys**

Parker Poe Adams & Bernstein LLP  
301 Fayetteville Street, Suite 1400  
Raleigh, NC 27602

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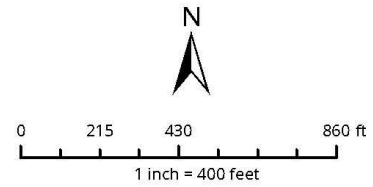
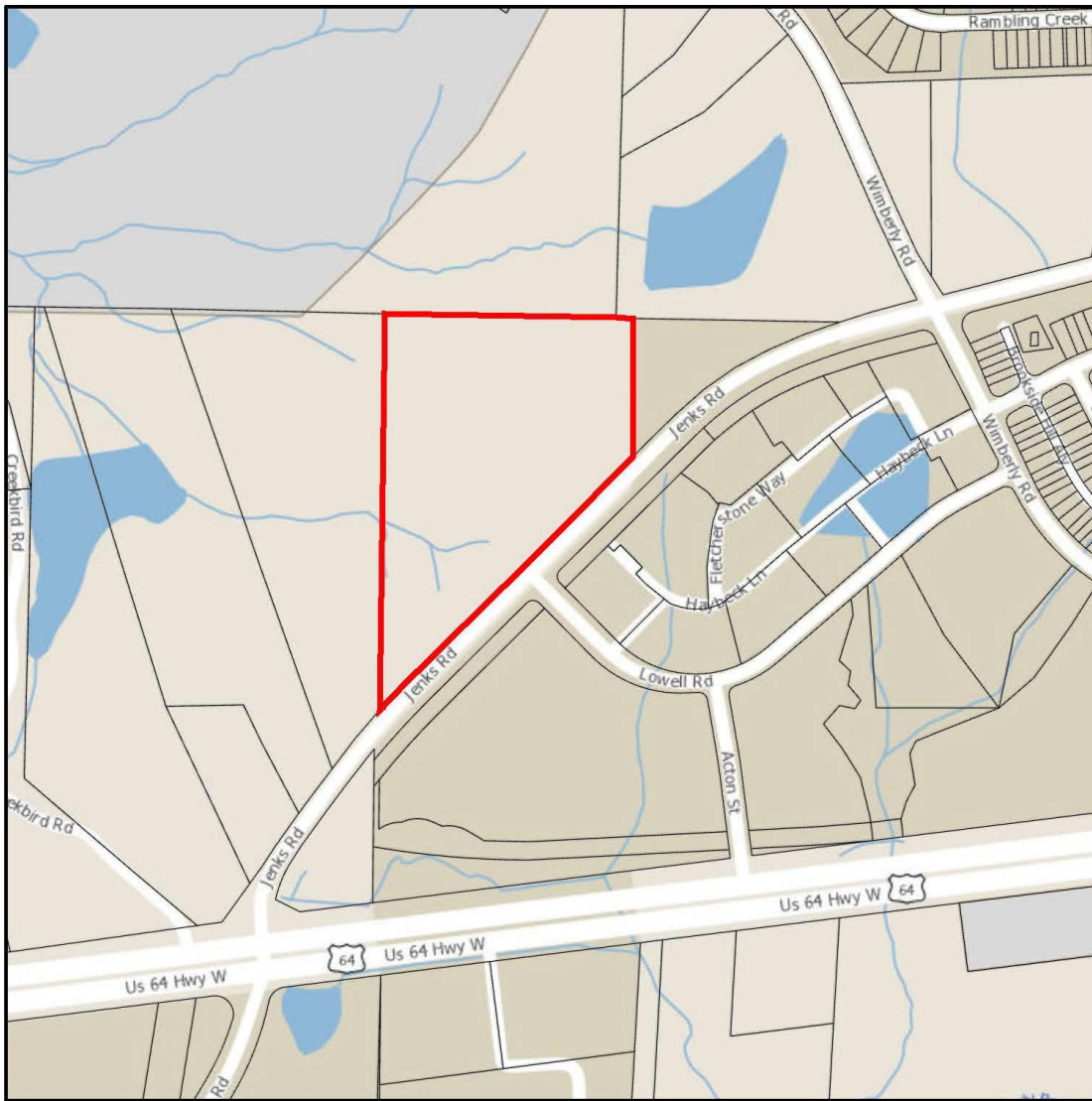
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VICINITY MAP



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**PROJECT DATA**

**Name of Project:** Arden at Summit Pines

**Property Owner:** R. Michael Strickland, Trustee of the Family Trust  
under Item VI of the Will of Charles H. Young, Jr.  
138 Wee Loch Drive  
Cary, NC 27511

**Developer:** FC Apex, LLC  
7315 Wisconsin Avenue, Suite 925 W  
Bethesda, MD 20814

**Prepared by:** Parker Poe Adams & Bernstein LLP  
301 Fayetteville Street, Suite 1400  
Raleigh, NC 27601

ESE of North Carolina, PC  
5400 Trinity Road, Suite 204  
Raleigh, NC 27607

**Current Zoning:** Rural Residential (RR)

**Proposed Zoning:** Planned Unit Development-Conditional Zoning  
(PUD-CZ)

**Current 2045 Land Use Map Designation:** Office Employment/Commercial Services

**Proposed 2045 Land Use Map Designation:** Office Employment/Commercial Services/  
High Density Residential

**Site Address:** 8200 Jenks Road, Apex, NC 27523

**Property Identification Number:** 0722577336

**Total Acreage:** 11.744 acres

**Area Designated as Mixed Use on 2045 LUM:** None

**Area Proposed as Non-Residential:** 30% or greater



## PURPOSE STATEMENT

This document and the accompanying exhibits submitted herewith (collectively, the “PUD”) are provided pursuant to the Town of Apex Unified Development Ordinance ( “UDO”) Planned Unit Development provisions. The PUD addresses the development of a 11.74 acre site fronting on Jenks Road, less than one quarter mile from the intersection of Jenks Road and US 64 W (the “Property”). The Property is undeveloped and within the Town’s Extraterritorial Planning jurisdiction. Arden at Summit Pines will be a mixed use development with two districts: the Residential District and the Commercial District.

Arden at Summit Pines’ Residential District will be an active adult, age-restricted community with congregate-care style living, controlled access, interior corridors and elevators, walking paths, fitness centers, and natural areas (the “Development”). Arden at Summit Pines will offer residents the opportunity to live independently in a community designed to fit the resident’s needs. Arden at Summit Pines will offer amenities such as a community dining room, craft/business center, library, and other amenities catered towards an active senior demographic. To ensure affordability to middle market senior residents, Arden at Summit Pines will provide some services through third party partnerships including access to care and personal services such as dining, housekeeping, transportation, home and grounds maintenance, and security. Arden at Summit Pines also ensures affordability through commitments to provide Affordable Housing units within the community. The PUD is intended to create flexibility in design and land uses to deliver a high quality senior living community to meet the burgeoning demand for senior housing. The Residential District shall be limited to a maximum of 160 residential dwelling units.

Arden at Summit Pines’ Commercial District proposes office, retail sales, and retail services in a prominent location along the site’s Jenks Road frontage. This proposed commercial district ensures mixed uses within the development and fulfills the Apex Comprehensive Plan’s (“Peak Plan”) goal of placing commercial services on thoroughfares and near residential communities. The Commercial District will be a minimum of 30% of the site as shown on the Concept Plan.

## CONSISTENCY WITH PLANNED UNIT DEVELOPMENT STANDARDS

**(i) *The uses proposed to be developed in the PD plan for PUD-CZ are those uses permitted in Sec. 4.2.2 Use Table***

**RESPONSE:** The uses permitted within The Arden PUD are uses listed in UDO Section 4.2.2. Permitted uses within each District are set forth in Section 5 of the PUD.

**(ii) *The uses proposed in the PD Plan for PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of non-residential land area is included in certain mixed use areas as specified on the 2045 Land Use Map. The location of uses proposed by the PUD-CZ must***

***be shown in the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.***

**RESPONSE:** The PUD is separated into two districts – the Residential District and the Commercial District. Maximum densities for each district are established by the PUD. The Development will include a minimum of 30% of the site as non-residential area as shown on the Concept Plan.

**(iii) *The dimensional standards in Sec. 5.1.3 Table of Intensity and Dimensional Standards, Planned Development Districts may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.***

**RESPONSE:** This PUD specifies intensity and dimensional standards for the Residential District and Commercial District. The PUD’s standards are consistent with the UDO’s vision for Planned Unit Developments. Except as specifically stated in this PUD, Arden at Summit Pines will comply with all other requirements of the UDO and will comply with all applicable requirements of the North Carolina Building Code and the North Carolina Fire Code.

**(iv) *The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Advance Apex: The 2045 Transportation Plan and the Town of Apex Standard Specifications and Standard Details, and greenway improvements as required by the Town of Apex Parks, Recreation, Greenways, and Open Space Plan and the Advance Apex: The 2045 Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.***

**RESPONSE:** As shown on the attached Concept Plan, Arden at Summit Pines will feature sidewalks and pedestrian paths throughout. Sidewalks will connect the Residential District to the Commercial District, increasing walkability between uses. The PUD also commits to significant Right of Way dedication and roadway improvements called for by the Transportation Plan.

**(v) *The design of development in the PD Plan for PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient compact network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing or proposed street system in the surrounding area indicate that a through street is not essential in the location of the proposed cul-de-sac, or where sensitive environmental areas such as streams, floodplains, and wetlands would be substantially disturbed by making road connections.***

**RESPONSE:** As shown in the Concept Plan, Arden at Summit Pines will feature sidewalks and pedestrian paths throughout. Sidewalks will connect the Residential District to the Commercial District, increasing walkability between uses. Arden at Summit Pines will not include cul-de-sacs.

- (vi) The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.***

Arden at Summit Pines is compatible with the character of the existing and planned uses in the surrounding area. This area of the Town's ETJ is at the intersection between growing sections of northwest Apex and historically rural, western Wake County. Although adjacent properties to the north and west are currently undeveloped, the Property is directly across the street from the Westford PUD. The Villages at Westford Apartments are directly across Jenks Road to the southeast. The Villages at Westford Apartments are a 296 unit apartment complex, with a clubhouse and pool, that were constructed in 2019 as part of the Westford PUD. Further South across Jenks Road is an undeveloped portion of the Westford PUD referred to as area A1. Under the Westford PUD, Area A1 could be developed for a variety of residential or commercial uses including Multi-Family, Single Family, Restaurant, Office, Convenience Store with Gas Sales, and Grocery Store.

Arden at Summit Pines will be compatible with the existing Westford Apartments and future development of the Westford PUD because it will provide complimentary uses to the existing and proposed uses of the Westford PUD. Arden at Summit Pines' age restricted Residential District will provide a greater variety of housing options and Arden at Summit Pines' Commercial District offers a greater mix of nonresidential uses that will serve and support residential development in the area. Design standards are also proposed to respect the existing character of the surrounding area.

- (vii) The development proposed in the PD Plan for PUD-CZ has architectural and design standards that are exceptional and provide higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.***

Arden at Summit Pines will feature high quality and thoughtful design. Architectural standards, design controls, and conceptual elevations are included in this PUD.

#### **CONSISTENCY WITH CONDITIONAL ZONING STANDARDS**

Arden at Summit Pines is consistent with the conditional zoning standards set forth in UDO Section 2.3.3.F.1-10. Please see the accompanying PUD-CZ Application for the statements of consistency addressing each standard.

## PERMITTED USES

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

### COMMERCIAL DISTRICT

The following uses shall be permitted in the Commercial District:

Restaurant, drive through	Permitted
Restaurant, general	Permitted
Medical or dental office or clinic	Permitted
Medical or dental laboratory	Permitted
Office, business or professional	Permitted
Publishing office	Permitted
Research facility	Permitted
Hotel or Motel	Permitted
Artisan Studio	Permitted
Barber and beauty shop	Permitted
Book store	Permitted
Convenience store	Permitted
Convenience store with gas sales	Permitted
Dry cleaners and laundry service	Permitted
Farmer's market	Permitted
Financial institution	Permitted
Floral shop	Permitted
Gas and fuel, retail	Permitted
Glass sales	Permitted
Greenhouse or nursery, retail	Permitted
Grocery, general	Permitted
Grocery, specialty	Permitted
Health/fitness center or spa	Permitted
Kennel	Permitted
Newsstand or gift shop	Permitted
Personal service	Permitted
Pharmacy	Permitted
Printing and copying service	Permitted

ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

Real estate sales	Permitted
Repair services, limited	Permitted
Retail sales, general	Permitted
Studio for art	Permitted
Tailor shop	Permitted
Upholstery shop	Permitted
Pet services	Permitted
Day care facility	Permitted
Veterinary Clinic or Hospital	Permitted
Utility, minor	Permitted

**RESIDENTIAL DISTRICT**

The following uses shall be permitted in the Residential District:

<b>Residential*</b>	
Congregate Living Facility**	Permitted
Multi-family or Apartment (age-restricted)	Permitted
Utility, minor	Permitted
<b>Recreational Uses</b>	
Park, active	Permitted
Greenway	Permitted
Park, passive	Permitted
Recreation facility, private	Permitted

\*All residential uses in the Residential District shall be age-restricted as follows: 100% of all occupied units shall have as a resident at least one person age 55 or older.

\*\*Congregate Living Facility as defined in UDO Section 4.3.1.C shall be modified as follows: A residential land use consisting of any building or section thereof, residence, private home, boarding home, or home for the aged, whether or not operated for profit, which provides one or more of the following amenities or services for persons not related to the owner or administrator by blood or marriage: food service, trash service, local transportation services, community library, programmed activities, salon services, and other personal services. The term shall not mean “nursing home,” “intermediate care facility,” or similar facility that provides medical care and support services to persons not capable of independent living.

## **AFFORDABLE HOUSING**

A minimum of six (6) of the residential units (either Congregate Living Facility units as modified herein, or age-restricted (55 yrs. and older) multifamily/apartment units) constructed within the Development shall be designated as low-income restricted units (the "Affordable Units"). The bedroom mix of the Affordable Units shall include (4) one-bedroom units and two (2) two-bedroom units.

The Affordable Units shall be made available for rental such that the maximum rent limits per bedroom size and household income limits shall be no greater than sixty percent (60%) of the U.S. Department of Housing and Urban Development (HUD) Area Median Income (AMI) as stipulated by the most recently published North Carolina Housing Finance Agency (NCHFA) Low-Income Housing Tax Credit (LIHTC) Multifamily Tax Subsidy Program (MTSP) income and rent limits for the Wake Metropolitan area.

The Affordable Units shall be restricted for an affordability period of five (5) years starting from the date of issuance of the first residential Certificate of Occupancy (the "Affordable Period") for the development. During the Affordable Period, the property owner shall be responsible for performing all administration duties to ensure compliance with this Affordable Housing condition and shall submit annual compliance reports to the Town verifying compliance with this Affordable Housing condition. Following completion of the Affordable Period, this Affordable Housing condition shall expire, the property owner shall be relieved of all obligations set forth in this Affordable Housing condition, and the Affordable Units may be freely marketed and leased at market-rate rents.

An affordable housing deed restriction shall be recorded against the property prior to the date of issuance of the first residential Certificate of Occupancy to memorialize these Affordable Housing terms.

## DESIGN CONTROLS

### UNIVERSAL DESIGN CONTROLS

Total Project Area	11.74 acres
Maximum Built-Up Area	70% of gross site acreage
Minimum Resource Conservation Area	25% of gross site acreage

### RESIDENTIAL DISTRICT DESIGN CONTROLS

Proposed Land Area	Maximum 6.87 acres
Maximum Residential Density	160 units
Required District Boundary Buffers	
Side Buffer	20 ft. Type A
Rear Buffer	20 ft. Type A
Front Buffer	None
Corner Side Buffer (Jenks Road)*	30 ft Type E Thoroughfare Buffer, Undisturbed / 50' Type E Thoroughfare Buffer, Disturbed
Minimum Setbacks**	
Front Setback***	None
Side Setback	10 ft.
Rear Setback	10 ft.
Corner Side Setback (Jenks Road)	10 ft.
Maximum Height	60 ft. (5 stories)

\* Only along Jenks Road frontage.

\*\* Notwithstanding any contrary UDO provision or language in this PUD, if the Property is subdivided, there shall be no minimum setback or buffer requirement along the future shared property line between the Residential District and the Commercial District.

\*\*\*Measured from Residential/Commercial District boundary

**COMMERCIAL DISTRICT DESIGN CONTROLS**

Proposed Land Area	Minimum 3.522 acres
Required District Boundary Buffers	
Side Buffer	20 ft. Type A
Rear Buffer	None
Front Buffer	30 ft. Type E Thoroughfare Buffer, Undisturbed / 50' Type E Thoroughfare Buffer, Disturbed
Minimum Setbacks*	
Front Setback (Jenks Road)	10 ft.
Side Setback	10 ft.
Rear Setback**	10 ft.
Corner Side Setback	10 ft.
Maximum Height	50 ft.

\*Notwithstanding any contrary UDO provision or language in this PUD, if the Property is subdivided, there shall be no minimum setback or buffer requirement along the future shared property line between the Residential District and the Commercial District.

\*\*Measured from Residential/Commercial District boundary

**LANDSCAPING, BUFFERING, AND SCREENING**

All landscaping for this PUD shall comply with Section 8.2 Landscaping, of the Town of Apex UDO. Refer to PUD Preliminary Layout Plan for perimeter and streetscape buffers. In the event that the Commercial District and Residential District are subdivided, Buffers and screening shall not be required along the shared property line between the Residential District and the Commercial District.



## **ARCHITECTURAL STANDARDS**

Arden at Summit Pines offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Elevations included are conceptual examples. Final elevations must comply with these architectural standards but may vary from the conceptual elevations. Further details shall be provided at the time of Residential Master Subdivision Plan or Site Plan submittal.

Residential areas envisioned for Arden at Summit Pines will be comprised of age restricted congregate care style units with controlled access, interior corridors and elevators. While each of the architectural offerings proposed will have their own identity, a number of common threads will link the neighborhood, including color palettes, materials, and roofing. Elevations have been included below in an effort to represent the bulk, massing, scale, and architectural style of the development.

### **RESIDENTIAL DISTRICT DESIGN GUIDELINES**

- Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
- Four of the following decorative features shall be used on each building:
  - decorative shake
  - board and batten siding
  - decorative porch rails and posts
  - shutters
  - decorative functional foundation and roof vents
  - decorative windows
  - decorative brick or stone
  - decorative gables
  - decorative cornices
  - metal roofing

### **PROPOSED RESIDENTIAL MATERIALS**

Proposed materials and styles will be of a similar palette to provide consistency of character along with visual interest. Exterior materials that may be incorporated into any of the residential building products include:

- Cementitious lap, board and batten, and/or shake and shingle siding
- Stone or synthetic stone
- Brick

## ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

Additional building materials may be included with administrative staff approval. Substitute materials shall be allowed by staff as long as they are determined by the Director of Planning and Community Development to be substantially similar.

### REPRESENTATIVE RESIDENTIAL BUILDING ELEVATIONS



## COMMERCIAL DISTRICT DESIGN GUIDELINES

- Architectural treatments such as varying roof forms, façade articulation, breaks in roof, walls with texture materials and ornamental details shall be incorporated to add visual interest.
- Large expanses of blank walls, greater than 25' in length or height, shall be broken up with windows or other architectural features to reduce visual impacts.
- Roof features may include flat roofs with parapet, hip roofs or awnings with metal or canvas material.

Windows and storefront glazing shall be divided to be either square or vertical in proportion so that each section is taller than it is wide.

## PROPOSED COMMERCIAL DISTRICT MATERIALS

Non-residential exteriors shall incorporate variation in materials. The primary (front) façade and other façades located along a public right-of-way may include:

- Brick and/or stone masonry
- Decorative concrete block (integral color or textured)
- Stone accents
- Aluminum storefronts with anodized or pre-finished colors
- EIFS cornices, and parapet trim
- EIFS or synthetic stucco shall not be used in the first four feet above grade and shall be limited to only 25% of each building façade
- Precast concrete
- Soffit and fascia materials to be considered include EIFS with crown trim elements
- Cementitious siding

Rear elevations of non-residential buildings facing opaque landscape buffers or not visible from vehicular use areas or public rights-of-way may incorporate decorative concrete masonry, metal coping, or EIFS trim.



**REPRESENTATIVE COMMERCIAL DISTRICT BUILDING ELEVATIONS**



## **PARKING AND LOADING**

Development in the Residential District shall include a minimum of 1 and a maximum of 1.5 off-street motor vehicle parking spaces per dwelling unit. Development in the Residential District shall include a minimum of 6 bicycle parking spaces. Development in the Commercial District shall comply with parking requirements in Section 8.3 of the UDO.

## **SIGNAGE**

Signage shall comply with UDO Section 8.7.

## **NATURAL RESOURCES AND ENVIRONMENTAL DATA**

### **RIVER BASINS AND WATERSHED PROTECTION OVERLAY DISTRICTS**

This project is located within the Beaver Creek and White Oak Creek Drainage Basins. Accordingly, the Property is within the Primary Watershed Protection Overlay District as shown on the Town of Apex Watershed Protection Map. This PUD will comply with all built upon area, vegetated conveyances, structural SCMs and riparian stream buffer requirements of UDO Section 6.1.7.

### **Resource Conservation Areas (RCA)**

The Development shall include a minimum of 25% RCA. RCA area shall comply with Section 8.1 of the UDO.

### **Floodplain**

The project site does not sit within a designated current or future 100 year floodplain as shown on the Town of Apex FEMA map and FIRM Panel 3720073100J, dated May 2, 2006.

### **Historic Structures**

The Property is currently vacant and there are no known historic structures present within the project boundary.

### **Environmental Commitments Summary**

The following environmental conditions shall apply to the Development:

- A minimum of two (2) educational signs about wetlands shall be installed near environmentally sensitive areas;
- A minimum of two (2) pet waste stations shall be installed within the Residential District;
- Solar conduit shall be included in Residential District building designs;

- Light sensors shall be installed on exterior lights within the Residential District; and
- Outdoor lighting within the Residential District shall be shielded in a way that focuses lighting to the ground.
- The project shall install conduit for solar energy systems for all residential and accessory buildings. These roofs shall also be engineered to support the weight of a future rooftop solar PV system.
- The project commits to planting only native plants. Landscaping shall be coordinated and approved by the Planning Department at site or subdivision review.

## STORMWATER MANAGEMENT

The Development shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO such that:

- Post development peak runoff shall not exceed pre-development peak runoff conditions for the one (1) year, ten (10) year, and Twenty-four (24)-hour storm events.
- Treatment for the first one inch (1”) of runoff will provide 85% removal of total suspended solids.

Acceptable stormwater structures shall include detention ponds, constructed wetlands, bio-retention areas, or other approved devices consistent with the NC DEQ Stormwater Design Manual and the Town of Apex UDO.

## PARKS AND RECREATION

Arden at Summit Pines was reviewed by the Parks, Recreation, and Cultural Resources Advisory Commission at its February 23, 2022 meeting. The Commission recommended the following fee-in-lieu for the project:

Number of Units*	Housing Type	Fee Per Unit**	Total Fees
160	Multifamily or Apartment	\$2226.05	\$356,168.00

\*Final unit count will be determined at the time of Master Subdivision.

\*\*Fees are based upon approval date and run with project.

## **PUBLIC FACILITIES**

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4(F)(1)(f) and shall be designed according to sound engineering standards. Road and utility infrastructure shall be as follows:

### **GENERAL ROADWAY INFRASTRUCTURE**

Except as set forth herein, all proposed roadway infrastructure and right-of-way dedications will be consistent with the Town of Apex Comprehensive Transportation Plan and Bicycle and Pedestrian System Plan in effect as of the submission date of this rezoning.

### **TRANSPORTATION IMPROVEMENTS**

The following conditions regarding transportation improvements apply and shall be completed in the first phase 1 of development:

- Jenks Road and Lowell Road / Site Drive 1
  - Construct an eastbound approach (Site Drive 1) with one ingress lane and two egress lanes, striped as a left-turn lane with at least 75 feet of storage and a shared through/right-turn lane.
  - Provide a northbound left-turn lane with at least 50 feet of storage and appropriate decel and taper.
  - Provide stop control at the eastbound approach.
- Jenks Road and Site Drive 2
  - Construct a right-in/right-out southbound approach with one ingress lane and one egress lane and a monolithic concrete median island based on NCDOT standards in the center lane of Jenks Road to prohibit left turning traffic..
  - Provide stop control at the southbound approach.
- Construct and dedicate roadway frontage widening along Jenks Road consisting of the remaining half of a four-lane divided roadway with curb and gutter and minimum 10-foot Side Path based on Apex and NCDOT standards on a minimum 110' public right-of-way typical section.
- Construct and dedicate a public street from Jenks Road at Lowell Road to the western property boundary, providing public access to the west from Jenks Road, based on a 27' curb & gutter typical section with minimum 5-foot sidewalks on both sides on a minimum 50-foot public right-of-way.

## **WATER AND SANITARY SEWER**

All lots within the project will be served by Town of Apex for water and sanitary sewer. The utility design will be finalized at the time of Master Subdivision Plan or Site Plan approval and be based on available facilities adjacent to the site at that time. The design will meet the current Town of Apex master plans for water and sewer.

## **OTHER UTILITIES**

Electricity will be provided by Apex Electric. Phone, cable, and gas will provided by the Developer and shall meet UDO standards.

## **PHASING**

The Development will be completed in up to three phases. Final locations of phases will be determined at the time of Master Subdivision Plan Review and Approval. Provided, however that the Development may be completed in more than three phases or less than three phases.

## **CONSISTENCY WITH LAND USE PLAN**

The proposed land use will be consistent with Advance Apex 2045: The Apex Comprehensive Plan, adopted in February 2019, upon approval of this PUD. The Future Land Use Map designates the Property as Office Employment/Commercial Services and this PUD updates the designation to Office Employment/Commercial Services/High Density Residential.

## **COMPLIANCE WITH UDO**

The development standards adopted for this PUD are in compliance with those set forth in the current version of the Town's Unified Development Ordinance (UDO). This PUD shall be the primary governing document for the development of Arden at Summit Pines. All standards and regulations in this PUD shall control over general standards of the UDO. Provided, however, that if a specific regulation is not addressed in this PUD, UDO regulations shall control.



**SITE DATA:**

PIN: 0722577336  
 PROPERTY OWNER: R. MICHAEL STRICKLAND, TRUSTEE OF FAMILY TRUST(WILL OF C H YOUNG JR)  
 TOTAL ACRES: 11.74 AC  
 CURRENT ZONING: RR  
 PROPOSED ZONING: PUD-CZ  
 ROW DEDICATION: 32,325 SF / 0.74 AC  
 GROSS SITE AREA: 511,581 SF / 11.74 AC  
 RCA REQUIRED: 511,581 SF X 25% = 127,895.25 SF  
 RCA PROVIDED: 127,940 SF (25.01%)  
 MAXIMUM RESIDENTIAL LAND AREA: 6.87 AC  
 MAXIMUM RESIDENTIAL DENSITY: 160 UNITS  
 MINIMUM RESIDENTIAL SETBACKS:  
 FRONT\* NONE  
 SIDE 10 FT  
 REAR 10 FT  
 CORNER (JENKS ROAD) 10 FT  
 MAXIMUM RESIDENTIAL BUILDING HEIGHT: 60 FT (5 STORIES)  
 MINIMUM COMMERCIAL LAND AREA: 3.52 AC  
 MINIMUM COMMERCIAL SETBACKS:  
 FRONT (JENKS ROAD) 10 FT  
 SIDE 10 FT  
 REAR\* 10 FT  
 CORNER 10 FT  
 MAXIMUM COMMERCIAL BUILDING HEIGHT: 50 FT  
 \* MEASURED FROM RESIDENTIAL/COMMERCIAL DISTRICT BOUNDARY  
 CURRENT 2045 LAND USE MAP DESIGNATION: OFFICE EMPLOYMENT COMMERCIAL SERVICES  
 PROPOSED 2045 LAND USE MAP DESIGNATION: OFFICE EMPLOYMENT COMMERCIAL SERVICES HIGH DENSITY RESIDENTIAL  
 AREA DESIGNATED AS MIXED USE ON 2045 LUM: NONE  
 AREA OF MIXED USE PROPERTY PROPOSED AS NON-RESIDENTIAL DEVELOPMENT: 37.5%  
 MAXIMUM BUILT UPON AREA: 8.22 AC (70%)  
 PROPOSED BUILT UPON AREA: 8.22 AC (70%)  
 REQUIRED RESIDENTIAL PARKING SPACES: 1 PER DWELLING UNIT (MINIMUM)  
 REQUIRED NON-RESIDENTIAL PARKING SPACES: 1.5 PER DWELLING UNIT (MAXIMUM) SHALL COMPLY WITH UDO SECTION 8.3  
 REQUIRED BICYCLE PARKING: SHALL COMPLY WITH UDO SECTION 8.3  
 WATERSHED PROTECTION OVERLAY DISTRICT: PRIMARY  
 FEMA FLOODPLAIN: ZONE X  
 MAP NO. 3720072200J EFFECTIVE 5/2/2006  
 HISTORIC STRUCTURES: NONE  
 GRADING: MASS GRADING

# ARDEN AT SUMMIT PINES PLANNED UNIT DEVELOPMENT

**TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA**

**1/3/2022**

**REVISED: 04/27/2022**

**PREPARED FOR:  
 OWNER/DEVELOPER  
 FC APEX, LLC**

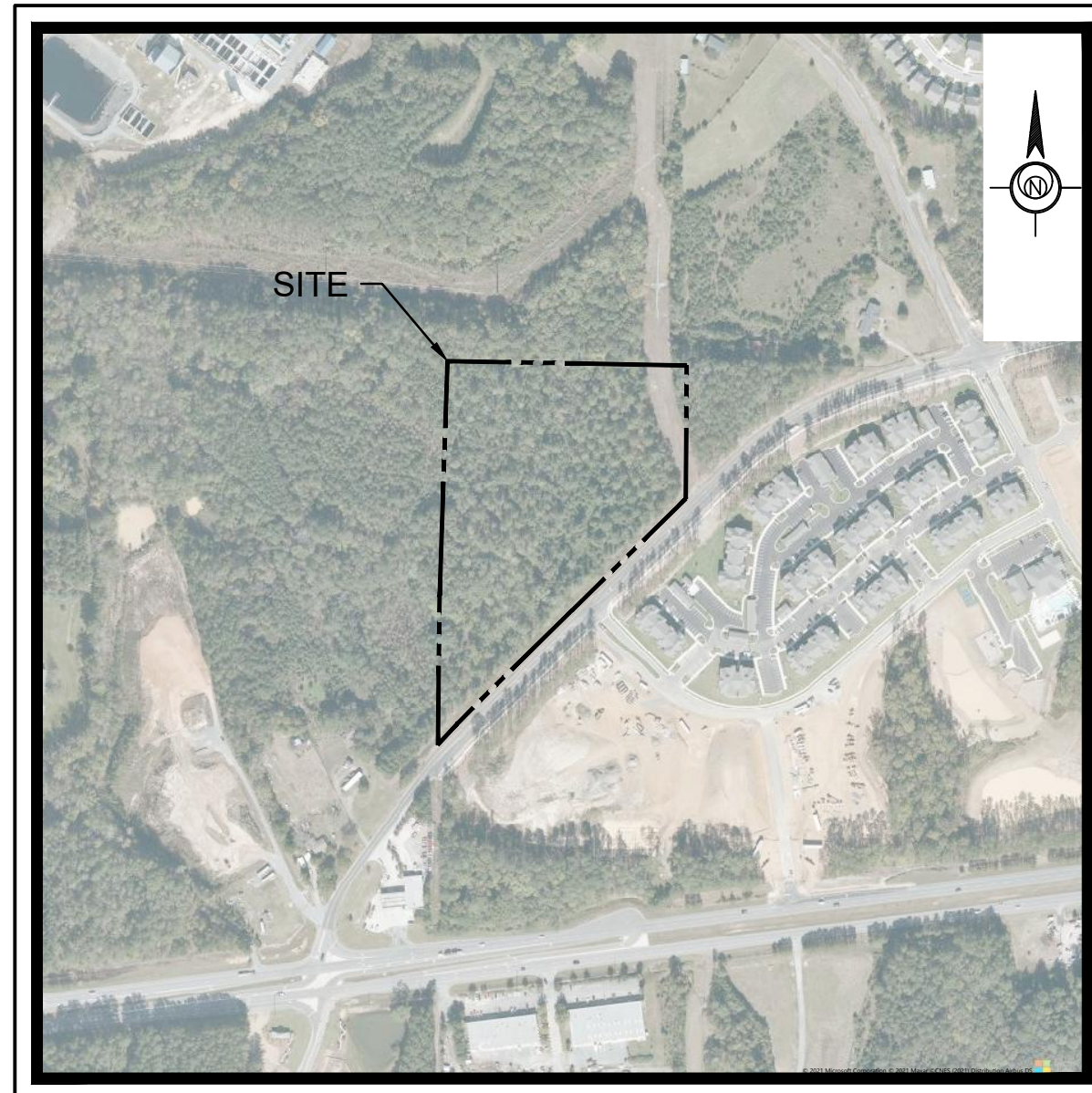
**7315 WISCONSIN AVE., SUITE 925W  
 BETHESDA, MD 20814**

Sheet List Table	
Sheet Number	Sheet Title
CS0001	COVER SHEET
CS0201	EXISTING CONDITIONS
CS1001	PRELIMINARY SITE PLAN
CS1002	PHASING PLAN
CS1701	PRELIMINARY UTILITY PLAN
CS1702	PRELIMINARY STORMWATER MANAGEMENT PLAN

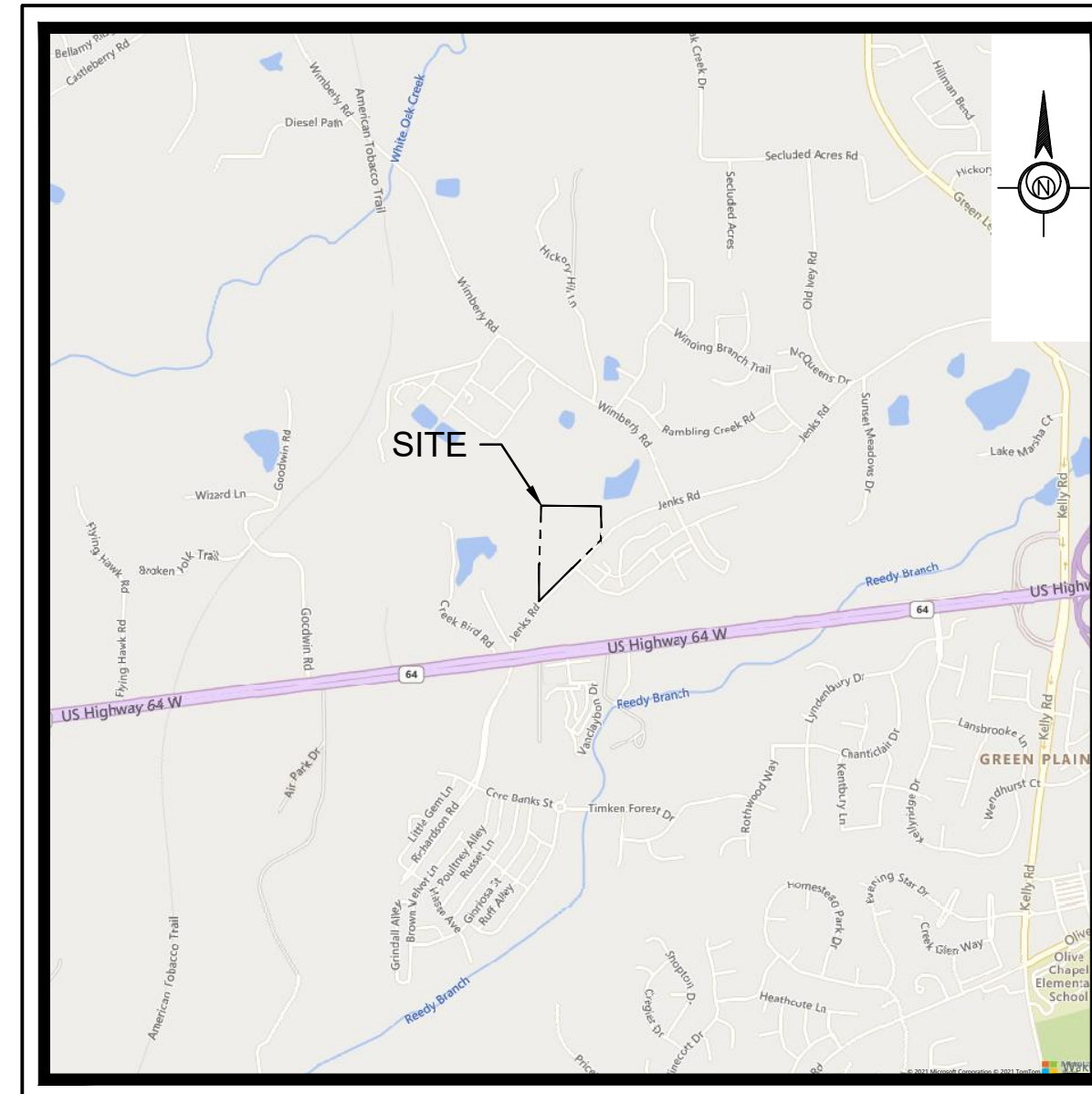


**CONTACTS**

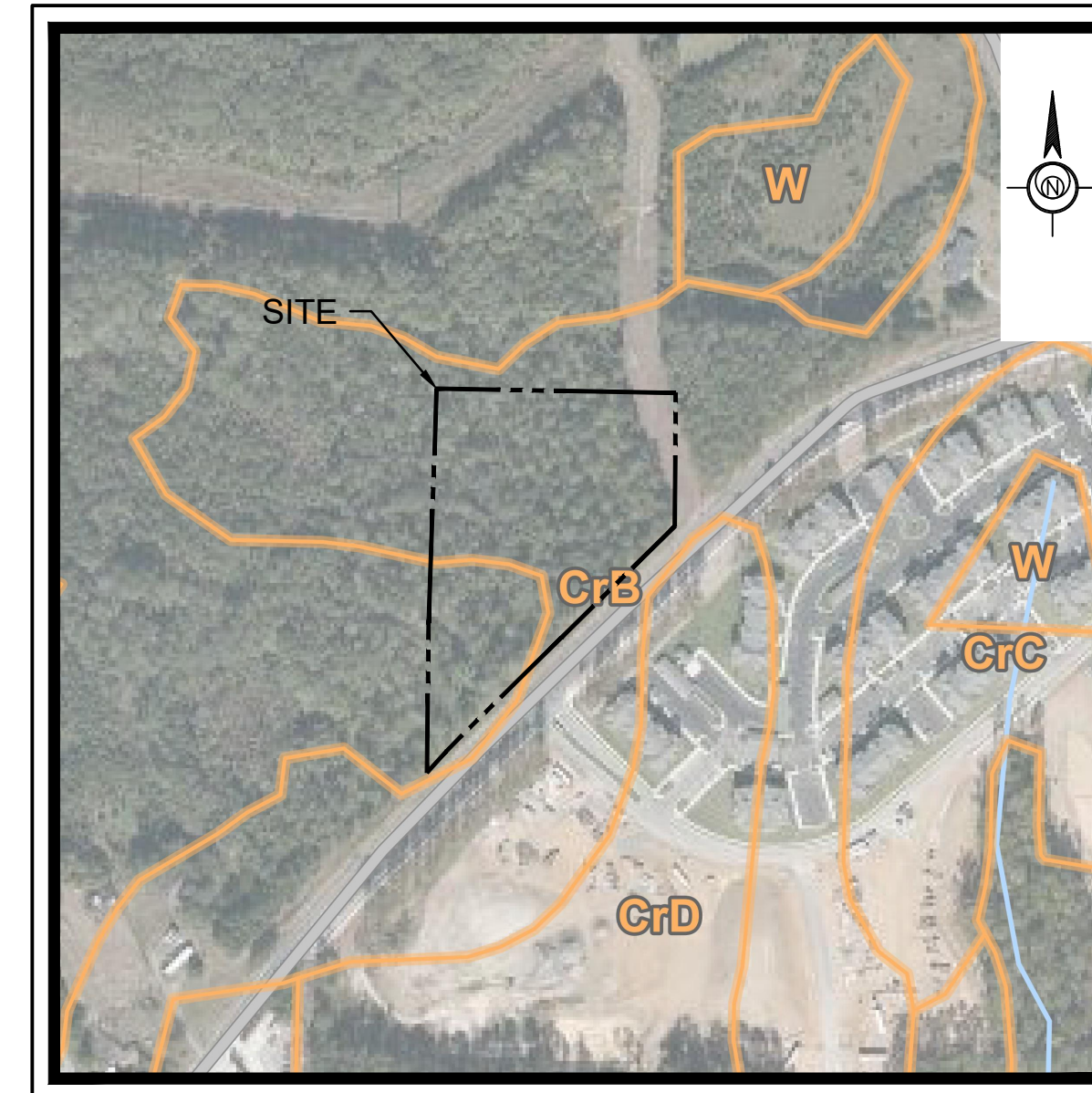
DEVELOPER: FC APEX, LLC  
 7315 WISCONSIN AVE., SUITE 925W  
 BETHESDA, MD 20814  
 PHONE: (301) 654-8801  
 ATTN: KEVIN WOODLEY  
 kwoodley@buvermo.com  
 CIVIL ENGINEER: ESE OF NORTH CAROLINA, PC  
 5400 TRINITY ROAD, SUITE 204  
 RALEIGH, NC 27607  
 PHONE: (704) 497-0983  
 ATTN: SCOTT KRUSELL, PE  
 skrusell@eseconsultants.com



**AERIAL MAP**  
 1" = 500'



**LOCATION MAP**  
 1" = 2000'



**SOILS MAP**  
 1" = 500'

**PREPARED BY:**

# ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE of North Carolina, PC  
 5400 Trinity Road • Suite 204  
 Raleigh, NC 27607  
 T: 919-321-4800  
 License # C-2973

REV	DATE	DESCRIPTION
4	04/27/2022	REVS PER TOWN COMMENTS
3	04/19/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

**COVER SHEET**  
 ARDEN AT SUMMIT PINES  
 PLANNED UNIT DEVELOPMENT  
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: N.T.S.
DESIGN: BM	DRAWN: KNB
JOB NO.: 21284	FILE NAME: BLUVERMO
SHEET NO.: CS0001	

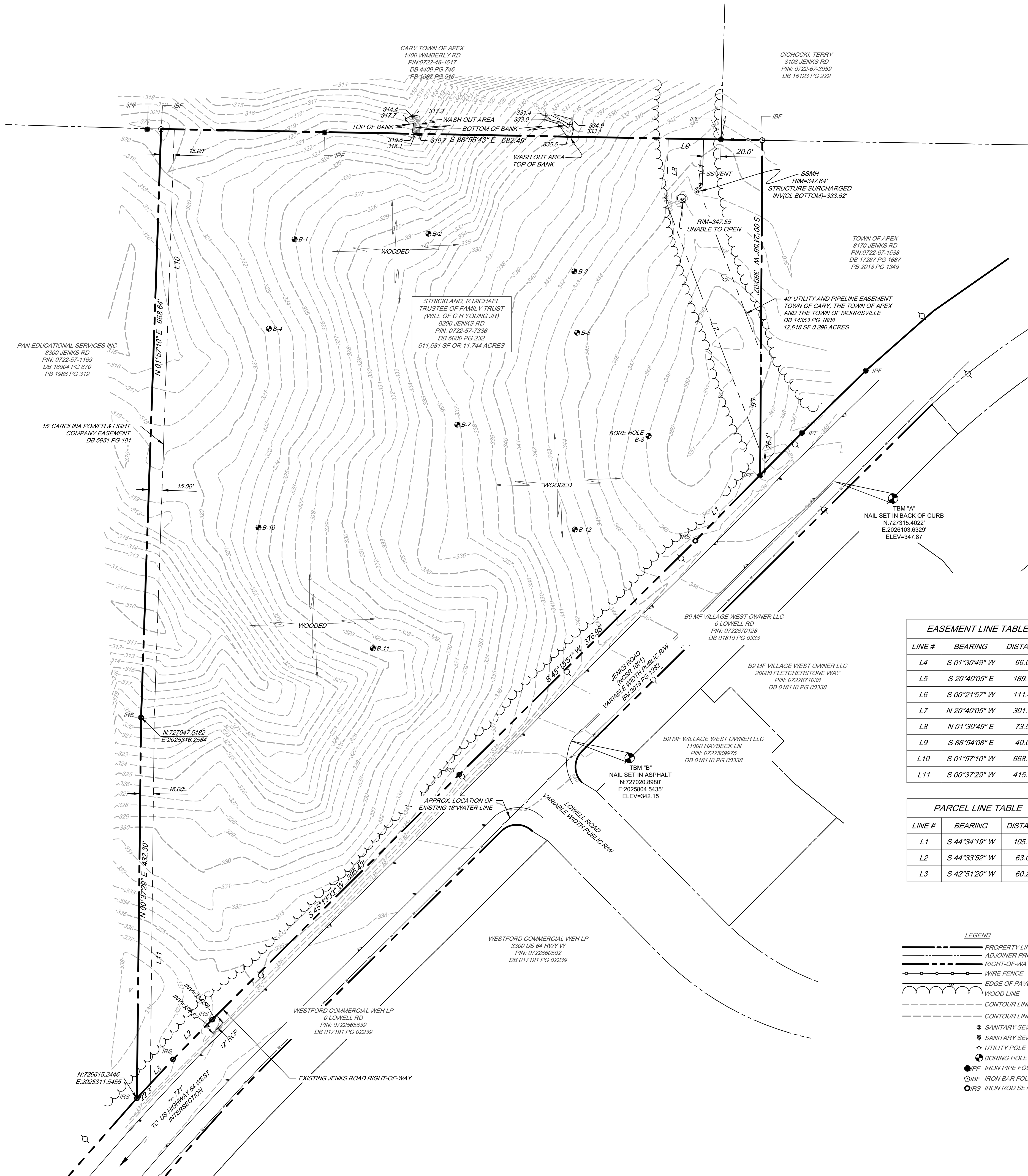


Know what's below.  
 Call before you dig.



**NOTES:**

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY PENNONI ASSOCIATES INC. DATED 9/27/21.
- THE SUBJECT PROPERTY IS LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
- THIS SITE IS NOT LOCATED IN THE 100-YEAR FLOODPLAIN PER FEMA FIRM PANEL 372007220J EFFECTIVE 5/02/2006.
- BASED UPON A JURISDICTIONAL DETERMINATION REQUEST, FILED WITH USAGE ON 9/08/21 AND CONCURRENCE EMAIL ON 09/13/21 BY LYLE PHILLIPS OF USAGE, STREAMS AND WETLANDS WERE NOT IDENTIFIED DURING THE DELINEATION (SAW-2021-01939).
- PROPEY DESCRIPTIONS SOUTH OF JENKS ROAD BASED ON WAKE COUNTY IMAPS DATA.



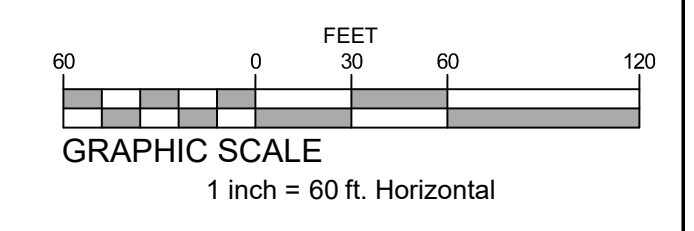
**EASEMENT LINE TABLE**

LINE #	BEARING	DISTANCE
L4	S 01°30'49" W	66.02'
L5	S 20°40'05" E	189.73'
L6	S 00°21'57" W	111.45'
L7	N 20°40'05" W	301.59'
L8	N 01°30'49" E	73.57'
L9	S 88°54'08" E	40.00'
L10	S 01°57'10" W	668.70'
L11	S 00°37'29" W	415.60'

**PARCEL LINE TABLE**

LINE #	BEARING	DISTANCE
L1	S 44°34'19" W	105.01'
L2	S 44°33'52" W	63.09'
L3	S 42°51'20" W	60.24'

- LEGEND**
- PROPERTY LINE
  - - - ADJOINER PROPERTY LINE
  - - - RIGHT-OF-WAY LINE
  - - - WIRE FENCE
  - - - EDGE OF PAVEMENT
  - - - WOOD LINE
  - - - CONTOUR LINE MINOR
  - - - CONTOUR LINE MAJOR
  - SANITARY SEWER MANHOLE
  - ▽ SANITARY SEWER VENT
  - UTILITY POLE
  - BORING HOLE
  - IPF IRON PIPE FOUND
  - IBF IRON BAR FOUND
  - IRS IRON ROD SET



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 5400 RAINBOW BLVD, SUITE 204  
 RALEIGH, NC 27609  
 TEL: 919-321-4800  
 License # C-2973

REV.	DATE	DESCRIPTION
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3	04/09/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

**EXISTING CONDITIONS**

**ARDEN AT SUMMIT PINES**  
 PLANNED UNIT DEVELOPMENT  
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: 1" = 60'
DESIGN: BM	DRAWN: KNB
JOB NO.: 21284	FILE NAME: BLUVERMO
SHEET NO.: CS0201	

Apr 27, 2022 - 8:20 am N:\Projects\North Carolina\21284-0200 Arden at Summit Pines\Drawings\21284-0200-0101.dwg 9/16/2021



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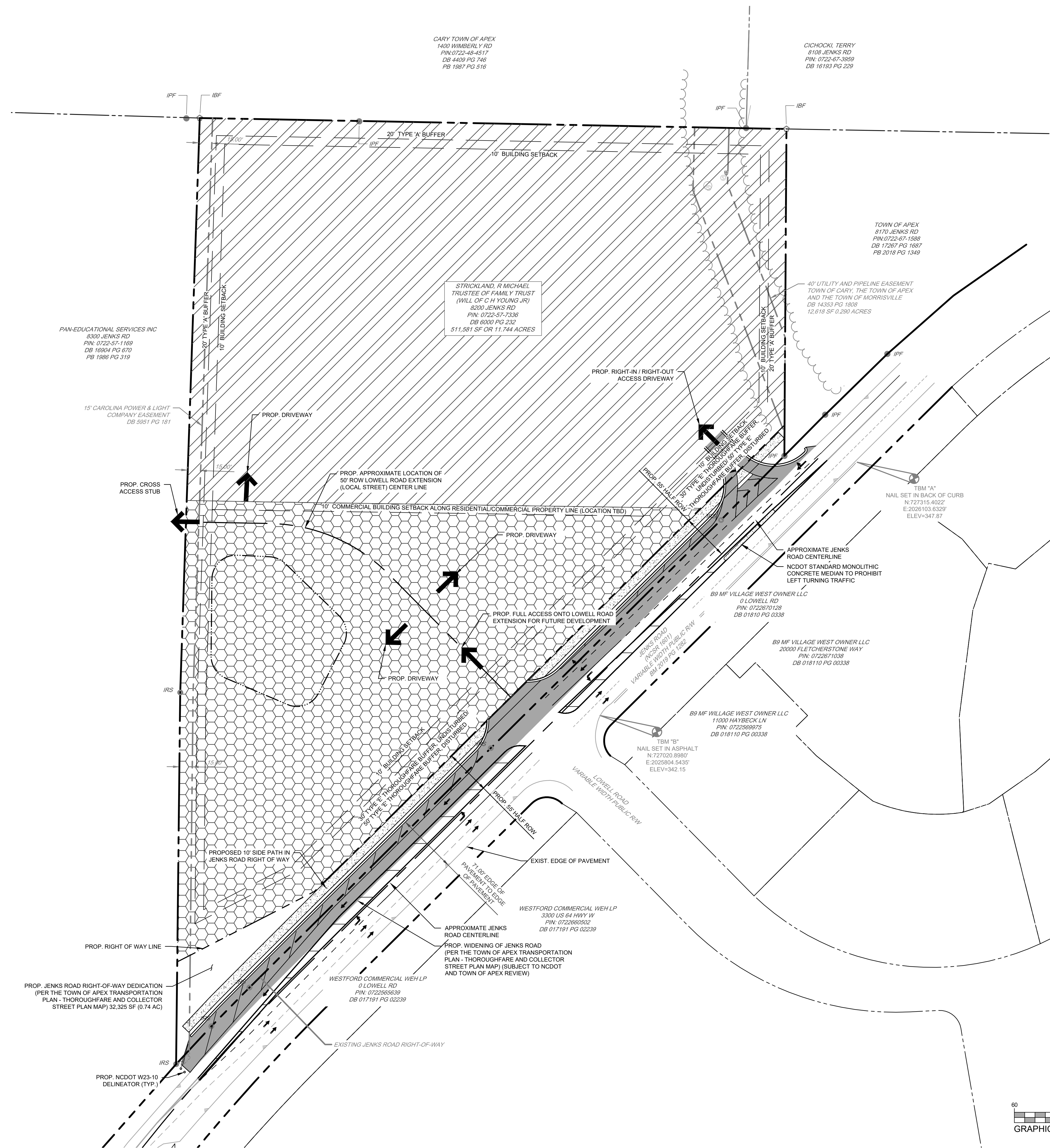


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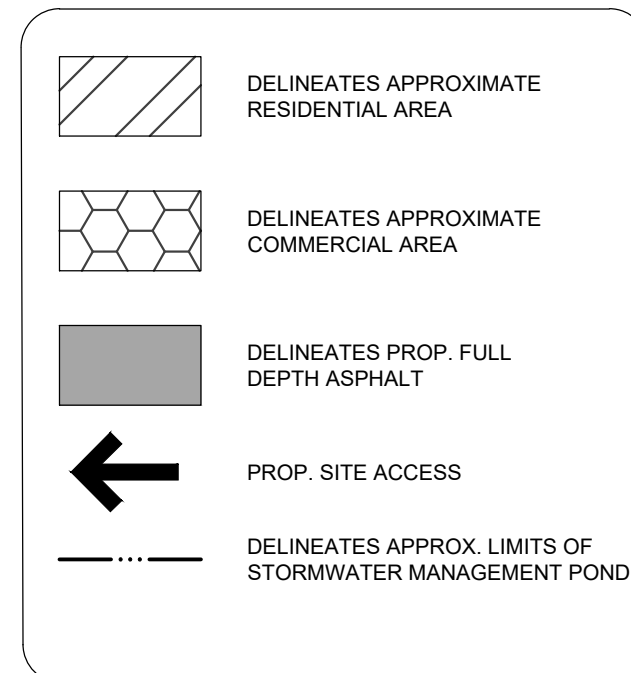
ESE of North Carolina, PC  
 5400 North Pointe Drive 204  
 Raleigh, NC 27660  
 Tel: 919-371-4800  
 License # C-2973

**NOTES:**

- REFER TO THE PUD DOCUMENT (SECTION PERMITTED USES) FOR A COMPLETE LIST OF ALLOWABLE USES FOR EACH TRACT OR DEVELOPMENT AREA.
- PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICE. SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS ETC.) SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDINGS WITHIN THAT PHASE.
- NO SIGNS ARE APPROVED AS PART OF PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED. MULTIPLE USE LOTS, NON-RESIDENTIAL SUBDIVISIONS, AND MULTIPLE TENANT LOTS MUST SUBMIT A MASTER SIGN PLAN FOR APPROVAL.
- THE FINAL WIDTH OF THE BUFFERS SHALL MEET THE TOWN OF APEX DEVELOPMENT STANDARDS (SEC. 8.2.6 OF THE UDO).
- PROVIDE 5' MINIMUM PEDESTRIAN CONNECTION BETWEEN THE INTERNAL PUD PEDESTRIAN NETWORK.
- SHOWN JENKS ROADWAY IMPROVEMENTS ARE PRELIMINARY. FINAL IMPROVEMENTS TO BE REVIEWED AND APPROVED BY NCDOT AND TOWN OF APEX.
- PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.



**LEGEND**



REV	DATE	DESCRIPTION
4	04/27/2022	REVS PER TOWN COMMENTS
3	04/09/2022	REVS PER TOWN COMMENTS
2	03/11/2022	REVS PER TOWN COMMENTS
1	02/11/2022	REVS PER TOWN COMMENTS

**PRELIMINARY SITE PLAN**  
**ARDEN AT SUMMIT PINES**  
 PLANNED UNIT DEVELOPMENT  
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: 1" = 60'
DESIGN: BM	DRAWN: KNB
JOB NO.: 21284	FILE NAME: BLUVERMO
SHEET NO.: CS1001	

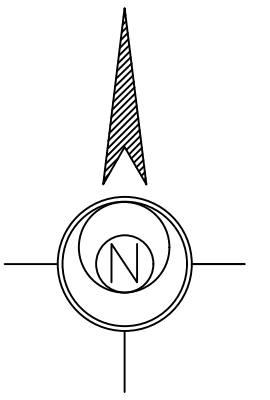






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 Raleigh, NC 27606  
 T: 919-321-4800  
 License # C-2973



**PHASING NOTES:**

**OFF-SITE ROADWAY IMPROVEMENTS:**

1. A TRAFFIC IMPACT ANALYSIS (TIA) FOR THE ENTIRE DEVELOPMENT IS UNDER REVIEW BY THE TOWN OF APEX AND THE NCDOT. RECOMMENDATIONS FOR ACCESS AND ROADWAY IMPROVEMENTS REQUIRED TO SUPPORT THE ENTIRETY OF THE PROPOSED DEVELOPMENT PROGRAM ARE INCLUDED IN THE TIA.
2. AGREED UPON ACCESS AND ROADWAY IMPROVEMENTS NECESSARY TO SUPPORT EACH DEVELOPMENT TRACT, MUST BE IN PLACE PRIOR TO THE INITIAL CERTIFICATE OF OCCUPANCY (CO) FOR EACH RESPECTIVE PHASE OR TRACT ASSOCIATED WITH THOSE IMPROVEMENTS UNLESS AN ALTERNATE TRIP THRESHOLD ANALYSIS IS PROVIDED. ALL PHASING IMPROVEMENTS ARE SUBJECT TO FINAL APPROVAL FROM NCDOT.

**PHASING OF UTILITY INFRASTRUCTURE IMPROVEMENTS:**

1. SANITARY SEWER SERVICE WILL BE STUBBED FROM THE OFF-SITE INTERCEPTOR AND WILL BE DISTRIBUTED THROUGHOUT THE DEVELOPMENT BASED ON THE FINAL UTILITY PLAN.
2. WATER SERVICE WILL BE INSTALLED ALONG LOWELL ROAD EXTENSION AT SUCH TIME THAT WATER FLOWS REQUIRE THE SUBJECT INFRASTRUCTURE.

**PHASING OF RESOURCE CONSERVATION AREAS (RCA):** RCA AREAS ASSOCIATED WITH THE DEVELOPMENT PARCELS WILL BE DEFINED AND PLATTED AS REQUIRED IN SECTION 8.1 OF THE UDO AND AS PROVIDED FOR WITHIN THE PUD.

1. REQUIRED LANDSCAPING, BUFFERING, AND SCREENING ASSOCIATED WITH THE OVERALL PUD WILL BE PROVIDED IN CONJUNCTION WITH THE SUBDIVISION OF EACH INDIVIDUAL DEVELOPMENT TRACT SUCH THAT CUMULATIVELY, THE TOTAL AMOUNT OF RCA FOR THE PUD WILL EQUAL TO OR GREATER THAN 25% AT BUILD-OUT.
2. RCA AREAS ASSOCIATED WITH THE PERIMETER PROPERTY BOUNDARIES OF THE PROJECT WILL BE ESTABLISHED, AND PLATTED WITH THE FIRST SUBDIVISION OR SITE PLAN APPLICATIONS.
3. RCA FOR DEDICATED OPEN SPACE SHALL BE DELINEATED AND PLATTED IN CONJUNCTION WITH THE FIRST SUBDIVISION OR SITE PLAN APPLICATION.

**PHASING OF STREETScape IMPROVEMENTS:** LANDSCAPING AND SIDEWALKS ASSOCIATED WITH REQUIRED STREETScape IMPROVEMENTS SHALL BE INSTALLED ALONG, AND LIMITED TO, THE FRONTAGE OF EACH DEVELOPMENT TRACT ADJACENT TO JENKS ROAD IN CONJUNCTION WITH EACH RESPECTIVE SUBDIVISION OR SITE PLAN APPLICATION.

**PHASING OF BUFFER PLANTINGS:** BUFFER PLANTINGS, WHERE REQUIRED, SHALL BE PLANTED IN CONJUNCTION WITH, AND LIMITED TO THE DEVELOPMENT TRACT FRONTAGE, FOR EACH APPROVED SUBDIVISION OR SITE PLAN APPLICATION.

**PHASING OF ROADWAY IMPROVEMENTS:** A TRAFFIC IMPACT ANALYSIS (TIA) FOR THE ENTIRE DEVELOPMENT IS IN REVIEW BY THE TOWN OF APEX AND THE NCDOT. RECOMMENDATIONS FOR ACCESS AND ROADWAY IMPROVEMENTS REQUIRED TO SUPPORT THE ENTIRETY OF THE PROPOSED DEVELOPMENT PROGRAMS ARE INCLUDED IN THE TIA.

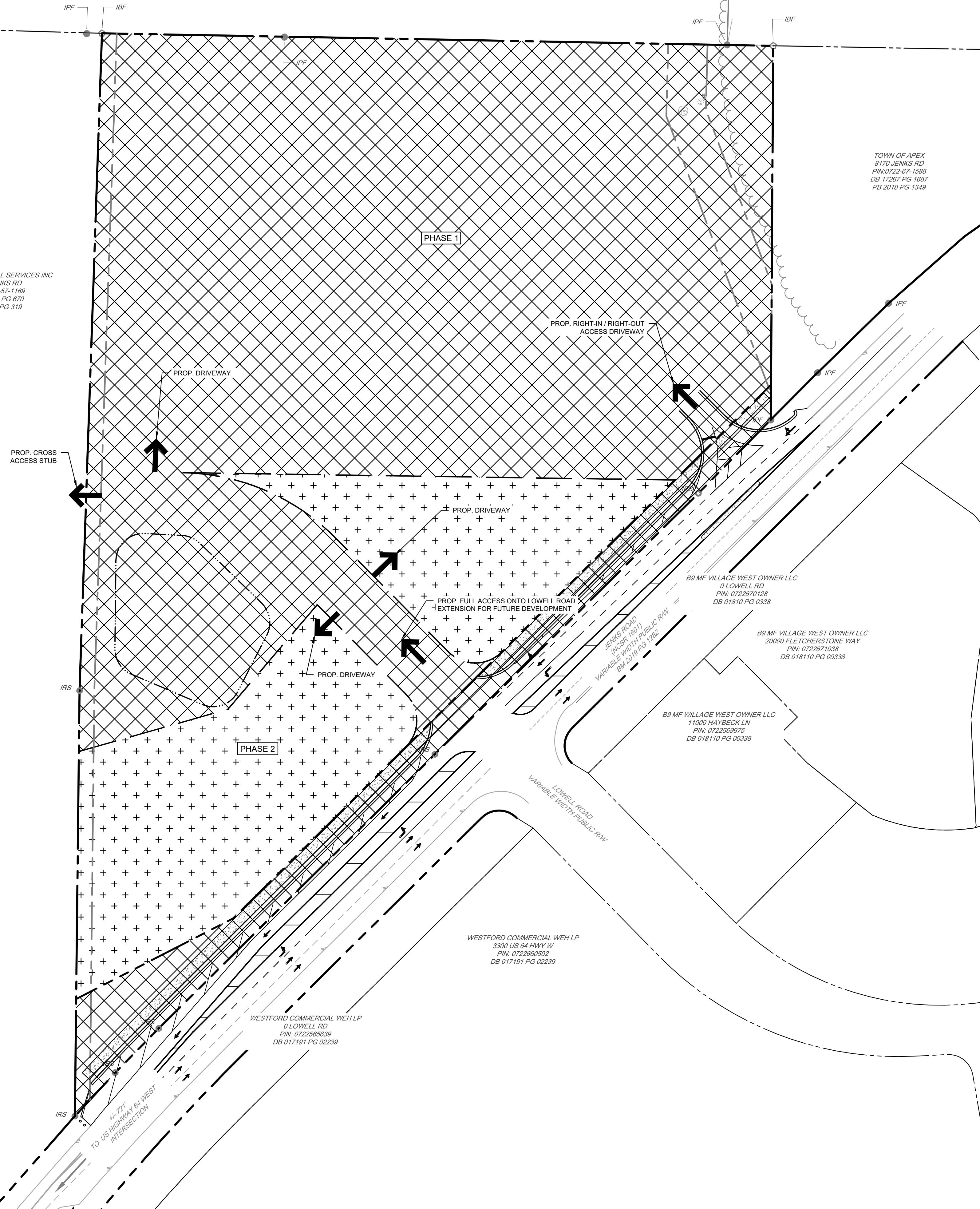
VARIOUS PORTIONS OF THE COMMITTED IMPROVEMENTS MAY BE REQUIRED TO ADEQUATELY SERVE NEW DEVELOPMENT AS IT COMES ON LINE AND PRIOR TO TOTAL PROJECT BUILD-OUT. EACH SITE PLAN APPLICATION WITHIN THE PUD SHALL BE REQUIRED TO SUBMIT A TRANSPORTATION MEMO, WITH REFERENCE TO THE APPROVED TIA, FOR REVIEW BY THE TOWN OF APEX, AND DETERMINATION AS TO THE APPROPRIATE ROADWAY IMPROVEMENTS NEEDED TO SERVE THE USE AND INTENSITY OF DEVELOPMENT PROPOSED AT THAT TIME, AS WELL AS DEVELOPMENT ALREADY IN PLACE WITHIN THE PUD, FOR EACH SUBSEQUENT SITE PLAN APPLICATION UNTIL FULL IMPLEMENTATION OF REQUIRED IMPROVEMENTS. AGREED UPON IMPROVEMENTS MUST BE IN PLACE PRIOR TO INITIAL CERTIFICATE OF OCCUPANCY FOR EACH RESPECTIVE PHASE OR TRACT ASSOCIATED WITH THOSE IMPROVEMENTS UNLESS AN ALTERNATE TRIP ANALYSIS IS PROVIDED. ALL PHASING IMPROVEMENTS ARE SUBJECT TO FINAL APPROVAL FROM NCDOT.

PAN-EDUCATIONAL SERVICES INC  
 4300 JENKS RD  
 PIN: 0722-57-1169  
 DB 16904 PG 670  
 PB 1986 PG 319

CARY TOWN OF APEX  
 1400 WIMBERLY RD  
 PIN: 0722-48-4517  
 DB 4409 PG 746  
 PB 1987 PG 516

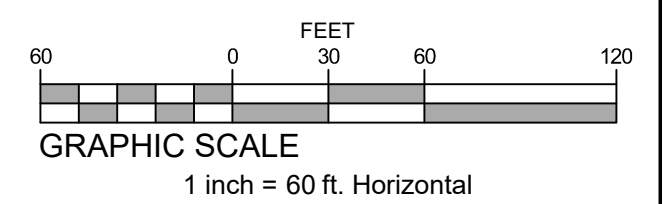
CICHOCKI TERRY  
 8108 JENKS RD  
 PIN: 0722-67-3959  
 DB 16183 PG 229

TOWN OF APEX  
 8170 JENKS RD  
 PIN: 0722-67-1598  
 DB 17267 PG 1687  
 PB 2018 PG 1349



**LEGEND**

- DELINEATES PHASE 1
- DELINEATES PHASE 2
- PROP. SITE ACCESS
- DELINEATES APPROX. LIMITS OF STORMWATER MANAGEMENT POND



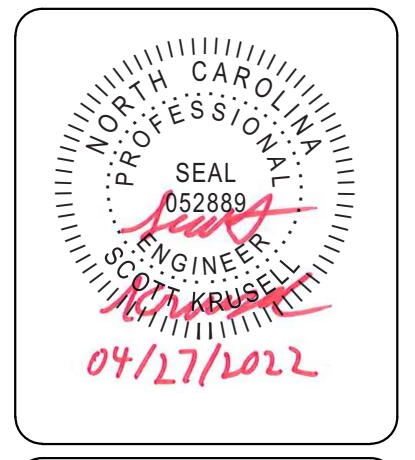
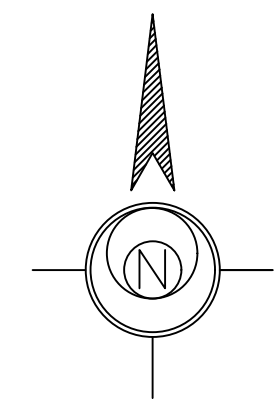
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3	04/09/2022	REVS PER TOWN COMMENTS	SAK
2	03/11/2022	REVS PER TOWN COMMENTS	SAK
1	02/11/2022	REVS PER TOWN COMMENTS	SAK

**PHASING PLAN**  
 ARDEN AT SUMMIT PINES  
 PLANNED UNIT DEVELOPMENT  
 TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

DATE: 1/3/2022	SCALE: 1" = 60'
DESIGN: BM	DRAWN: KNB
JOB NO.: 21264	FILE NAME: BLUVERMO
SHEET NO.: CS1002	

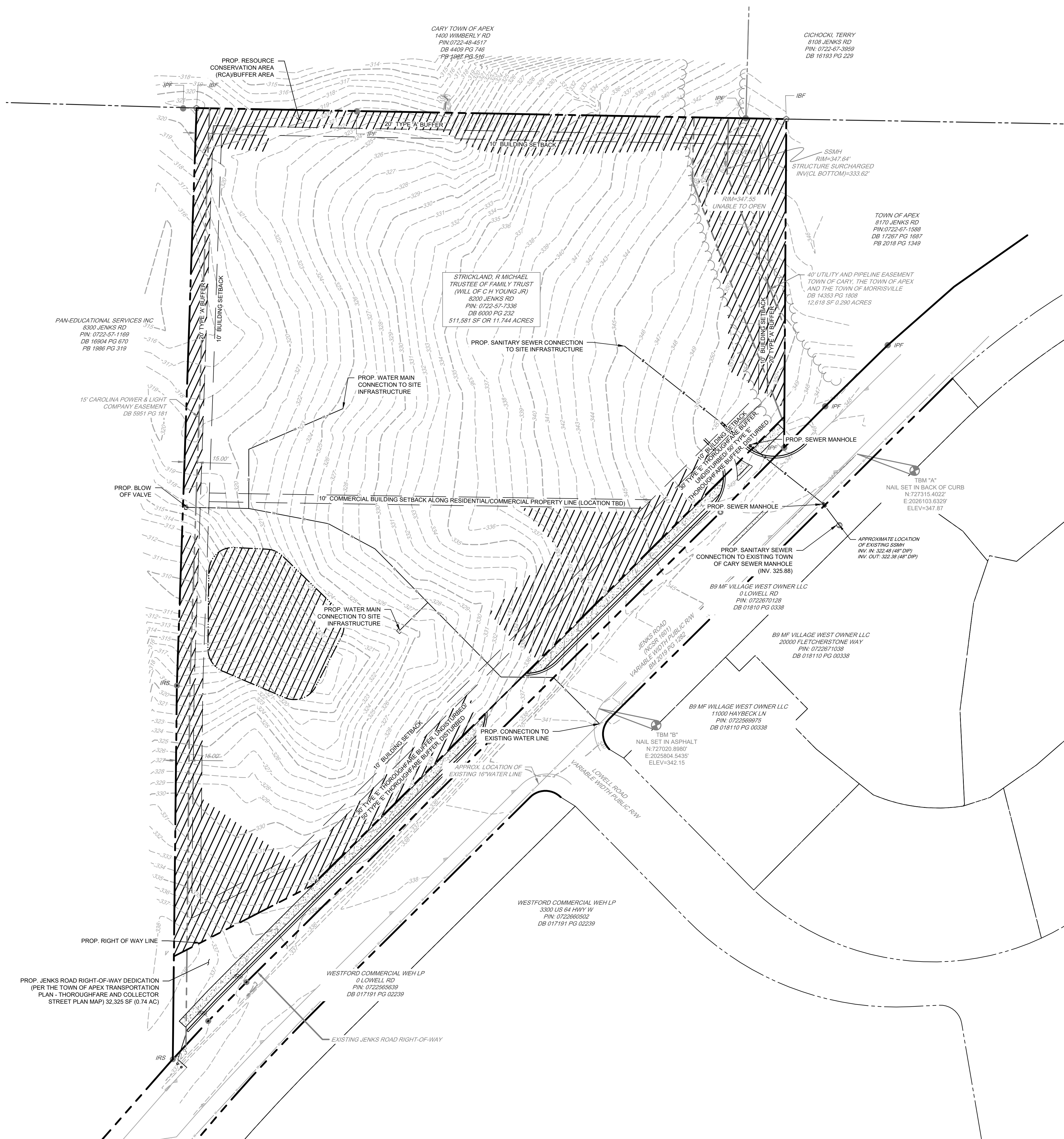






**UTILITY NOTES:**

1. WATER AND SEWER UTILITY MAINS WILL BE OWNED BY THE TOWN OF APEX.
2. UTILITY LAYOUT FOR WATER AND SEWER IS CONCEPTUAL. FINAL DESIGN WILL BE DETERMINED IN CONJUNCTION WITH THE OVERALL DEVELOPMENT PLAN AND DESIGNED PER THE TOWN OF APEX STANDARDS AND SPECIFICATIONS.
3. WATER SERVICE WILL BE STUBBED AT THE PROPERTY LINE FROM LOWELL ROAD EXTENSION.
4. SANITARY SEWER SERVICE WILL BE STUBBED FROM THE ON-SITE INTERCEPTOR AND WILL BE DISTRIBUTED THROUGHOUT THE DEVELOPMENT BASED ON THE FINAL UTILITY PLAN.
5. CONTACT RODNEY SMITH, TOWN OF APEX ELECTRIC UTILITIES DIVISION, AT 362-8166 FOR ELECTRIC SERVICE (TEMPORARY AND PERMANENT).
6. ALL UTILITY EASEMENTS SHALL BE PROVIDED AS NECESSARY. DELINEATIONS WILL BE DETERMINED WITH FINAL DESIGN AT SITE PLAN STAGE.
7. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY PENNONI ASSOCIATES INC. DATED 9/27/21.



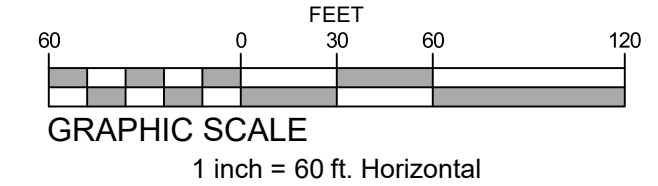
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 5400 University Center  
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PRELIMINARY UTILITY PLAN  
 ARDEN AT SUMMIT PINES  
 PLANNED UNIT DEVELOPMENT  
 8200 JENKS ROAD

DATE:	1/3/2022	SCALE:	1" = 60'
DESIGN:	BM	DRAWN:	KNB
JOB NO.:	21284	FILE NAME:	BLUVERMO
SHEET NO.:	CS1701		



Apr 27, 2022 - 10:39 am - N:\Projects\North Carolina\21284-2200 - Jenks Road (Blueremo Intersectments)\02\Drawings\02\21284-0206 - Jenks Road.dwg 200% (2)



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