



The Preserve at  
White Oak Creek

Sunnybrook  
Farms

Caitlin Pond

Rezoning #21CZ09



## PLANNED UNIT DEVELOPMENT APPLICATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Application #: 21CZ09 Submittal Date: 4/1/2021  
Fee Paid: \$ 1653.00 & \$500.00 for TIA Check #: 25316 for PUD & 25281 for TIA

## PETITION TO AMEND THE OFFICIAL ZONING DISTRICT MAP

Project Name: Alderwood  
Address(es): 1533 Wimberly Rd, 8016 Jenks Rd, 8000 Jenks Rd, 7912 Jenks Rd  
PIN(s): 0722687241, 0722780191, 0722784193, 0722788252

\_\_\_\_\_ Acreage: 15.30 acres  
Current Zoning: RR Proposed Zoning: PUD-CZ

Current 2045 LUM Designation: Mixed Use - High density, Office Employment, Commercial Services  
Requested 2045 LUM Designation: Mixed Use - Medium/High Density, Office Employment, Commercial Services  
See next page for LUM amendment

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use:	Acreage:	<u>14.86</u>
Area proposed as non-residential development:	Acreage:	<u>4.46ac</u>
Percent of mixed use area proposed as non-residential:	Percent:	<u>30%</u>

## Applicant Information

Name: McAdams - Jessie Hardesty  
Address: 2905 Meridian Pkwy  
City: Durham State: NC Zip: 27701  
Phone: 919-361-5000 E-mail: hardesty@mcadamsco.com

## Owner Information

Name: See next sheet for list of owners.  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

## Agent Information

Name: Taylor Morrison - Mark Altman  
Address: 15501 Weston Parkway Suite 100  
City: Cary State: NC Zip: 27513  
Phone: 984-269-4570 E-mail: maltman@taylormorrison.com

Other contacts: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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PROPERTY OWNERS

PIN	Owner	Address	City and State
722687241	HINESLEY, TRISHA S HINESLEY, RICHARD L	4070 RANEY WAY DR	STEM NC 27581-9651
722780191	KIRKPATRICK, TERESA L	591 BENT OAK TRL	CONCORD NC 28027-9715
722784193	LEWIS, CHARLES KENNETH LEWIS, FRANCES J	323 SCENIC MOUNTAIN DR	SPARTA NC 28675-9434
722788252	CLEARY, MICHAEL DUANE CLEARY, ALISON N	7912 JENKS RD	APEX NC 27523-7821

**PLANNED UNIT DEVELOPMENT APPLICATION**

Application #: 21CZ09

Submittal Date: 4/1/2021

**2045 LAND USE MAP AMENDMENT (if applicable)**

The applicant does hereby respectfully request the Town Council amend the 2045 Land Use Map. In support of this request, the following facts are shown:

The area sought to be amended on the 2045 Land Use Map is located at:

The property is located on the northeast corner of Wimberly Rd and Jenks Rd with PINs 0722687241, 0722780191, 0722784193, and 0722788252.

Current 2045 Land Use Classification: Mixed Use - High density, Office Employment, Commercial Services

Proposed 2045 Land Use Classification: Mixed Use - Medium/High Density, Office Employment, Commercial Services

What conditions justify the passage of the amendment to the 2045 Land Use Map? Discuss the existing use classifications of the subject area in addition to the adjacent land use classifications.

A Future Land Use Map Amendment is requested for the residential element of the mixed use designation on the corner of Wimberly Rd and Jenks Rd. The 2045 Land Use Map calls for the residential density on the subject parcels to be high density, or over 14 dwelling units per acre. The request is to reduce this to a Medium/High Density, allowing 7 to 14 dwelling units per acre. This site has unique constraints including a gas easement cutting through the eastern portion of the property, utility easements fronting Jenks Rd, and wetlands located on site. When considering appropriate layout of non-residential and residential land and working with site constraints, achieving over 14 dwelling units per acres is not possible while also keeping with the character of the neighborhood and surrounding properties. As shown in the PUD plans and text, the vision of this development is a townhome community with walkable park space and office or retail uses.

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**CERTIFIED LIST OF NEIGHBORING PROPERTY OWNERS**

Application #: 21CZ09

Submittal Date: April 1, 2021

Provide a certified list of property owners subject to this application and all property owners within 300' of the subject property and HOA Contacts.

	Owner's Name	PIN
1.	See attached list.	
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

I, Jessie Hardesty, certify that this is an accurate listing of all property owners and property owners within 300' of the subject property.

Date: March 25, 2021

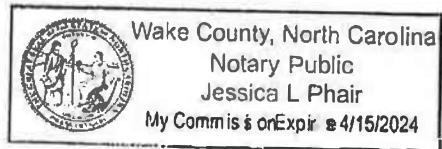
By: Jessie Hardesty

COUNTY OF WAKE STATE OF NORTH CAROLINA

Sworn and subscribed before me, Jessica L. Phair, a Notary Public for the above State and County, on this the 25<sup>th</sup> day of March, 20 21.

Jessica L. Phair  
Notary Public  
Jessica L. Phair  
Print Name

SEAL



My Commission Expires: 4/15/24

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PIN	Owner	Mail Address 1	Mail Address 2	Mail Address 3
722671588	TOWN OF APEX	PO BOX 250	APEX NC 27502-0250	
722673959	CICHOCKI, TERRY	8108 JENKS RD	APEX NC 27523-9423	
722675524	B9 MF VILLAGE WEST OWNER LLC	THE BLACKSTONE GROUP	345 PARK AVE FL 42	NEW YORK NY 10154-0039
722676386	B9 MF VILLAGE WEST OWNER LLC	THE BLACKSTONE GROUP	345 PARK AVE FL 42	NEW YORK NY 10154-0039
722676531	B9 MF VILLAGE WEST OWNER LLC	THE BLACKSTONE GROUP	345 PARK AVE FL 42	NEW YORK NY 10154-0039
722678501	B9 MF VILLAGE WEST OWNER LLC	THE BLACKSTONE GROUP	345 PARK AVE FL 42	NEW YORK NY 10154-0039
722679324	B9 MF VILLAGE WEST OWNER LLC	THE BLACKSTONE GROUP	345 PARK AVE FL 42	NEW YORK NY 10154-0039
722679693	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636 MORRISVILLE NC 27560-	
722682430	OTTAWAY, DANNY L OTTAWAY, JOAN M	10401 CHAPEL HILL RD	8710	
722685645	KASIVISWANATHAN, MUTHURAMAN MUTHURAMAN LAKSHMANAN, YEGAMMAI POONIA, KAMALKUMAR KADIAN,	2629 RAMBLING CREEK RD	APEX NC 27523-7806	
722685672	MEENAKSHI SUTRADHAR, DIPAN SUTRADHAR,	2625 RAMBLING CREEK RD	APEX NC 27523-7806	
722686479	KANCHI PENMETSA, DILEEP KUMAR	2613 RAMBLING CREEK RD	APEX NC 27523-7806	
722686508	NADIMPALLI, ARUNA CHIGURUPATI, POOJA ALURI,	2621 RAMBLING CREEK RD	APEX NC 27523-7806	
722686533	VENKAT SUMAN HINESLEY, TRISHA S HINESLEY,	2617 RAMBLING CREEK RD	APEX NC 27523-7806	
722687241	RICHARD L	4070 RANEY WAY DR	STEM NC 27581-9651	
722687415	ARORA, VISHIT THAREJA, MEDHA	2609 RAMBLING CREEK RD	APEX NC 27523-7806	
722687473	NELAPATI, MADHUSUDHANARAO CHUNCHU, ASWINI	2605 RAMBLING CREEK RD	APEX NC 27523-7806	
722687656	XU, XIN LI, ZHE	2618 RAMBLING CREEK RD	APEX NC 27523-7806	
722687692	MISHRA, NEHA MISHRA, VAIBHAV	2610 RAMBLING CREEK RD	APEX NC 27523-7806	
722687701	JOHNEY, ANUP ANUP, ALLIJA	2624 RAMBLING CREEK RD	APEX NC 27523-7806	
722688433	PORE, DAMONT PORE, MICHELE	2601 RAMBLING CREEK RD	APEX NC 27523-7806	
722688549	SRIVASTAVA, SUJIT VIJAYKUMAR SRIVASTAVA, PRIYANKA SUJIT	2604 RAMBLING CREEK RD	APEX NC 27523-7806	
722689944	THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIA	15501 WESTON PKWY STE 100	CARY NC 27513-8636 BELLE MEAD NJ 08502-	
722770483	BU, YIWEN LI, JIAN TAYLOR MORRISON OF CAROLINAS	96 MEADOW LARK LN 15501 WESTON PKWY STE	4930	
722770519	INC TAYLOR MORRISON OF CAROLINAS	100 15501 WESTON PKWY STE	CARY NC 27513-8636	
722770526	INC	100	CARY NC 27513-8636	



722770534	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722770541	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722770601	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722770695	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722771489	WALL, THOMAS A	800 PATRIOT SUMMIT LN	APEX NC 27523-6195
722771496	YUAN, REBECCA MU KUANG, JINGHUA	129 ANNABELLE BRANCH LN	APEX NC 27523-5825
722771624	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722772604	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722772635	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722772656	WINQVIST, DICK LENNART WINQVIST, JASMINA	954 HAYBECK LN	APEX NC 27523-6192
722772698	YANG, RACHEL JEASUK YANG, ANTHONY SEUNGBUM	952 HAYBECK LN	APEX NC 27523-6192
722772713	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722773502	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722773543	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722773564	HALL, THOMAS LEROY HALL, MAUREEN PATRICIA	949 HAYBECK LN	APEX NC 27523-6192
722773595	PARK, JAMES K PARK, MAENGHEE K	947 HAYBECK LN	APEX NC 27523-6192
722773629	HORWITZ, REGINALDO F HORWITZ, LINENETA P	948 HAYBECK LN	APEX NC 27523-6192
722773750	YUAN, YE SONG, YANG	946 HAYBECK LN	APEX NC 27523-6192
722773780	KATHURIA, NEERU KAKKAR, RAHUL	944 HAYBECK LN	APEX NC 27523-6192
722774525	ANDREWS, SAMUEL D	943 HAYBECK LN 219 ANNABELLE BRANCH	APEX NC 27523-6192
722774556	WANG, JIAHONG ZHANG, YAN ISLAM, TAMIZ M TONMOY	LN	APEX NC 27523-5826
722774577	ZAMAN, TANZILA	939 HAYBECK LN	APEX NC 27523-6192
722774597	CUNNINGHAM, IAN M	937 HAYBECK LN	APEX NC 27523-6192
722774711	DUNPHY, KARA ANN	942 HAYBECK LN	APEX NC 27523-6192
722774752	SCHILD, MARC SCHILD, KIMBERLY	938 HAYBECK LN	APEX NC 27523-6192
722774783	SABRI, SHADI AL, SHAKA REEM	936 HAYBECK LN	APEX NC 27523-6192
722775528	CHAI, XIAOJUN ZHANG, LIYAN STIEGLER, LAUREN ALISE STIEGLER,	935 HAYBECK LN	APEX NC 27523-6192
722775599	CHERYL ANNE ARMSTRONG, LUCAS C	931 HAYBECK LN	APEX NC 27523-6192
722775714	ARMSTRONG, COLLEEN A	934 HAYBECK LN	APEX NC 27523-6192

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722775744	MURRAY, KRISTINA L MURRAY, BRYAN E L TAITINGFONG, VINCENT C	932 HAYBECK LN	APEX NC 27523-6192
722775785	TAITINGFONG, YON SIM	928 HAYBECK LN	APEX NC 27523-6192
722776620	SURSWARI, SREELAXMI	929 HAYBECK LN	APEX NC 27523-6192
722776651	FREEMAN, ELIZABETH MORAN	927 HAYBECK LN	APEX NC 27523-6192
722776681	SRIPATHI, RESHMA KUNIYUR NALLAPERUMAL, SENTHIL KUMAR PARAMASIVAN,	925 HAYBECK LN	APEX NC 27523-6192
722776726	LAKSHMI	926 HAYBECK LN	APEX NC 27523-6192
722776747	LOMBARDO, PETER MORALES, EVA	924 HAYBECK LN	APEX NC 27523-6192
722776778	WASHINGTON, PENELLA MOTEN COWHEY, TERRENCE JOHN	922 HAYBECK LN	APEX NC 27523-6192
722777612	COWHEY, PATRICIA GOPALSAMY, BALAJI SRINIVASAN,	923 HAYBECK LN	APEX NC 27523-6192
722777653	BRUNDHA	919 HAYBECK LN	APEX NC 27523-6192
722777684	WILLIAM, LAWRENCE SEBASTIAN LOUIS LEO, SELVI JOSEPH COTTERILL, PETER CHARLES	917 HAYBECK LN	APEX NC 27523-6192
722777719	COTTERILL, LYNN ANNE TAYLOR MORRISON OF CAROLINAS	918 HAYBECK LN 15501 WESTON PKWY STE	APEX NC 27523-6192
722777838	INC	100	CARY NC 27513-8636
722777840	PATHAN, JANI KHAN	916 HAYBECK LN	APEX NC 27523-6192
722777870	PELLOWITZ, DAVID M	914 HAYBECK LN	APEX NC 27523-6192
722778604	FARMAH, LALIT	915 HAYBECK LN	APEX NC 27523-6192
722778645	MANIMOZHI, RAJENDRA BABU MARAPPAN, MOHANA PRIYA TAYLOR MORRISON OF CAROLINAS	913 HAYBECK LN 15501 WESTON PKWY STE	APEX NC 27523-6192
722778686	INC	100	CARY NC 27513-8636
722778801	BALI, PRABHAT BALI, HARPREET TAYLOR MORRISON OF CAROLINAS	912 HAYBECK LN 15501 WESTON PKWY STE	APEX NC 27523-6192
722778842	INC	100	CARY NC 27513-8636
722778873	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722778873	INC	100	CARY NC 27513-8636
722778895	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722778895	INC	100	CARY NC 27513-8636
722779617	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722779617	INC	100	CARY NC 27513-8636
722779648	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722779648	INC	100	CARY NC 27513-8636
722779669	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722779669	INC	100	CARY NC 27513-8636
722779837	TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY STE	CARY NC 27513-8636
722779837	INC	100	CARY NC 27513-8636
722780191	KIRKPATRICK, TERESA L	591 BENT OAK TRL	CONCORD NC 28027-9715
722780424	SCHNEYDER, CAROLINE JOSEPHINE	2581 RAMBLING CREEK RD	APEX NC 27523-7805
722780464	RUSSELL, JUDY ROSEMARIE	2579 RAMBLING CREEK RD	APEX NC 27523-7805



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722780494	JAIN, ABHISHEK PARAKH, SHRADDHA SUNIL	2577 RAMBLING CREEK RD	APEX NC 27523-7805
722780579	CAIRA, RICHARD JOSEPH JR CAIRA, MELISSA B	2578 RAMBLING CREEK RD	APEX NC 27523-7805
722781424	BOOTES, RICHARD WAYNE	2575 RAMBLING CREEK RD	APEX NC 27523-7805
722781454	SEVER, MICHELLE LYNN	2573 RAMBLING CREEK RD	APEX NC 27523-7805
722781484	DONAHUE, WILLIAM M DONAHUE, AUDREY A	2571 RAMBLING CREEK RD	APEX NC 27523-7805
722781519	SAXENA, MANOJ SAXENA, SHIVANI	2576 RAMBLING CREEK RD	APEX NC 27523-7805
722781549	LITTLE, BENJAMIN LITTLE, REBECCA	2574 RAMBLING CREEK RD	APEX NC 27523-7805
722781579	PAYNE, ROBERT S III	2572 RAMBLING CREEK RD	APEX NC 27523-7805
722782404	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636 MORRISVILLE NC 27560-
722782424	PINO, HECTOR F PINO, ANA M PUNURU, VANI VARADHARAJ,	371 LONG MILLGATE RD	8615
722782444	SATHYA	1116 RIGGINS MILL RD	CARY NC 27519-8118
722782474	AMUNDSEN, MARY	2563 RAMBLING CREEK RD	APEX NC 27523-7805 MORRISVILLE NC 27560-
722782495	PATEL, PARVEEN PATEL, IMRAN FLECHSIG, BRADLEY D FLECHSIG,	129 BEGEN ST	9768
722782519	KRISTIN P	2566 RAMBLING CREEK RD	APEX NC 27523-7805
722782559	KOHL, DANIEL WILLIAM KOHL, TIFFANY ROBYN	2564 RAMBLING CREEK RD	APEX NC 27523-7805
722782680	LENT, JENNIFER EILEEN	2562 RAMBLING CREEK RD	APEX NC 27523-7805
722783415	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722783435	VEMULAPALLI, MADHAVI KODALI, PRASHANT	420 HILLIARD FOREST DR	CARY NC 27519-8209
722783455	BANGALORE, RAJESH NARASIMHAMURTHY TRUSTEE RAMAMURTHY, DIVYA TRUSTEE	106 PIEDMONT RD	MILPITAS CA 95035-6153
722783485	GUO, ZHIHONG	201 MYSTIC PINE PL	APEX NC 27539-7800
722784193	LEWIS, CHARLES KENNETH LEWIS, FRANCES J	323 SCENIC MOUNTAIN DR	SPARTA NC 28675-9434
722784405	PAREKH, GEET PAREKH, SUCHI	2551 RAMBLING CREEK RD	APEX NC 27523-7805
722785679	FENG, DAN	2528 RAMBLING CREEK RD	APEX NC 27523-7805
722785873	THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIA	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722786690	BRAY, TONY BRAY, SHARON	2551 SUNNYBRANCH LN	APEX NC 27523-7804
722786700	KAZA, SAI SWAMY SUNIL KUMAR VADDADI, VIJAYA KOMALA RAMANATHAN, HARISH	2526 RAMBLING CREEK RD	APEX NC 27523-7805
722786722	NARENDRAN, AHILA	2524 RAMBLING CREEK RD	APEX NC 27523-7805

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722786753	SHARPE, CANDACE DIANE SHARPE, STEVEN JAMAL	2522 RAMBLING CREEK RD	APEX NC 27523-7805
722787527	SCHWEND, BLANCHE M SCHWEND, THOMAS H	2549 SUNNYBRANCH LN	APEX NC 27523-7804
722787556	BLESSINGER, JEFF S BLESSINGER, PAMELA KAY	2547 SUNNYBRANCH LN	APEX NC 27523-7804
722787574	CREWS, MARK L CREWS, CYNTHIA E	2545 SUNNYBRANCH LN	APEX NC 27523-7804
722787592	PASIMUTHU, JAYAKHANNA CHOCKALINGAM, SHANMUGAPRIYA	2543 SUNNYBRANCH LN	APEX NC 27523-7804
722788252	CLEARY, MICHAEL DUANE CLEARY, ALISON N	7912 JENKS RD	APEX NC 27523-7821
722788467	BARRETT, PAUL	2537 SUNNYBRANCH LN	APEX NC 27523-7804
722788486	SAMUDRA, SAMEER GOKHALE, AMIT UMAKANT	2535 SUNNYBRANCH LN	APEX NC 27523-7804
722788520	RAILTON, DEBORAH L LITTLEFIELD, THOMAS A	2541 SUNNYBRANCH LN	APEX NC 27523-7804
722788628	MAYSONET, MARIBEL SANTIAGO	2550 SUNNYBRANCH LN	APEX NC 27523-7804
722788656	SING, JAMIE HUSTACE, JESSICA	2548 SUNNYBRANCH LN	APEX NC 27523-7804
722788665	HOU, JIE	2546 SUNNYBRANCH LN	APEX NC 27523-7804
722788684	BIYYAM, YOGANAND RAGIREDDY, KEERTHI	1249 STOWAGE DR	CARY NC 27519-8909 MORRISVILLE NC 27560-0319
722789406	LING, LEI	PO BOX 319	CHAPEL HILL NC 27516-8767
722789436	SHI, JING SHI, KARL	200 CHATEAU PL	MORRISVILLE NC 27560-0319
722789456	SHENG, WANQING TIAN, YUAN	PO BOX 319	0319
722789476	PANG, LIJUN LIU, LIWU	2527 SUNNYBRANCH LN	APEX NC 27523-7804
722789602	ZHAO, MINGYUE LIN, CHEN	1032 HOLLAND BEND DR	CARY NC 27519-8215
722789670	VAIDYALINGAM, KARTHIKEYAN DAS, RASHMITA	2518 SUNNYBRANCH LN	APEX NC 27523-7804
722789678	THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIA	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722789712	DHOOM DHADAKA LLC	9117 PALM BAY CIR	RALEIGH NC 27617-7777
722789744	REN, LEI SUN, JIA	1708 COLLEEN CIR	CARY NC 27519-6680
722870700	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722870798	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722870924	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722870956	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722870978	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722871832	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636



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722871854	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722871876	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722872709	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722872808	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722873947	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722873973	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722875660	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722880023	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722880416	MUDEMALA, NARESH KUMAR REDDY GANGAVARAM, VENKATA	2523 SUNNYBRANCH LN	APEX NC 27523-7804
722880436	RAMAIYAN, VENKATESHKUMAR POONGAVANAME, THAMIZHARASI SELVAME	1381 COZY OAK AVE	CARY NC 27519-8904
722880456	CASCIOLI, MARGARET A. TRUSTEE CASCIOLI PROTECTION TRUST	2519 SUNNYBRANCH LN	APEX NC 27523-7804
722880487	GAUTAM, DEEPALI GAUTAM, NITIN	2517 SUNNYBRANCH LN	APEX NC 27523-7804
722880611	NIALS, MARSHA NICOLE REEVES, SHEILA A	2516 SUNNYBRANCH LN	APEX NC 27523-7804
722880632	WILBORN, LACHELLE RACHEL	2514 SUNNYBRANCH LN	APEX NC 27523-7804
722880663	FAN, ZHUORAN QU, RAN	2512 SUNNYBRANCH LN	APEX NC 27523-7804
722881000	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY STE 100	CARY NC 27513-8636
722881407	SHARMA, PRIYANKA SHARMA, TARUN	2515 SUNNYBRANCH LN	APEX NC 27523-7804
722881459	PAUDEL, BASU DEV PAUDEL, ANJANA DHAKAL	2509 SUNNYBRANCH LN	APEX NC 27523-7804
722881561	CHEN, XUE MEI	2507 SUNNYBRANCH LN	APEX NC 27523-7804
722881582	FRANKLIN, DANA FRANKLIN, ROBIN	2505 SUNNYBRANCH LN	APEX NC 27523-7804
722881604	DWORKIN, JEFFREY J DWORKIN, GAYLE ANN	2510 SUNNYBRANCH LN	APEX NC 27523-7804
722882120	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722882127	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722882163	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722882196	TAYLOR MORRISON OF CAROLINAS INC	15501 WESTON PKWY	CARY NC 27513-8636
722882455	THE PRESERVE AT WHITE OAK CREEK HOMEOWNERS ASSOCIA	15501 WESTON PKWY STE 100	CARY NC 27513-8636

21CZ09

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722882504	KUMAR, ASHOK VERMA, ROME	261 SEYMOUR PL	CARY NC 27519-6462
722882526	FORD, BRITTANY M TAYLOR MORRISON OF CAROLINAS	2501 SUNNYBRANCH LN	APEX NC 27523-7804
722883011	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722883230	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722883263	INC	15501 WESTON PKWY	CARY NC 27513-8636
	THE PRESERVE AT WHITE OAK	15501 WESTON PKWY STE	
722883808	CREEK HOMEOWNERS ASSOCIA TAYLOR MORRISON OF CAROLINAS	100	CARY NC 27513-8636
722884037	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722884171	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722884196	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722885211	INC TAYLOR MORRISON OF CAROLINAS	15501 WESTON PKWY	CARY NC 27513-8636
722885217	INC HOBBS, RONALD SCOTT HOBBS,	15501 WESTON PKWY	CARY NC 27513-8636
722886419	JANET H	201 TRELAWNEY LN	CARY NC 27519-8924



## DEVELOPMENT NAME APPROVAL APPLICATION

Application #: 21CZ09

Submittal Date: 4/1/2021

Fee for Initial Submittal: No Charge

Fee for Name Change after Approval: \$500\*

### Purpose

To provide a consistent and clearly stated procedure for the naming of subdivisions and/or developments and entrance roadways (in conjunction with *Town of Apex Address Policy*) so as to allow developers to define and associate the theme or aesthetics of their project(s) while maintaining the Town's commitment to preserving the quality of life and safety for all residents of Apex proper and extraterritorial jurisdiction.

### Guidelines

- ✓ The subdivision/development name shall not duplicate, resemble, or present confusion with an existing subdivision/development within Apex corporate limits or extraterritorial jurisdiction except for the extension of an existing subdivision/development of similar or same name that shares a continuous roadway.
- ✓ The subdivision/development name shall not resemble an existing street name within Apex corporate limits or extraterritorial jurisdiction unless the roadway is a part of the subdivision/development or provides access to the main entrance.
- ✓ The entrance roadway of a proposed subdivision/development shall contain the name of the subdivision/development where this name does not conflict with the Town of Apex *Road Name Approval Application* and *Town of Apex Address Policy* guidelines.
- ✓ The name "Apex" shall be excluded from any new subdivision/development name.
- ✓ Descriptive words that are commonly used by existing developments will be scrutinized more seriously in order to limit confusion and encourage distinctiveness. A list of commonly used descriptive words in Apex's jurisdiction is found below.
- ✓ The proposed subdivision/development name must be requested, reviewed and approved during preliminary review by the Town.
- ✓ A \$500.00 fee will be assessed to the developer if a subdivision/development name change is requested after official submittal of the project to the Town.\*

\*The imposed fee offsets the cost of administrative changes required to alleviate any confusion for the applicant, Planning staff, other Town departments, decision-making bodies, concerned utility companies and other interested parties. There is no charge for the initial name submittal.

### Existing Development Titles, Recurring

	Residential	Non-Residential
10 or more	Creek, Farm(s), Village(s),	Center/Centre
6 to 9	Crossing(s), Park, Ridge, Wood(s)	Commons, Park
3 to 5	Acres, Estates, Glen(s), Green*, Hills	Crossing(s), Plaza, Station, Village(s)

\*excludes names with Green Level

**DEVELOPMENT NAME APPROVAL APPLICATION**

Application #: 21CZ09

Submittal Date: 4/1/2021

**Proposed Subdivision/Development Information**

Description of location: 1533 Wimberly Rd

Nearest intersecting roads: Wimberly Rd and Jenks Rd

Wake County PIN(s): 0722687241, 0722780191, 0722784193, 0722788252

Township: White Oak

**Contact Information (as appropriate)**

Contact person: Mark Altman

Phone number: 984-269-4570

Fax number: \_\_\_\_\_

Address: 15501 Weston Pkwy Suite 100

E-mail address: maltman@taylormorrison.com

Owner: Owner information listed earlier in application (4 owners).

Phone number: \_\_\_\_\_

Fax number: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail address: \_\_\_\_\_

**Proposed Subdivision/Development Name**

1<sup>st</sup> Choice: Alderwood

2<sup>nd</sup> Choice (Optional): \_\_\_\_\_

**Town of Apex Staff Approval:**

\_\_\_\_\_  
Town of Apex Planning Department Staff

\_\_\_\_\_  
Date

**TOWN OF APEX UTILITIES OFFER AND AGREEMENT**

Application #: 21CZ09

Submittal Date: 4/1/2021

**Town of Apex  
73 Hunter Street  
P.O. Box 250 Apex, NC 27502  
919-249-3400**

WAKE COUNTY, NORTH CAROLINA CUSTOMER SELECTION AGREEMENT

The Retreat at The Preserve at White Oak

(the "Premises")

The Town of Apex offers to provide you with electric utilities on the terms described in this Offer & Agreement. If you accept the Town's offer, please fill in the blanks on this form and sign and we will have an Agreement once signed by the Town.

Taylor Morrison, the undersigned customer ("Customer") hereby irrevocably chooses and selects the Town of Apex (the "Town") as the permanent electric supplier for the Premises. Permanent service to the Premises will be preceded by temporary service if needed.

The sale, delivery, and use of electric power by Customer at the Premises shall be subject to, and in accordance with, all the terms and conditions of the Town's service regulations, policies, procedures and the Code of Ordinances of the Town.

Customer understands that the Town, based upon this Agreement, will take action and expend funds to provide the requested service. By signing this Agreement the undersigned signifies that he or she has the authority to select the electric service provider, for both permanent and temporary power, for the Premises identified above.

Any additional terms and conditions to this Agreement are attached as Appendix 1. If no appendix is attached this Agreement constitutes the entire agreement of the parties.

Acceptance of this Agreement by the Town constitutes a binding contract to purchase and sell electric power.


Please note that under North Carolina General Statute §160A-332, you may be entitled to choose another electric supplier for the Premises.

Upon acceptance of this Agreement, the Town of Apex Electric Utilities Division will be pleased to provide electric service to the Premises and looks forward to working with you and the owner(s).

ACCEPTED:

CUSTOMER: Taylor Morrison of Carolinas, Inc

TOWN OF APEX

BY:   
Authorized Agent

BY: \_\_\_\_\_  
Authorized Agent

DATE: 3-25-21

DATE: \_\_\_\_\_

AGENT AUTHORIZATION FORM

Application #: 21CZ09

Submittal Date: 4/1/2021

MICHAEL DUANE CLEARY & ALISON N CLEARY is the owner\* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 7912 JENKS RD

The agent for this project is: Taylor Morrison

I am the owner of the property and will be acting as my own agent

Agent Name: Mark Altman

Address: 15501 Weston Parkway Suite 100

Telephone Number: 984-269-4570

E-Mail Address: maltman@taylormorrison.com

Signature(s) of Owner(s)\*

Michael D. Cleary  
 Michael D. Cleary  
 Type or print name

3/29/21  
 Date

Alison N. Cleary  
 Alison N. Cleary  
 Type or print name

3/29/21  
 Date

Attach additional sheets if there are additional owners.

\*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.



AGENT AUTHORIZATION FORM

Application #: 21CZ09

Submittal Date: 4/1/2021

TRISHA S HINESLEY & RICHARD L HINESLEY is the owner\* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 1533 WIMBERLY RD

The agent for this project is: Taylor Morrison

I am the owner of the property and will be acting as my own agent

Agent Name: Mark Altman

Address: 15501 Weston Parkway Suite 100

Telephone Number: 984-269-4570

E-Mail Address: maltman@taylormorrison.com

Signature(s) of Owner(s)\*

Trisha S. Hinesley  
TRISHA S. HINESLEY / Type or print name 3/29/21 Date

Richard L Hinesley  
Richard L Hinesley / Type or print name 3-29-21 Date

Attach additional sheets if there are additional owners.

\*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AGENT AUTHORIZATION FORM

Application #: 21CZ09

Submittal Date: 4/1/2021

TERESA L KIRKPATRICK is the owner\* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 8016 JENKS RD

The agent for this project is: Taylor Morrison

I am the owner of the property and will be acting as my own agent

Agent Name: Mark Altman

Address: 15501 Weston Parkway Suite 100

Telephone Number: 984-269-4570

E-Mail Address: maltman@taylormorrison.com

Signature(s) of Owner(s)\*

Teresa L Kirkpatrick (Costner)  
Teresa Costner 3/29/21  
 Type or print name Date

\_\_\_\_\_  
 \_\_\_\_\_  
 Type or print name Date

Attach additional sheets if there are additional owners.

\*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AGENT AUTHORIZATION FORM

Application #: 21CZ09

Submittal Date: 4/1/2021

CHARLES KENNETH LEWIS & FRANCES J LEWIS is the owner\* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 8000 JENKS RD

The agent for this project is: Taylor Morrison

I am the owner of the property and will be acting as my own agent

Agent Name: Mark Altman

Address: 15501 Weston Parkway Suite 100

Telephone Number: 984-269-4570

E-Mail Address: maltman@taylormorrison.com

Signature(s) of Owner(s)\*

*Charles Kenneth Lewis*  
CHARLES KENNETH LEWIS 3/29/21  
 Type or print name Date

*Frances J. Lewis*  
FRANCES J. LEWIS 3/29/21  
 Type or print name Date

Attach additional sheets if there are additional owners.

\*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

**AFFIDAVIT OF OWNERSHIP**

Application #: 21CZ09

Submittal Date: 4/1/2021

The undersigned, Mark A Altman (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

- 1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at Wimberly Rd and Jenks Rd and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
- 2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
- 3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated \_\_\_\_\_, and recorded in the Wake County Register of Deeds Office on \_\_\_\_\_, in Book \_\_\_\_\_ Page \_\_\_\_\_.
- 4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
- 5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on \_\_\_\_\_, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on \_\_\_\_\_, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 25<sup>th</sup> day of March, 2021.

[Signature] (seal)  
Mark Altman; Land Development Director  
Type or print name

STATE OF NORTH CAROLINA  
COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that Mark Altman, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's \_\_\_\_\_, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



[Signature]  
Notary Public  
State of North Carolina  
My Commission Expires: 2-27-23

**AFFIDAVIT OF OWNERSHIP: EXHIBIT A – LEGAL DESCRIPTION**

Application #: [21CZ09](#)

Submittal Date: [4/1/2021](#)

**Insert legal description below.**

See attachment (next page).



21CZ09

LEGAL DESCRIPTION

TRACT 1 (LOT1) - 0722780191

BEGINNING AT A POINT LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF WIMBERLY ROAD N.C.S.R. 1603 AND ALSO BEING THE SOUTHEASTERN PROPERTY CORNER OF TRACT 8A AS RECORDED IN BOOK OF MAPS 1987, PAGE 1291, WAKE COUNTY REGISTRY; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 00°11'29" WEST A DISTANCE OF 537.66 FEET TO AN EXISTING IRON PIPE LOCATED ON THE SOUTHERN PROPERTY LINE OF TAYLOR MORRISON OF CAROLINAS, LLC AS RECORDED IN BOOK OF MAPS 2019, PAGE 62, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID SOUTHERN PROPERTY LINE NORTH 87°57'45" EAST A DISTANCE OF 563.89 FEET TO AN EXISTING IRON PIPE LOCATED ON THE NORTHWESTERN PROPERTY CORNER OF LOT 2 AS RECORDED IN BOOK OF MAP 1987, PAGE 104.5 WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID WESTERN PROPERTY LINE SOUTH 13°40'47" WEST A DISTANCE OF 519.22 FEET TO A POINT LOCATED ON THE NORTHERN RIGHT-OF-WAY LINE OF JENKS ROAD N.C.S.R. 1601; THENCE ALONG AND WITH SAID RIGHT-OF-WAY SOUTH 75°40'29" WEST A DISTANCE OF 420.00 FEET TO A POINT LOCATED ON THE EASTERN RIGHT-OF-WAY LINE WIMBERLY ROAD N.C.S.R. 1603; THENCE ALONG AND WITH SAID RIGHT-OF-WAY NORTH 32°15'40" WEST A DISTANCE OF 59.96 FEET THE POINT OF BEGINNING, CONTAINING 6.2201 ACRES.

TRACT 2 (LOT2) - 0722784193

BEGINNING AT A POINT LOCATED ON THE NORTHERN RIGHT-OF-WAY LINE OF JENKS ROAD N.C.S.R. 1601 AND ALSO BEING THE SOUTHEASTERN PROPERTY CORNER OF LOT 1 AS RECORDED IN BOOK OF MAPS 1987, PAGE 1048, WAKE COUNTY REGISTRY; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 13°40'47" EAST A DISTANCE OF 519.22 FEET TO AN EXISTING IRON PIPE LOCATED ON THE SOUTHERN PROPERTY LINE OF TAYLOR MORRISON OF CAROLINAS, LLC AS RECORDED IN BOOK OF MAPS 2019, PAGE 62, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID SOUTHERN PROPERTY LINE NORTH 87°55'55" EAST A DISTANCE OF 261.89 FEET TO AN EXISTING IRON PIPE LOCATED ON THE NORTHWESTERN PROPERTY CORNER OF LOT 3 AS RECORDED IN BOOK OF MAP 1987, PAGE 104.5 WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID WESTERN PROPERTY LINE SOUTH 06°14'23" EAST A DISTANCE OF 406.87 FEET TO A POINT LOCATED ON THE NORTHERN RIGHT-OF-WAY LINE OF JENKS ROAD N.C.S.R. 1601; THENCE ALONG AND WITH SAID RIGHT-OF-WAY SOUTH 75°40'29" WEST A DISTANCE OF 442.49 FEET THE POINT OF BEGINNING, CONTAINING 3.5482 ACRES.

TRACT 3 (LOT3) - 0722788252

BEGINNING AT A POINT LOCATED ON THE NORTHERN RIGHT-OF-WAY LINE OF JENKS ROAD N.C.S.R. 1601 AND ALSO BEING THE SOUTHEASTERN PROPERTY CORNER OF LOT 2 AS RECORDED IN BOOK OF MAPS 1987, PAGE 1048, WAKE COUNTY REGISTRY; THENCE LEAVING SAID RIGHT-OF-WAY NORTH 06°14'87" WEST A DISTANCE OF 406.87 FEET TO AN EXISTING IRON PIPE LOCATED ON THE SOUTHERN PROPERTY LINE OF TAYLOR MORRISON OF CAROLINAS, LLC AS RECORDED IN BOOK OF MAPS 2019, PAGE 62, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID SOUTHERN PROPERTY LINE NORTH 87°59'37" EAST A DISTANCE OF 544.19 FEET TO AN EXISTING IRON PIPE LOCATED ON THE NORTHWESTERN PROPERTY CORNER OF TAYLOR MORRISON OF CAROLINAS, LLC AS RECORDED IN BOOK OF MAPS 2017, PAGE 183, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID WESTERN PROPERTY LINE SOUTH 01°37'53" EAST A DISTANCE OF 61.09 FEET TO A POINT LOCATED ON THE NORTHERN RIGHT-OF-WAY LINE OF JENKS ROAD

21CZ09

N.C.S.R 1601; THENCE ALONG AND WITH SAID RIGHT-OF-WAY SOUTH 37°26'17" WEST A DISTANCE OF 57.99 FEET THE POINT; THENCE SOUTH 38°20'35" WEST A DISTANCE OF 51.98 FEET THE POINT; THENCE SOUTH 40°23'52" WEST A DISTANCE OF 52.61 FEET THE POINT; THENCE SOUTH 45°23'52" WEST A DISTANCE OF 50.80 FEET A POINT; THENCE SOUTH 50°36'52" WEST A DISTANCE OF 51.72 FEET A POINT; THENCE SOUTH 54°31'47" WEST A DISTANCE OF 56.84 FEET A POINT; THENCE SOUTH 56°57'00" WEST A DISTANCE OF 50.16 FEET A POINT; THENCE SOUTH 58°50'33" WEST A DISTANCE OF 53.70 FEET A POINT; THENCE SOUTH 61°32'10" WEST A DISTANCE OF 54.37 FEET A POINT; THENCE SOUTH 65°47'22" WEST A DISTANCE OF 52.80 FEET A POINT; THENCE SOUTH 69°41'04" WEST A DISTANCE OF 53.91 FEET A POINT; THENCE SOUTH 73°31'36" WEST A DISTANCE OF 44.67 FEET THE POINT OF BEGINNING, CONTAINING 3.4109 ACRES.

TRACT 4 (TRACT 8A) - 0722687241

BEGINNING AT A POINT LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF WIMBERLY ROAD N.C.S.R. 1603 AND ALSO BEING THE SOUTHWESTERN PROPERTY CORNER OF LOT 1 AS RECORDED IN BOOK OF MAPS 1987, PAGE 1048, WAKE COUNTY REGISTRY; THENCE LEAVING SAID RIGHT-OF-WAY SOUTH 00°11'29" EAST A DISTANCE OF 61.82 FEET TO A POINT LOCATED ON THE CENTERLINE OF WIMBERLY ROAD N.C.S.R. 1603; THENCE ALONG AND WITH SAID CENTERLINE NORTH 32°01'55" WEST A DISTANCE OF 51.05 FEET TO A POINT; THENCE NORTH 32°01'55" WEST A DISTANCE OF 179.43 FEET TO A POINT; THENCE NORTH 22°06'24" WEST A DISTANCE OF 425.44 FEET TO A POINT; THENCE LEAVING SAID CENTERLINE NORTH 87°59'52" EAST A DISTANCE OF 32.91 FEET TO A POINT LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF WIMBERLY ROAD N.C.S.R. 1603, AND THE SOUTHWESTERN PROPERTY CORNER TAYLOR MORRISON OF CAROLINAS, LLC AS RECORDED IN BOOK OF MAPS 2019, PAGE 62, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID SOUTHERN PROPERTY LINE NORTH 87°58'10" EAST A DISTANCE OF 247.61 FEET TO AN EXISTING IRON PIPE LOCATED ON THE NORTHWESTERN PROPERTY CORNER OF LOT 1 AS RECORDED IN BOOK OF MAPS 1987, PAGE 1048, WAKE COUNTY REGISTRY; THENCE ALONG AND WITH SAID WESTERN PROPERTY LINE SOUTH 00°11'29" EAST A DISTANCE OF 537.66 FEET THE POINT OF BEGINNING, CONTAINING 2.1233 ACRES.



Wake County Residential Development Notification

Please complete each section of this form and submit with your application.

Town of Apex staff will enter this information into the online WCPSS form.

Please send any questions about this form to:  
studentassignment-gis-group@wcpss.net

Developer Company Information	
Company Name	Taylor Morrison
Company Phone Number	984-269-4570
Developer Representative Name	Mark Altman
Developer Representative Phone Number	
Developer Representative Email	maltman@taylormorrison.com

New Residential Subdivision Information	
Date of Application for Subdivision	TBD
City, Town or Wake County Jurisdiction	Town of Apex
Name of Subdivision	Alderwood
Address of Subdivision (if unknown enter nearest cross streets)	Wimberly Rd and Jenks Rd
REID(s)	0164032, 0173563, 0173564, 0173565
PIN(s)	0722687241, 0722780191, 0722784193, 0722788252

Projected Dates Information	
Subdivision Completion Date	
Subdivision Projected First Occupancy Date	

Lot by Lot Development Information															
Unit Type	Total # of Units	Senior Living	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Square Foot Range		Price Range		Anticipated Completion Units & Dates			
								Min	Max	Low	High	Year	# Units	Year	# Units
Single Family															
Townhomes	67					67		1700	2000	\$300k	\$320k	2023	40	2024	27
Condos															
Apartments															
Other															



# NOTICE OF ELECTRONIC NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

3/10/2021

Date

Dear Neighbor:

You are invited to an electronic neighborhood meeting to review and discuss the development proposal at

8016 Jenks Rd

0722687241, 0722780191, 0722784193, 0722788252

Address(es)

PIN(s)

in accordance with the Town of Apex Electronic Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. If you are unable to attend, you may contact the applicant before or after the meeting is held. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at [www.apexnc.org](http://www.apexnc.org). If at all feasible given emergency declarations, limits on in-person gatherings, and social distancing, an additional in-person Neighborhood Meeting may be scheduled and held prior to a public hearing or staff decision on the application.

An Electronic Neighborhood Meeting is required because this project includes (check all that apply):

Application Type	Approving Authority
<input checked="" type="checkbox"/> Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/> Major Site Plan	Town Council (QJPH*)
<input type="checkbox"/> Special Use Permit	Town Council (QJPH*)
<input type="checkbox"/> Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

\*Quasi-Judicial Public Hearing: The Town Council cannot discuss the project prior to the public hearing.

The following is a description of the proposal (also see attached map(s) and/or plan sheet(s)):

The proposed development is a mixed-use property including townhomes, non-residential uses, and park space.

A conceptual site plan is included with this mailing.

Estimated submittal date: April 1, 2021

<b>MEETING INFORMATION:</b>	Trisha and Richard Hinesley, Teresa Kirkpatrick, Charles and Frances Lewis, Michael and Alison Cleary
Property Owner(s) name(s):	
Applicant(s):	McAdams
Contact information (email/phone):	hardesty@mcadamsco.com / 540-958-9098
Electronic Meeting invitation/call in info:	See attached sheet for Zoom instructions
Date of meeting**:	March 24, 2021
Time of meeting**:	6:00pm - 8:00pm

## MEETING AGENDA TIMES:

Welcome: 6:00-6:05 Project Presentation: 6:05-6:20 Question & Answer: 6:20-8:00

\*\*Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180/Planning>.

March 10, 2021

**RE: Virtual Neighborhood Meeting – Zoom Instructions**

Dear Property Owner,

Due to the current circumstances of COVID-19, we will be hosting a virtual neighborhood meeting via Zoom Webinar. The meeting will be held on March 24<sup>th</sup> and begin at 6:00 PM Eastern Time.

- > To attend the meeting via computer, type in the following link in your internet browser:  
<https://mcadamsco.zoom.us/j/97762775585?pwd=c1ljbFZTWEFMQTIPMIVab2NPbGZPQT09>

Passcode: **795610**

- > To attend the meeting via phone, you may dial in by your location:  
US: +1 646 876 9923 or  
+1 301 715 8592 or  
877 853 5247 (Toll Free)

When prompted, enter the Meeting ID: **977 6277 5585**

Sincerely,  
**MCADAMS**



# PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

## Development Contacts:

Project Name: Retreat at the Preserve at White Oak Zoning: Current: RR Proposed: PUD-CZ  
 Location: Wimberly Rd and Jenks Rd  
 Property PIN(s): 0722687241, 0722780191, 0722784193, 0722788252 Acreage/Square Feet: 15.3 acres

Property Owner: See attached list for property owner information  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Developer: Taylor Morrison  
 Address: 15501 Weston Pkwy Suite 100  
 City: Cary State: NC Zip: 27513  
 Phone: +1 984-269-4570 Fax: \_\_\_\_\_ Email: maltman@taylormorrison.com

Engineer: McAdams  
 Address: 2905 Meridian Parkway  
 City: Durham State: NC Zip: 27701  
 Phone: 919-361-5000 Fax: \_\_\_\_\_ Email: jfinch@mcadamsco.com

Builder (if known): \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

**Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.**

## Town of Apex Department Contacts

Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planner	(919) 249-7468
Public Works - Transportation Russell Dalton, Senior Transportation Engineer	(919) 249-3358
Water Resources Department Jessica Bolin, Senior Engineer (Stormwater, Sedimentation & Erosion Control) Stan Fortier, Senior Engineer (Stormwater, Sedimentation & Erosion Control) James Gregg, Utility Engineer (Water & Sewer)	(919) 249-3537 (919) 249-1166 (919) 249-3324
Electric Utilities Division Rodney Smith, Electric Technical Services Manager	(919) 249-3342

## PROPERTY OWNERS

PIN	Owner	Address	City and State
722687241	HINESLEY, TRISHA S HINESLEY, RICHARD L	4070 RANEY WAY DR	STEM NC 27581-9651
722780191	KIRKPATRICK, TERESA L	591 BENT OAK TRL	CONCORD NC 28027-9715
722784193	LEWIS, CHARLES KENNETH LEWIS, FRANCES J	323 SCENIC MOUNTAIN DR	SPARTA NC 28675-9434
722788252	CLEARY, MICHAEL DUANE CLEARY, ALISON N	7912 JENKS RD	APEX NC 27523-7821

### **Providing Input to Town Council:**

Each Town Council meeting agenda includes a Public Forum time when anyone is permitted to speak for three (3) minutes on any topic with the exception of items listed as Public Hearings for that meeting. The Town Council meets on the 1<sup>st</sup> and 3<sup>rd</sup> Tuesdays of each month at 6:00 p.m. (except for holidays, see schedule of meetings at <http://www.apexnc.org/838/Agendas-Minutes>). You may also contact Town Council by e-mail at [AllCouncil@apexnc.org](mailto:AllCouncil@apexnc.org).

### **Private Agreements and Easement Negotiation:**

The Town of Apex cannot enforce private agreements between developers and neighbors and is not a party to the easement and right-of-way negotiation that occurs between developers and neighboring property owners for easements or rights-of-way that are necessary to build the project.

It is recommended that all private agreements be made in writing and that if a property owner feels it necessary, they should obtain private legal counsel in order to protect their interests in both private agreements and during easement negotiations. The only conditions that the Town of Apex can enforce are those conditions that are made a part of the conditional zoning of the property by agreement of the developer and the Town.

As an example, if a developer offers to build a fence for a neighbor to mitigate some impact, the Town can only enforce the construction of the fence if the fence becomes a condition of the rezoning. This would occur by the developer offering the condition as part of their conditional zoning application package or at the Town Council public hearing on the conditional zoning and the Town accepting it as a condition. Private agreements regarding a fence being constructed will not be enforced by the Town.

To request that any agreement with a developer is made a part of the conditional zoning at the time of approval, you may ask at the Town Council public hearing if the agreement is included in the conditions. If it is not, you may request that the Town Council not approve the rezoning without the agreement being included in the conditions (note that it is up to Town Council whether to approve or deny the rezoning but they cannot impose conditions that the applicant does not agree to add). The developer's proposed conditions can be viewed any time after a rezoning is submitted on the Interactive Development Map at: <http://apexnc.maps.arcgis.com/apps/OnePane/basicviewer/index.html?appid=fa9ba2017b784030b15ef4da27d9e795>

### **Documentation:**

Neighbors to a requested new development and/or rezoning are strongly encouraged to fully document (such as through dated photographs) the condition of their property before any work is initiated for the new development. Stormwater controls installed on developed property are not designed to and will likely not remove 100% of the soil particles transported by stormwater runoff. As a result, creeks and ponds could become cloudy for a period of time after rain events.



# COMMON CONSTRUCTION ISSUES & WHO TO CALL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

## Noise & Hours of Construction: Non-Emergency Police 919-362-8661

Noise from tree removal, grading, excavating, paving, and building structures is a routine part of the construction process. The Town generally limits construction hours from 7:00 a.m. to 8:30 p.m. so that there are quiet times even during the construction process. Note that construction outside of these hours is allowed with special permission from the Town when it makes more sense to have the construction occur at night, often to avoid traffic issues. In addition, the Town limits hours of blasting rock to Monday through Friday from 8:00 a.m. to 5:00 p.m. Report violations of construction hours and other noise complaints to the Non-Emergency Police phone number at 919-362-8661.

## Construction Traffic: James Misciagno 919-372-7470

Construction truck traffic will be heavy throughout the development process, including but not limited to removal of trees from site, loads of dirt coming in and/or out of the site, construction materials such as brick and wood brought to the site, asphalt and concrete trucks come in to pave, etc. The Town requires a construction entrance that is graveled to try to prevent as much dirt from leaving the site as possible. If dirt does get into the road, the Town can require they clean the street (see "Dirt in the Road" below).

## Road Damage & Traffic Control: Water Resources – Infrastructure Inspections 919-362-8166

There can be issues with roadway damage, roadway improvements, and traffic control. Potholes, rutting, inadequate lanes/signing/striping, poor traffic control, blocked sidewalks/paths are all common issues that should be reported to Water Resources – Infrastructure Inspections at 919-249-3427. The Town will get NCDOT involved if needed.

## Parking Violations: Non-Emergency Police 919-362-8661

Unless a neighbor gives permission, there should be no construction parking in neighbors' driveways or on their property. Note that parking in the right-of-way is allowed, but Town regulations prohibit parking within 15 feet of driveways so as not to block sight triangles. Trespassing and parking complaints should be reported to the Non-Emergency Police phone number at 919-362-8661.

## Dirt in the Road: James Misciagno 919-372-7470

Sediment (dirt) and mud gets into the existing roads due to rain events and/or vehicle traffic. These incidents should be reported to James Misciagno. He will coordinate the cleaning of the roadways with the developer.

## Dirt on Properties or in Streams: James Misciagno 919-372-7470 Danny Smith [Danny.Smith@ncdenr.gov](mailto:Danny.Smith@ncdenr.gov)

Sediment (dirt) can leave the site and get onto adjacent properties or into streams and stream buffers; it is typically transported off-site by rain events. These incidents should be reported to James Misciagno at 919-372-7470 so that he can coordinate the appropriate repairs with the developer. Impacts to the streams and stream buffers should also be reported to Danny Smith ([danny.smith@ncdenr.gov](mailto:danny.smith@ncdenr.gov)) with the State.

## Dust: James Misciagno 919-372-7470

During dry weather dust often becomes a problem blowing into existing neighborhoods or roadways. These incidents should be reported to James Misciagno at 919-372-7470 so that he can coordinate the use of water trucks onsite with the grading contractor to help control the dust.

## Trash: James Misciagno 919-372-7470

Excessive garbage and construction debris can blow around on a site or even off of the site. These incidents should be reported to James Misciagno at 919-372-7470. He will coordinate the cleanup and trash collection with the developer/home builder.

## Temporary Sediment Basins: James Misciagno 919-372-7470

Temporary sediment basins during construction (prior to the conversion to the final stormwater pond) are often quite unattractive. Concerns should be reported to James Misciagno at 919-372-7470 so that he can coordinate the cleaning and/or mowing of the slopes and bottom of the pond with the developer.

## Stormwater Control Measures: Jessica Bolin 919-249-3537

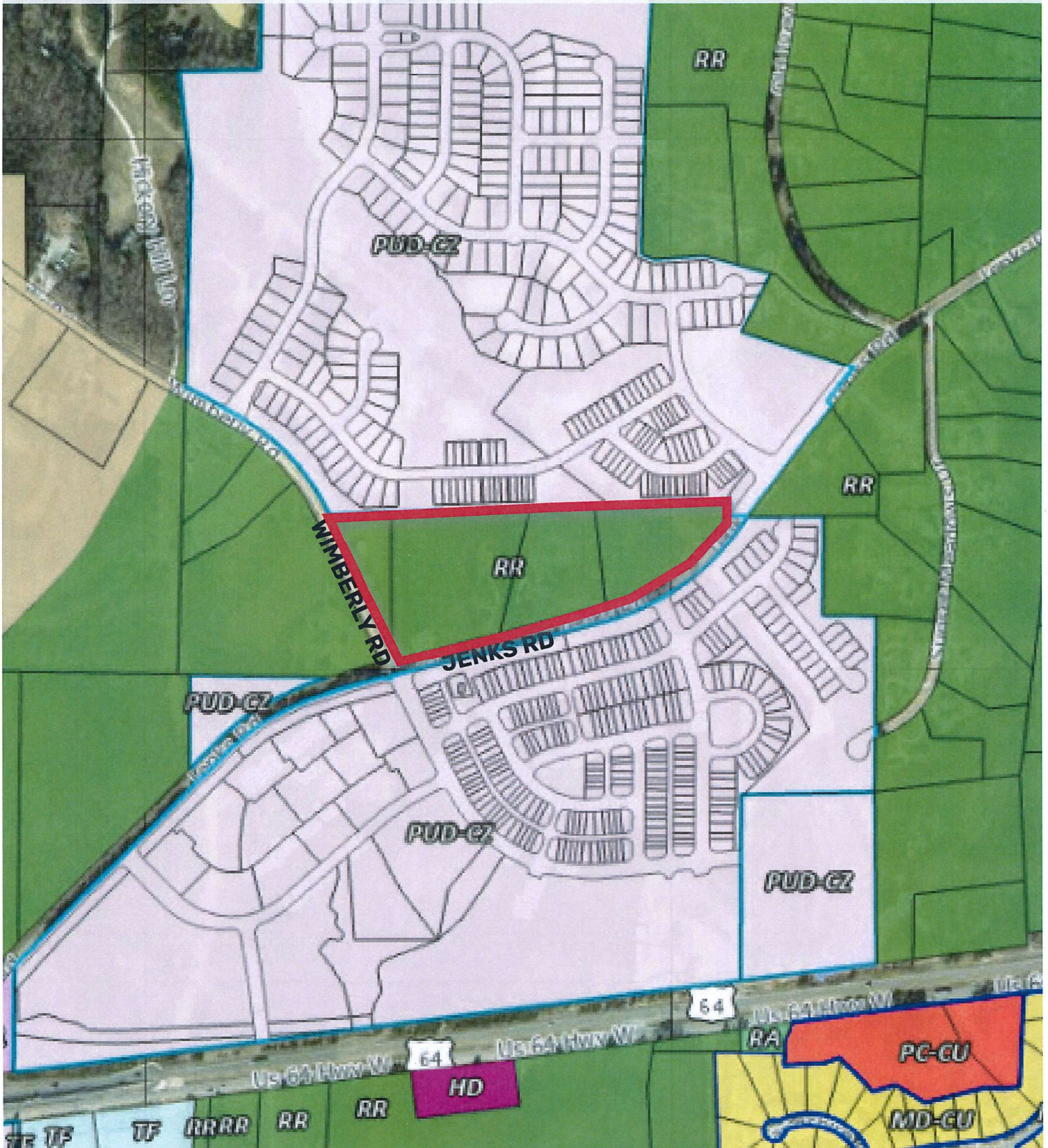
Post-construction concerns related to Stormwater Control Measures (typically a stormwater pond) such as conversion and long-term maintenance should be reported to Mike Deaton at 919-249-3413.

## Electric Utility Installation: Rodney Smith 919-249-3342

Concerns with electric utility installation can be addressed by the Apex Electric Utilities Department. Contact Rodney Smith at 919-249-3342.



# ZONING MAP APEX, NORTH CAROLINA





**VICINITY MAP** APEX, NORTH CAROLINA





# THE RETREAT AT THE PRESERVE AT WHITE OAK CONCEPT LAYOUT



SITE DATA TABLE	
Total Site Area	14.68 acres
Community Park	1.65 acres
Residential Land Area	8.63 acres
Non-Residential Land Area (30%)	4.40 acres
Proposed 22' Townhome Units	71 units
Proposed Non-Residential SF	+/- 22,000 sf



# ELECTRONIC NEIGHBORHOOD MEETING ATTENDANCE SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Format: Zoom  
 Date of meeting: March 24, 2021 Time of meeting: 6-8pm  
 Property Owner(s) name(s): Trisha and Richard Hinesley, Teresa Kirkpatrick, Charles and Frances Lewis, Michael and Alison Cleary  
 Applicant(s): McAdams

Please list Electronic Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Erik Ladd Sullivan				
2.	Michael Cleary and Alison Cleary				
3.	Michelle Sever	2573 Rambling Creek Rd, Apex, NC 27523			
4.	Lynn and Peter Cotterill	918 Haybeck Lane			
5.	Richard Bootes	2575 Rambling Creek Rd			
6.	Mark Crews	2545 Sunnybranch Lane			
7.	James Park				
8.					
9.					
10.					
11.					
12.					
13.					
14.					

Use additional sheets, if necessary.

# SUMMARY OF DISCUSSION FROM THE ELECTRONIC NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): Trisha and Richard Hinesley, Teresa Kirkpatrick, Charles and Frances Lewis, Michael and Alison Cleary

Applicant(s): McAdams

Contact information (email/phone): hardesty@mcadamsco.com / 540-958-9098

Meeting Format: Zoom

Date of meeting: March 24, 2021 Time of meeting: 6-8pm

Please summarize the questions/comments and your response from the Electronic Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

## Question/Concern #1:

What will you do about the tall trees along the property line? (Owner lives near gas easement).

Would hate to see trees cut down that don't have to.

### Applicant's Response:

We will have at least a 15' buffer at that location. It looks like those existing trees are either outside the property or within that perimeter buffer where we would be able to save those. We don't have a grading plan yet, but we try to stay out of those buffers as much as we can.

## Question/Concern #2:

Will the park area be open to anyone?

### Applicant's Response:

It is intended to be open to anyone who can walk to it.

## Question/Concern #3:

Is there a plan to add more amenities and community space with adding more homes?

### Applicant's Response:

There are no plans for additional hardscape amenities, but this property will be adding the green space/community park amenity.

## Question/Concern #4:

There was a big buffer behind us when we first moved in, and many trees were removed. I'm worried more of the treeline behind us will disappear with this development. Will you be replacing the buffer with trees?

### Applicant's Response:

We will be required to have a Type A landscape buffer on the northern boundary which is the Town's most opaque buffer. It will be 15 feet so it won't be a green wall, but it is intended to be the most opaque buffer.

**Question/Concern #5:** Our townhomes are two stories, and with the grade change, some homes can see directly into my home so this is concern. Would hope you come out to the property so you can see our concern and what we are talking about.

**Applicant Response:** We appreciate your concerns and this is why we have these meetings so we can understand these concerns. We want to do site visit to understand and figure out how we can address this.

**Question/Concern #6:** Also worried about stormwater runoff and it becoming a swamp in our back yard. With the stormwater pond right there, what is put in place to deal with mosquitos?

A: That facility is a wet facility so it will have a pool there and designed to meet Town standards. When it rains it rises up and discharges out a facility. It won't be stagnant.

**Question/Concern #7:** Is there any idea what the commercial buildings might be? Coffee shop?

**Applicant Response:** We don't know at this point. There will be a variety of permitted uses allowed that are non-intrusive. We could see something like a daycare type use making sense here. It won't be destination retail.

**Question/Concern #8:** Do you have any feel for how Apex Council will view this plan?

**Applicant Response:** We have had discussions with one council member who felt strongly about moving the commercial to the intersection and those conversations have gone very well. We feel good about the plan, but we won't know for sure council's views until the time comes.

**Question/Concern #9:** Will the area next to the easement stay lowland area?

**Applicant Response:** That will be outside of the property, so it won't be impacted. We placed greenway alignment next to this to have a low impact on the area.

**Question/Concern #10:** Is there any way to get the gas company to cut the grass more than once a year?

**Applicant Response:** We can certainly reach out to our local contacts, but most of the management for that particular gas line is at the national level and they might not be responsive.

**Question/Concern #11:** Where there be a sidewalk cutting through the easement?



**Applicant Response:** there will be an established trail, but not sure about what surface it will be. Our preference would be to have a natural trail, and a footbridge might be necessary, but we have to see what Parks and Rec says.

**Question/Concern #12:** Are plans available online?

**Applicant Response:** They will be when we file the application. It will probably be uploaded within about 4-6 weeks of our submittal. You can also contact the Planning Department and they can direct you to it. We will be submitting a bubble plan less detailed than what we are showing here.

**Question/Concern #13:** What is the general timeline for approval?

**Applicant Response:** We are submitting April 1 and go through a few rounds of review and then Planning Board and Council would be in June if all goes as planned.

**Question/Concern #14:** How definitive are the parking pads?

**Applicant Response:** What you are referring to is for the required guest parking for townhomes. This is a mature concept plan, but parking locations could change.

**Question/Concern #15:** Are these frontloaded?

**Applicant Response:** Yes.

**Question/Concern #16:** We have a retaining wall and a fence on the north side of the property. Will that fence stay?

**Applicant Response:** That fence should stay because it is well on to your property.

# AFFIDAVIT OF CONDUCTING AN ELECTRONIC NEIGHBORHOOD MEETING AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Jessie Hardesty, do hereby declare as follows:  
Print Name

1. I have conducted an Electronic Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7 *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners within 300 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Electronic Neighborhood Meeting.
3. The meeting was conducted via Zoom (indicate format of meeting) on March 24 (date) from 6:00pm (start time) to 8:00pm (end time).
4. I have included the mailing list, meeting invitation, attendance sheet issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

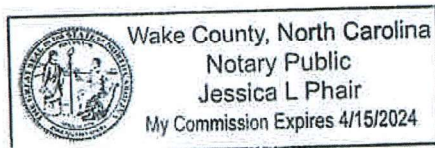
March 25, 2021  
Date

By: Jessie Hardesty

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, Jessica L. Phair, a Notary Public for the above State and County, on this the 25<sup>th</sup> day of March, 20 21.

SEAL



Jessica L. Phair  
Notary Public  
Jessica L. Phair  
Print Name

My Commission Expires: 4/15/24



**ALDERWOOD**  
**PLANNED UNIT DEVELOPMENT**  
REZONING CASE 21CZ09

Wimberly Road & Jenks Road  
Apex, North Carolina | PD PLAN



# ALDERWOOD

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**Planned Unit Development**  
**Prepared for The Town of Apex, North Carolina**  
**Rezoning Case 21CZ09**

## **Submittal Dates**

First Submittal: April 1, 2021  
Second Submittal: May 14, 2021  
Third Submittal: June 11, 2021

## **Developer**

Taylor Morrison  
15501 Weston Parkway Suite 100  
Cary NC 27513



## **Planner, Engineer, Landscape Architect**

McAdams  
2905 Meridian Parkway  
Durham NC 27113



MCADAMS

## **Environmental Consultant**

Spangler Environmental  
4338 Bland Road  
Raleigh NC 27609



SPANGLER  
ENVIRONMENTAL, INC.

## **Traffic Engineer**

Kimley Horn  
300 Morris Street, Suite 200,  
Durham, NC 27701

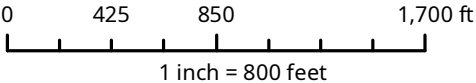




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VICINITY MAP



## PROJECT DATA

<b>Name of Project:</b>	Alderwood
<b>Applicant Owner/Developer:</b>	Taylor Morrison 15501 Weston Parkway Suite 100 Cary NC 27513 919-407-1232
<b>Prepared By:</b>	McAdams 2905 Meridian Parkway Durham, NC 27713 919-361-5000  Morningstar Law Group 421 Fayetteville Street, Suite 530 Raleigh, NC 27601 919-590-0371
<b>Current Zoning Designation:</b>	RR
<b>Proposed Zoning Designation:</b>	PUD-CZ
<b>Current 2045 Land Use Map Designation:</b>	Mixed Use - High Density, Office Employment, Commercial Services
<b>Proposed 2045 Land Use Map Designation:</b>	Mixed Use - Medium/High Density, Office Employment, Commercial Services
<b>Proposed Use:</b>	Mixed-used development with townhomes, commercial, office, and park space
<b>Size of Project:</b>	14.86 acres
<b>Area Designated as Mixed Use on 2045 LUM:</b>	14.86 acres
<b>Area of Mixed Use Proposed as Non-residential:</b>	4.46 acres (30% of total acreage)
<b>Property Identification Numbers:</b>	0722687241, 0722780191, 0722784193, 0722788252



## PURPOSE STATEMENT

The purpose of the Alderwood PUD is to provide a mixed-use development containing townhomes along with neighborhood scaled retail, restaurant, and/or office uses that will be highly complementary to the existing built environment as well as planned future developments in the vicinity of the subject property. The proposed development will set aside required resource conservation areas throughout the 14.86-acre property. Alderwood's concept is consistent with the Town's stated PUD goal to provide site specific, high quality neighborhoods that exhibit natural feature preservation as well as compatibility with, and connectivity to, surrounding land uses. This development will comply with the PUD Development Parameters outlined in §2.3.4.F.1.a.i-vii of the Town of Apex Unified Development Ordinance as follows:

- *The uses to be developed in the PD Plan for the PUD-CZ are those uses permitted in Section 4.2.2, Use Table.*
  - » **The uses permitted within the Alderwood PUD are permitted per §4.2.2 of the Town of Apex UDO.**
- *The uses proposed in the PD Plan for the PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of the non-residential land area is included in certain mixed-use areas as specified on the 2045 Land Use Map. The location of uses proposed by the PUD-CZ must be shown on the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.*
  - » **Alderwood is a mixed-used development containing a maximum of:**
    - 78 townhomes
    - 30,000 square feet of non-residential floor area, including retail, restaurant, and office space

This mix of uses provides a minimum of 30% of the site for non-residential land uses.

- *The dimensional standards in §5.1.3 Table of Intensity and Dimensional Standards, Planned Development Districts, may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.*
  - » **The proposed dimensional standards are in compliance with the Town of Apex UDO. Development of the parcel will be in compliance with all other requirements of the UDO, North Carolina Building Code, and North Carolina Fire Code.**
- *The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways, and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Apex Transportation Plan and the Town of Apex Standard Specifications and Details, and greenway improvements as required by the Town of Apex Parks, Recreation, and Open Space Plan and the Apex Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.*
  - » **Public sidewalks will be constructed along the both sides of all streets, going above the Town of Apex UDO standards. Additionally, a public access easement will be provided on**



the northern end of the property that could ultimately provide a connection to the proposed greenway north of the property.

- *The design of development in the PD Plan for the PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing proposed or proposed street system in the surrounding area indicated that a through street is not essential in the location of the proposed cul-de-sacs, or where sensitive environmental features such as streams, floodplains, or wetlands would be substantially disturbed by making road connections.*
  - » Alderwood will create a walkable neighborhood of residential and non-residential uses connected by sidewalks, tree-lined streets, and greenways. Cul-de-sacs will be avoided to enhance the connectivity of the development.
- *The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.*
  - » The property is consistent with surrounding land uses however, a change is requested on The Town of Apex's Future Land Use Map. Current zoning surrounding the development includes PUD-CZ developments to the immediate north and south and RR to the east and west. The Future Land Use Map designates the property as Mixed Use to include High Density Residential, Office Employment, Commercial Services and Medium/High Density Residential. The land south of the subject property shares this FLUM designation and the land to the north is designated as Medium/High Density Residential. The High Density Residential designation is requested to change to Medium/High Density Residential (see **Consistency with Land Use Plan**).
- *The development proposed in the PD Plan for the PUD-CZ has architectural and design standards that are exceptional and provide a higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.*
  - » All townhomes and commercial buildings will be of a higher quality construction than the typical residential or commercial development. Architectural controls for non-residential uses as well as sample elevations illustrating the high-quality appearance of the townhomes and non-residential buildings are included with the PUD-CZ application.

All site-specific standards and conditions of this PD Plan shall be consistent with all Conditional Zoning (CZ) District standards set forth in the UDO Section 2.3.3, Conditional Zoning Districts and in the Design Controls section of this document.

## PERMITTED USES

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

### Residential Area:

- Townhomes
- \*Accessory apartment
- Utility, minor
- Greenway
- Park, active
- Park, passive
- Recreation Facility, private

### Non-Residential Area:

- Utility, minor
- Greenway
- Entertainment, indoor
- Assembly hall, non-profit
- Assembly hall, for-profit
- Church or place of worship
- Day care facility
- Drop-in or short-term day care
- Government Services
- Restaurant, general
- Medical or dental clinic or office
- Office, business or professional
- Publishing Office
- Artisan studio
- Barber and beauty shop
- Book Store
- Convenience store
- Convenience Store with gas sales
- Dry cleaners or laundry service
- Farmer's market
- Financial institution
- Floral shop
- Grocery, general
- Grocery, specialty
- Health/fitness center or spa
- Newsstand or gift shop
- Personal service
- Pharmacy
- Printing and copying service
- Real estate sales
- Repair services, limited
- Retail sales, general
- Studio for art
- Tailor shop
- Upholstery shop
- Pet services
- Microbrewery
- Microdistillery

### \*Permitted Uses Subject to Limitations:

Accessory apartment - No covenant shall be placed on the property which prohibits accessory apartment as a use.

## AFFORDABLE HOUSING

The project is committed to helping the Town of Apex advance their Affordable Housing Plan to welcome and attract a diverse population with moderate to low incomes and of different age groups. As such, the developer will contribute \$215.00 per lot to the Apex Affordable Housing Fund, to be paid at plat.

## DESIGN CONTROLS

**Total Project Area:** 14.86 acres

### Apex 2045 Land Use Plan - Community Mixed-Use Calculation

- Total Project Area within Community Mixed-Use Designation: 14.86 acres
  - » Required Non-Residential Land Area: 4.46 acres (30%)
  - » Proposed Gross Non-Residential Land Area: 4.46 acres (30%)

### Overall Density Limitations:

- Maximum number of Townhomes: 78
- Maximum Non-Residential Floor Area: 30,000 SF
- Maximum Built-Upon Area: 70%

### Townhomes

- Minimum Lot Width: 22 feet
- Minimum Lot Depth: 65 feet
- Maximum Building Height: 45 feet (3 stories)
- Minimum Building Setbacks:
  - » Front (façade or front porch): 8 feet
  - » Front (Garage): 20 feet
  - » Rear: 10 feet
  - » Corner: 8 feet
  - » Building separation: 10 feet

*Note: Porches, patios, decks, and other accessory structures may encroach into building setbacks as allowed by the Town of Apex UDO.*



## **Non-Residential Design Controls**

- Maximum Building Height: 50 feet
- Minimum Building Setbacks:
  - » From Required Buffers: 10 feet
  - » When there are no buffers:
    - > Front: 20 feet
    - > Side: 20 feet
    - > Rear: 20 feet

## **Landscaping, Buffering, and Screening**

All landscaping for this PUD shall comply with Section 8.2 Landscaping, of the Town of Apex UDO, except for the following provisions (Section 8.2.4 A):

- Landscaping requirements for townhomes shall be permitted on townhome lots and/or HOA owned common areas.

The following buffers are provided in accordance with the UDO:

- Along Jenks Rd: 30' Type E
- Along Wimberly Rd: 30' Type E
- Northern property boundary (residential portion): 15' Type A
- Northern property boundary (non-residential portion): 20' Type A

The project will increase biodiversity in perimeter buffers and open space areas by providing a variety of species for the canopy, understory, and shrub levels. Native and adaptive plant species shall be provided within these areas to minimize death from disease and to provide increased habitat and food sources for insects and animals. A minimum of 70% of the species provided shall be native or a nativar of North Carolina. No invasive species shall be permitted. No single species of tree or shrub shall constitute more than 20% of the plant material of its type installed on a single development site.

## **ARCHITECTURAL STANDARDS**

The proposed development offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Elevations included are limited examples of multiple options available. Changes to the exterior materials, roof, windows, doors, process, trim, etc. are allowable with administrative approval at the staff level. Further details shall be provided at the time of Residential Master Subdivision Plan or Site Plan submittal.

Residential areas envisioned for Alderwood will be comprised of attached townhome units. The project will offer a variety of distinct residential elevations – see examples located at the end of this document. These elevations will incorporate a natural material selection and earth tone color palette with wood, brick or stone accents, which will help to add diversity to the streetscape.

While each of the architectural offerings proposed will have their own identity, a number of common threads will link the neighborhood, including color palettes, materials, roofing, and decorative garage doors. Elevations have been included below in an effort to represent the bulk, massing, scale and architectural style of the development.

Additional features used as focal points or key terminus points shall be located within or around the development in order to meet the Community Amenities requirement of the UDO. A key terminus point will be the community park, which is to contain a National Wildlife Federation certified butterfly garden.

### **Residential Design Guidelines (all product types):**

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. Front-facing garage doors shall have at least one of the following: windows, decorative details or carriage-style adornments.
3. The garage cannot protrude more than 1 foot out from the front façade or front porch, measured from roof of porch.
4. On townhomes, roof line cannot be a single mass; it must be broken up either horizontally and/or vertically between, at minimum, every other unit.
5. House entrances for units with front-facing single-car garages must have a covered porch/stoop area leading to the front door.
6. Rear and side elevations of units that have right-of-way frontage shall have trim around the windows.
7. Four of the following decorative elements shall be used on each building: decorative shake, board and batten siding, decorative porch rails and posts, shutters, decorative functional foundation and roof vents, recessed windows, decorative windows, decorative brick or stone, decorative gables, decorative cornices, or metal roofing.
8. A varied color palette shall be utilized on townhome units throughout the subdivision and shall include siding, trim, shutter, and accent colors complementing the siding colors.

## **Proposed Residential Materials and Styles**

Proposed materials and styles will be of a similar palette to provide consistency of character along with visual interest. Exterior materials that may be incorporated into any of the residential building products include:

- Cementitious lap siding
- Board and batten siding
- Shake and shingle siding
- Wood siding
- Stone or synthetic stone
- Brick

Additional building materials may be included with administrative staff approval. Substitute materials shall be allowed by staff as long as they are determined by the Planning Director to be substantially similar.

## **Non-Residential Design Guidelines:**

1. Architectural treatments such as varying roof forms, façade articulation, breaks in roof, walls with texture materials and ornamental details as well as landscaping shall be incorporated to add visual interest. Large expanses of blank walls, greater than 25' in length or height, shall be broken up with windows or other architectural features to reduce visual impacts.
2. Roof features may include flat roofs with parapet, hip roofs or awnings with metal or canvas material.

## **Non-residential exteriors shall incorporate variation in materials. The primary (front) façade and other façades located along a public right-of-way may include:**

- Brick and/or stone masonry
- Decorative concrete block (integral color or textured)
- Stone accents
- Aluminum storefronts with anodized or pre-finished colors
- EIFS cornices, and parapet trim
- EIFS or synthetic stucco shall not be used in the first four feet above grade and shall be limited to only 25% of each building façade
- Precast concrete
- Soffit and fascia materials to be considered include EIFS with crown trim elements
- Cementitious siding

Rear elevations of non-residential buildings facing opaque landscape buffers or not visible from vehicular use areas or public rights-of-way may incorporate decorative concrete masonry, metal coping, or EIFS trim.



**Exterior materials not allowable as part of the residential or non-residential development are as follows:**

- Vinyl siding
- Painted, smooth faced concrete block
- Metal Walls

## PARKING AND LOADING

All parking for this PUD will comply with Section 8.3 Off-Street Parking and Loading, of the Town of Apex UDO.

On-street parallel parking stalls may be used to satisfy guest parking requirements.

## SIGNAGE

All signage for this PUD shall comply with Section 8.7, *Signs*, of the Town of Apex UDO.

## NATURAL RESOURCES AND ENVIRONMENTAL DATA

### **River Basins and Watershed Protection Overlay Districts**

This project is located within the Beaver Creek Drainage Basin, which is within the Cape Fear River Basin. The site is located within the Primary Watershed Protection Overlay District as shown on the Town of Apex Watershed Protection Map. Accordingly, this PUD will comply with all built upon area, vegetated conveyances, structural SCMs and riparian stream buffer requirements of Section 6.1.7.

### **Resource Conservation Areas (RCA) - Required and Provided**

This PUD will be subject to, and meet the requirements of, Section 8.1.2 of the UDO, *Resource Conservation Area* and Section 2.3.4, *Planned Development Districts*.

The PUD will provide a minimum of 25% of the gross project area as a Resource Conservation Area (RCA). The calculation of the RCA areas required for the development shall be as per the standards contained in the Unified Development Ordinance as of the effective date of the rezoning for the Alderwood PUD. Designated RCA areas will be consistent with the items listed in Section 8.1.2(B) of the Town's UDO. Preserved streams, wetlands, and associated riparian buffers provide the primary RCAs throughout the site. Additional RCA areas may include perimeter and streetfront buffers, stormwater management areas (as permitted by the UDO), and greenway trails.

### **Floodplain**

The project site does not sit within a designated current or future 100 year floodplain as shown on the Town of Apex FEMA map and FIRM Panel 3720072200J, dated May 2, 2006.

## **Tree Canopy**

The Apex 2045 Land Use Plan designates the majority of this property as Mixed-Use. This land use designation prescribes a mix of High Density Residential, Office Employment and Commercial uses. In order to implement this mix of uses in compliance with the land use plan, it will be necessary to remove some tree canopy outside of environmentally protected areas.

Tree canopy areas will be primarily concentrated around the wetland areas, perimeter buffers and the community park. Where trees cannot be preserved, as part of the implementation of this community, the project will re-establish a new tree canopy within the public rights-of-way, along with vegetated perimeter buffers, and open space areas.

## **Historic Structures**

As confirmed by the North Carolina State Historic Preservation Office and Capital Areas Preservation, Inc. there are no historic structures present within the project boundary.

## **Environmental Commitments Summary**

The following environmental conditions shall apply to the development:

- Install educational signage (minimum two signs) about wetlands and near environmental sensitive areas in order to:
  - » Reduce pet waste; and
  - » Eliminate fertilizer.
- Install two pet waste stations.
- Provide a public access easement for privately-maintained sidewalk connectivity at the northern end of the subject properties as shown on the PUD plans.
- Increased stormwater quantity and quality control measures (see Stormwater Management section for details)
- Seek National Wildlife Federation certification of the community park.
- The project will increase biodiversity in perimeter buffers and open space areas by providing a variety of species for the canopy, understory, and shrub levels. Native and adaptive plant species shall be provided within these areas to minimize death from disease and to provide increased habitat and food sources for insects and animals.
  - » A minimum of 70% of the species provided shall be native or a nativar of North Carolina.
  - » No invasive species shall be permitted.
  - » No single species of tree or shrub shall constitute more than 20% of the plant material of its type installed on a single development site.

## STORMWATER MANAGEMENT

This PUD shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO such that:

- Post development peak runoff shall not exceed pre-development peak runoff conditions for the 1 year, 10 year, 25-year, and 24-hour storm events.
- Treatment for the first 1 inch of runoff will provide 85% removal of total suspended solids.

Acceptable stormwater structures shall include detention ponds, constructed wetlands, bio-retention areas, or other approved devices consistent with the NC DEQ Stormwater Design Manual and the Town of Apex UDO.

## PARKS AND RECREATION

The project was reviewed by the PRCR Advisory Commission on May 26th, 2021 meeting. The Advisory Commission unanimously recommended a fee-in-lieu for the project.

Number of Units*	Housing Type	Fee Per Unit**	Total Fees
78	Townhomes	\$2,354.05	<b>\$183,615.90</b>

\*Final unit count will be determined at the time of Master Subdivision.

\*\*Fees are based upon approval date and runs with project with exception of the increase in total unit count.



## PUBLIC FACILITIES

The proposed PUD shall meet all Public Facilities requirements as set forth in the Apex Unified Development Ordinance (UDO), Advance Apex: The 2045 Transportation Plan, and the Standard Specifications and Details. Roadway, pedestrian, and utility infrastructure shall be as follows:

### General Roadway Infrastructure

All proposed roadway infrastructure and right-of-way dedications will be consistent with the Town of Apex UDO and Transportation Plan in effect as of the effective date of the rezoning for the Retreat at the Preserve at White Oak PUD unless otherwise stated below. The following conditions regarding transportation improvements apply:

- Developer shall construct full-movement access to Jenks Road across from Hutch Lane and restripe the existing two-way left turn lane to provide 100 feet of eastbound left turn storage.
- Developer shall construct right-in/right-out only access to Jenks Road approximately 500 feet east of the intersection of Wimberly Road, and as generally depicted on PUD Sheet C2.00, including a westbound right turn lane on Jenks Road with 50 feet of full width storage, 50 feet of full width deceleration, and 100 feet of taper, and provide a monolithic concrete median on Jenks Road extending from the east to west ends of the intersection radius and right turn lane to prevent left turns.
- Developer shall provide minimum typical frontage widening on Jenks Road from the centerline based on a 41-foot 3-lane curb and gutter roadway on 80 feet of right-of-way (40 feet from centerline).
- Developer shall construct full-movement access to Wimberly Road approximately 500 feet north of Jenks and as generally depicted on PUD Sheet C2.00.
- Developer shall provide minimum typical frontage widening on Wimberly Road from the centerline based on a 35-foot 2-lane curb and gutter roadway on 60 feet of right-of-way (30 feet from centerline).
- No additional points of vehicular access to Jenks Road or Wimberly Road shall be proposed or permitted within the boundaries of the PUD.

### Walkability

The following facilities will be provided to contribute to a walkable community within and surrounding Alderwood development:

- Developer shall construct five-foot wide public sidewalks along both sides of all internal streets.
- Developer shall construct six-foot wide private walking trail(s) in the community park area.
- Developer shall construct a ten-foot wide Side Path along both the Jenks Road and Wimberly Road frontages of the subject properties.
- Developer shall provide a public access easement for privately-maintained sidewalk connectivity at the northern end of the subject properties as shown on the PUD plans.

## **Water and Sanitary Sewer**

All lots within the project will be served by Town of Apex for water and sanitary sewer. The utility design will be finalized at the time of master subdivision plan approval and be based on available facilities adjacent to the site at that time. The design will meet the current Town of Apex master plans for water and sewer.

## **Other Utilities and Facilities**

Electricity will be provided by Apex Electric. Phone, cable, and gas will provided by the developer and shall meet the Town of Apex standards as outlined in the UDO.

Streetscape features may be used to help with establishing a framework for the proposed development. These features may include street trees within the public right-of-way, benches, trash receptacles, and street and/or pedestrian lights compatible with their context. Other features may include markers, bollards, and unique paving patterns.

## **PRIVATE AMENITIES**

A community park, approximately 1.65 acres, will be designed at the northeast corner of the property. The developer will seek National Wildlife Federation certification, which includes ensuring key habitat elements are incorporated into the landscape, including but not limited to specific plants and supplemental feeders, water, wildlife shelter, and sustainable practices.

The developer will also install educational signage (minimum 2 signs) in the neighborhood near wetland areas and signage near environmentally sensitive areas in order to reduce pet waste and eliminate fertilizer. Similarly, pet waste stations (minimum 2 stations) will be installed strategically throughout the community.

## **PHASING PLAN**

This PUD will be completed in up to 3 phases. Location of phases will be determined at the time of Master Subdivision Review and Approval.

## **CONSISTENCY WITH LAND USE PLAN**

The proposed land use will be consistent with Advance Apex 2045: The Apex Comprehensive Plan, adopted in February 2019 if the requested Land Use Map amendment is approved.

The Future Land Use Map the property as Mixed Use, which encompasses High Density Residential, Office Employment, and Commercial Services. A Future Land Use Map Amendment is requested to allow for Medium/High Density Residential.

## COMPLIANCE WITH UDO

The development standards adopted for this PUD are in compliance with those set forth in the current version of the Town's Unified Development Ordinance (UDO).

## TRANSPORTATION IMPROVEMENTS

The following zoning condition represents the recommendations by Apex staff and NCDOT based on a review of the TIA prepared for the Alderwood plan:

### **Jenks Road**

- Developer shall provide minimum typical frontage widening on Jenks Road from the centerline based on a 41-foot 3-lane curb and gutter roadway on 80 feet of right-of-way (40 feet from centerline).

### **Jenks Road - East Site Drive**

- Developer shall construct full-movement access to Jenks Road across from Hutch Lane and restripe the existing two-way left turn lane to provide 100 feet of eastbound left turn storage.

### **Jenks Road - West Site Drive**

- Developer shall construct right-in/right-out only access to Jenks Road approximately 500 feet east of the intersection of Wimberly Road, and as generally depicted on PUD Sheet C2.00, including a westbound right turn lane on Jenks Road with 50 feet of full width storage, 50 feet of full width deceleration, and 100 feet of taper, and provide a monolithic concrete median on Jenks Road extending from the east to west ends of the intersection radius and right turn lane to prevent left turns.

### **Wimberly Road**

- Developer shall provide minimum typical frontage widening on Wimberly Road from the centerline based on a 35-foot 2-lane curb and gutter roadway on 60 feet of right-of-way (30 feet from centerline).

### **Wimberly Road - Site Drive**

- Developer shall construct full-movement access to Wimberly Road approximately 500 feet north of Jenks and as generally depicted on PUD Sheet C2.00.

No additional points of vehicular access to Jenks Road or Wimberly Road shall be proposed or permitted within the boundaries of the PUD.



Sample Residential Elevations



**Taylor Morrison Townhomes  
Alderwood**

03.29.21



The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design, construction, (i.e., applicable codes, structural, and MEP design requirements, and prior / floor plan alterations, etc.)  
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OND-GA120913



**taylor  
morrison**  
Homes Inspired by You 

**Taylor Morrison Townhomes  
Alderwood**

03.29.21

**gmd**  
design  
group  
of georgia

The drawings presented are illustrative of character and design, subject only, and are subject to change based upon final design considerations (i.e., applicable codes, structural, and MEP design requirements, unit size / floor plan changes, etc.)  
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GMD-GA13031.3





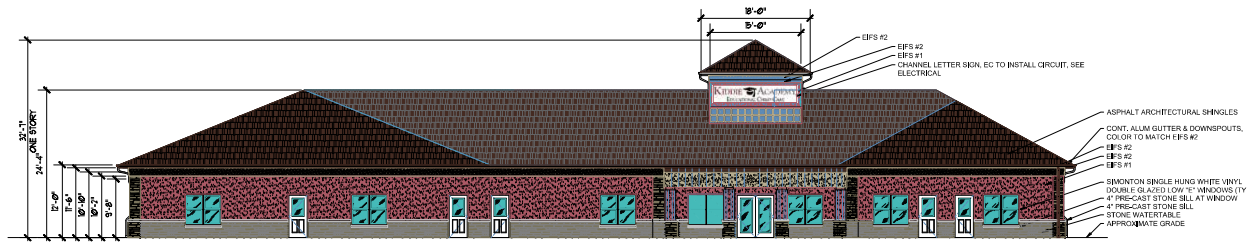
## Taylor Morrison Townhomes Alderwood

03.29.21

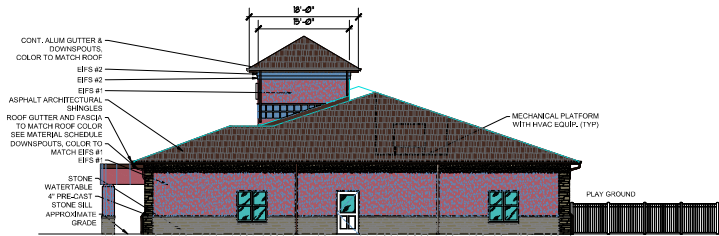


The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e., applicable codes, site/land, and MEP design requirements, utility plan / floor plan changes, etc.)  
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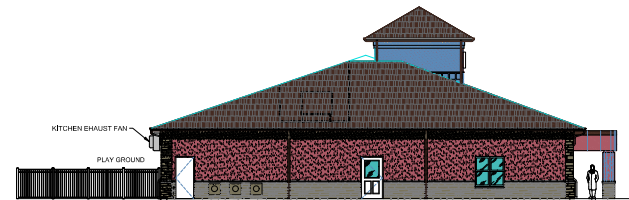
Sample Non-Residential Elevations



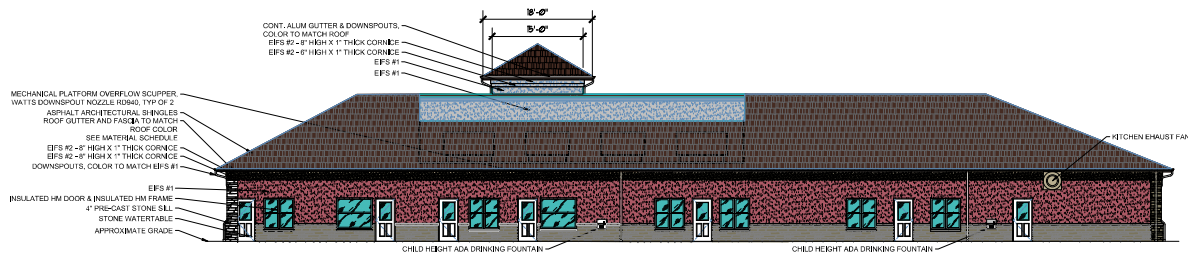
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SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



3 LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

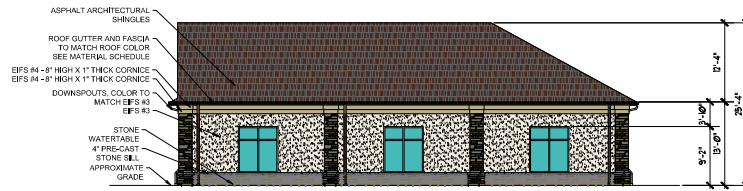


4 REAR ELEVATION  
SCALE: 1/8" = 1'-0"

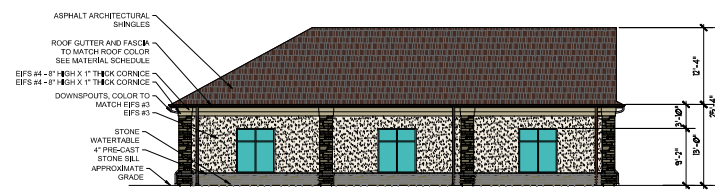




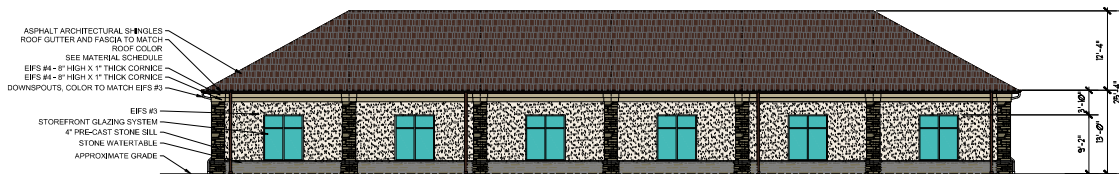
1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



3 LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



4 REAR ELEVATION  
SCALE: 1/8" = 1'-0"

# ALDERWOOD

WIMBERLY ROAD & JENKS ROAD  
APEX, NORTH CAROLINA

## PLANNED DEVELOPMENT PLAN FOR PUD-CZ

PROJECT NUMBER: 2020110080

DATE: JUNE 11, 2021



**VICINITY MAP & AERIAL IMAGE**  
N.T.S.

LOT #1	LOT #2	LOT #3	LOT #4
PIN: 0722687241	PIN: 0722780191	PIN: 0722784193	PIN: 0722788252
RICHARD & TRISHA HINESLEY	TERESA L. KIRKPATRICK	CHARLES, FRANCIS J., KENNETH LEWIS	MICHAEL, DUANE, ALISON N. CLEARY
4070 RANNEY WAY DRIVE	591 BENT OAK TRAIL	323 SCENIC MOUNTAIN DRIVE	7912 JENKS ROAD
STEM, NC, 27581-9561	CONCORD, NC, 28027-9715	SPARTA, NC, 28675-9434	APEX, NC 27523-7921
DB 14798, PG 1865	DB 15322, PG 769	DB 4310, PG 469	DB 5072, PG 62
1.68 AC	6.22 AC	3.55 AC	3.41 AC

### SHEET INDEX

C0.00	COVER
C1.00	EXISTING CONDITIONS
C2.00	PRELIMINARY LAYOUT PLAN

### SITE DATA

PARCEL IDENTIFICATION NUMBER (P/PIN)	0722687241, 0722780191, 0722784193, 0722788252
EXISTING ZONING	RR
PROPOSED ZONING	PUD-CZ
CURRENT ZONES LAND USE MAP DESIGNATION	MIXED USE - HIGH DENSITY, OFFICE EMPLOYMENT, COMMERCIAL SERVICES
PROPOSED ZONES LAND USE MAP DESIGNATION	MIXED USE - MEDIUM/HIGH DENSITY, OFFICE EMPLOYMENT, COMMERCIAL SERVICES
AREA DESIGNATED AS MIXED USE ON ZONE LAW	14.86 AC
PERCENT OF MIXED USE AREAS PROPOSED AS NON-RESIDENTIAL	30%
SITE AREA	APPROX. 15.30 AC - GROSS APPROX. 0.55 - INSIDE ROW APPROX. 14.86 AC - NET
EXISTING USE	SINGLE FAMILY LOTS
PROPOSED USE	MIXED USE - TOWNHOMES AND COMMERCIAL
DENSITY	MAXIMUM 78 UNITS / 14.86 AC = 5.24 DU/AC 80,000 SF NON-RESIDENTIAL FLOOR AREA
TOWNHOMES	
LOT SIZE	MINIMUM 1,430 SF
LOT WIDTH	MINIMUM 22'
LOT DEPTH	MINIMUM 60'
BUILDING HEIGHT	MAXIMUM 40' (3 STORIES)
SETBACKS	FRONT 20' TO BUILDING TO BUILDING FACADE OR FRONT PORCH SIDE 5' (10' BUILDING SEPARATION) REAR 10' ALLEY 5' CORNER 8'
PARKING	REQUIRED 78 UNITS x 2.0/UNIT = 156 SPACES PROPOSED 156 SPACES (RESIDENTIAL)
NONRESIDENTIAL	
BUILDING HEIGHT	MAXIMUM 40' (3 STORIES)
SETBACKS FROM REQUIRED BUFFERS	10'
SETBACKS (WHERE THERE ARE NO BUFFERS)	FRONT 20' SIDE 20' REAR 20' ALLEY 5'
CORNERS	8'
PARKING	REQUIRED LUDO SEC 8.3.2 PROPOSED WILL COMPLY WITH LUDO SEC 8.3.2
BUILDUPON AREA (WATERWAYS SURFACE)	MINIMUM 10.40 AC (70%)
RESOURCE CONSERVATION AREA	MINIMUM 3.72 AC (25%)
WATERSHED PROTECTION OVERLAY	PRIMARY WATERSHED PROTECTION DISTRICT
FLOODPLAIN	NONE (FIRM PANEL 372002200, EFFECTIVE 05/02/2006)
HISTORIC STRUCTURES	NONE

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187

www.mcadamsco.com

### CONTACT

JESSIE HARDESTY  
hardesty@mcadamsco.com  
PHONE: 919.361.5000

### CLIENT

TAYLOR MORRISON  
15501 WESTON PARKWAY SUITE 100  
CARY, NC 27513  
PHONE: 919.380.7223

**TaylorMorrison.**



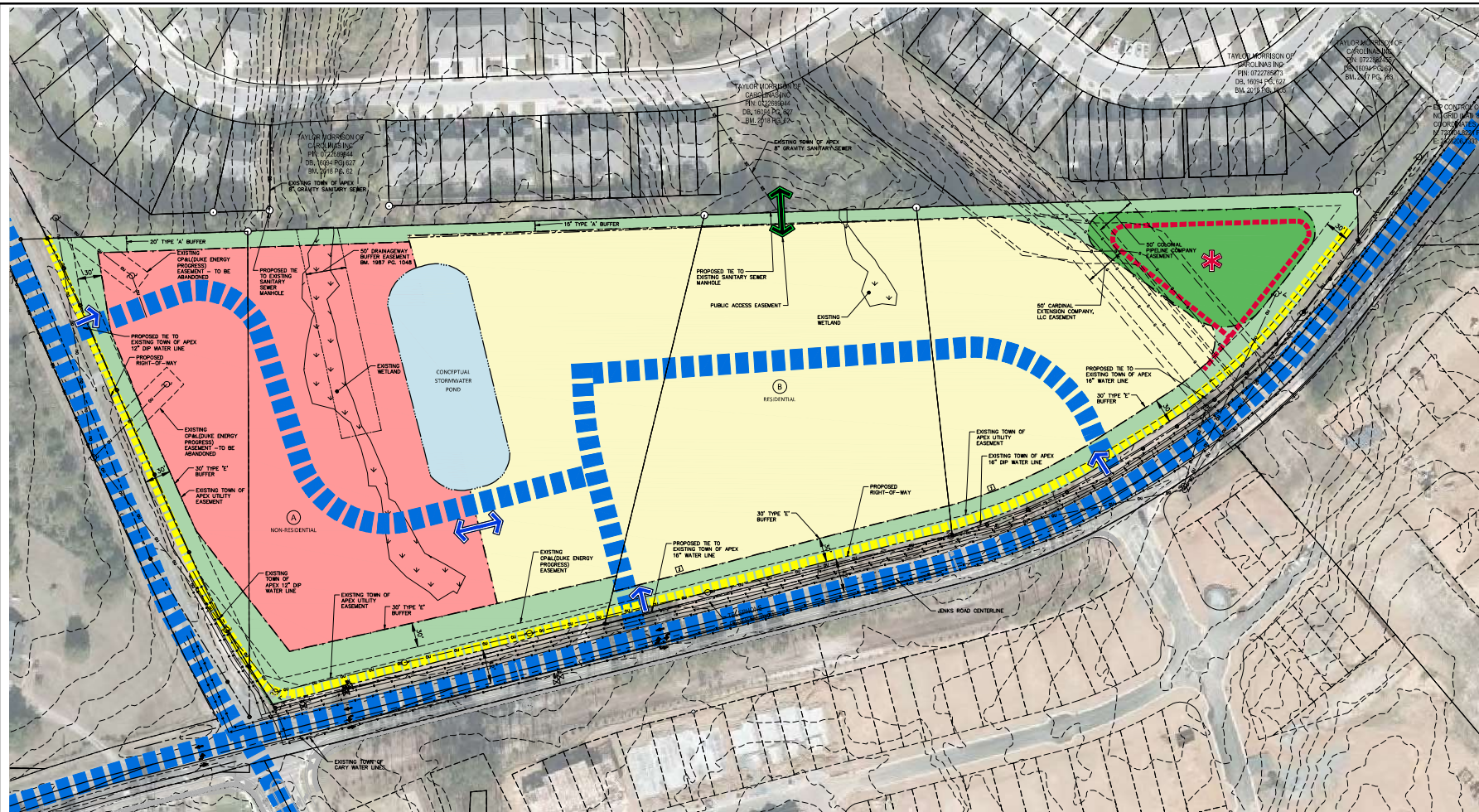
### REVISIONS

NO.	DATE	DESCRIPTION
1	09.14.2021	FOR TOWN OF APEX COMMENTS
2	06.11.2021	FOR TOWN OF APEX COMMENTS

**PLANNED DEVELOPMENT PLAN FOR:**  
**ALDERWOOD**  
APEX, NC 27523  
PROJECT NUMBER: 2020110080







TAYLOR MORRISON OF CAROLINAS INC.  
 P.O. BOX 2018  
 BLYTHEVILLE, AR 72315  
 TEL: 501-752-2600  
 FAX: 501-752-2601  
 WWW.TMORRISON.COM

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 WWW.TMORRISON.COM

PROJECT NO. 2020110080  
 FILENAME  
 CHECKED BY JH  
 DRAWN BY JAR  
 SCALE  
 DATE 04.01.2021  
 SHEET

**McAdams**  
 The John R. McAdams Company, Inc.  
 2905 Meridian Parkway  
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 fax 919.361.2269  
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 www.mcadamsco.com

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 CARY, NC 27513  
 PHONE: 919.380.7223

**TaylorMorrison**

**ALDERWOOD  
 PLANNED DEVELOPMENT PLAN  
 WIMBERLY ROAD & JENKS ROAD  
 APEX, NC, 27523**



**REVISIONS**

- 04.14.2021 HW TOWN OF APEX COMMENTS
- 06.11.2021 FORT TOWN OF APEX COMMENTS

**PLAN INFORMATION**

PROJECT NO. 2020110080  
 FILENAME  
 CHECKED BY JH  
 DRAWN BY JAR  
 SCALE  
 DATE 04.01.2021  
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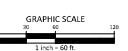
**PRELIMINARY  
 LAYOUT PLAN  
 C2.00**

- LEGEND**
- RESIDENTIAL CONCEPTUAL DEVELOPMENT ENVELOPE
  - ACTIVE RECREATION / POCKET PARKS
  - PASSIVE OPEN SPACE (STREAM BUFFERS/ WETLANDS/PROSPERITY BUFFERS)
  - STORMWATER MANAGEMENT CONCEPTUAL DEVELOPMENT ENVELOPE
  - WETLAND
  - NON-RESIDENTIAL CONCEPTUAL DEVELOPMENT ENVELOPE
  - CONCEPTUAL PUBLIC VEHICULAR ACCESS
  - CONCEPTUAL VEHICULAR INTERPARCEL ACCESS
  - CONCEPTUAL 5' PRIVATE WALKING TRAIL
  - CONCEPTUAL 10' SIDEWALK
  - PUBLIC VEHICULAR CIRCULATION (EXTERIOR)

NOTE: LOCATIONS OF VEHICULAR AND PEDESTRIAN CIRCULATION AND CONCEPTUAL PARK LOCATIONS WILL BE DETERMINED AT THE TIME OF SITE PLAN OR MASTER SUBDIVISION PLAN APPROVAL.

**GENERAL NOTES**

- REFER TO PUD DOCUMENT FOR COMPLETE LIST OF ALLOWABLE USES FOR EACH TRACT OR DEVELOPMENT AREA.
- SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS, BUT NOT LIMITED TO, PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
- SITE ITEMS SUCH AS BUT NOT LIMITED TO, LIGHTING, LANDSCAPING (INCLUDING MULCH), SCREENING (E.G., DUMPSTERS/TRASH MECHANICALS, ETC.), SITE STABILIZATION (SEEDING) AND PAVING AND PAVERMENT MARKING MUST BE COMPLETED PRIOR TO SCHEDULING A FINAL SITE INSPECTION.
- NO SIGNS ARE APPROVED AS PART OF THE PUD/CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED. SIGNAGE WILL COMPLY WITH APEX'S LOGO.
- EXACT ACCESS AND STUB LOCATIONS TO BE FINALIZED AT SUBDIVISION PLAN PHASE.
- EXACT LOCATION OF RESOURCE CONSERVATION AREA TO BE FINALIZED AT SUBDIVISION PLAN PHASE.
- INTERNAL PUBLIC STREETS SHALL BE DEDICATED TO THE TOWN OF APEX. ROAD STUB OUTS SHALL BE PROVIDED FOR THE TOWN OF APEX REQUIREMENTS.
- ALL BARRING STANDARDS WITHIN THE PUD WILL COMPLY WITH THE TOWN OF APEX'S LOGO.
- PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.
- PUBLIC AND PRIVATE VEHICULAR ACCESS AND WALKING TRAILS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE AT TIME OF SITE PLAN OR MASTER SUBDIVISION PLAN APPROVAL.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION