

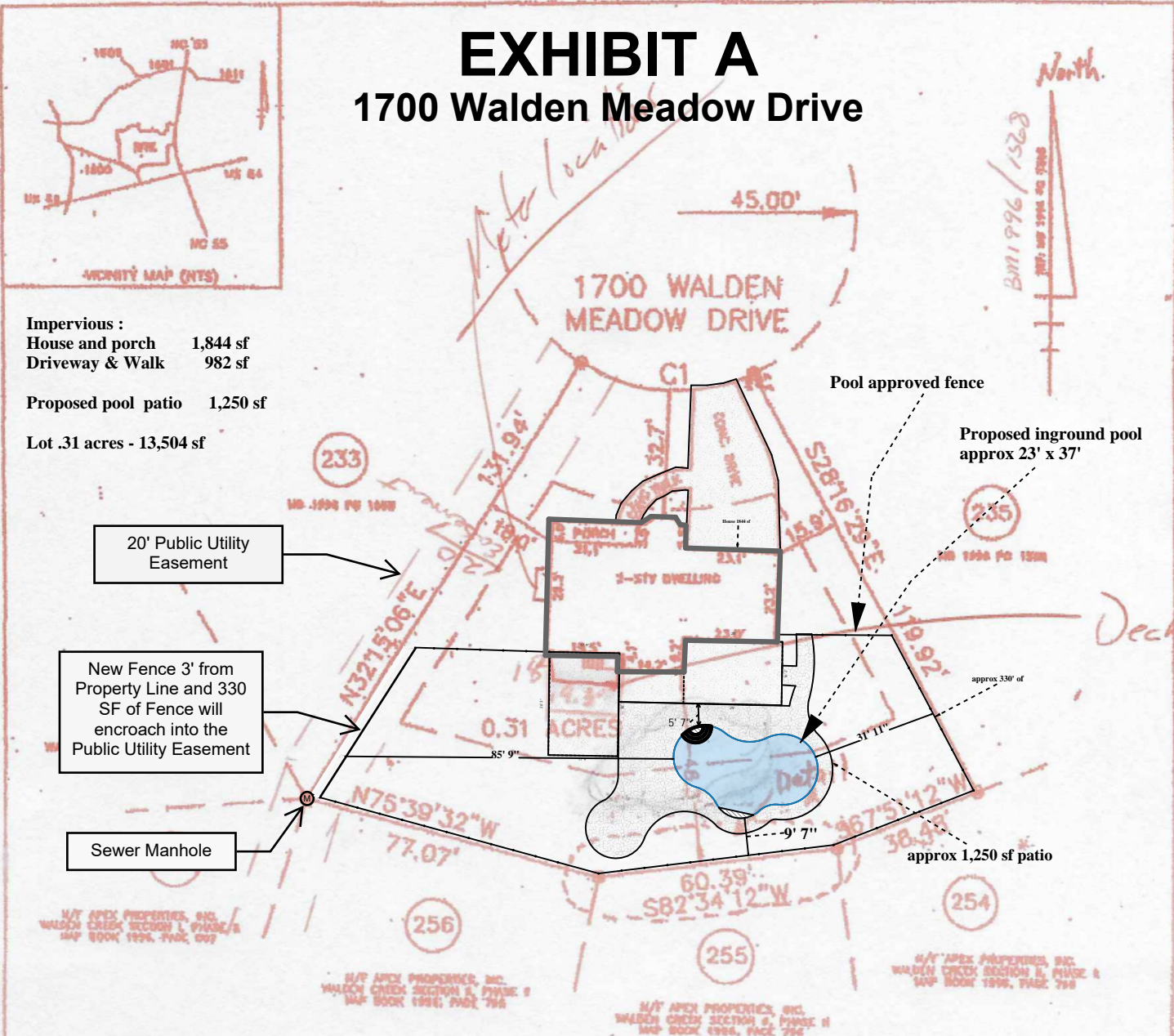
EXHIBIT A

1700 Walden Meadow Drive

Impervious :
 House and porch 1,844 sf
 Driveway & Walk 982 sf

Proposed pool patio 1,250 sf

Lot .31 acres - 13,504 sf



20' Public Utility Easement

New Fence 3' from Property Line and 330 SF of Fence will encroach into the Public Utility Easement

Sewer Manhole

Pool approved fence

Proposed inground pool approx 23' x 37'

approx 1,250 sf patio

LEGEND
 SET IRON PIN

ZONING: R-10
 FRONT YARD SETBACK = 30 FEET
 REAR YARD SETBACK = 25 FEET
 SIDE YARD SETBACK = 10 FEET

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	45.00'	45.82'	24.53'	43.04'	S86°20'43"W	-67°138'

REF: WAKE CO. NC, MB 1996, PG 1568

SURVEY OF PROPERTY
 THOMAS P. RIZZO & WIFE, NINA P. RIZZO
 1ST AMERICAN TITLE COMPANY

LOT 234
 WALDEN CREEK, SECTION II, PHASE II
 WHITE OAK TOWNSHIP, WAKE CO., N.C.

TAYLOR WISEMAN & TAYLOR
 ENGINEERS SURVEYORS PLANNERS
 GPS SUBSURFACE UTILITY ENGINEERING
 PHONE: (919) 859-8232
 4012 WATERS EDGE DRIVE, SUITE 125, RALEIGH, N.C. 27608

NOTE:
 THIS MAY NOT BE A CERTIFIED SURVEY AND HAS NOT BEEN REVIEWED BY LOCAL GOVERNMENT AGENCY FOR COMPLIANCE WITH ANY APPLICABLE LAND DEVELOPMENT REGULATIONS AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH RECORDING REQUIREMENTS FOR PLATS