

August 9th, 2021

TOWN OF APEX PLEASANT PARK GMP 3



BUILT ON STRONG FOUNDATION



Apex Pleasant Park, Apex NC [8/9/2021]

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Executive Summary – GMP 3

Town of Apex Pleasant Park – August 3, 2021

Pleasant Park, approved as part of the 2017 Parks Bond, will be a showcase facility for the Town of Apex and the entire region. The 92 acre park will provide opportunities for all ages and abilities.

Along with the creation of roadways and pathways within the limits of disturbance, the park will include six turf multiuse athletic fields, a signature soccer building, picnic shelters and amenity buildings with restrooms, a maintenance structure, and a 1.3 acre enclosed water play / splash pad area.

GMP -3 as conveyed throughout this deliverable encompasses the work detailed herein. The trade scopes include. All sub-contractors have been prequalified. The contractors issued sub contracts have been identified as the lowest responsible bidder and are to be bonded and insured accordingly.

GMP-3 also includes the necessary general conditions as applicable to the scope(s) of work detailed in this deliverable, and correlates to the schedule.

GMP -3 Is a change order to the existing contract for preconstruction, in combination with GMP 1 & 2.

EXHIBIT A



Pleasant Park GMP 3 Totals (Base, Alt 3, Alt 6) 08/03/2021

| Division: | Description: | Base Bid | Alternate 3 | Alternate 6 |
|---|---------------------------------|-------------------------|------------------------|----------------------|
| BP 1.2 | General Trades | \$ 172,753.00 | \$ - | \$ - |
| BP 1.3 | Final Cleaning | \$ 11,377.00 | \$ 16,800.00 | \$ - |
| BP 2.5 | Asphalt Paving/ C+G | \$ 1,991,725.00 | \$ - | \$ - |
| BP 2.55 | Sports Courts | \$ 350,335.58 | \$ - | \$ - |
| BP 2.6 | Site Concrete | \$ 974,652.00 | \$ - | \$ - |
| BP 2.9 | Safety Surfaces | \$ 441,832.00 | \$ - | \$ - |
| BP 3.0 | Building Concrete | \$ 300,327.00 | \$ 103,087.00 | \$ - |
| BP 2.10 | Bridges | \$ 1,424,254.00 | \$ - | \$ 38,400.00 |
| BP 4.0 | Masonry | \$ 410,000.00 | \$ 234,500.00 | \$ - |
| BP 6.2 | Glue Laminated Construction | \$ 474,006.00 | \$ 22,730.00 | \$ - |
| BP 6.3 | Trusses | \$ 120,871.00 | \$ 192,902.00 | \$ - |
| BP 6.4 | Casework | \$ 9,245.00 | \$ 48,000.00 | \$ - |
| BP 7.0 | Roofing | \$ 142,000.00 | \$ 178,090.00 | \$ - |
| BP 7.1 | Metal Composite Panels | \$ - | \$ 55,500.00 | \$ - |
| BP 7.2 | Damp Proofing | \$ 116,380.00 | \$ 11,640.00 | \$ - |
| BP 8.0 | Doors/Frames/Hardware | \$ 56,075.00 | \$ 40,780.00 | \$ - |
| BP 8.1 | Glass & Glazing | \$ 31,824.00 | \$ 37,970.00 | \$ - |
| BP 9.0 | Framing & Drywall | \$ 31,149.00 | \$ 45,735.00 | \$ - |
| BP 9.1 | Painting | \$ 64,641.00 | \$ 16,502.00 | \$ - |
| BP 9.3 | Ceramic Tile | \$ 2,458.00 | \$ 3,220.00 | \$ - |
| BP 9.5 | Acoustic Ceiling | \$ 5,495.00 | \$ 4,760.00 | \$ - |
| BP 10.0 | Toilet Partitions & Accessories | \$ 30,725.00 | \$ 27,235.00 | \$ - |
| BP 10.1 | Metal Lockers | \$ 7,195.00 | \$ 6,540.00 | \$ - |
| BP 10.2 | Operable Partitions | \$ 5,430.00 | \$ - | \$ - |
| BP 10.3 | Signage | \$ 165,110.11 | \$ - | \$ - |
| BP 10.4 | Flagpoles | \$ 23,096.00 | \$ - | \$ - |
| BP 10.7 | Aluminum Walkway Covers | \$ 19,880.00 | \$ 21,622.00 | \$ - |
| BP 11.1 | Athletic Equipment | \$ 162,656.00 | \$ - | \$ - |
| BP 12.0 | Site Furnishings | \$ 520,491.00 | \$ 51,294.11 | \$ - |
| BP 12.2 | Roller Window Shades | \$ 2,850.00 | \$ 2,900.00 | \$ - |
| BP 15.2 | Plumbing | \$ 225,690.00 | \$ 153,060.00 | \$ - |
| BP 15.4 | HVAC | \$ 116,000.00 | \$ 111,500.00 | \$ - |
| BP 16.0 | Electrical | \$ 811,300.00 | \$ 138,800.00 | \$ - |
| Preferred Brand Alternates | | | | |
| PA #1 | LCN 1200 Series Door Closers | \$ 1,000.00 | \$ - | \$ - |
| PA #2 | Sloan Flush Valves | \$ 2,090.00 | \$ - | \$ - |
| PA #3 | Trane HVAC Units | No Cost | \$ - | \$ - |
| PA #4 | Schlage Locks | \$ 2,500.00 | \$ - | \$ - |
| PA #5 | Primus Lock Cylinders | \$ 4,700.00 | \$ - | \$ - |
| Estimates | | | | |
| BP2.80 | Pond conversion / Field seeding | \$ 321,000.00 | \$ - | \$ - |
| BP 2.9.1 | Nature Play | \$ 150,000.00 | \$ - | \$ - |
| BP 5.1 | Structural Steel & Misc. Steel | \$ 60,500.00 | \$ 2,500.00 | \$ - |
| BP 9.6 | Resilient Tile & Flooring | \$ 32,576.00 | \$ - | \$ - |
| Subtotal: | | \$ 9,796,188.69 | \$ 1,527,667.11 | \$ 38,400.00 |
| Bonds & Insurance: | | 1.25% \$ 122,452.36 | \$ 19,095.84 | \$ 480.00 |
| General Conditions: | | \$ 821,804.00 | | |
| Fee: | | 3.50% \$ 375,915.58 | \$ 54,136.70 | \$ 1,360.80 |
| CM Contingency | | 2.50% \$ 277,909.02 | \$ 40,022.49 | \$ 1,006.02 |
| Owner contingency | | \$ 150,000.00 | | |
| Total Investment: | | \$ 11,544,269.64 | \$ 1,640,922.14 | \$ 41,246.82 |
| Total For GMP 3 including Alternates | | | \$ | 13,226,438.60 |

EXHIBIT A



Pleasant Park Totals - 08/03/2021

| Division: | Description: | Base Bid | Alternate 3 | Alternate 6 |
|-----------------------------------|---------------------------------|-------------------------|------------------------|---------------------|
| BP 1.2 | General Trades | \$ 172,753.00 | \$ - | \$ - |
| BP 1.3 | Final Cleaning | \$ 11,377.00 | \$ 16,800.00 | \$ - |
| BP2.0 | Earthwork & Storm Drainage | GMP1 \$ 5,712,870.00 | | |
| BP2.1 | Segmental Walls | GMP1 \$ 689,484.00 | | |
| BP2.3 | Utilities | GMP1 \$ 1,451,328.00 | | |
| BP2.4 | Fields & Turf | GMP2 \$ 3,334,300.00 | | |
| BP 2.5 | Asphalt Paving/ C+G | \$ 1,991,725.00 | \$ - | \$ - |
| BP 2.55 | Sports Courts | \$ 350,335.58 | \$ - | \$ - |
| BP 2.6 | Site Concrete | \$ 974,652.00 | \$ - | \$ - |
| BP2.7 | Fencing | GMP2 \$ 863,100.00 | | |
| BP 2.9 | Safety Surfaces | \$ 441,832.00 | \$ - | \$ - |
| BP 3.0 | Building Concrete | \$ 300,327.00 | \$ 103,087.00 | \$ - |
| BP 2.10 | Bridges | \$ 1,424,254.00 | \$ - | \$ 38,400.00 |
| BP 4.0 | Masonry | \$ 410,000.00 | \$ 234,500.00 | \$ - |
| BP 6.2 | Glue Laminated Construction | \$ 474,006.00 | \$ 22,730.00 | \$ - |
| BP 6.3 | Trusses | \$ 120,871.00 | \$ 192,902.00 | \$ - |
| BP 6.4 | Casework | \$ 9,245.00 | \$ 48,000.00 | \$ - |
| BP 7.0 | Roofing | \$ 142,000.00 | \$ 178,090.00 | \$ - |
| BP 7.1 | Metal Composite Panels | \$ - | \$ 55,500.00 | \$ - |
| BP 7.2 | Damp Proofing | \$ 116,380.00 | \$ 11,640.00 | \$ - |
| BP 8.0 | Doors/Frames/Hardware | \$ 56,075.00 | \$ 40,780.00 | \$ - |
| BP 8.1 | Glass & Glazing | \$ 31,824.00 | \$ 37,970.00 | \$ - |
| BP 9.0 | Framing & Drywall | \$ 31,149.00 | \$ 45,735.00 | \$ - |
| BP 9.1 | Painting | \$ 64,641.00 | \$ 16,502.00 | \$ - |
| BP 9.3 | Ceramic Tile | \$ 2,458.00 | \$ 3,220.00 | \$ - |
| BP 9.5 | Acoustic Ceiling | \$ 5,495.00 | \$ 4,760.00 | \$ - |
| BP 10.0 | Toilet Partitions & Accessories | \$ 30,725.00 | \$ 27,235.00 | \$ - |
| BP 10.1 | Metal Lockers | \$ 7,195.00 | \$ 6,540.00 | \$ - |
| BP 10.2 | Operable Partitions | \$ 5,430.00 | \$ - | \$ - |
| BP 10.3 | Signage | \$ 165,110.11 | \$ - | \$ - |
| BP 10.4 | Flagpoles | \$ 23,096.00 | \$ - | \$ - |
| BP 10.7 | Aluminum Walkway Covers | \$ 19,880.00 | \$ 21,622.00 | \$ - |
| BP 11.1 | Athletic Equipment | \$ 162,656.00 | \$ - | \$ - |
| BP 12.0 | Site Furnishings | \$ 520,491.00 | \$ 51,294.11 | \$ - |
| BP 12.2 | Roller Window Shades | \$ 2,850.00 | \$ 2,900.00 | \$ - |
| BP 15.2 | Plumbing | \$ 225,690.00 | \$ 153,060.00 | \$ - |
| BP 15.4 | HVAC | \$ 116,000.00 | \$ 111,500.00 | \$ - |
| BP 16.0 | Electrical | \$ 811,300.00 | \$ 138,800.00 | \$ - |
| Preferred Brand Alternates | | | | |
| PA #1 | LCN 1200 Series Door Closers | \$ 1,000.00 | \$ - | \$ - |
| PA #2 | Sloan Flush Valves | \$ 2,090.00 | | \$ - |
| PA #3 | Trane HVAC Units | No Cost | \$ - | \$ - |
| PA #4 | Schlage Locks | \$ 2,500.00 | \$ - | \$ - |
| PA #5 | Primus Lock Cylinders | \$ 4,700.00 | \$ - | \$ - |
| Estimates | | | | |
| BP2.80 | Pond conversion / Field seeding | \$ 321,000.00 | \$ - | \$ - |
| BP 2.9.1 | Nature Play | \$ 150,000.00 | \$ - | \$ - |
| BP 5.1 | Structural Steel & Misc. Steel | \$ 60,500.00 | \$ 2,500.00 | \$ - |
| BP 9.6 | Resilient Tile & Flooring | \$ 32,576.00 | \$ - | \$ - |
| Subtotal: | | \$ 21,847,270.69 | \$ 1,527,667.11 | \$ 38,400.00 |
| Bonds & Insurance: | | 1.25% \$ 273,090.88 | \$ 19,095.84 | \$ 480.00 |
| General Conditions: | | \$ 1,911,172.00 | | |
| Fee: | | 3.50% \$ 841,103.68 | \$ 54,136.70 | \$ 1,360.80 |
| CM Contingency | | \$ 277,909.02 | \$ 40,022.49 | \$ 1,006.02 |
| Owner contingency | | \$ 150,000.00 | | |
| Total Investment: | | \$ 25,300,546.26 | \$ 1,640,922.14 | \$ 41,246.82 |

EXHIBIT A

| | | | | | | |
|---|--|------------|----|------------|-----------|----------------------|
| CO#1 | Treeprotection fence & Sewer additions | 11/24/2020 | \$ | 218,312.11 | | |
| CO#2 | Additional Storm Drainage Pending | 7/7/2021 | \$ | 955,800.93 | | |
| | Original Pre-Construction Amount | | \$ | 181,710.00 | | |
| Total Project, including alternates: | | | | | \$ | 28,338,538.27 |

UNIT PRICES:

Unit Prices BP 01.2 General Trades:

| | |
|---|--------------------------------|
| UP #1 (Applicable to BP 01.2) Working Supervisor/Carpenter and 2 laborers crew | \$ <u>80.00</u> per Crew Hour |
| UP #2 (Applicable to BP 01.2) 1 Laborer | \$ <u>25.00</u> per Hour |
| UP #3 (Applicable to BP 01.2) Deliver, maintain portable toilet | \$ <u>87.50</u> per Month |
| UP #4 (Applicable to BP 01.2) Provide and maintain free standing hand sanitizer unit. | \$ <u>87.50</u> per Month |
| UP #5 (Applicable to BP 01.2) Field surveyor and rodman | \$ <u>187.50</u> per Crew Hour |
| UP #6 (Applicable to BP 01.2) Survey office hours | \$ <u>97.50</u> per Hour |

Unit Prices BP 02.5 Asphalt Paving C&G:

| | |
|--|---------------------------|
| UP #1 (Applicable to BP 02.5) Excavate unsuitable soils & waste on site as directed by CM. | \$ <u>7.50</u> per CY |
| UP #2 (Applicable to BP 02.5) Fine grade, place, and compact ABC stone. | \$ <u>30.00</u> per TON |
| UP #3 (Applicable to BP 02.5) Provide & Install Geotextile Fabric. | \$ <u>4.00</u> per SY |
| UP #4 (Applicable to BP 02.5) Sawcut, demo, dispose offsite, fine grade, provide ABC base, 24" Curb & Gutter. | \$ <u>45.00</u> per LF |
| UP #5 (Applicable to BP 02.5) Sawcut, demo, dispose offsite, fine grade, provide ABC base, 30" Curb & Gutter. | \$ <u>48.00</u> per LF |
| UP #6 (Applicable to BP 02.5) Sawcut, demo, dispose offsite, fine grade, install Curb Ramps. | \$ <u>3,500.00</u> per EA |
| UP #7 (Applicable to BP 02.5) Remove & Replace Thermoplastic Striping 4" 90 mil. | \$ <u>3.25</u> per LF |
| UP #8 (Applicable to BP 02.5) Remove & Replace Thermoplastic Crosswalk 24" 90 mil. | \$ <u>16.25</u> per LF |
| UP #9 (Applicable to BP 02.5) Remove & Replace Thermoplastic Straight & Turn Arrows 90 mil. | \$ <u>16.25</u> per EA |



UP #10 (Applicable to BP 02.5)

NC DOT Liquid Asphalt Index Escalation \$ 30.00 per Ton

Unit Prices BP 02.5.5 Sports Courts:

UP #1 (Applicable to BP 02.5.5)

NC DOT Liquid Asphalt Index Escalation \$ 30.00 per TN

Unit Prices BP 02.6 Site Concrete:

UP #1 (Applicable to BP 02.6)

Excavate unsuitable soils & waste on site as directed by CM.
Replace with offsite structural fill \$ 30.00 per CY

UP #2 (Applicable to BP 02.6)

Excavate unsuitable soils & waste on site as directed by CM.
Replace with #57 washed stone \$ 60.00 per CY

UP #3 (Applicable to BP 02.6)

Demo damaged sidewalk and dispose of offsite. \$ 4.00 per SF

UP #4 (Applicable to BP 02.6)

Fine grade, install 4" sidewalk, backfill & cleanup. \$ 4.00 per SF

UP #5 (Applicable to BP 02.6)

Fine grade, install stamped concrete, backfill & cleanup. \$ 10.00 per SF

UP #6 (Applicable to BP 02.6)

Fine grade, install integral colored concrete, backfill & cleanup. \$ 20.00 per SF

UP #7 (Applicable to BP 02.6)

Fine grade, install 6" sidewalk, backfill & cleanup. \$ 7.00 per SF

UP #8 (Applicable to BP 02.6)

Excavate, Fine grade, install stair riser, backfill & cleanup. \$ 110.00 per LF

UP #9 (Applicable to BP 02.6)

Excavate, Fine grade, install seat wall, backfill & cleanup. \$ 10.00 per LF

UP #10 (Applicable to BP 02.6)

Excavate, Fine grade, install play surface curbing, backfill & Cleanup. \$ 35.00 per LF



UP #11 (Applicable to BP 02.6)

Excavate, Fine grade, install planter curbing, backfill & cleanup. \$ 16.50 per LF

UP #12 (Applicable to BP 02.6)

Demo curbing in this bid package and dispose of offsite. \$ 10.00 per LF

Unit Prices BP 02.9 Safety Surfaces:

UP #1 (Applicable to BP 02.9)

Provide & install Safety Surface including fabric, stone, cushion, wear course. \$ 21.81 per SF

UP #2 (Applicable to BP 02.9)

Provide & install 12" thick organic loose fill including fabric. \$ 1.56 per SF

Unit Prices BP 03.0 Building Concrete:

UP #1 (Applicable to BP 03.0)

Excavate unsuitable soils & waste on site as directed by CM. \$ 25.00 per CY
Replace with offsite structural fill.

UP #2 (Applicable to BP 03.0)

Excavate unsuitable soils & waste on site as directed by CM. \$ 45.00 per CY
Replace with #57 washed stone.

Unit Prices BP 15.2 Plumbing:

UP #1 (Applicable to BP 15.2)

Excavate unsuitable soils & waste on site as directed by CM. \$ 125.00 per CY
Replace with offsite structural fill.

UP #2 (Applicable to BP 15.2)

Excavate unsuitable soils & waste on site as directed by CM. \$ 95.00 per CY
Replace with #57 washed stone.

Unit Prices BP 16.0 Electrical:

UP #1 (Applicable to BP 16.0)

Provide and install temporary 50 AMP panel and temporary service and lighting. \$ 1,650.00 per EA

UP #2 (Applicable to BP 16.0)

Increase electrical panel PPC2 at shelter #2 to 200 amps from 150 amps to service the minimal loads at the westerly soccer field. See attached revises sheets E311, E11, and E11A. \$ 1,820.00 per LS



Allowances BP 01.2 General Trades:

ALLOWANCES:

Allowance #1: (Applicable to BP 01.2)

Working Supervisor/Carpenter and 2 laborers crew 540 Crew Hours \$ 43,200.00 Total

Allowance #2: (Applicable to BP 01.2)

1 Laborer 1620 Hours \$ 40,500.00 Total

Allowance #3: (Applicable to BP 01.2)

Deliver, maintain portable toilet 6 Months \$ 569.00 Total

Allowance #4: (Applicable to BP 01.2)

Provide and maintain free standing hand sanitizer unit. 1 Months \$ 569.00 Total

Allowance #5: (Applicable to BP 01.2)

Field surveyor and rodman 120 Crew Hour \$ 22,500.00 Total

Allowance #6: (Applicable to BP 01.2)

Survey Office Hours 40 Hours \$ 3,900.00 Total

Allowance #7: (Applicable to BP 01.2)

Temporary Barricade Allowance 1 Lump Sum \$ 1,000 Total

Allowance #: (Applicable to BP 01.2)

Equipment Rentals 1 Lump Sum \$ 30,000 Total

Allowances BP 02.5 Asphalt Paving C&G:

Allowance #1: (Applicable to BP 02.5)

Excavate unsuitable soils & waste on site as directed by CM. 200 CY: \$ 1,500.00 Total





Allowance #2: (Applicable to BP 02.5)

Fine grade, place, and compact ABC stone.

440 tons: \$ 13,200.00 Total

Allowance #3: (Applicable to BP 02.5)

Provide & Install Geotextile Fabric.

100 SY: \$ 400.00 Total

Allowance #4: (Applicable to BP 02.5)

Sawcut, demo, dispose offsite, fine grade, provide ABC base, 24" Curb & Gutter.

400 LF: \$ 18,000.00 Total

Allowance #5: (Applicable to BP 02.5)

Sawcut, demo, dispose offsite, fine grade, and provide ABC base, 30" Curb & Gutter.

100 LF: \$ 4,800.00 Total

Allowance #6: (Applicable to BP 02.5)

Sawcut, demo, dispose offsite, fine grade, install Curb Ramps.

1 EA \$ 3,500.00 Total

Allowance #7: (Applicable to BP 02.5)

Remove & Replace Thermoplastic Striping 4" 90 mil.

100 LF \$ 325.00 Total

Allowance #8: (Applicable to BP 02.5)

Remove & Replace Thermoplastic Crosswalk 24" 90 mil.

1 EA \$ 406.25 Total

Allowance #9: (Applicable to BP 02.5)

Remove & Replace Thermoplastic Straight & Turn Arrows 90 mil.

3 EA \$ 1,125.00 Total

Allowance #10: (Applicable to BP 02.5.5)

NC DOT Liquid Asphalt escalation allowance to include your estimate tonnage for this bid package x the unit rate of \$30:

Estimate tonnage 684 x \$30 = \$ 20,520.00 Total Allowance

Allowances BP 02.5.5 Sports Courts:

Allowance #1: (Applicable to BP 02.5.5)

NC DOT Liquid Asphalt escalation allowance to include your estimate tonnage for this bid package x the unit rate of \$30:

Estimate tonnage 60 x \$30 = \$ 1,800.00 Total Allowance

Allowances BP 02.6 Site Concrete:

Allowance #1: (Applicable to BP 02.6)

Excavate unsuitable soils & waste on site as directed by CM.

Replace with offsite structural fill.

100 CY \$ 3,000.00 Total

Allowance #2: (Applicable to BP 02.6)

Excavate unsuitable soils & waste on site as directed by CM. 100 CY \$ 6,000.00 Total
 Replace with #57 washed stone

Allowance #3: (Applicable to BP 02.6)

Demo damaged sidewalk and dispose of offsite. 500 SF \$ 2,000.00 Total

Allowance #4: (Applicable to BP 02.6)

Fine grade, install 4" sidewalk, backfill & cleanup. 500 SF \$ 2,000.00 Total

Allowance #5: (Applicable to BP 02.6)

Fine grade, install 6" sidewalk, backfill & cleanup. 500 SF \$ 3,500.00 Total

Allowance #6: (Applicable to BP 02.6)

Fine grade, install integral colored concrete, backfill & cleanup. 500 SF \$ 10,000.00 Total

Allowance #7: (Applicable to BP 02.6)

Excavate, Fine grade, install play surface curbing, backfill & cleanup. 150 LF \$ 5,250.00 Total

Allowance #8: (Applicable to BP 02.6)

Demo curbing in this bid package and dispose of offsite. 150 LF \$ 1,500.00 Total

Allowance #9: (Applicable to BP 02.6)

Allowance to fine grade, form, pour, finish, backfill & cleanup integral colored concrete
 1 Lump Sum \$ 106,000 Total

Allowances BP 02.9 Safety Surfaces:

Allowance #1: (Applicable to BP 02.9)

Provide & install Safety Surface including fabric, stone, cushion, 500 SF \$ 10,906.74 Total
 wear course.

Allowance #2: (Applicable to BP 02.9)

Provide & install 12" thick organic loose fill including fabric. 1000 SF \$ 1,555.56 Total

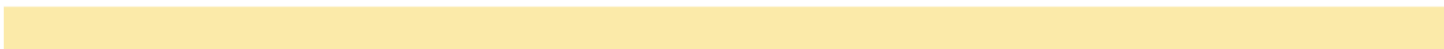
Allowances BP 03.0 Building Concrete:

Allowance #1: (Applicable to BP 03.0)

Excavate unsuitable soils & waste on site as directed by CM. 100 CY \$ 2,500.00 Total
 Replace with offsite structural fill

Allowance #2: (Applicable to BP 03.0)

Excavate unsuitable soils & waste on site as directed by CM. 100 CY \$ 4,500.00 Total
 Replace with #57 washed stone





Allowances BP 15.2 Plumbing:

Allowance #1: (Applicable to BP 15.2)

Excavate unsuitable soils & waste on site as directed by CM.

50 CY \$ 6,250.00 Total

Replace with offsite structural fill

Allowance #2: (Applicable to BP 15.2)

Excavate unsuitable soils & waste on site as directed by CM.

50 CY \$ 4,750.00 Total

Replace with #57 washed stone.

Allowances BP 16.0 Electrical:

Allowance #1: (Applicable to BP 16.0)

Provide and install temporary 50 AMP panel and temporary service

8 Services \$ 13,200.00 Total

Allowance #2: (Applicable to BP 16.0)

Increase electrical panel PPC2 at shelter #2 to 200 amps from 150 amps to service the minimal loads at the westerly soccer field. See attached revises sheets E311, E11, and E11A.

1 LS \$ 1,820.00 Total



Pleasant Park GMP 3 Document Enumeration

GMP3 Documents:

WithersRavenel GMP 3 Plans Bid Set with Electrical 3-5-2021
WithersRavenel GMP 3 Specifications Bid Set 3-29-2021
HH Architecture GMP 3 Plans Bid Set 3-10-2021
HH Architecture Addendum 1 3-24-2021
HH Architecture Addendum 2 4-9-2021
GMP 3 Bid Manual 4-9-2021

GMP3 Addenda 1

Addenda 1 Cover 4-9-2021
Amenity Area Layout Plans
Nature Play Recommendations 202000702
Play Surface Information
 Pleasant Park Fall Heights
 Pleasant Park Play Surface Areas 202000826
 Safety Surface Detail 11.10
Bridges Information
 Site Plan 3.4
 Town of Apex Standards Details 900.02.1,2 & 3
 Specification 323413 Fabricated Pedestrian Bridges
 Town of Apex Standard Specifications Section 900
Entry Gates Information Sheet 4-9-2021
GMP 3 Site Procurement Matrix 4-1-2021

Pleasant Park GMP 3 Document Enumeration

Knox Box Specification Sheet Knox Box 3200 4-9-2021

Landscaping Information

Irrigation Overlay 32321 4-9-2021

Selective Landscape Cleanup 4-9-2021

Pickleball-Basketball Transition

Pleasant Park Appendix A General Conditions

Pleasant Park CMAR Pre Construction Services Contract

Pleasant Park Preliminary Geotechnical Report

Pleasant Park Standard Agreement between Constructor and Subcontractor

Pleasant Park General, Park and MUTCD Signage 2-12-2021

Preliminary Schedule 4-8-2021

E8 Electrical Plan Revision

Site Structural Details S154 & 155 3-9-2021

GMP3 Addenda 2

Addenda 2 Cover 4-15-2021

GMP 3 Bid Manual Revised 4-15-2021

GMP 3 Procurement Matrix Revised 4-15-2021

HH Architecture Addendum 3 3-12-2021

Pleasant Park GMP 3 CAD Files & Revised Sheets 4-15-2021

Pleasant Park GMP 3 Document Enumeration

GMP3 Addenda 3

Addenda 3 Cover 4-20-2021
Revised Bid Form 4-20-2021
C 11.6 Misc. Details 4-20-2021
Spec 312300 Excavation Backfill & Compaction
Spec 312319 Dewatering
Spec 312500 Erosion and Sedimentation Control
Spec 329000 Final Grading & Landscaping
Spec 329100 Misc. Work & Cleanup
HH MP Signature Fieldhouse E111 & 112
HH Shelter 2 E311

GMP3 Addenda 4

Addenda 4 Cover 4-26-2021
MBE Participation Forms 7-22-2010

GMP3 Addenda 5

Addenda 5 Cover 4-27-2021
Revised Bid Form 4-27-2021

Pleasant Park GMP 3 Document Enumeration

GMP1 Documents included as part of GMP 3:

9-26 Plans Combined
Addenda 1, 11-12-2019
Addenda 2, 11-26-2019
Pleasant Park Temp Road, Staging & Fencing

GMP2 Documents included as part of GMP 3:

GMP 2 Bid Manual 11-15-2020
Pleasant Park GMP2 Plans 10-23-2020
Specification 116833_34 Baseball & Softball Field Equipmentv2
Specification 323113_00 Chain Link Fences and Gates DRAFT
Specification – Montage Plus
Synthetic Turf Spec Draft
Synthetic Turf Base Course Spec Draft
Synthetic Turf Subsurface Drainage Spec Draft
Addenda 1:
GMP2 Addenda 1 Cover
Pleasant Park Revised Plans 11-13-2020
Specification 321550_10 Synthetic Turf Base Course
Specification 321813_00 Synthetic Turf
Specification 323113FL-Chain Link Fences and Gates

Pleasant Park GMP 3 Document Enumeration

Specification 323119.53 Decorative Metal Security Fences & Gates
Specification 323119.53.1 Decorative Metal Security Fences & Gates-Swinging
Specification 324116_10 Synthetic Turf Subsurface Drainage
Apex GMP2 Bid Form Fencing
Apex GMP2 Bid Form Fields & Turf
Chain Link Fence Bulletin Drawing 11-12-2020
Pleasant Park Schedule Update 02 Remaining Work 11-10-2020
PP backstop Netting Posts
Soccer Field Curb Taper 11-03-2020
Dugout Post Example photo
Backstop Post Example photo
Addenda 2:
GMP2 Addenda 2 Cover 11-25-2020
Apex GMP2 Bid Form Fields & Turf Revised 11-25-2020

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CLARIFICATIONS & QUALIFICATIONS

PROJECT OVERVIEW

PROJECT: Apex Pleasant Park – GMP-3
LOCATION: 3400 Pleasant Plains Road, Apex NC
ARCHITECT: Withers Ravenel
OWNER: Town of Apex

SCOPE OF WORK: GMP 3 includes Base Bid with Site Improvements, Maintenance Building, Amenity Building, Pump House and Picnic Shelter 2 along with Alternate 3 MP Signature Fieldhouse and Alternate 6 increasing pedestrian bridge size to 20' x 80'. Site Improvements include General Trades, Asphalt Paving, Curb & Gutter, Sports Courts, Site Concrete, Safety Surfaces, Bridges, Signage, Flagpoles, Athletic Equipment, Site Furnishings, and Site-related Electrical and Masonry. Structures include Concrete, Masonry, Glue Laminated and Wood Trusses, Casework, Roofing, Metal Panels, Damp Proofing, Doors& Hardware, Glazing, Framing & Drywall, Painting, Ceramic Tile, Acoustic Ceilings, Toilet Partitions & Accessories, Lockers, Operable Partitions, Window Shades, Plumbing, HVAC and Electrical. General conditions and applicable insurances as described herein.

The Town of Apex has elected to accept the Base Bid, Alternate 3, and Alternate 6 as defined in the bid scope documents for GMP 3. This excludes the Baseball Fields and related Site Improvement items. Alternates for Baseball/Softball Maintenance Building, Baseball/Softball Fieldhouse, and Picnic Shelter 1 were not selected and are not included in GMP 3.

CLARIFICATIONS AND QUALIFICATIONS

1.0 GENERAL CLARIFICATIONS

1.0 GENERAL CONDITIONS

- 1.0.1 We have not included the removal of any hazardous material in GMP-3.
- 1.0.2 The Town of Apex (TOA) is buying and installing the site lighting, outside of this project.
- 1.0.3 The TOA will provide transformers within 25' of each structure.
- 1.0.4 The site amenity structures and any related engineering, foundations, utilities required are by the TOA outside of this contract.
- 1.0.5 We've included all permits (at no cost), licenses, inspections, training, tests, certifications, fees, and warranties as required by the Contract Documents,

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- applicable codes, state and local authorities. The work on this project may involve working in or adjacent to a railroad right of way. Specific requirements related to the railroad have not been included as all work within the railway right of way is not included.
- 1.0.6 We have included a dedicated full-time Superintendent to the project at all times that work or deliveries are being performed, or as required for the proper coordination between trades. The Superintendent shall not be replaced or removed by the CM without the written consent of the owner. However, the CM at their discretion may direct a Subcontractor to replace the Superintendent(s).
 - 1.0.7 Any subcontractor hired directly by the design team or owner shall inspect and verify, at least two (2) weeks before the start of their Work that all requirements for installation are complete and acceptable as required for installation to begin. This verification shall be submitted to the Construction Manager in writing.
 - 1.0.8 The survey shall include, but not be limited to a detailed review of all work in a place furnished & installed by others. Items that do not meet the installation requirements must be identified accordingly.
 - 1.0.9 Subcontractor to coordinate all existing utility locating and identification for their work. This includes but is not limited to the use of NC811 and private utility locating services. Particular attention is to be paid to any work within the Cardinal Gas Line easement.
 - 1.0.10 Subcontractor to coordinate pre-construction meeting with all utilities and notify Construction Manager. Subcontractor to meet all utility company guidelines for work within the utility easement.
 - 1.0.11 Any subcontractor hired directly by the design team or owner shall abide by the contract documents, including but not limited to the project manual, bid scopes, and addenda.
 - 1.0.12 CM will submit all documentation required including shop drawings, submittals, production schedule, delivery, and installation that will meet the milestone dates identified in the Construction Schedule. This schedule is to be updated and submitted by the Construction Manager monthly throughout the performance of this project.
 - 1.0.13 Warranties start at the date of final acceptance of the work or beneficial occupancy, regardless of when the equipment was installed or placed in service during construction. The CM shall take note of extended warranty requirements outlined in the specifications. For warranties that extend beyond the normal period, a separate warranty may be required to be written directly between the Owner and subcontractor.

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- 1.0.14 The CM will utilize the Project Team Procore platform. All submittals will be processed in an electronic format, as well as document control, field activity tracking, reports, punch listing, and commissioning.
- 1.0.15 All parties shall provide the necessary equipment, personnel, and training to support these functions on-site. Any deviations, changes, and/or discrepancies differentiating the shop drawings from the Contract Documents shall be clouded.
- 1.0.16 Designers and owners shall cooperate fully with building inspection officials, third-party inspectors, and CM's designated representatives for review and inspection of the work. CM shall provide access to any and all areas for required testing, including providing scaffolding, safety equipment, lifts, etc as required.
- 1.0.17 Stored materials may be submitted for payment when stored on-site, received in a timely fashion, and with prior approval of the Owner.
- 1.0.18 Owners & designers understand that weekly project meetings will be held on the job site
- 1.0.19 The Owner has engaged a third-party commissioning agent for this project.
- 1.0.20 CM will provide multiple "Mock-ups" or "Prototypes" as required to expedite the approval of any system or product or as required by Specification. Modification or reworking of the "Mock-ups" or "Prototypes" to achieve Owner/Architect/Contractor approval is included in the Scope of Work in accordance with technical specifications.
- 1.0.21 The Fields & Turf package Includes all surveying and related drainage system, Providing staking for all structures and buildings. GMP-1 included subgrade as built for all Athletic Fields. GMP -2 Field Contractor to provide Athletic Fields & drainage as-builts. CM shall obtain a signed and sealed drawing to certify all installations, etc. comply with Contract Documents upon completion of each phase of work.
- 1.0.22 CM will continue to maintain all erosion control measures and maintenance as required by documents and site conditions. We will furnish, install, maintain and remove all erosion control measures as shown on plans including, but not limited to, construction entrances, silt fence, berms, tree protection fencing, diversion ditches, inlet protections, rock check dams, dewatering silt bags, silt fence outlets, temporary sediment basins complete, temporary seeding, channel lining, and matting.
- 1.0.23 The subcontractor will maintain erosion control measures throughout the entire project duration.

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- 1.0.24 Subcontractor will provide all reporting required by regulatory agencies and the Town of Apex. Furnish, install and maintain for the life of the project an erosion control system to prevent the runoff of water from leaving the site.
- 1.0.25 Any areas which deflect, rut, or pump excessively should be undercut to suitable soil and replaced with fill as directed by the Owners Testing Agency using unit prices and allowances per contract documents.
- 1.0.26 Furnish and install site grading to all subgrade elevations shown on the plans and as identified in this scope of work document. All cut and fill to be unclassified to contract documents subgrades. The CM assumes that all material excavated, for whatever reason, on the site will be used on-site and all material required as fill material will be excavated from on-site except for structural fill for segmented walls.
- 1.0.27 The intent is to balance the site. Excess material including topsoil and footing spoils to be wasted on site. The area shown as Phase 4 will be the primary area for excess fill.
- 1.0.28 CM notes the terms and definitions indicated for unsuitable soils, unsatisfactory soils and rock excavation in Specification 312000-Earth Moving. Allowance quantities are to be used for UNSUITABLE soil excavation located at or below proposed subgrade elevations as directed by the Owners Testing Agency. UNSATISFACTORY soil materials (located above subgrade) may be blended if the specification allows and replaced with suitable soil at no additional cost to the project.
- 1.0.29 Stockpile existing topsoil from the site and respread as required. Excess topsoil to be wasted on site.
- 1.0.30 Furnish and install all stone bedding material as required by plans and specifications.
- 1.0.31 Furnish and install trench protection for work per OSHA regulations.
- 1.0.32 Furnish, install and maintain temporary roads, laydown areas as required. CM to have subcontractor grade temporary roads for positive drainage. (See logistics/staging plan for further details). Refer to the Site Demolition and Staging plan for information as it relates to the temporary construction access roads and laydown/staging areas and associated temporary fencing. This temporary road will be built and maintained by using ABC stone and fabric as shown. Temporary road width to be 24'. Components to include undercut of paved areas by 6", geotextile fabric, 6" ABC compacted to withstand fully loaded tandem dump truck. CM to have subcontractor furnish, install, maintain and remove temporary construction

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fencing and gates as shown on logistics/staging plan and provide 6' temporary fencing around existing Patrick Family graveyard prior to any work on site.

- 1.0.33 CM to ensure subcontractors furnish, install and maintain concrete wash-out areas, including the removal as directed by the Construction Manager along with posted signage.
- 1.0.34 CM will ensure subcontractors provide pumps and dewatering devices required to perform all work in this bid package
- 1.0.35 CM will coordinate all work for telephone, gas, and electrical services which will be done by others.
- 1.0.36 Temporary water at Trailer Area
- 1.0.37 Permits to be provided by Owner at no cost. CM shall obtain permits and coordinate inspections with Town and Construction Manager.

1.2 GENERAL TRADES

- 1.2.1 General Trades include provide 10- 33 gallon plastic trash barrels with lids, liners, and disposal. CM maintains they be kept clean daily for the duration of the project for 12 months.
- 1.2.2 Furnish and install 7 temporary fire extinguishers and stands painted red with the manufacturer's extinguisher bracket for use on the project site. The subcontractor is to include one annual recertification of fire extinguishers and provide documented weekly visual fire extinguisher inspections.
- 1.2.3 The subcontractor will hire a licensed surveyor as requested by the CM for any field operation confirmations required on site. This subcontractor will hire a reputable firm with a minimum of 10 years of experience and work in the Raleigh/Triangle area.
- 1.2.4 Subcontractor to provide a crew unit price and an office hours unit price. 120 hours of NC licensed field surveyor and rod man including all equipment and materials to perform field service work. 40 Office hours for interpolation of data and conversion to CAD drawings.
- 1.2.5 This subcontractor shall be responsible for all site cleanup.
- 1.2.6 Subcontractor to purchase a 2-inch pump within the small tool allowance.
- 1.2.7 The subcontractor is responsible for dewatering as necessary as required by CM.
- 1.2.8 Provide and install temporary barricades of safety/snow fences.
- 1.2.9 Provide allowance of \$1000 for materials. Includes an allowance of \$30,000 for miscellaneous equipment rentals.
- 1.2.10 Provide invoices for all equipment rental.

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1.3 FINAL CLEANING

- 1.3.1 Final Cleaning includes two cleanings. A rough clean (pre-punch clean) and final cleaning.
- 1.3.2 This shall include, but not be limited to cleaning all vertical/horizontal surfaces, cleaning all windows and glazing, final cleanings, floor scrubber/dryer cleaning of all buildings, vacuuming all carpets, cleaning/damp mopping, waxing of all flooring, MEP rooms, equipment, kitchen equipment & hoods, accessories, and specialties.
- 1.3.3 Cleaning all light fixtures and lenses, diffuser grills, and returns.
- 1.3.4 Clean all sills. Ledges and horizontal surfaces. wiping down and polishing all specialties including but not limited to all visual display surfaces, panel signage, toilet compartments, folding panel partitions, wall and door protection, toilet accessories, Fire Extinguishers & Cabinets, lockers, residential appliances, Food-service equipment, and floor mats.
- 1.3.5 Clean all bathrooms, including but not limited to partitions, mirrors, toilets, accessories, sinks, flooring.
- 1.3.6 Provide all required cleaning supplies, carts, tools, trash bags as required.
- 1.3.7 All trash to be disposed of in dumpster provided by CM. Include cleaning exterior of buildings, sidewalks, etc. of debris.

2.0 SITE WORK

2.1 ASPHALT PAVING AND C/G

- 2.1.1 Asphalt, Curb, and Gutter includes the concrete curbing, asphalt paving, and pavement marking scope per plans and specifications and as defined herein.
- 2.1.2 Furnish and install concrete curb & gutter and asphalt paving and stone base per Specifications and Drawings.
- 2.1.3 Provide proof roll of subgrades, a proof roll of stone base, the stone base for asphalt paving, and curb & gutter as required.
- 2.1.4 Provide curb & gutter, expansion joints, and incidentals for a turnkey installation.
- 2.1.5 Provide and install curb ramps and detectable warnings.
- 2.1.6 This subcontractor to provide turnkey C&G as shown on Drawings.
- 2.1.7 Provide asphalt paving as specified and in required lifts.
- 2.1.8 Provide all thermoplastic pavement markings including stop bars, crossbars, crosswalks, handicap symbols, parking spaces per Drawings and Specifications. Provide bumpers as shown.

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- 2.1.9 Include backfill of all Curb from onsite fill and over-excavation for curb forming.
- 2.1.10 Asphalt to be priced using NCDOT April 2021 Asphalt Index of \$453.64. Provide unit price of \$30 per ton for Asphalt Index Escalation allowance. Allowance to be based on subcontractor estimate tonnage for this bid package.

2.55 **SPORTS COURTS**

- 2.55.1 Sports Courts include a turnkey sports courts package per plans and specifications and as defined herein.
- 2.55.2 Provide tennis courts and pickleball courts package from compacted subgrade up. Include fine grading, fabric, stone, asphalt, leveling patching material, acrylic surfacing, striping, resurfacing, and lines as shown and specified.
- 2.55.3 Provide and install all court markings, sleeves, footings, anchors, posts, netting, strapping, and all other appurtenances required by tennis & pickleball plans, details, site procurement matrix, and specifications.
- 2.55.4 Asphalt to be priced using NCDOT April 2021 Asphalt Index of \$453.64. Provide unit price of \$30 per ton for Asphalt Index Escalation allowance. Allowance to be based on subcontractor estimate tonnage for this bid package.

2.6 **SITE CONCRETE**

- 2.6.1 Site Concrete includes installation of all site concrete shown on plans other than curb & gutter.
- 2.6.2 Site concrete includes all sidewalks, steps, site furnishings pads, cast in place walls, cast in place stadium seating, seat walls, basketball courts, plaza concrete, unit paver curbing, dugouts, bleacher pads, shade structure pads, dumpster pads, monument footings, masonry planter footings, and all other site concrete associated footings and any other site concrete shown on plans, details or specifications.
- 2.6.3 Furnish and install all site concrete at Amenity area including play surface curbing, sidewalks, colored concrete, textured concrete, play sand table, play sandpit, stamped concrete, integrated color concrete, planter curbing, and any other amenity area concrete shown on plans, details or specifications.
- 2.6.4 Shade structure footings by shade structure installer.
- 2.6.5 Sprayground wet surface concrete by Sprayground installer.
- 2.6.6 Slabs on grade for structures and picnic shelters are in the Building Concrete bid package.

2.8 **LANDSCAPING & PAVERS**

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- 2.8.1 Landscaping & Pavers - GMP 3 does not include landscaping.
 - 2.8.2 An allowance for topsoil and permanent seeding in the Alternate 1 Baseball Area and an allowance for final conversion of SCM #1, 2, and 3 without a clay liner or plantings.
- 2.9 AMENITY AREA SAFETY FEATURES & NATURE PLAY**
- 2.9.1 Amenity Area Safety Surfaces includes providing and installation all materials required for turnkey safety surfacing package including fine grading, Stone Base, Unitary synthetic poured in place rubber seamless surface, Artificial Turf safety surface, Organic loose-fill surface, and Geosynthetics.
 - 2.9.2 Provide layout for safety surfacing within curbing.
 - 2.9.3 Provide cleanup of all trash and spoils from safety surfacing installation and remove off-site.
 - 2.9.4 41. BP-2.9.1 Amenity Nature Play – GMP 3 does not include Bid for Nature Play. An allowance is carried in Estimate.
- 2.10 BRIDGES**
- 2.10.1 Bridges include fabricate and install turnkey bridge package per plans and specifications and defined herein. Including the following 4 bridges.
 - 2.10.2 One 36' wide x 63' clear span with 26' wide vehicle and 10' wide pedestrian. HS20-44 L/400 free span for a vehicular bridge with L360 pedestrian section. Basis of Design- York Bridge Concepts
 - 2.10.3 One 12' wide by 66' long pedestrian L/360 repetitive span between Amenity areas. Basis of Design- York Bridge Concepts
 - 2.10.4 Two (2) H5 stream crossing boardwalks at cross country trail per TOA Greenway Trails Specifications dated 1-12-2021 1 boardwalk 12'W x 30' long. 1 Boardwalk 20'W x 80' long increased to 20'W x 80' long in Alternate 6.
 - 2.10.5 Package to include treated dimensional wood stringers and glue-laminated beams, treated wood decking, and all treated timber framework, on a foundation of treated timber pilings and a wood deck with epoxy aggregate.
 - 2.10.6 All work associated with this package by this subcontractor including minor grading & clearing, temporary erosion control, filter fabric, riprap to stabilize erosion, roadway tie-in, and backfill at each end of the bridge(s) completed by this contractor as part of this bid package.
 - 2.10.7 This bid package also includes the design and installation of a horizontal abutment system at bridge ends, constructed behind segmental retaining walls.

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- 2.10.8 Package includes 42" high timber wire mesh composite cap pedestrian handrail system without X-Accent. The handrail system does not include any ADA handicap grab rail. Include 34" High Designed AASHTO Vehicular Guiderail & Curbing System rated for a 10,000lb Capacity on the outer side of the Two-Lane Vehicular Bridge.
- 2.10.9 Scope includes a second mobilization to apply timber protective systems. Scope includes installation of piling thru segmental wall geogrid. The first few layers of the grid may need to be hand dug but the remaining depth should be machined augured. Provide pile design and installation to design depths.

3.0 CONCRETE

3.0 BUILDING CONCRETE

- 3.0.1 Building Concrete includes building footings, step footings, slabs on grade, recessed slabs, excavation for footings and layback of foundation walls, foundation drainage, equipment, housekeeping pads, backfill of walls and footings, topping slabs, reinforcing steel, formwork, curing, finishing, water stop, concrete, vapor barrier, materials/admixtures, and all accessories associated with concrete construction and all equipment required to complete this scope

4.0 MASONRY

4.0 MASONRY

- 4.0.1 Masonry includes furnish and install all concrete masonry units, face brick, mortar and grout materials, cast stone units, reinforcing steel, masonry joint reinforcement, ties and anchors, all embedded flashing including copper flashings, miscellaneous masonry accessories, wood blocking for doors, windows and other openings in masonry requiring wood blocking, cavity-wall insulation, masonry cleaners, masonry lintels/bond beams, fire safety/fire sealing and expansion joints necessary to complete the masonry work.
- 4.0.2 This Subcontractor shall furnish exterior wall-ties to the drywall subcontractor for installation.
- 4.0.3 This Subcontractor shall be responsible for providing all mock-ups. This Subcontractor shall include in the base bid, the demolition, removal, and disposal, of the mock-up.
- 4.0.4 This subcontractor shall include all the exterior masonry walls including site monument signs and masonry planters as indicated on contract documents including but not limited to exterior brick, veneer ties, venting, flashings, base

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flashing, cavity drainage mesh, solid grout at the base brick ledge, weep and cavity vents as required, masonry reinforcing for a complete and seal tight installation.

4.0.5 Exterior masonry footings by Site Concrete subcontractor.

5.0 STRUCTURAL & MISCELLANEOUS STEEL

5.0 STRUCTURAL & MISCELLANEOUS STEEL

5.0.1 Structural & Misc. Steel GMP 3 does not include Bid for Structural Steel. An allowance is carried in Estimate.

6.0 GLUE LAMINATED CONSTRUCTION, TRUSSES & CASEWORK

6.2 GLUE LAMINATED CONSTRUCTION

6.2.1 Glue laminated construction includes all labor, materials, supervision, equipment, mobilizations, taxes, and safety measures needed to complete the turnkey Glue Laminated Construction package.

6.2.2 Include laminated lumber, columns, curved tapered beams, multi-span roof deck, fascia, hardware, steel, fasteners, preservative treatments, adhesives, sealants, inserts, anchors, and final surface repair and cleaning and any other appurtenances required by plans, specifications, details, manufacturer, building code or inspection groups for a complete turnkey product.

6.2.3 This subcontractor shall be responsible for the entire structure of the picnic shelters including beams, columns, fascia, rake, fasteners, and multi-span roof deck.

6.2.4 Provide one layer of 30lb roofing felt. Shingles and metal roofing to be furnished and installed by others.

6.2.5 Include furnishing of all glue-lam columns, headers, and beams at other buildings. Installation by Truss installer.

6.3 TRUSSES

6.3.1 Trusses include all labor, materials, supervision, equipment, mobilizations, taxes, and safety measures needed to complete the truss scope per plans and specifications and as defined herein.

6.3.2 Provide and install all wood components and fasteners including sill plates and anchors, wood trusses, truss hangers and clips, ledger & ceiling joists at gyp ceilings, install Glu Lam columns, beams and headers provided by others, sheathing, cupola framing, hip jack, and girder trusses, furring, strong-backs, headers, fascia & soffit subbase framing, deadwood and temporary bracing, and shoring as required.

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6.3.3 Provide all incidentals needed for the turnkey framing package.

6.4 CASEWORK

- 6.4.1 Casework includes all labor, materials, supervision, equipment, mobilizations, taxes, and safety measures needed to complete turnkey casework, interior, and exterior trim package.
- 6.4.2 Include all casework. Subcontractors shall be fully responsible for performing all required field dimensioning and pre-installation inspections.
- 6.4.3 This subcontractor shall furnish and install, providing a complete installation of all Interior Architectural Woodwork and Wood Paneling including but not limited to all interior standing and running trim, breakrooms cabinets tops/shelving, Restroom vanities and supports, all adjustable shelving, closet shelving, millwork, toilet room millwork, cabinets and tops at offices.
- 6.4.4 Furnish and install complete installation of all interior standing and running trim, Breakrooms-cabinets/tops/shelving, closet shelving, free-standing countertops with 'L' brackets, break room millwork, plywood substrate for transaction window and cabinets and tops at offices as noted in the drawings and specifications.
- 6.4.5 Furnish and install all exterior wood panels to receive graphic by owner at Signature Fieldhouse.
- 6.4.6 Furnish and install exterior corkboards as indicated in the Procurement Matrix

7.0 ROOFING

7.0 ROOFING

- 7.0.1 Roofing includes all labor, materials, supervision, equipment, mobilizations, taxes, and safety measures needed to complete roofing scope per plans, specifications, details, manufacturers, and as defined herein.
- 7.0.2 Include furnish and installation of the roofing system including all insulation board, roofing, auxiliary materials, roof expansion joints, accessories, and specialties. Provide and install shingle roofs at Pre-Engineered Glued Laminate Structures and Pump House.
- 7.0.3 Include all required mock-ups per specifications. Include all pre-finished downspouts, gutters, and downspout boots, and splash blocks.
- 7.0.4 Furnish and install all metal soffits and fascias including all aluminum/metal wall soffits and fascia, all prefinished aluminum/metal closure panels, rigid insulation, vapor-permeable air membrane system at all roof conditions.

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- 7.0.5 Furnish and install all snow guards.
- 7.1 **METAL COMPOSITE PANELS**
- 7.1.1 Metal Composite Panels include furnish and Install Metal Wall Panel System at the cupola of the MP Signature Fieldhouse as shown in drawings. Furnish and install all 2-inch rigid insulation behind metal wall panels.
- 7.2 **DAMP PROOFING**
- 7.2.1 Damp Proofing, Fluid Applied Air-Barriers, and Joint Sealants include all labor, materials, supervision, equipment, taxes, and safety measures needed to complete the waterproofing/sealants scope per plans, specifications, details and defined herein.
- 7.2.2 Furnish and install joint protection per Specifications and as indicated on plans. Caulking of storefront, tile control/expansion joints, door frames, casework, canopies, and plumbing fixtures are not included in this Bid Package.
- 7.2.3 All other items indicated to be caulked or sealed on plans and specifications will be included in this Bid Package.
- 7.2.4 Furnish and install expansion control includes architectural joint systems for interior walls and ceiling joints, interior soffit joints, and all accessories for a complete installation.
- 7.2.5 Furnish and install all joint fillers in slabs on grade where required per plans. Joint fillers for concrete paving will be included in this scope of work.
- 7.2.6 Provide all air barrier testing per specifications.
- 7.2.7 Include all caulking required for site work including sidewalks, masonry joints, control joints, expansion joints.
- 7.2.8 Coordinate all work required for caulking and submit all caulk for approval.
- 8.0 DOORS, HARDWARE & GLAZING**
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- 8.0 **DOORS, FRAMES, AND HARDWARE**
- 8.0.1 Doors/ Frames/ Hardware includes furnishing all standard hollow metal doors, wood doors, hollow metal frames, finish hardware, miscellaneous hardware, and fasteners per the drawings and specifications.
- 8.0.2 This subcontractor is responsible for the installation of all doors, hardware, and miscellaneous hardware.

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8.0.3 Supply and install overhead coiling doors transaction windows. A 1-hour fire-rated door is included in the scope.

8.1 GLASS & GLAZING

8.1.1 Glass & Glazing includes furnish and install all scope of work associated with storefront, glass doors, interior glazing, and non-framed mirrors.

8.1.2 Install all pressure-treated wood blocking at all sill, jamb, head, and backing locations.

9.0 FINISHES

9.0 FRAMING & DRYWALL

9.0.1 Framing & Drywall includes all interior and exterior cold-formed metal framing, all wall sheathing, and building wrap.

9.0.2 Includes all interior metal framing, walls, partitions, backing, bracing, soffits, metal-framed or suspended drywall ceilings, infill studs, drywall, taping and finishing, insulation, and installation of the hollow-metal included in non-masonry walls. Include all gypsum board assemblies including tile-backed board and water-resistant.

9.1 PAINTING

9.1.1 Painting providing and install all interior and exterior painting as required per the contract documents including all substrate preparation, sanding, all paint, primer, block filler, stains, etc. as required per the contract documents.

9.1.2 Includes all caulking of painted surfaces to both adjacent and similar surfaces. Include caulking of frames.

9.3 CERAMIC TILE

9.3.1 Ceramic Tile includes providing and installing a complete tile flooring, wall tile and base system, including ceramic tile, mosaic tile, porcelain tile, tile base, thresholds, crack isolation membranes, setting materials, mortar and grout, sealants, waterproofing, edge strips, cleaner, sealer, as required per the contract documents.

9.5 ACOUSTIC CEILINGS

9.5.1 Acoustic Ceilings include providing and installing a complete acoustical ceiling system, including acoustical panels, metal suspension system, wire hangers, braces, ties, anchors, seismic components, hold down clips, hangers and rods,

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metal edge moldings and trim, acoustical sealant, ancillary ceiling components per the contract documents.

9.6 RESILIENT TILE & FLOORING

- 9.6.1 GMP 3 does not include Bid for Resilient Tile & Flooring. An allowance is carried
- 9.6.2 in Estimate.

10.0 SPECIALTIES

10.0 Toilet Partitions & Accessories

- 10.0.1 Toilet Partitions & Accessories include furnish and install all toilet partitions, urinal screens, toilet/bath accessories including toilet tissue dispensers, soap dispensers, grab bars, mirror units, shower room accessories, shower curtain, shower seat, robe hooks, warm air dryers, child care accessories, under lavatory guards, custodial services accessories, and fire extinguishers and cabinets.

10.1 METAL LOCKERS

- 10.1.1 Metal Lockers include furnish and install all lockers and interior locker benches, combination padlocks, riser bases, and baseboard as specified.

10.2 OPERABLE PARTITIONS

- 10.2.1 Operable Partitions include provide and install all materials required for the accordion folding partition in the Park Maintenance Building including all blocking, support rods, and track and mounting assembly required in contract documents.

10.3 SIGNAGE

- 10.3.1 Signage includes provide and install all Signage including Amenity and Wayfinding, Entrance Monument signage, Specialty General and MUTCD signage, Amenity Identification, and Donor Recognition.
- 10.3.2 Include layout for the location of signage throughout the site. All interior signage and exterior signage attached to buildings furnished and installed by the Owner and is not part of this Bid Package.

10.4 FLAGPOLES

- 10.4.1 Provide and install all required items for installation of 5 flag poles per the plans, specifications, details, and manufacturer requirements including footings,

installation, cleanup, and any other appurtenances required for the turnkey product.

10.7 ALUMINUM WALKWAY COVERS

10.7.1 Include all labor, materials, supervision, equipment, mobilizations, taxes, and safety measures needed to complete the Aluminum Awnings at MP Signature Fieldhouse and Maintenance Building per plans, specifications, and details and as defined herein.

10.7.2 Canopy HSS assembly at MP Signature Fieldhouse and Maintenance Building installed by others.

11.0 ATHLETIC EQUIPMENT

11.1 ATHLETIC EQUIPMENT

11.1.1 Athletic Equipment includes provide and install all Athletic Equipment including basketball, soccer, lacrosse, and other athletic equipment in Athletic Equipment Procurement Matrix.

11.1.2 Tennis and pickleball equipment is in the Sports Court package and is not part of this package. Items and quantities are provided as shown in Procurement Matrix.

12.0 SITE FURNISHINGS AND WINDOW SHADES

12.0 SITE FURNISHINGS

12.0.1 Includes provide and install all site furnishings including but not limited to: trash cans, benches, conversation tables, picnic tables, Sway benches, gates, bike racks, chairs, grills, stadium seating and shade structures as shown on plans and per the Procurement Matrix and Specifications. Provide and install turnkey shade structure package including all footings, removal of soil and concrete spoils on site, anchor bolts, columns, hardware, connections, shade material and any other appurtenances required for a 100% turnkey finished product. Quantities for site furnishings as shown in Procurement Matrix.

12.2 ROLLER WINDOW SHADES

12.2.1 Provide and install all roller window shades per plans, specifications, and details.

Apex Pleasant Park, Apex NC [8/9/2021]

15.0 PLUMBING & MECHANICAL

15.2 PLUMBING

- 15.2.1 Plumbing includes all labor, materials, hoisting, equipment, safety measures, and accessories necessary to furnish, deliver, erect, and install all plumbing described in this scope, as shown on the Contract Documents, and as otherwise required for a complete and functional system.
- 15.2.2 Includes domestic water service, backflow protection, hot water heating system, sanitary, waste, and vent piping systems.
- 15.2.3 Furnish and install Site Drinking Fountains (QTY 2) per specifications and drawings.

15.4 MECHANICAL

- 15.4.1 HVAC includes furnish and install all HVAC systems components including AHU units, Exhaust fans, FCU's, Electric Unit Heaters, Split systems cooling and heat pump, ductless split systems, Ductwork, Insulation, Diffusers, Return Grilles, Centrifugal Roof Exhaust Fans, Louvers, Exterior Wall Louvers, Ceiling Fans, Condensing Units, Daikin Split Systems, dry wells, controls, occupancy sensors, thermostats as defined in the contract documents for a complete Mechanical System.

16.0 ELECTRICAL

- 16.0.1 Provide and install a complete Electrical system per plans, specifications and contract documents including power distribution equipment, conduit and conductors, Site electric per WithersRavenel Plans, Grounding, Data & Communications, Electrical Fixtures, Temporary Electric including (1) 50 amp construction panel in each building and Security and A/V conduit.

EXHIBIT A

| Activity ID | Activity Name | Orig Dur | Rem Dur | Phys % Comp | Start | Finish | Total Float | 2022 | | | | | | | | | | | | | | | | | |
|---|--|----------|---------|-------------|-------------|------------|-------------|------|-----|-----|-------------|-----------|-----|-----|-----|-----|-----|-----|-----|-----|--|--|--|--|--|
| | | | | | | | | Aug | Sep | Oct | Nov | Dec | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | | | | | |
| Pleasant Park - Construction Schedule - Update 05 | | | | | | | | 401 | 211 | | 02-Nov-20 A | 09-Jun-22 | 0 | | | | | | | | | | | | |
| Project Milestones | | | | | | | | 161 | 161 | | 18-Oct-21 | 09-Jun-22 | 0 | | | | | | | | | | | | |
| MILE 115 | Fields 5&6 Complete | 0 | 0 | 0% | | 18-Oct-21 | 161 | | | | | | | | | | | | | | | | | | |
| MILE 105 | Fields 3&4 Complete | 0 | 0 | 0% | | 15-Nov-21 | 141 | | | | | | | | | | | | | | | | | | |
| MILE 110 | Fields 1&2 Complete | 0 | 0 | 0% | | 19-Jan-22 | 101 | | | | | | | | | | | | | | | | | | |
| MILE 125 | Amenities Zone Complete | 0 | 0 | 0% | | 17-Feb-22 | 80 | | | | | | | | | | | | | | | | | | |
| MILE 120 | Fieldhouse Complete | 0 | 0 | 0% | | 26-May-22 | 10 | | | | | | | | | | | | | | | | | | |
| MILE 130 | Project Overall Completion | 0 | 0 | 0% | | 09-Jun-22* | 0 | | | | | | | | | | | | | | | | | | |
| GMP 03 | | | | | | | | 231 | 41 | | 02-Nov-20 A | 05-Oct-21 | 0 | | | | | | | | | | | | |
| GMP 105 | GMP 03 Bidding & Mobilization | 122 | 21 | 90% | 02-Nov-20 A | 07-Sep-21 | 0 | | | | | | | | | | | | | | | | | | |
| GMP 115 | GMP 03 Subcontractor Awards & Submittals for Commencement of Work | 20 | 20 | 0% | 08-Sep-21 | 05-Oct-21 | 0 | | | | | | | | | | | | | | | | | | |
| GMP 04 - Phase 1A | | | | | | | | 170 | 170 | | 04-Oct-21 | 07-Jun-22 | 2 | | | | | | | | | | | | |
| GMP 125 | GMP 04 Bid Period (Phase 1A) | 45 | 45 | 0% | 04-Oct-21* | 07-Dec-21 | 2 | | | | | | | | | | | | | | | | | | |
| GMP 135 | GMP 04 Contract Award Period to JMT | 20 | 20 | 0% | 08-Dec-21 | 11-Jan-22 | 2 | | | | | | | | | | | | | | | | | | |
| Phase 1A Work Under GMP 04 | | | | | | | | 105 | 105 | | 12-Jan-22 | 07-Jun-22 | 2 | | | | | | | | | | | | |
| PH1A 100 | Layout for Erosion Control - Ph1A | 5 | 5 | 0% | 12-Jan-22 | 18-Jan-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 105 | Install Erosion Control & Tree Protection - Ph1A | 10 | 10 | 0% | 19-Jan-22 | 01-Feb-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 110 | Clear Trees & Grade Site - Ph1A | 15 | 15 | 0% | 02-Feb-22 | 22-Feb-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 115 | Install Storm Drainage Changes - Ph1A | 10 | 10 | 0% | 23-Feb-22 | 08-Mar-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 120 | Install New Curb & Gutter, Including Stone - Ph1A | 20 | 20 | 0% | 09-Mar-22 | 05-Apr-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 121 | Install Guardrail - Ph1A | 5 | 5 | 0% | 06-Apr-22 | 12-Apr-22 | 12 | | | | | | | | | | | | | | | | | | |
| PH1A 125 | Backfill Curb & Gutter & Form/Pour New Sidewalk - Ph1A | 25 | 25 | 0% | 23-Mar-22 | 26-Apr-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 130 | New Asphalt & Overlay - Ph1A | 20 | 20 | 0% | 27-Apr-22 | 24-May-22 | 2 | | | | | | | | | | | | | | | | | | |
| PH1A 135 | Striping & New Signage - Ph1A | 10 | 10 | 0% | 25-May-22 | 07-Jun-22 | 2 | | | | | | | | | | | | | | | | | | |
| Revised Construction | | | | | | | | 324 | 211 | | 01-Mar-21 A | 09-Jun-22 | 0 | | | | | | | | | | | | |
| Overall Site Sewer & Water | | | | | | | | 258 | 145 | | 01-Mar-21 A | 09-Mar-22 | 66 | | | | | | | | | | | | |
| UTIL 135 | Gravity Sewer - Pump Sta to Amenity & Ballfield Areas | 45 | 15 | 80% | 01-Mar-21 A | 27-Aug-21 | 91 | | | | | | | | | | | | | | | | | | |
| UTIL 165 | Complete All Work @ Lift Station (incl gravel, fence) | 110 | 40 | 60% | 12-Jul-21 A | 04-Oct-21 | 66 | | | | | | | | | | | | | | | | | | |
| UTIL 180 | Procure & Bore Jack Materials | 100 | 100 | 0% | 09-Aug-21 | 05-Jan-22 | 36 | | | | | | | | | | | | | | | | | | |
| UTIL 110 | Bore & Jack & Tie-In Lines Across Hwy (assuming permits in hand) (TBD) | 35 | 35 | 0% | 06-Jan-22* | 23-Feb-22 | 36 | | | | | | | | | | | | | | | | | | |
| UTIL 185 | Certification of Lift Station | 10 | 10 | 0% | 24-Feb-22 | 09-Mar-22 | 66 | | | | | | | | | | | | | | | | | | |
| Overall Site Mass Grading & Retaining Walls 1-13 | | | | | | | | 78 | 30 | | 17-May-21 A | 20-Sep-21 | 131 | | | | | | | | | | | | |
| GR 140 | Build Retaining Wall 2 @ Amenity Area - Z3 | 15 | 15 | 0% | 16-Aug-21 | 03-Sep-21 | 131 | | | | | | | | | | | | | | | | | | |
| GR 120 | Build Retaining Walls 3A & 3B for Soccer Field & Road - Z3 | 30 | 10 | 70% | 29-Jun-21 A | 20-Sep-21 | 131 | | | | | | | | | | | | | | | | | | |
| GR 145 | Mass Grading Zone 4 | 30 | 30 | 70% | 17-May-21 A | 20-Sep-21 | 116 | | | | | | | | | | | | | | | | | | |
| Overall Site Stormdrainage | | | | | | | | 30 | 10 | | 19-Apr-21 A | 20-Aug-21 | 201 | | | | | | | | | | | | |
| STRM 115 | Stormdrainage - (Plaza) to allow RW 2 Construction | 5 | 5 | 90% | 19-Apr-21 A | 13-Aug-21 | 106 | | | | | | | | | | | | | | | | | | |
| STRM 140 | Stormdrainage For Plazas 1-4 | 30 | 10 | 80% | 19-Apr-21 A | 20-Aug-21 | 201 | | | | | | | | | | | | | | | | | | |
| Overall Site Sports Fields | | | | | | | | 193 | 110 | | 15-Jul-21 A | 19-Jan-22 | 101 | | | | | | | | | | | | |
| Soccer 5&6 | | | | | | | | 128 | 50 | | 02-Aug-21 A | 18-Oct-21 | 161 | | | | | | | | | | | | |
| SOC5/6 200 | Construct Perimeter Curb (90%) - Soccer 5&6 | 10 | 10 | 0% | 02-Aug-21 A | 20-Aug-21 | 101 | | | | | | | | | | | | | | | | | | |

- Remaining Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- ◆ Milestone

Pleasant Park - Apex, NC
 JM Thompson Company
 Update 05 - Data Date 09Aug21 - Remaining Work Only & GMP 04



EXHIBIT A

| Activity ID | Activity Name | Orig Dur | Rem Dur | Phys % Comp | Start | Finish | Total Float | 2022 | | | | | | | | | | | | | | |
|---------------------------------------|---|------------|------------|-------------|--------------------|------------------|-------------|------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|--|--|
| | | | | | | | | Aug | Sep | Oct | Nov | Dec | Jan | Feb | Mar | Apr | May | Jun | Jul | Aug | | |
| SOC5/6 210 | Main Collector Drains - Soccer 5&6 | 10 | 10 | 0% | 05-Aug-21 A | 03-Sep-21 | 101 | | | | | | | | | | | | | | | |
| SOC5/6 220 | Field Drains - Soccer 5&6 | 10 | 10 | 0% | 07-Sep-21 | 20-Sep-21 | 101 | | | | | | | | | | | | | | | |
| SOC5/6 225 | Turf & Curb Completion - Soccer 5&6 | 20 | 20 | 0% | 21-Sep-21 | 18-Oct-21 | 161 | | | | | | | | | | | | | | | |
| Tennis Courts | | 179 | 55 | | 15-Jul-21 A | 23-Dec-21 | 115 | | | | | | | | | | | | | | | |
| TENN 100 | Trench in For Lights & Other Elec in Tennis Court Area - Z5 | 15 | 5 | 85% | 15-Jul-21 A | 12-Oct-21 | 25 | | | | | | | | | | | | | | | |
| TENN 105 | Install Tennis Courts (complete) - Z5 | 45 | 45 | 0% | 06-Oct-21 | 09-Dec-21 | 25 | | | | | | | | | | | | | | | |
| TENN 110 | Apply Final Coating & Markings - Tennis | 10 | 10 | 0% | 10-Dec-21 | 23-Dec-21 | 115 | | | | | | | | | | | | | | | |
| Soccer 3&4 | | 40 | 40 | | 21-Sep-21 | 15-Nov-21 | 121 | | | | | | | | | | | | | | | |
| SOC3/4 100 | Construct Perimeter Curb (90%) - Soccer 3&4 | 10 | 10 | 0% | 21-Sep-21 | 04-Oct-21 | 101 | | | | | | | | | | | | | | | |
| SOC3/4 110 | Main Collector Drains - Soccer 3&4 | 10 | 10 | 0% | 05-Oct-21 | 18-Oct-21 | 101 | | | | | | | | | | | | | | | |
| SOC3/4 120 | Field Drains - Soccer 3&4 | 10 | 10 | 0% | 19-Oct-21 | 01-Nov-21 | 101 | | | | | | | | | | | | | | | |
| SOC3/4 125 | Turf & Curb Completion - Soccer 3&4 | 10 | 10 | 0% | 02-Nov-21 | 15-Nov-21 | 121 | | | | | | | | | | | | | | | |
| Soccer 1&2 | | 50 | 50 | | 02-Nov-21 | 19-Jan-22 | 101 | | | | | | | | | | | | | | | |
| SOC1/2 100 | Construct Perimeter Curb (90%) - Soccer 1&2 | 10 | 10 | 0% | 02-Nov-21 | 15-Nov-21 | 101 | | | | | | | | | | | | | | | |
| SOC1/2 110 | Main Collector Drains - Soccer 1&2 | 10 | 10 | 0% | 16-Nov-21 | 01-Dec-21 | 101 | | | | | | | | | | | | | | | |
| SOC1/2 120 | Field Drains - Soccer 1&2 | 10 | 10 | 0% | 02-Dec-21 | 15-Dec-21 | 101 | | | | | | | | | | | | | | | |
| SOC1/2 125 | Turf & Curb Completion - Soccer 1&2 | 20 | 20 | 0% | 16-Dec-21 | 19-Jan-22 | 101 | | | | | | | | | | | | | | | |
| BB, PP & VB | | 96 | 96 | | 09-Aug-21 | 23-Dec-21 | 60 | | | | | | | | | | | | | | | |
| BB 100 | Construct BB Courts | 30 | 30 | 0% | 09-Aug-21 | 20-Sep-21 | 111 | | | | | | | | | | | | | | | |
| BB 105 | Construct PB Courts | 30 | 30 | 0% | 23-Aug-21 | 04-Oct-21 | 111 | | | | | | | | | | | | | | | |
| BB 110 | Construct VB Courts | 10 | 10 | 0% | 10-Dec-21 | 23-Dec-21 | 60 | | | | | | | | | | | | | | | |
| Hardscapes | | 264 | 211 | | 24-May-21 A | 09-Jun-22 | 0 | | | | | | | | | | | | | | | |
| Amenity Area/Ballfield Parking | | 85 | 85 | | 08-Sep-21 | 13-Jan-22 | 105 | | | | | | | | | | | | | | | |
| HS 105 | (partial) Curbs & Stone - Amen./BF Parking | 15 | 15 | 0% | 08-Sep-21 | 28-Sep-21 | 125 | | | | | | | | | | | | | | | |
| HS 110 | (partial) Construct Sidewalks - Amen./BF Parking | 10 | 10 | 0% | 22-Sep-21 | 05-Oct-21 | 125 | | | | | | | | | | | | | | | |
| HS 115 | (partial) Finegrade Stone & Asphalt Paving - Amen./BF Parking | 10 | 10 | 0% | 29-Sep-21 | 12-Oct-21 | 125 | | | | | | | | | | | | | | | |
| HS 140 | Completion of Curbs/Stone/Paving /Parking Finishes - Amen/BF | 10 | 10 | 0% | 17-Dec-21 | 06-Jan-22 | 105 | | | | | | | | | | | | | | | |
| HS 125 | Site Lighting Finishes - Amen./BF Parking | 5 | 5 | 0% | 07-Jan-22 | 13-Jan-22 | 105 | | | | | | | | | | | | | | | |
| Road 002 | | 30 | 30 | | 09-Aug-21 | 20-Sep-21 | 181 | | | | | | | | | | | | | | | |
| HS 205 | Curbs & Stone - Road 002 | 15 | 15 | 0% | 09-Aug-21 | 27-Aug-21 | 86 | | | | | | | | | | | | | | | |
| HS 210 | Construct Sidewalks - Road 002 | 10 | 10 | 0% | 23-Aug-21 | 03-Sep-21 | 86 | | | | | | | | | | | | | | | |
| HS 215 | Finegrade Stone & Asphalt Paving - Road 002 | 10 | 10 | 0% | 30-Aug-21 | 13-Sep-21 | 86 | | | | | | | | | | | | | | | |
| HS 225 | Site Lighting Finishes - Road 002 | 5 | 5 | 0% | 14-Sep-21 | 20-Sep-21 | 181 | | | | | | | | | | | | | | | |
| Road 003 | | 189 | 135 | | 21-Jul-21 A | 21-Apr-22 | 35 | | | | | | | | | | | | | | | |
| HS 400 | Procure Vehicular Bridge | 80 | 80 | 0% | 06-Oct-21 | 03-Feb-22 | 0 | | | | | | | | | | | | | | | |
| HS 405 | Finegrade Subgrade - Road 003 | 10 | 5 | 80% | 21-Jul-21 A | 10-Feb-22 | 25 | | | | | | | | | | | | | | | |
| HS 410 | Curbs & Stone - Road 003 | 10 | 10 | 0% | 11-Feb-22 | 24-Feb-22 | 25 | | | | | | | | | | | | | | | |
| HS 415 | Construct Sidewalks - Road 003 | 10 | 10 | 0% | 18-Feb-22 | 03-Mar-22 | 25 | | | | | | | | | | | | | | | |
| HS 740 | Construct Vehicular Bridge | 40 | 40 | 0% | 04-Feb-22 | 31-Mar-22 | 0 | | | | | | | | | | | | | | | |
| HS 420 | Finegrade Stone & Asphalt Paving - Road 003 | 10 | 10 | 0% | 01-Apr-22 | 14-Apr-22 | 0 | | | | | | | | | | | | | | | |
| HS 430 | Site Lighting Finishes - Road 003 | 5 | 5 | 0% | 15-Apr-22 | 21-Apr-22 | 35 | | | | | | | | | | | | | | | |
| BB/PB/VB Parking | | 116 | 116 | | 09-Aug-21 | 27-Jan-22 | 95 | | | | | | | | | | | | | | | |
| HS 305 | Curbs & Stone - BB/PB/VB Parking | 15 | 15 | 0% | 09-Aug-21 | 27-Aug-21 | 146 | | | | | | | | | | | | | | | |

- Remaining Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- ◆ Milestone

Pleasant Park - Apex, NC
 JM Thompson Company
 Update 05 - Data Date 09Aug21 - Remaining Work Only & GMP 04



EXHIBIT A

| Activity ID | Activity Name | Orig Dur | Rem Dur | Phys % Comp | Start | Finish | Total Float | 2022 | | | | | | | | | | | |
|--------------------|---|------------|------------|-------------|------------------|------------------|-------------|---|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| | | | | | | | | Aug | Sep | Oct | Nov | Dec | Jan | Feb | Mar | Apr | May | Jun | Jul |
| TSB 135 | Convert Temp. Basin 1 to SCM1 - Z2 | 10 | 10 | 0% | 16-Aug-21 | 27-Aug-21 | 176 | Convert Temp. Basin 1 to SCM1 - Z2 | | | | | | | | | | | |
| TSB 125 | Convert Temp. Basin #3 & Final Planting - Z6 | 20 | 20 | 0% | 23-Aug-21 | 20-Sep-21 | 161 | Convert Temp. Basin #3 & Final Planting - Z6 | | | | | | | | | | | |
| TSB 115 | Remove Basin #8, Complete Grading - Z4 | 20 | 20 | 0% | 21-Sep-21 | 18-Oct-21 | 141 | Remove Basin #8, Complete Grading - Z4 | | | | | | | | | | | |
| TSB 120 | Remove Basin #9, Complete Grading - Z4 | 20 | 20 | 0% | 21-Sep-21 | 18-Oct-21 | 141 | Remove Basin #9, Complete Grading - Z4 | | | | | | | | | | | |
| TSB 155 | Finalize Landscaping at Permanent Stormwater Basins | 20 | 20 | 0% | 19-Oct-21 | 15-Nov-21 | 141 | Finalize Landscaping at Permanent Stormwater Basins | | | | | | | | | | | |
| Landscaping | | 102 | 102 | | 12-Jan-22 | 02-Jun-22 | 5 | | | | | | | | | | | | |
| LS 100 | Site Plantings | 45 | 45 | 0% | 12-Jan-22 | 15-Mar-22 | 7 | Site Plantings | | | | | | | | | | | |
| LS 140 | Amenity Area Landscaping | 20 | 20 | 0% | 18-Feb-22 | 17-Mar-22 | 15 | Amenity Area Landscaping | | | | | | | | | | | |
| LS 120 | Site Irrigation | 40 | 40 | 0% | 02-Mar-22 | 26-Apr-22 | 7 | Site Irrigation | | | | | | | | | | | |
| LS 130 | Site Sod | 40 | 40 | 0% | 06-Apr-22 | 31-May-22 | 7 | Site Sod | | | | | | | | | | | |
| LS 110 | Sod & Plantings @ Buildings | 45 | 45 | 0% | 01-Apr-22 | 02-Jun-22 | 5 | Sod & Plantings @ Buildings | | | | | | | | | | | |

-  Remaining Level of Effort
-  Actual Work
-  Remaining Work
-  Critical Remaining Work
-  Milestone

Pleasant Park - Apex, NC
 JM Thompson Company
 Update 05 - Data Date 09Aug21 - Remaining Work Only & GMP 04

