

ATTACHMENT B

MORRIS TRACT

PLANNED UNIT DEVELOPMENT

Apex, North Carolina

June 22, 2022

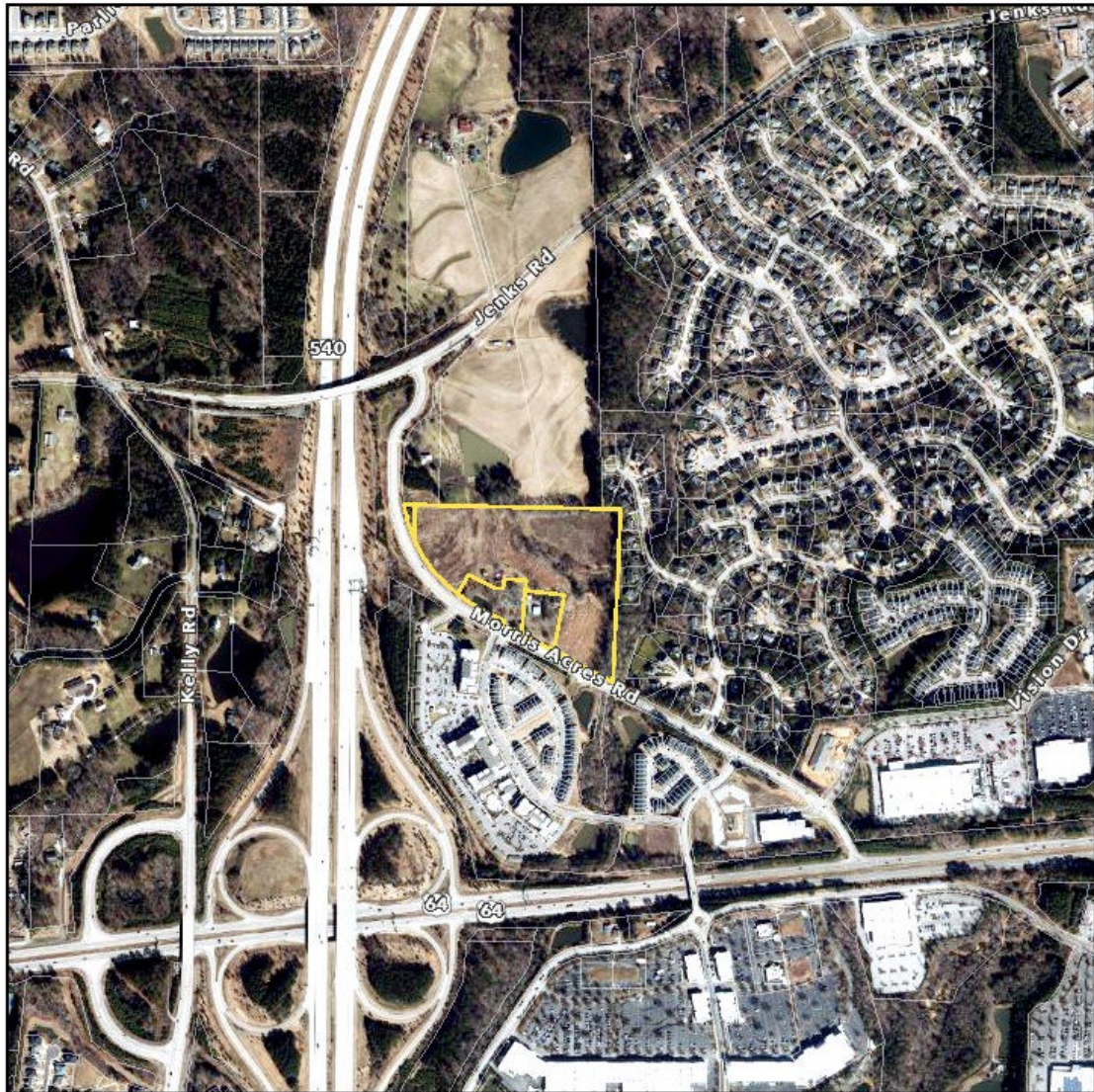
ATTACHMENT B

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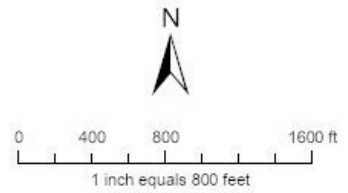
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I. VICINITY MAP



Morris Tract PUD



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II. PROJECT INFORMATION

Project	Morris Tract PUD
PINs	0732295017, 0732382709, 0732289587, and 0732382530
Preparer Information	WithersRavenel 115 MacKenan Drive Cary, NC 27511 Brendie Vega, AICP, CNU-A Ed Tang, PE P: 919.469.3340 F: 919.467.6008 bvega@withersravenel.com etang@withersravenel.com
Traffic Consultant	Kimley-Horn
Current Zoning Designation	Rural Residential (RR)
Proposed Zoning Designation	Planned Unit Development (PUD-CZ)
Current 2045 Land Use Map Designation	Medium Density Residential
Area of Tracts	17.09 acres

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III. PURPOSE STATEMENT

A. Unified Development Ordinance (UDO) Sections 2.3.4.F.1.

- ◆ The PD Plan encourages cluster and compact development to the greatest extent possible. The PD plan will be interrelated and linked internally and externally by pedestrian ways, bikeways, and other transportation systems.
- ◆ Sidewalks at least five (5) feet in width are provided on all streets throughout the subdivision, as well as sidewalk at least five (feet) in width that will be installed on the frontage of Morris Acres Road.
- ◆ Cul-de-sac(s) will be avoided where environmental features do not constrain the site, and instead will provide connections to existing street(s) and stub(s) to future roads.
- ◆ The development is compatible with the character of the site, where a change to existing land use patterns in the area has increased the surrounding densities and introduced nonresidential uses.
- ◆ The site is within one-half mile of retail, dining, financial institutions, and personal services. Future residents will be able to easily access many necessities and entertainment while minimizing vehicle trips traveled and trip length.
- ◆ The PD Plan proposes architectural standards that are exceptional and provide high-quality design while incorporating energy saving features.

B. Conditional Zoning Standards - UDO Sections 2.3.3.F.1-10

- ◆ The PUD Plan is consistent with the 2045 Land Use Map, which has identified this area as Medium Density Residential which allows for single-family homes, duplexes, and townhouses.
- ◆ The proposed plan is consistent with the changing character of the neighborhood. The Town's adopted 2045 plans, are demonstrative of the changes that have occurred and are proposed for this area.
- ◆ The Zoning district supplemental standards do not apply to the uses that have been listed in the List of Uses.
- ◆ Adverse impacts will be minimal since there are currently residences in this location that are served by private services. Annexation into the Town will provide the new subdivision with trash, public water and sewer, and Town of Apex public safety services.
- ◆ While not yet designed, the subdivision will incorporate recommendations made by the Environmental Advisory Board to minimize environmental impacts.
- ◆ The proposed Conditional Zoning District uses will meet the UDO's requirements for public improvement. A fee-in-lieu will be provided to the Town of Apex for parks and recreation, while other public services will benefit from the tax base provided by the increased tax value of the current properties.
- ◆ The proposed District will meet or exceed the Town's requirements which are meant to protect the health, safety, and welfare of the Town and ETJ residents.
- ◆ There will be no substantial detriment to the adjacent properties. The addition of residential at a slightly higher density than what is existing will not be a substantial detriment to adjacent properties.

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- ◆ The use will not constitute a nuisance or hazard as residential uses are inherently intended for the use, enjoyment, and safety of residents in their homes.
- ◆ The proposed Conditional Zoning district use will meet or exceed the applicable provisions of the Ordinance except where noted in this document and as permitted by the Conditional Zoning process.

IV. PERMITTED USES

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

A. Residential

- ◆ Single-family
- ◆ Townhouse, attached
- ◆ Recreation facility, private
- ◆ Accessory apartment
- ◆ Utility, Minor
- ◆ Park, Active
- ◆ Park, Passive

V. PROPOSED CONDITIONS

1. Alleys for units facing Morris Acres Road will accommodate water and sewer utilities within the Town's existing alley cross section subject to staff review and approval at the time of subdivision and construction plans. Public utility easements may be granted on private property to accommodate appurtenances and maintenance.
2. Homeowner Association covenants shall not restrict the construction of accessory dwelling units.
3. No homes will be platted within 50 feet of the eastern property line.

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VI. DESIGN CONTROLS

A. Intensity and Density

Maximum Density	6.44 Dwelling Units/Acre		
Maximum Dwelling Units	110 (10 single-family dwelling units and 100 townhomes)		
Maximum Building Height	50 ft		
Setbacks, Single-family Detached	Front: 5 ft from façade 20 ft from garage to back of sidewalk	Side: 5 ft Corner Side: 8 ft	Rear: 10 ft
Setbacks, Townhouses, Front-loaded	Front: 10 ft from façade 20 ft from garage to back of sidewalk	Side: 5 ft Corner Side: 10 ft Building to Building: 10 ft	Rear: 10 ft
Setbacks, Townhouses, Alley-loaded	Front: 10 ft from façade	Side: 5 ft Corner Side: 10 ft Building to Building: 10 ft	Rear: 5 ft
Minimum Lot Size, Single-family Detached	6,000 square feet		
Minimum lot width, Townhouses	22 feet		
Maximum Built Upon Area Permitted (PUD-CZ)	70%		
Proposed Built Upon Area	70%		

B. Perimeter Buffers

North	20-foot Type B
East	20-foot Type A
Morris Acres Rd. (Units facing the street)	30-foot Type E Undisturbed 50-foot Type A/B Disturbed
Morris Acres Rd. (Units oriented away from the street)	30-foot Type B Undisturbed 50-foot Type A/B Disturbed

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VII. ARCHITECTURAL CONTROLS

A. Single-family Detached

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
2. The roof shall be pitched at 5:12 or greater for 75% of the building designs.
3. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
4. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
5. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
6. Garage doors must have windows, decorative details, or carriage-style adornments on them.
7. The visible side of a single-family detached dwelling unit on a corner lot facing the public street shall contain at least two decorative elements such as, but not limited to, the following:
 - ◆ Windows
 - ◆ Bay window
 - ◆ Recessed window
 - ◆ Decorative window
 - ◆ Trim around the windows
 - ◆ Wrap-around porch or side porch
 - ◆ Two or more building materials
 - ◆ Decorative brick/stone
 - ◆ Decorative trim
 - ◆ Decorative shake
 - ◆ Decorative air vents on gables
 - ◆ Decorative gable
 - ◆ Decorative cornice
 - ◆ Column
 - ◆ Portico
 - ◆ Balcony
 - ◆ Dormer

B. Townhouses

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
2. The roofline cannot be a single mass. It must be broken up horizontally and vertically between every unit.
3. Garage doors must have windows, decorative details, or carriage-style adornments on them.
4. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
5. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
6. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
7. The visible side of a townhouse on a corner lot facing the public street shall contain at least two decorative elements such as, but not limited to, the following:

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- ◆ Balcony
- ◆ Dormer

VIII. SIGNAGE

All signage in the Morris Tract PUD will comply with the requirements in Section 8.7 of the Town of Apex UDO.

IX. PARKING AND LOADING

The parking requirements of the Town of Apex UDO Section 8.3 will be met.

X. ENVIRONMENTAL ADVISORY BOARD (EAB) RECOMMENDATIONS

The Morris Tract PUD was heard at the EAB on December 16, 2021. The applicant has agreed to the following.

1. Post development peak runoff shall not exceed pre-development peak runoff for the 24-hour, 1-year, 10-year, and 100-year storm events in accordance with the Unified Development Ordinance. Treatment for the first 1-inch of runoff will be provided such that the removal of 85% Total Suspended Solids is achieved.
2. The project shall install at least one (1) pet waste disposal reminder sign per Stormwater Control Measure (SCM). The sign(s) shall be installed in locations that are publicly accessible, such as adjacent to, but outside of public property and/or public easement(s), amenity centers, sidewalks, greenways, or side paths.
3. The project shall install at least one (1) sign per SCM about not using fertilizer near an SCM drainage area. The sign(s) shall be installed in locations that are publicly accessible, such as adjacent to, but outside of public property and/or public easement(s), amenity centers, sidewalks, greenways, or side paths.
4. The project shall ensure that at least 75% of the landscaping shall be native species. Landscaping shall be coordinated with and approved by the Planning Department at site or subdivision review.

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5. The project shall select and install tree, shrub, and perennial species with special attention to providing diverse and abundant pollinator and bird foot sources, including plants that bloom in succession from spring to fall.
6. The project shall plant warm season grasses in order to minimize the need for irrigation and chemical use.
7. A minimum of three (3) native hardwood tree species shall be used for the landscaping on site.
8. The project shall install at least one (1) pet waste station at each play lawn.
9. All homes shall be pre-configured with conduit for a solar energy system.

XI. NATURAL RESOURCE AND ENVIRONMENTAL DATA

A. Watershed

The properties in the PD Plan are located in the Primary Watershed Overlay District and the Beaver Creek Basin.

B. FEMA Floodplain

No regulatory FEMA mapped floodplain exists on site.

C. Resource Conservation Area

The site is subject to the Resource Conservation Area (RCA) requirements outlined in the Town of Apex UDO in Section 8.1. This project shall dedicate a minimum 20% of RCA for the overall site area upon site plan submittal.

According to the North Carolina Historic Preservation Office's records, the subject site does not contain historic structures.

XII. STORMWATER MANAGEMENT

1. This project is located within the Beaver Creek basin and will be required to attenuate the 1-, 10-, 25-, and 100-year storms.
2. To the extent practicable the stormwater discharge from the onsite SCM(s) will be routed to discharge stormwater from the SCM(s) via a pipe underneath Morris Acres Road (i.e. to the downstream side) subject to Town of Apex and NCDOT approvals.
3. The former pond on the east side of the property was previously breached and the outflow was diverted away from properties with PINs 0732387613, 0732387723, and 0732387823 via an open channel. The proposed project will either pipe or maintain an open channel that continues to direct the natural flow to a point downstream of these properties, subject to Town of Apex, NCDWR, and USACE approvals.

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XIII. PARKS, RECREATION, & CULTURAL RESOURCES (PRCR) ADVISORY COMMISSION

The PRCR Advisory Commission unanimously recommended a fee-in-lieu of dedication for the Morris Tract PUD at their March 30, 2022 meeting. The rate of the fee is set at the time of Town Council approval of the rezoning and is based on a maximum of 110 single family attached and detached units and runs with the life of the project. If approved in 2022, the rate would be \$3,753.89 for Single Family Detached and \$2,528.25 for Single Family Attached units.

XIV. PUBLIC FACILITIES REQUIREMENTS

A. Sanitary Sewer Service

Sewer is available at an outfall at the tributary of the Reedy Branch outfall that runs through a Town of Apex owned parcel.

A capacity study shall be provided at Construction Drawing submittal.

B. Water Service

Extension of water shall be provided to the proposed development with access to 12" water line in Morris Acres Road.

C. Gas and Electric Service

Electric services will be extended to the site.

D. Roadways

The site shall require an internal public roadway network and privately maintained parking spaces. The transportation system shall be consistent with the Town of Apex Comprehensive Transportation Plan and Bicycle and Pedestrian System Plan and the Town of Apex Standard Specifications and Standard Details.

The Transportation plan designates Morris Acres Road as an 80-foot minimum right-of-way with a minimum 10-foot Side Path.

E. Transit

The nearest transit stop for the local GoApex Route 1 is anticipated to be located at the Beaver Creek Commons shopping center. Regional Transit can be accessed along NC 55 Hwy. The subject site is located within the Transit Oriented Development Context Area.

F. Pedestrian Facilities

A 10-foot Side Path shall be provided along the frontage of Morris Acres Road, in accordance with the Transportation Plan & UDO.

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Sidewalks at least five (5) feet in width shall be provided on both sides of all internal streets, including cul-de-sac(s).

For alley-loaded townhouses that front Morris Acres Road, a minimum five-foot (5') sidewalk connection between the townhouse units and the 10-foot Side Path along Morris Acres Road shall be provided. These connections will perpendicularly cross the 30-foot Thoroughfare Buffer along Morris Acres Road.

XV. PHASING

The site is anticipated to be developed in two (2) phases.

XVI. AFFORDABLE HOUSING

Of the one hundred (100) permitted townhouse dwellings, at least two (2) residential restricted median-income affordable housing townhouse ownership units (Affordable Housing Units) shall be constructed on-site and sold at a mutually agreeable maximum affordable housing median-income ownership initial sales price (includes unit price and lot price) that is calculated based upon the one-hundred percent (100%) of the Raleigh, NC Metropolitan Statistical Area (MSA) Area Median Income (AMI) as most recently published by the U.S. Department of Housing and Urban Development (HUD).

- ◆ The Affordable Housing Units shall be occupied by low or median-income households earning no more than one hundred percent (100%) of the Raleigh, NC MSA AMI, adjusted for family size as most recently published by HUD.
- ◆ A restrictive covenant (i.e., resale deed restriction) with a minimum affordability period of ten (10) years shall be recorded against each Affordable Housing Unit concurrently at the close of escrow upon the sale of each Affordable Housing Units to memorialize the affordable housing terms and conditions.
- ◆ The two (2) Affordable Housing Unit lots shall be identified on the Master Subdivision Final Plat, which may be amended from time to time.
- ◆ A restrictive covenant (i.e. affordable housing agreement) between the Town and Applicant shall be recorded against the two (2) Affordable Housing Unit lots prior to the issuance of a building permit for such lots to memorialize the affordable housing terms and conditions of the approved zoning condition.
- ◆ Final Affordable Housing Unit floor plan selection which includes the unit size and bedroom size will be at the discretion of the developer.
- ◆ The Developer will be responsible for performing marketing, applicant screening and selection process, and management of the Affordable Housing Units during the affordability period with oversight and support provided by Town staff.

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XVII. ELEVATIONS

Elevations will comply with the Architectural and Design Controls for the Morris Tract PUD. Elevations submitted with this PD Plan are representative of what may be provided.

XVIII. CONSISTENCY WITH ADVANCE APEX

The Plan is consistent with the Advance Apex Plan and Land Use Map.

The Apex 2045 Land Use Map identifies the subject parcels as Medium Density Residential. Medium Density Residential lands are characterized by single-family homes, duplexes, quadplexes, and townhomes with densities no less than three (3) and no more than seven (7) dwelling units per acre. Medium Density Residential provides a transition from the more urbanized areas of Apex to low-density neighborhoods.

The proposed density of 6.44 dwelling units per acre and proposed uses meet the Medium Density Residential standards. In addition, once established, the proposed development will soften the transition between large rural lands and residential neighborhoods and commercial areas.

XIX. CONSISTENCY WITH THE UDO

The proposed development is consistent with all applicable requirements of the Town of Apex UDO.

XX. COMPLIANCE WITH COMPREHENSIVE TRANSPORTATION PLAN AND BICYCLE AND PEDESTRIAN SYSTEM PLAN

The proposed development complies with the applicable requirements of the Town of Apex Comprehensive Transportation Plan and Bicycle and Pedestrian System Plan.

XXI. CONFORMITY WITH TOWN OF APEX ADOPTED PLANS AND POLICIES

In addition to being consistent with the Town's Advance Apex Comprehensive Plan, Unified Development Ordinance, and the Comprehensive Transportation Plan and Bicycle and Pedestrian System Plan, the proposed development is designed to conform with the following plans and their subsequent maps:

- Parks, Recreation, Greenways, and Open Space Master Plan
 - The development is designed with 10' path adjoining Morris Acres Road as detailed in the Master Plan map.
- Collection System Facility Plan (Master Sewer Plan)

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- The development is proximate to adequate water and sewer infrastructure within the Beaver Creek outfall (see Section XIV).
- NC 540/Western Wake Freeway Plan
 - The development is identified as “Medium Density Residential” which is consistent with the proposed use of the site.

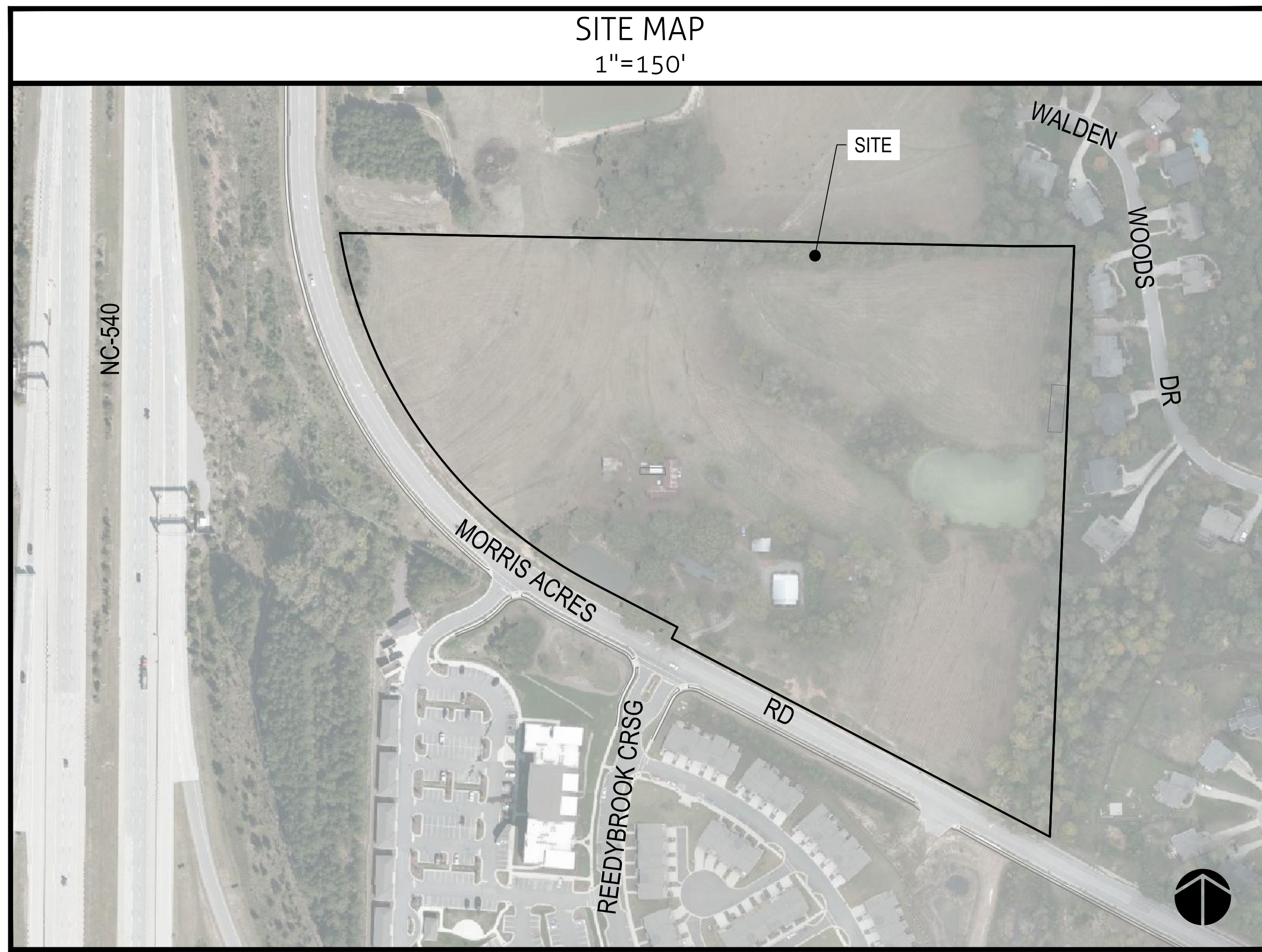
PLANNED UNIT DEVELOPMENT MORRIS TRACT

TOWN OF APEX, WAKE COUNTY, NORTH CAROLINA

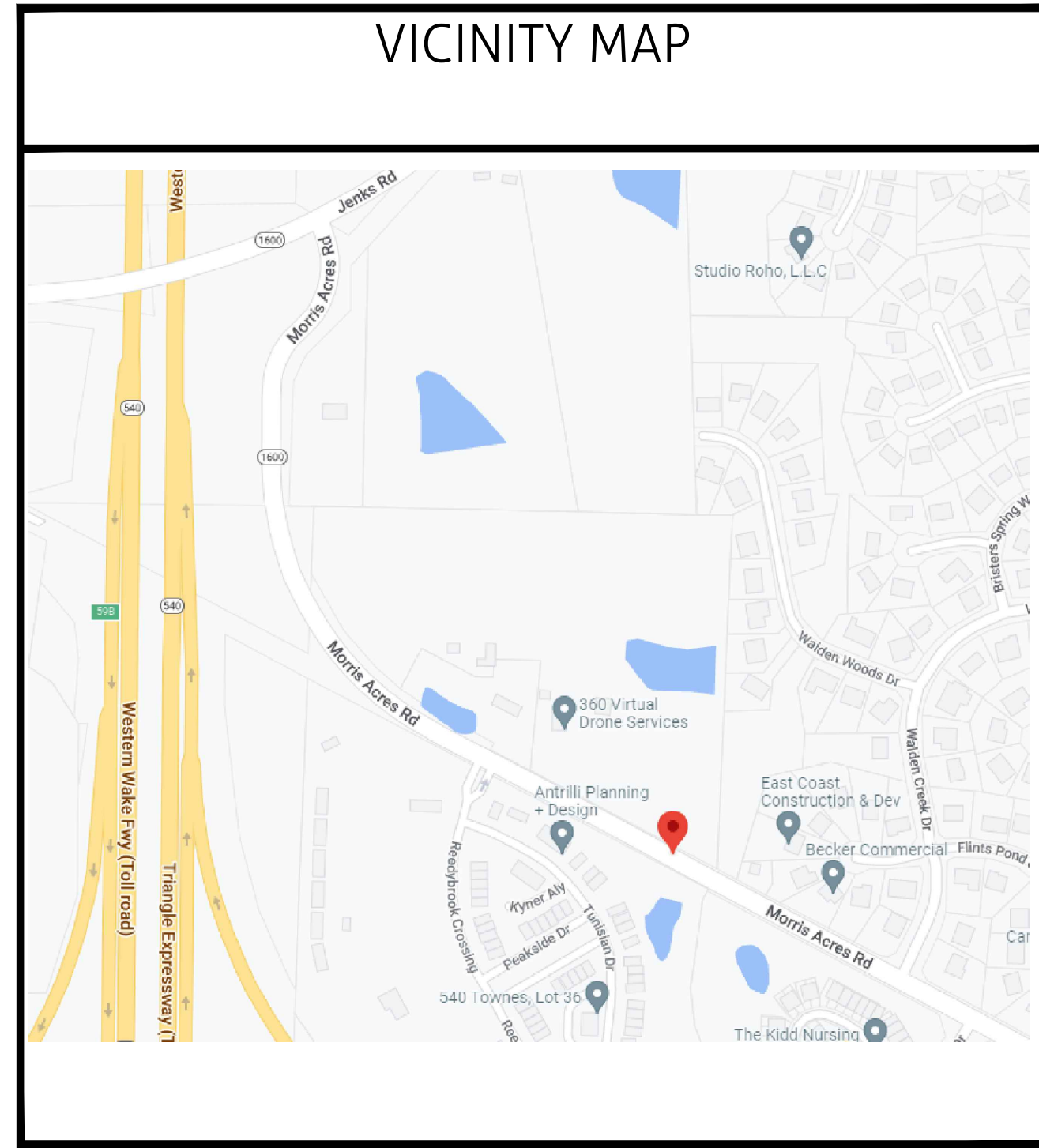
1ST SUBMITTAL: FEBRUARY 1, 2022 /2ND SUBMITTAL: MARCH 11, 2022
 3RD SUBMITTAL: APRIL 8, 2022
 4TH SUBMITTAL: MAY 13, 2022
 5TH SUBMITTAL: MAY 27, 2022
 PLANNING BOARD SUBMITTAL: JUNE 30, 2022

SITE DATA	
LAND OWNERS:	NCDOT 1505 MAIL SERVICE CENTER RALEIGH, NC 27699 ATTN: BRIAN ROGERS
	EDITH MORRIS 7208 MORRIS ACRES RD APEX, NC 27523
2045 LAND USE PLAN DESIGNATION	CURRENT: MEDIUM DENSITY RESIDENTIAL PROPOSED: NO CHANGE
ZONING	CURRENT: RURAL RESIDENTIAL (RR) PROPOSED: PUD-CZ
AREA OF TRACTS IN PROPOSED PUD	0732-29-5017: 0.14 AC. 0732-38-2709: 14.12 AC. 0732-28-9587: 1.52 AC. 0732-38-2530: 1.31 AC. TOTAL = 17.09 AC.
REQUESTED SEWER CAPACITY	120 GPD * 3 BEDROOMS * 110 UNITS = 39,600 GPD
PARKING REQUIREMENTS	SINGLE FAMILY DETACHED: 2 SPACES PER UNIT TOWNHOMES: 2 SPACES PER UNIT PLUS 0.25 FOR GUEST PARKING
PARKING PROVIDED	SINGLE FAMILY DETACHED: 2 SPACES PER UNIT X 10 UNITS = 20 SPACES TOWNHOMES: 2 SPACES PER UNIT PLUS 0.25 FOR GUEST PARKING X 100 UNITS = 225 SPACES
RESIDENTIAL DENSITY	MAXIMUM: 6.44 DU/ACRE
PROPOSED UNITS	MAXIMUM: 110 UNITS (10 SINGLE FAMILY DWELLING AND 100 TOWNHOMES)
MIN. LOT SIZE (SINGLE FAMILY)	6,000 SF
MIN. LOT WIDTH (TOWNHOMES)	22 FT
BUILDING HEIGHT	MAXIMUM: 42 FT
SINGLE FAMILY BUILDING SETBACKS	FRONT: 5 FT*, 20 FT** REAR: 10 FT SIDE: 5 FT CORNER: 8 FT
TOWNHOUSE (FRONT-LOADED) SETBACKS	FRONT: 10 FT*, 20 FT** REAR: 10 FT SIDE: 5 FT 10 FT BUILDING TO BUILDING
TOWNHOUSE (ALLEY-LOADED) SETBACKS	FRONT: 10 FT* REAR: 5 FT SIDE: 5 FT 10 FT BUILDING TO BUILDING
TOWNHOUSE SETBACKS	CORNER SIDE (BOTH FRONT AND ALLEY LOAD): 10 FT
WATERSHED	PROPERTY LOCATED WITHIN THE PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
REQUIRED RCA	20% PER UDO SECTION 8.1.2.C.4
MAX. BUILT UPON AREA	70% IMPERVIOUS
HISTORIC STRUCTURES	NONE
COMMUNITY AMENITIES	PERMANENT FEATURES MAY INCLUDE, BUT NOT LIMITED TO: FIRE PIT WITH SEATING, BENCHES ALONG PEDESTRIAN PATHWAYS, LAWN GAME SPACES, PEDESTRIAN PLAZAS WITH PLANTERS. COMMUNITY AMENITIES SHALL MEET THE REQUIREMENTS OF UDO SECTION 8.4
SITE BUFFERS	NORTH: 20' TYPE B BUFFER EAST: 20' TYPE A BUFFER SOUTH (MORRIS ACRES RD): UNITS FACING THE STREET: 30' TYPE E BUFFER UNITS ORIENTED AWAY FROM THE STREET: 30' TYPE B BUFFER
*FROM FAÇADE	
**19' FROM GARAGE TO LOT LINE AND 20' FROM GARAGE TO BACK OF SIDEWALK	

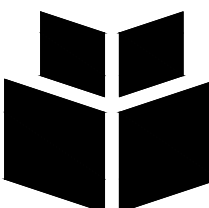
NOTE: THE PROR ADVISORY COMMISSION UNANIMOUSLY RECOMMENDED A FEE-IN-LIEU OF DEDICATION FOR THE MORRIS TRACT PUD AT THEIR MARCH 30, 2022 MEETING. THE RATE OF THE FEE IS SET AT THE TIME OF TOWN COUNCIL APPROVAL OF THE REZONING, IS BASED ON A MAXIMUM OF 110 SINGLE FAMILY ATTACHED AND DETACHED UNITS AND RUNS WITH THE LIFE OF THE PROJECT. IF APPROVED IN 2022, THE RATE WOULD BE \$3,753.89 FOR SINGLE FAMILY DETACHED AND \$2,528.25 FOR SINGLE FAMILY ATTACHED UNITS.



INDEX OF SHEETS	
0	COVER
1	EXISTING CONDITIONS
2	CONCEPTUAL PUD & PHASING PLAN
3	CONCEPTUAL UTILITY PLAN
4	CONCEPTUAL STORMWATER PLAN
A1	ARCHITECTURAL ELEVATIONS
A2	ARCHITECTURAL ELEVATIONS



PREPARED BY:



WithersRavenel

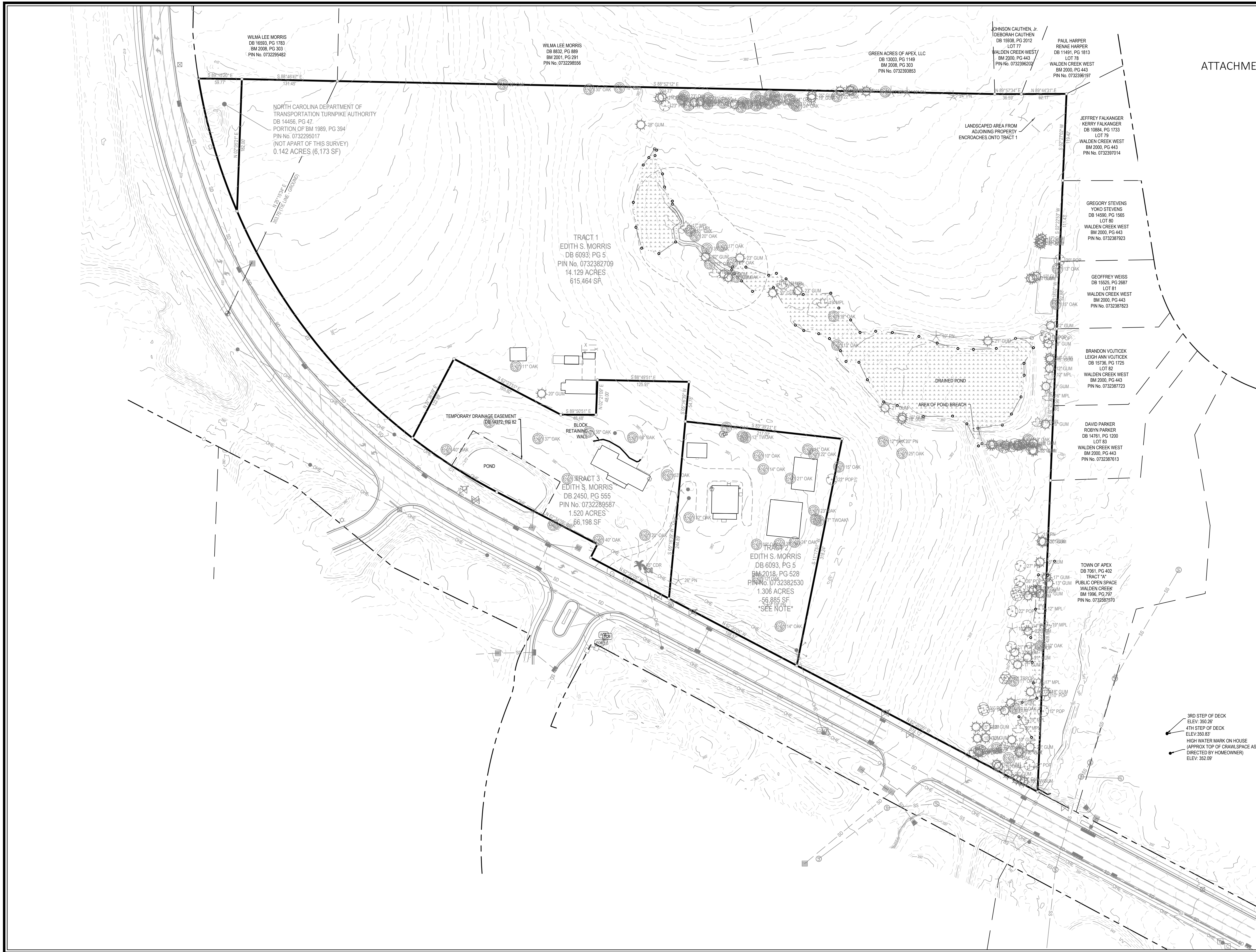
Engineers | Planners | Surveyors

115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

PLANNER: BRENDIE VEGA, AICP BVEGA@WITHERSRAVENEL.COM	CIVIL ENGINEER: ED TANG, PE ETANG@WITHERSRAVENEL.COM
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DEVELOPER

PULTE GROUP
 1225 CRESCENT GREEN DRIVE
 CARY, NC 27518
 ATTN: RANDY KING, PE



- GENERAL NOTES:**
1. BASIS OF BEARINGS: NC STATE PLANE GRID COORDINATES, NAD83(2011)
 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
 3. AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
 4. LINES NOT SURVEYED ARE SHOWN AS BOLD LINES FROM INFORMATION REFERENCED ON THE FACE OF THIS PLAN.
 5. NO EVIDENCE OF EARTH MOVING WAS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK ON SUBJECT PARCEL.
 6. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
 7. NO EVIDENCE OF BURIAL GROUNDS WERE OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
 8. SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP 372003200J DATED MAY 2, 2006.
 9. IRON PIPES SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

LINETYPES

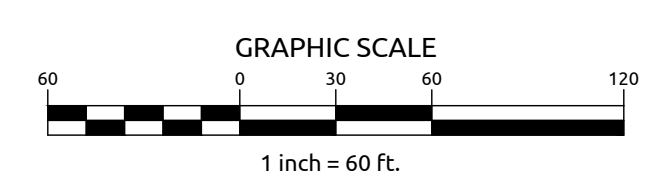
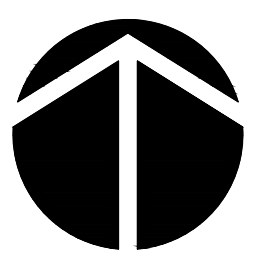
PROPERTY LINE	---	---
ADJOINER LINE	---	---
OVERHEAD ELECTRIC	OHE	OHE
GAS LINE	G	G
FLOOD LINE	---	---
BUFFER	---	---
WATER LINE	W	W
EASEMENT	---	---
GRAVEL	---	---
WETLANDS	---	---
STORM DRAIN	---	---

LEGEND

EXISTING IRON PIPE	○ EIP	FIBER OPTIC MARKER	⚡
IRON PIPE SET	○ IPS	WATER MANHOLE	⊗ WMH
SIGN	⊗	BASKETBALL GOAL	⊗ BG
CLEANOUT	• CO	SATELLITE DISH	⊗ SAT
SEWER MANHOLE	⊗ SSMH	AIR CONDITION UNIT	⊗ AC
CATCH BASIN	⊗ CB	POWER POLE	⊗ PP
DROP INLET	⊗	LIGHT POLE	⊗ LP
FLARED END SECTION	⊗	TRANSFORMER	⊗ TRANS
WATER SPIGOT	⊗	CATV BOX	⊗ CBX
TELEPHONE PEDESTAL	⊗ TLP	GAS VALVE	⊗
UNDERGROUND TELEPHONE BOX	⊗	WELL	⊗ WELL
MAILBOX	⊗ MB	FIRE HYDRANT	⊗
WATER VALVE	⊗		

- EXISTING CONDITION NOTES:**
1. TOPOGRAPHIC AND UTILITY INFORMATION BASED ON GIS INFORMATION. PRELIMINARY BOUNDARY SURVEY PREPARED BY WITHERSRAVENEL DATED 9/22/21
 2. WETLAND/STREAM INFORMATION BASED ON EVALUATION BY S&E C DATED NOV. 2021. BUFFERS BASED ON TOWN OF APEX STREAM BUFFER DETERMINATION (APEX #20-017).
 3. NO REGULATORY FEMA MAPPED FLOODPLAIN EXISTS ON SITE.
 4. THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF APEX PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
 5. TREE INFORMATION NOT PROVIDED.
 6. ALL EXISTING STRUCTURES ON THE SUBJECT PROPERTY SHALL BE REMOVED PER TOWN OF APEX STANDARDS AND REQUIREMENTS.

3RD STEP OF DECK
ELEV. 350.26'
4TH STEP OF DECK
ELEV. 350.83'
HIGH WATER MARK ON HOUSE
(APPROX TOP OF CRAWL SPACE AS
DIRECTED BY HOMEOWNER)
ELEV. 352.09'



No.	Revision	Date	By

Designer	WR	Scale	AS NOTED
Drawn By	WR	Date	02/01/2022
Checked By	ET	Job No.	02210742.1

MORRIS TRACT PUD

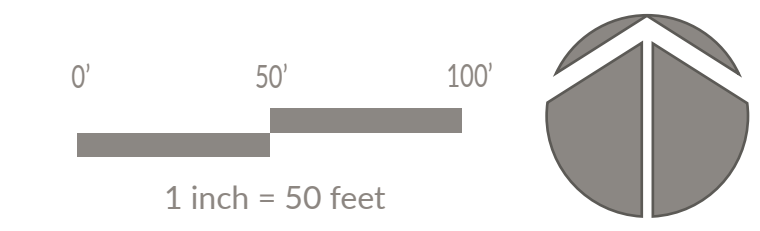
WAKE COUNTY NORTH CAROLINA

EXISTING CONDITIONS


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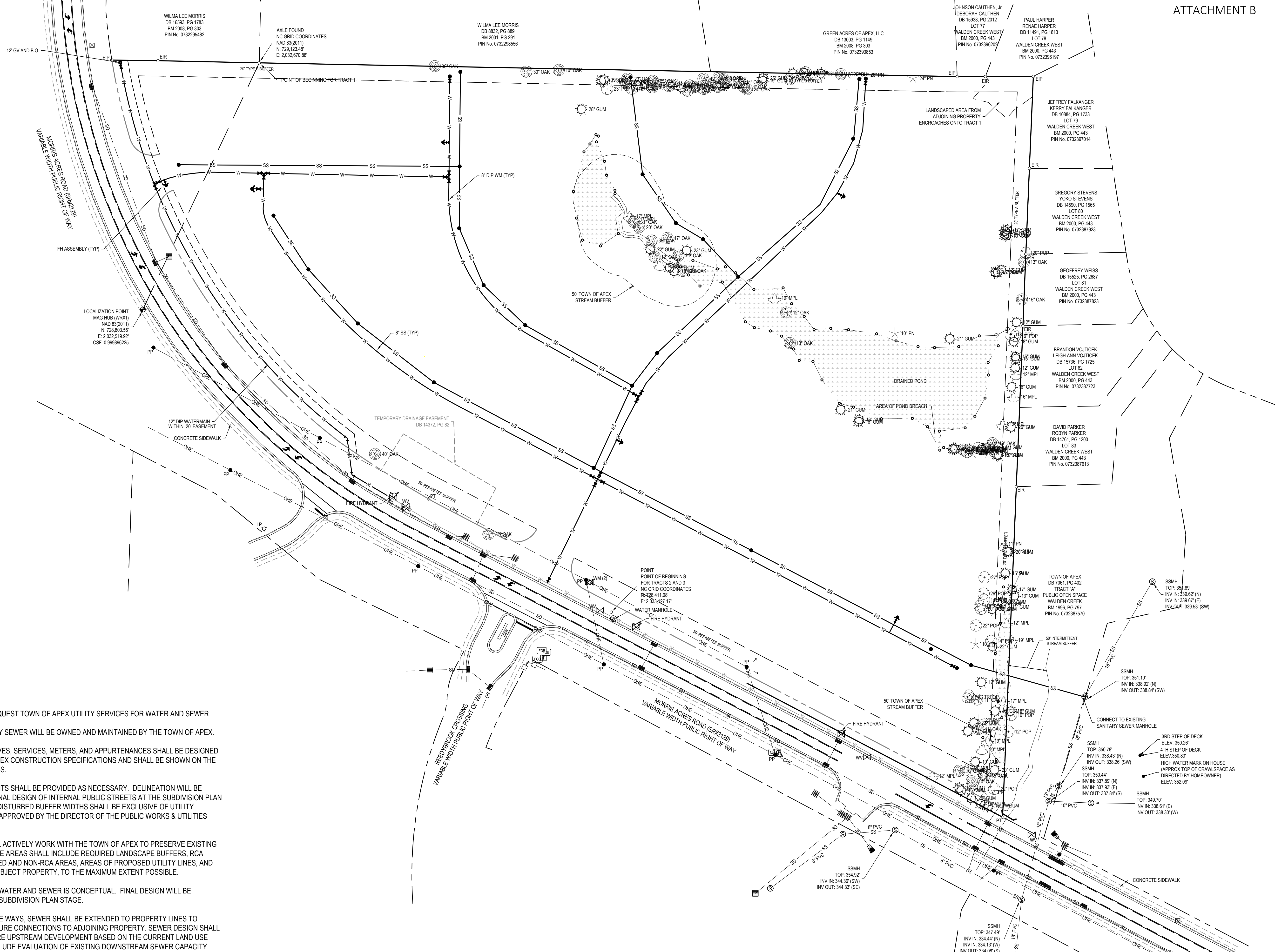


- LEGEND**
- TOWNHOMES
 - SINGLE FAMILY DETACHED
 - SCM
 - STREAM BUFFER/ PONDS
 - PERIMETER BUFFER
 - WETLAND
 - OPEN SPACE
 - ACCESS POINTS
 - ROAD CROSSING
 - 10' SIDEPATH



MORRIS TRACT PUD

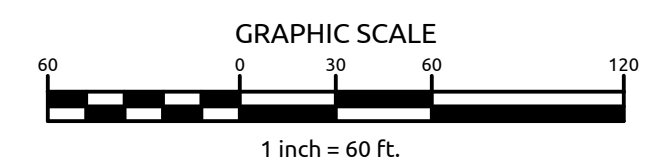
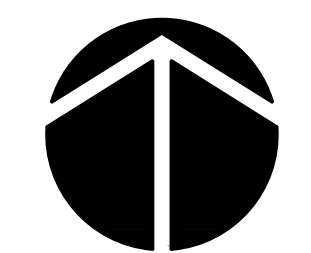
CONCEPT PLAN FOR ILLUSTRATIVE PURPOSES ONLY



UTILITY NOTES:

1. DEVELOPER WILL REQUEST TOWN OF APEX UTILITY SERVICES FOR WATER AND SEWER.
2. WATER AND SANITARY SEWER WILL BE OWNED AND MAINTAINED BY THE TOWN OF APEX.
3. FIRE HYDRANTS, VALVES, SERVICES, METERS, AND APPURTENANCES SHALL BE DESIGNED PER THE TOWN OF APEX CONSTRUCTION SPECIFICATIONS AND SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
4. ALL UTILITY EASEMENTS SHALL BE PROVIDED AS NECESSARY. DELINEATION WILL BE DETERMINED WITH FINAL DESIGN OF INTERNAL PUBLIC STREETS AT THE SUBDIVISION PLAN STAGE. MINIMUM UNDISTURBED BUFFER WIDTHS SHALL BE EXCLUSIVE OF UTILITY EASEMENTS UNLESS APPROVED BY THE DIRECTOR OF THE PUBLIC WORKS & UTILITIES DEPARTMENT.
5. THE DEVELOPER WILL ACTIVELY WORK WITH THE TOWN OF APEX TO PRESERVE EXISTING TREES ON SITE. THESE AREAS SHALL INCLUDE REQUIRED LANDSCAPE BUFFERS, RCA AREAS, NON-BUFFERED AND NON-RCA AREAS, AREAS OF PROPOSED UTILITY LINES, AND ADJACENT TO THE SUBJECT PROPERTY, TO THE MAXIMUM EXTENT POSSIBLE.
6. UTILITY LAYOUT FOR WATER AND SEWER IS CONCEPTUAL. FINAL DESIGN WILL BE DETERMINED AT THE SUBDIVISION PLAN STAGE.
7. IN NATURAL DRAINAGE WAYS, SEWER SHALL BE EXTENDED TO PROPERTY LINES TO READILY ENABLE FUTURE CONNECTIONS TO ADJOINING PROPERTY. SEWER DESIGN SHALL ACCOUNT FOR FUTURE UPSTREAM DEVELOPMENT BASED ON THE CURRENT LAND USE PLAN, AND SHALL INCLUDE EVALUATION OF EXISTING DOWNSTREAM SEWER CAPACITY.

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY



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Drawn By	WR	Date	02/01/2022
Checked By	ET	Job No.	02210742.1

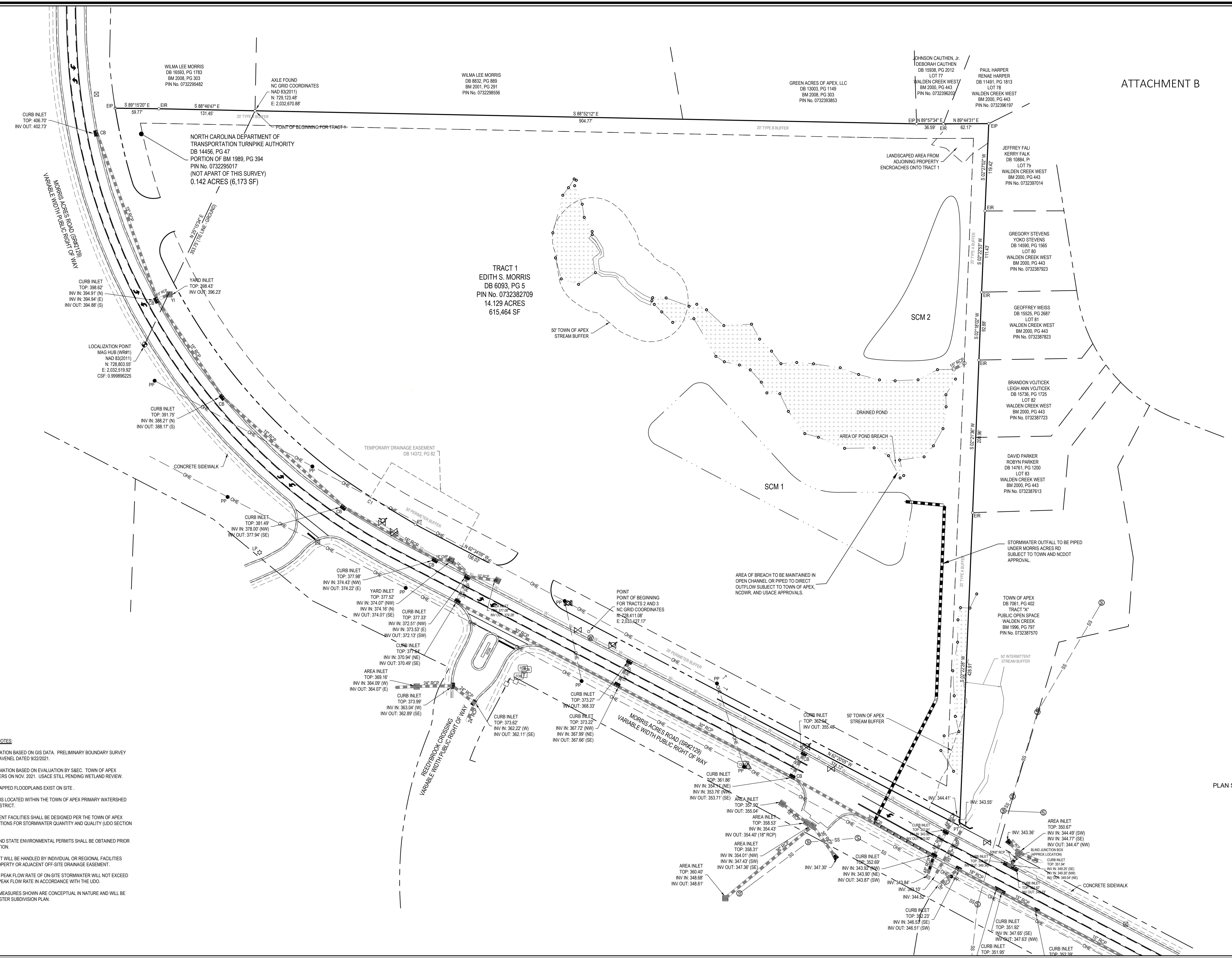
MORRIS TRACT PUD

WAKE COUNTY NORTH CAROLINA

CONCEPTUAL UTILITY PLAN

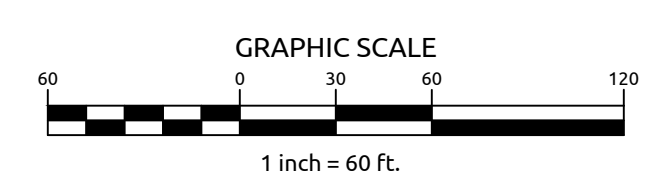
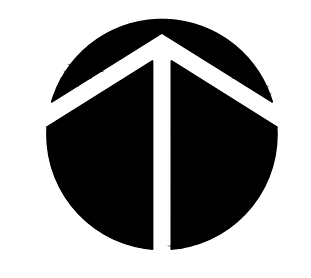
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- STORMWATER MANAGEMENT NOTES:**
- EXISTING UTILITY INFORMATION BASED ON GIS DATA. PRELIMINARY BOUNDARY SURVEY PREPARED BY WITHERSRAVENEL DATED 9/22/2021.
 - WETLAND/STREAM INFORMATION BASED ON EVALUATION BY SAEC. TOWN OF APEX REVIEWED STREAM BUFFERS ON NOV. 2021. USACE STILL PENDING WETLAND REVIEW.
 - NO REGULATORY FEMA MAPPED FLOODPLAINS EXIST ON SITE.
 - THE SUBJECT PROPERTY IS LOCATED WITHIN THE TOWN OF APEX PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT.
 - STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED PER THE TOWN OF APEX STANDARDS AND REGULATIONS FOR STORMWATER QUANTITY AND QUALITY (UDO SECTION 6.1.7 B).
 - ALL APPLICABLE LOCAL AND STATE ENVIRONMENTAL PERMITS SHALL BE OBTAINED PRIOR TO START OF CONSTRUCTION.
 - STORMWATER TREATMENT WILL BE HANDLED BY INDIVIDUAL OR REGIONAL FACILITIES WITHIN THE SUBJECT PROPERTY OR ADJACENT OFF-SITE DRAINAGE EASEMENT.
 - THE POST DEVELOPMENT PEAK FLOW RATE OF ON-SITE STORMWATER WILL NOT EXCEED THE PRE-DEVELOPMENT PEAK FLOW RATE IN ACCORDANCE WITH THE UDO.
 - STORMWATER CONTROL MEASURES SHOWN ARE CONCEPTUAL IN NATURE AND WILL BE FINALIZED AT TIME OF MASTER SUBDIVISION PLAN.

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY



No.	Revision	Date	By

Designer	WR	Scale	AS NOTED
Drawn By	WR	Date	02/01/2022
Checked By	ET	Job No.	02210742.1

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WAKE COUNTY NORTH CAROLINA

CONCEPTUAL STORMWATER PLAN

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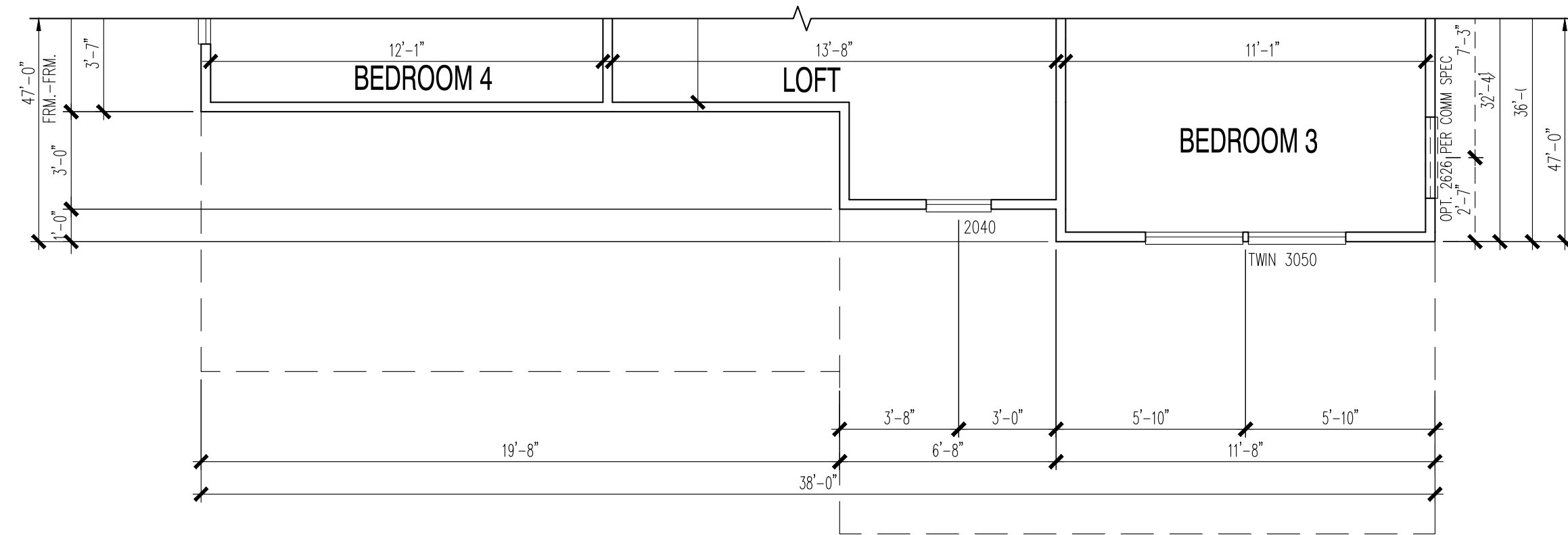
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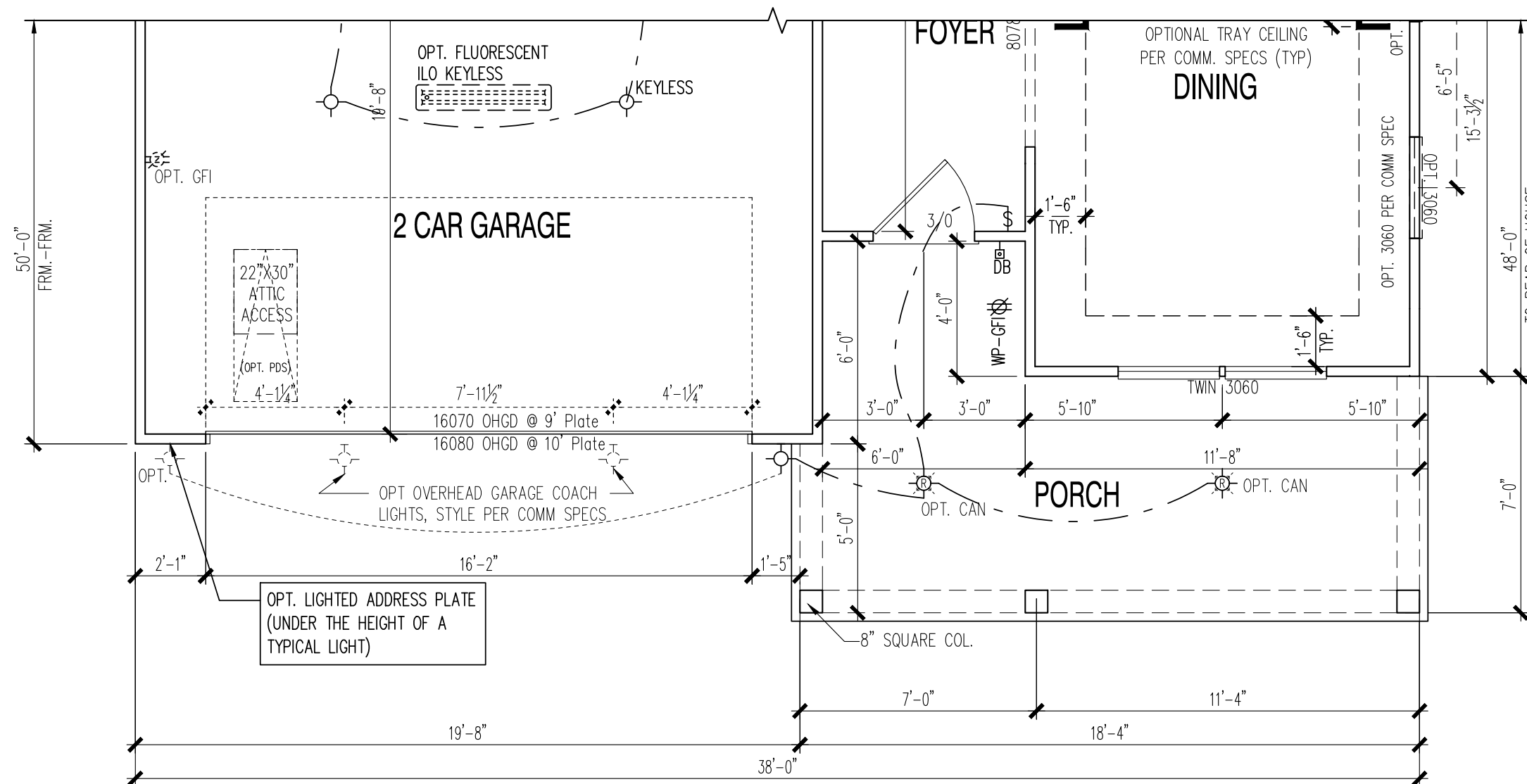
FRONT ELEVATION 29

SCALE: 1/4"=1'-0"



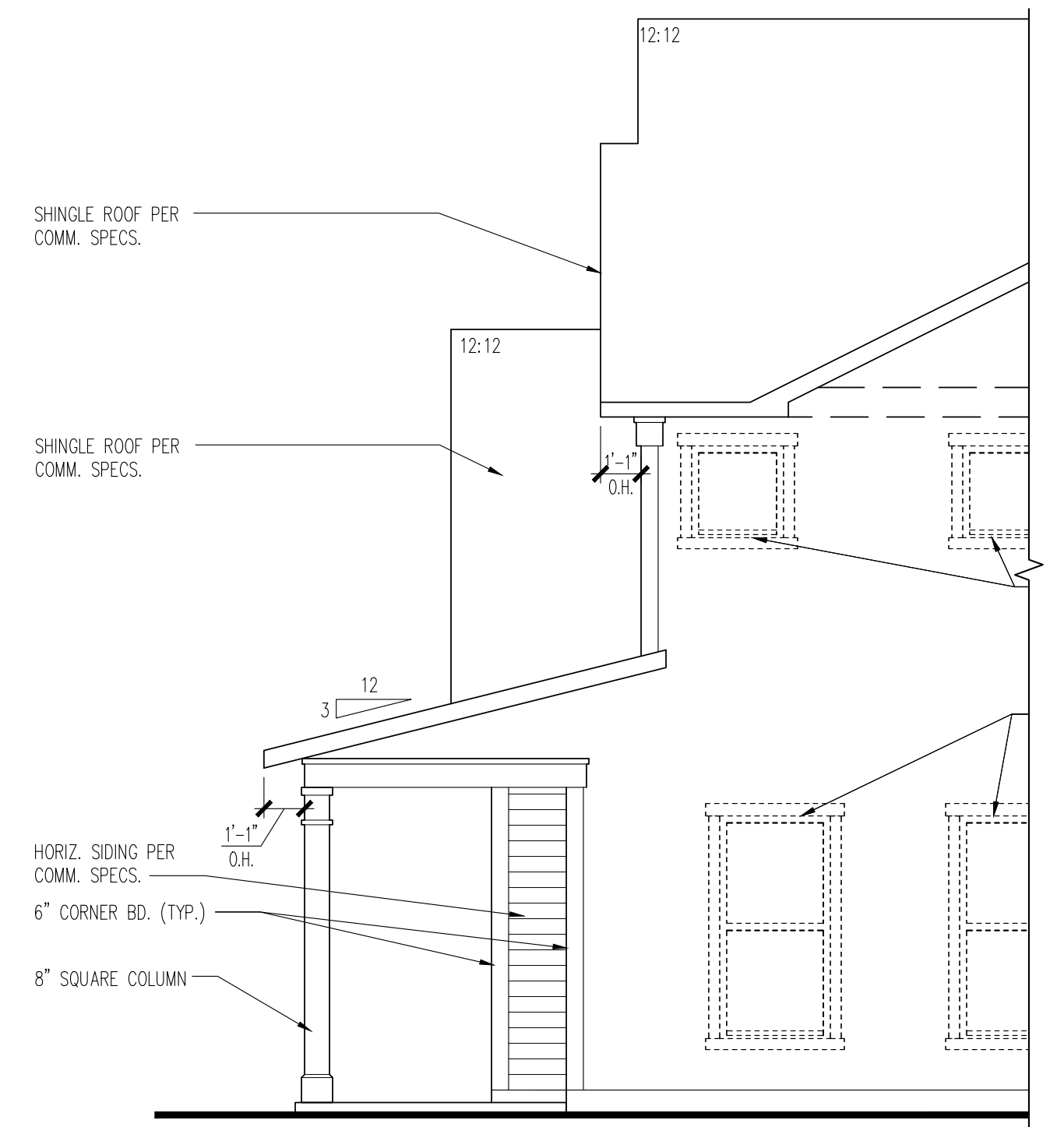
PARTIAL SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN

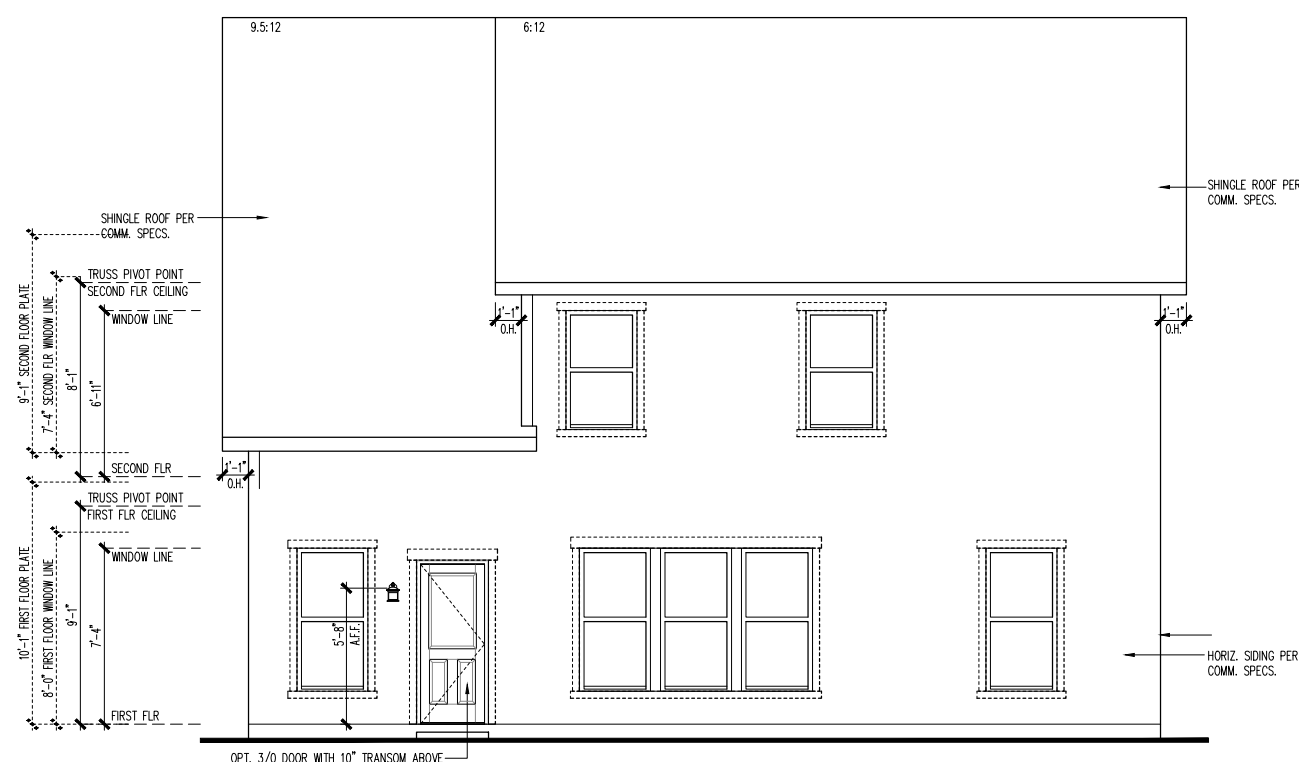
SCALE: 1/4"=1'-0"



PARTIAL RIGHT SIDE ELEVATION

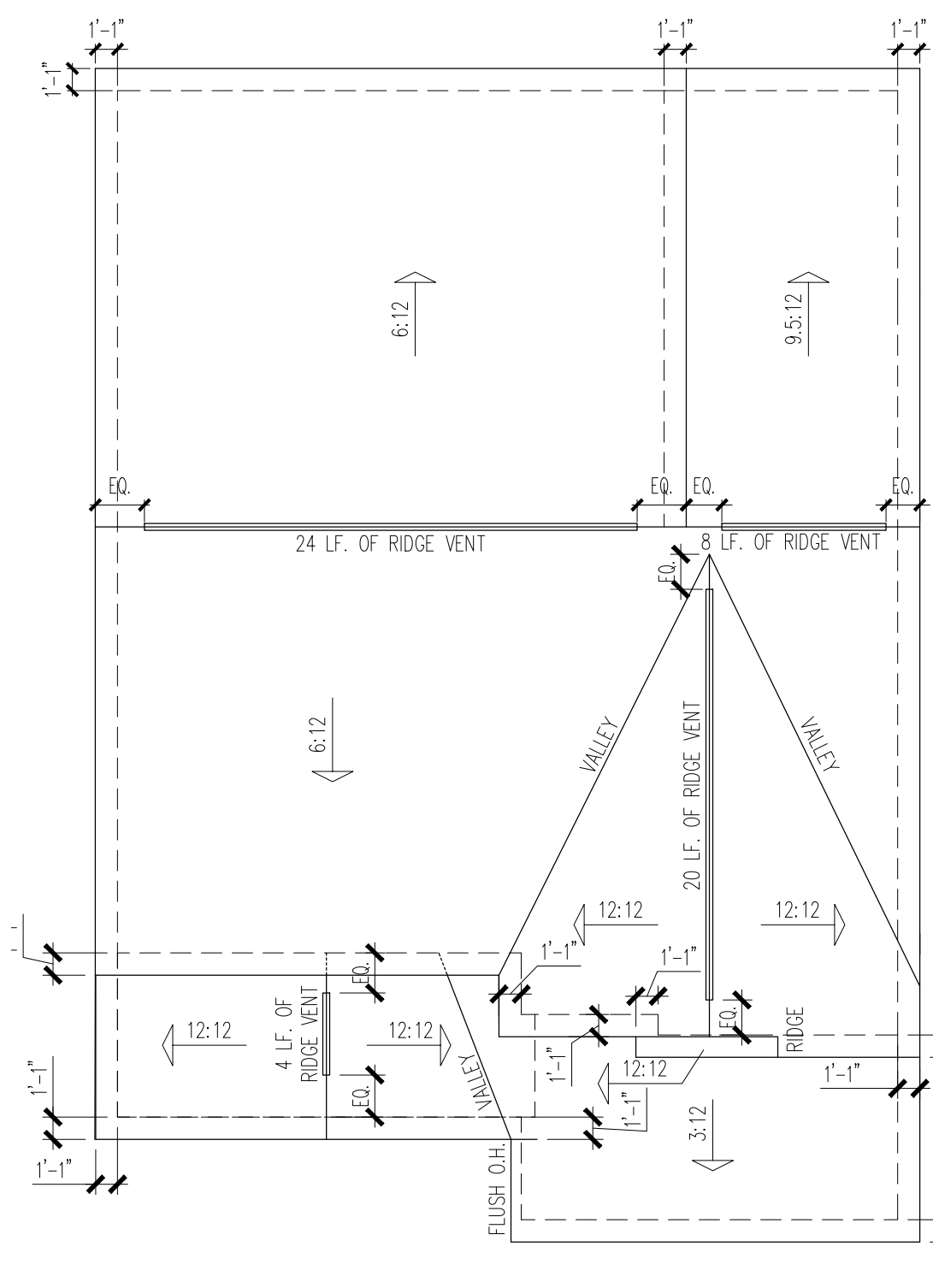
SCALE: 1/4"=1'-0"

PRODUCT MANAGER	
INITIAL RELEASE	DATE: 02/29/2016
REV#	DATE/DESCRIPTION
△	
△	
△	
△	
△	
△	
△	



REAR ELEVATION 29

SCALE: 1/8"=1'-0"



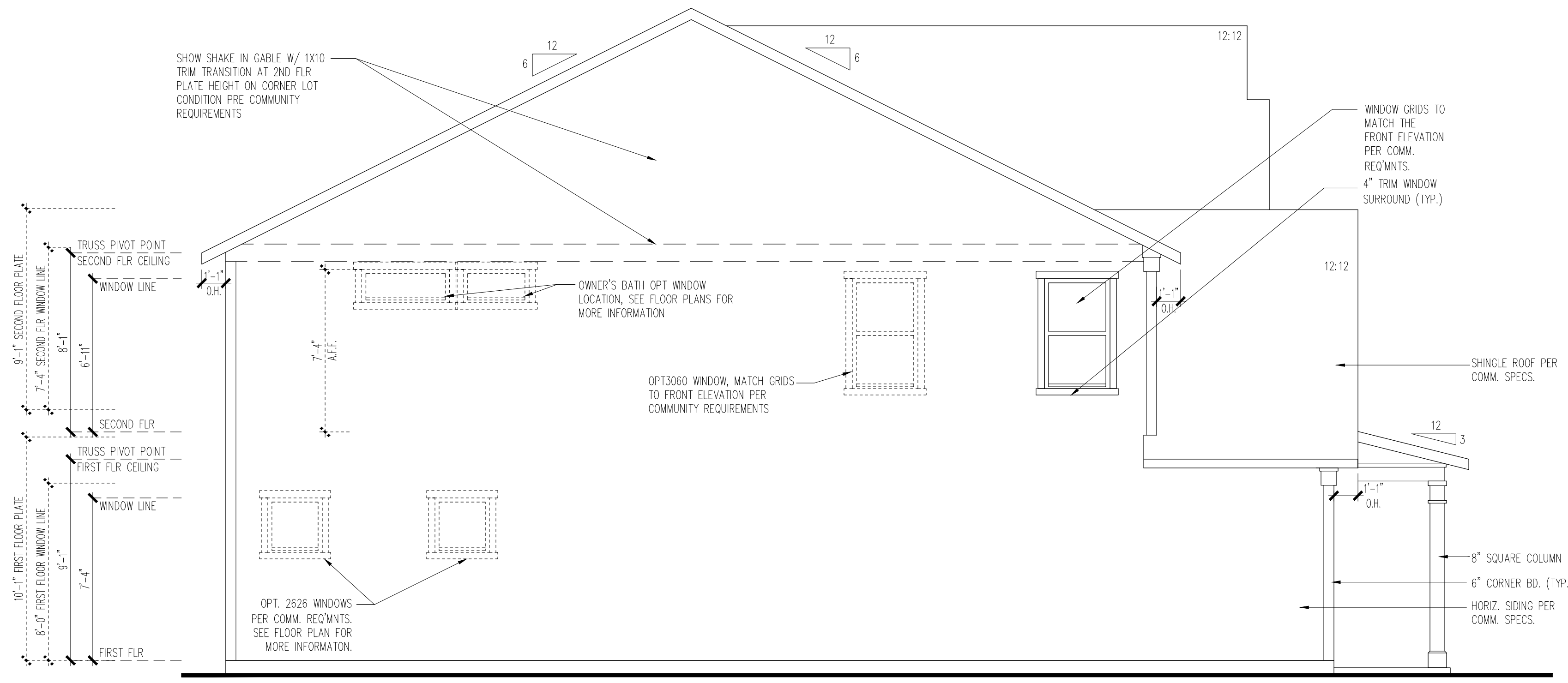
ROOF PLAN ELEV. 29

SCALE: 1/8"=1'-0"

ATTIC VENTILATION: (300 SQ FT ATTIC SPACE / 1 SQ FT VENTILATION)
W/ 40%-50% REQ. VENTS GREATER THAN OR EQUAL TO 3" ABOVE EAVE / CORNICE VENTS PER IRC R806.2

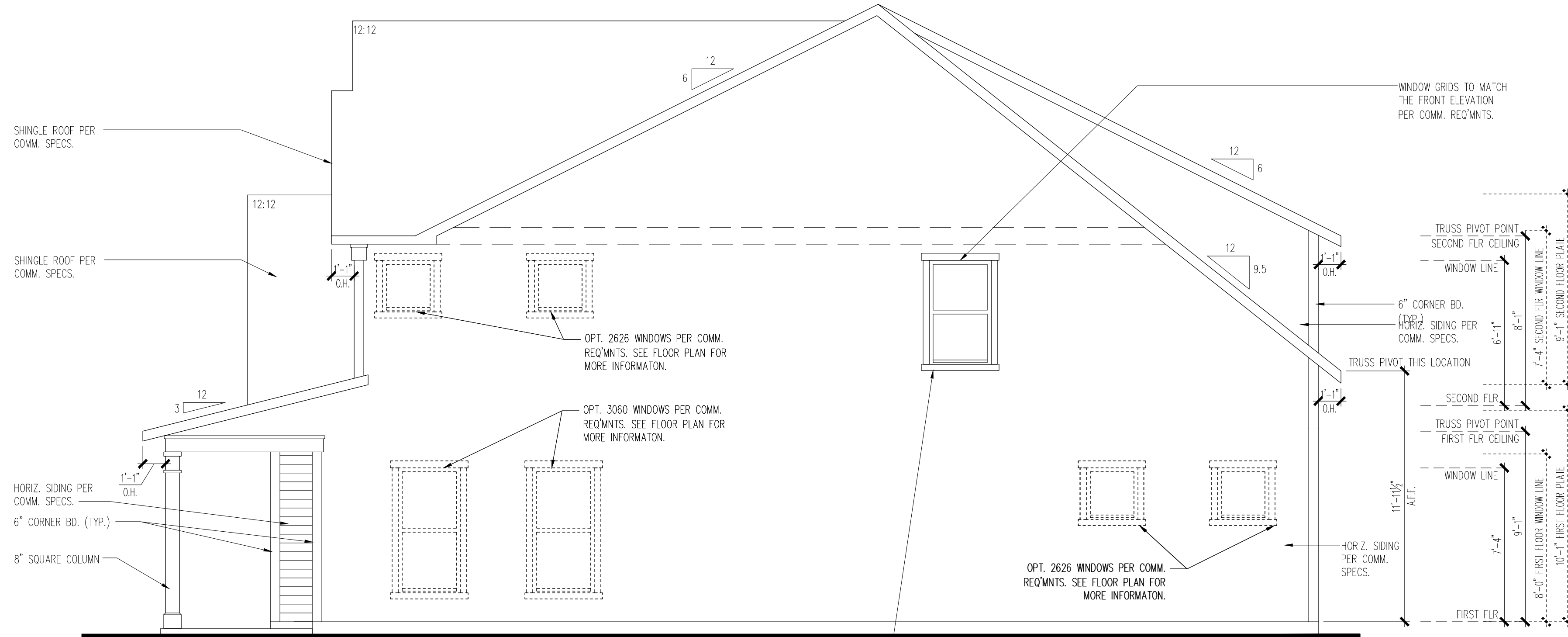
ELEVATION "29"	1664 SQ FT UNDER ROOF ATTIC / 300 SQ FT / 1 SQ FT = 5.55 SQ FT VENTILATION
RIDGE VENT	18 SQ IN = (.125 SQ FT)
BOX VENT	50 SQ IN = (.3472 SQ FT)
SOFFIT VENT	9 SQ IN = (.0625 SQ FT)
5.55 SQ FT x 50% = 2.7735 SQ FT RIDGE, 5.55 SQ FT x 50% = 2.7735 SQ FT SOFFIT	
OR W/ HIP, BOX VENT	
2.773 SQ FT = 22.2 FEET OF RIDGE VENT	2.773 SQ FT = 8.0 BOX VENT(S)
0.125 SQ FT	0.3472 SQ FT
SOFFIT VENT	
2.773 SQ FT = 44.4 FEET OF SOFFIT VENT	
0.0625 SQ FT	

*CALCULATIONS REFLECT 50 % RIDGE AND 50 % SOFFIT VENTS ALLOWABLE PER SECTION IRC R806.2



LEFT SIDE ELEVATION 29

SCALE: 1/4"=1'-0"



RIGHT SIDE ELEVATION 29

SCALE: 1/4"=1'-0"

PRODUCT MANAGER

INITIAL RELEASE DATE: 02/29/2016

REV#	DATE/DESCRIPTION

PROJECT TYPE
Single Family

SPECIFICATION LEVEL
Pulte

PLAN NAME
Continental

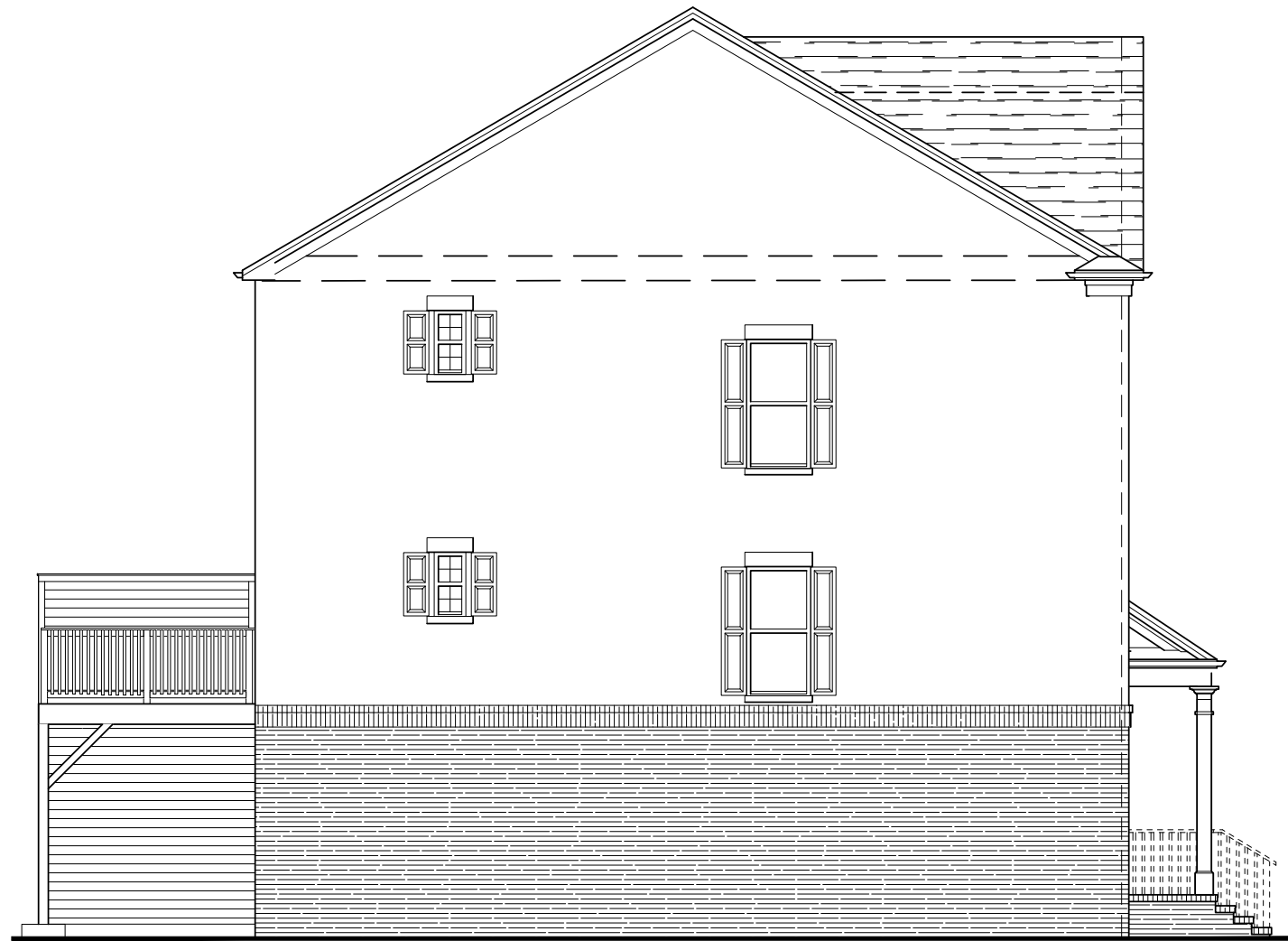
NPIC NUMBER
1917.200

SHEET
3.SR.29

ATTACHMENT B



ATTACHMENT B



LEFT ELEVATION "61-70"

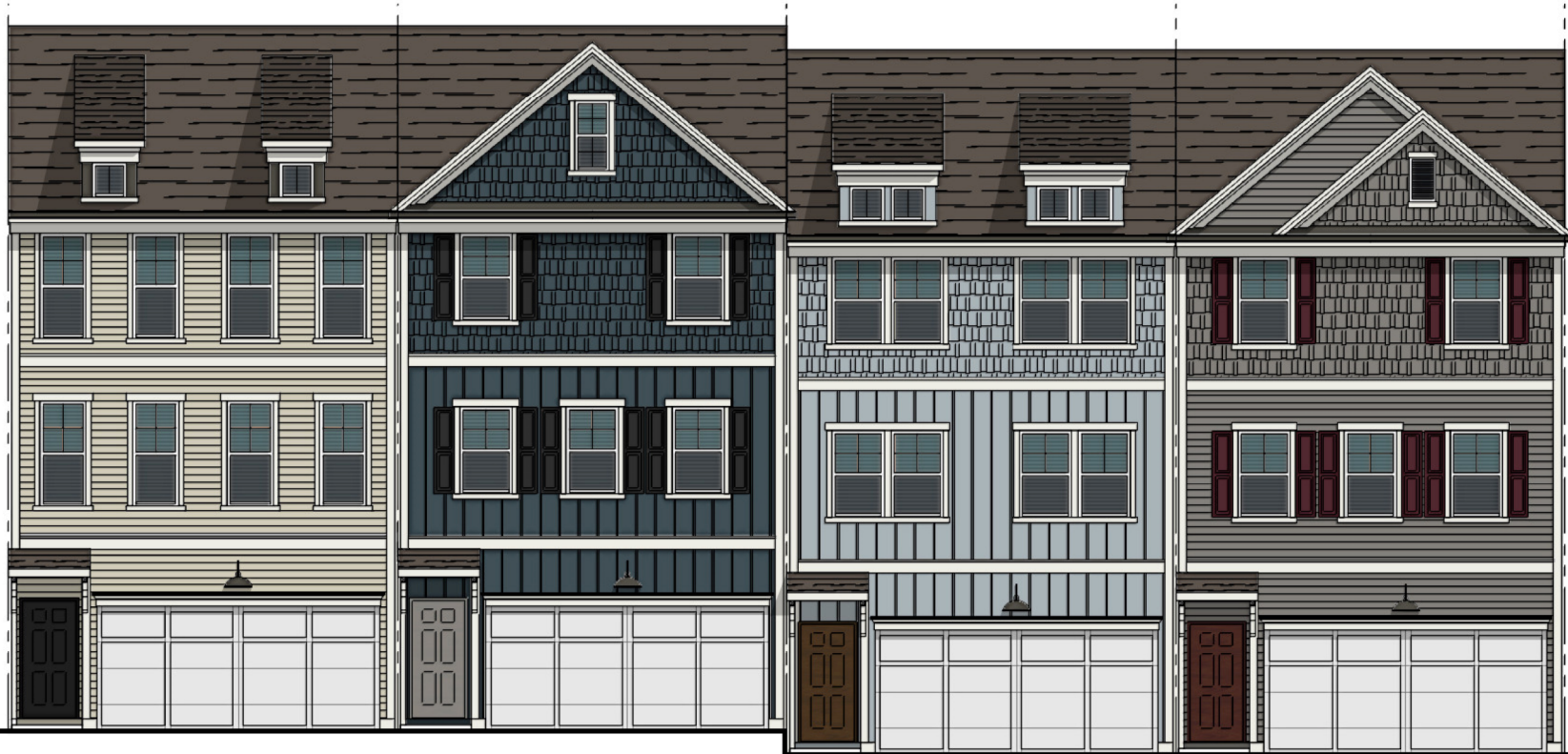


RIGHT ELEVATION "61-70"

ATTACHMENT B



REAR ELEVATION



FRONT GARAGE ELEVATION "2"

SCALE: 1/8" = 1'-0" (11x17 SHEET)

FRONT GARAGE ELEVATION "5"

SCALE: 1/8" = 1'-0" (11x17 SHEET)

FRONT GARAGE ELEVATION "4"

SCALE: 1/8" = 1'-0" (11x17 SHEET)

FRONT GARAGE ELEVATION "6"

SCALE: 1/8" = 1'-0" (11x17 SHEET)