

# "Attachment B"

## Evans Road PUD Assembly

PD PLAN

APEX, NORTH CAROLINA

Submitted: May 3, 2021

Resubmittal: July 9, 2021

PREPARED BY:



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Section 1: Table of Contents

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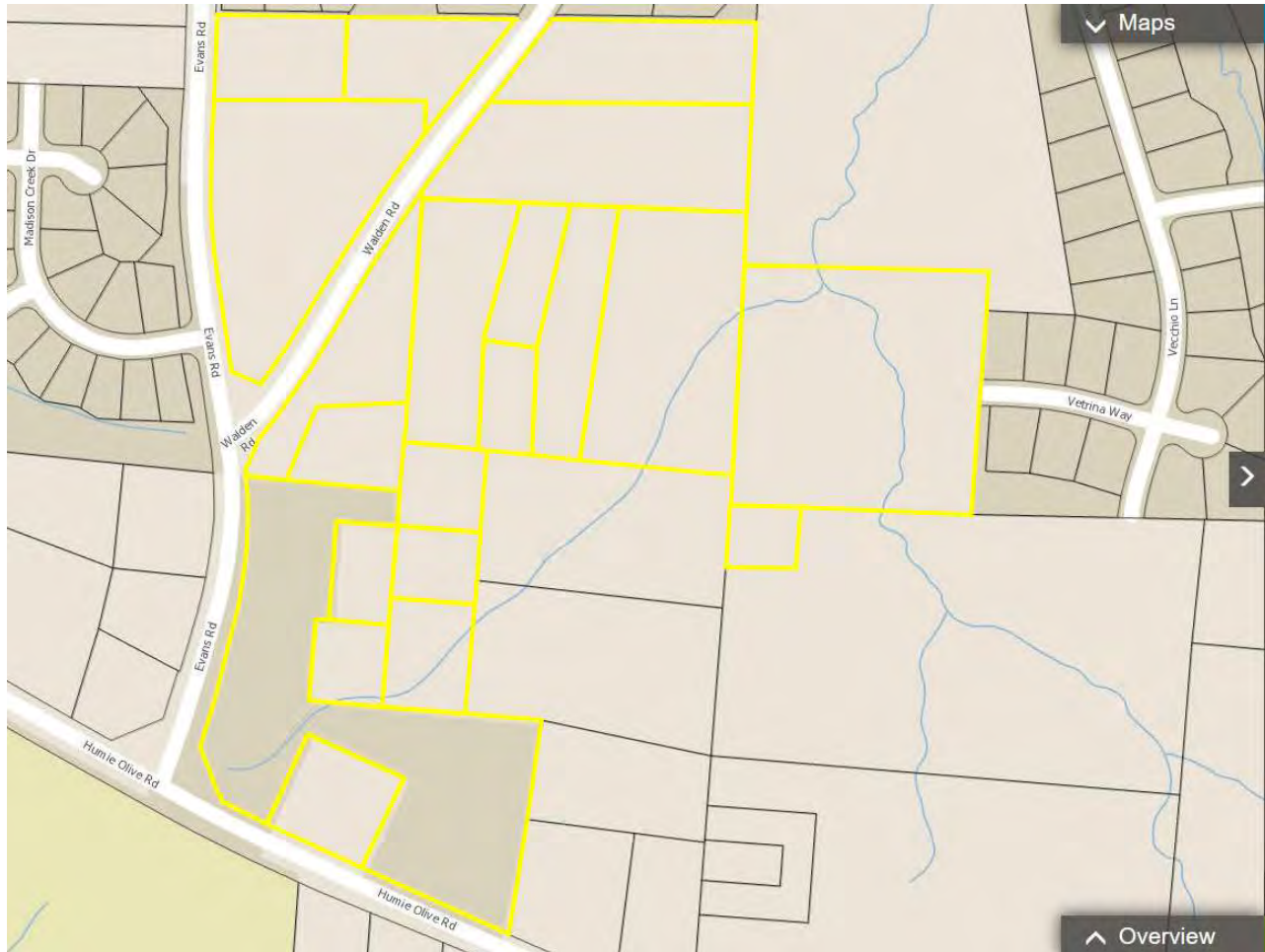
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## Section 2: Vicinity Map



The Evans Road PUD is located in the Town of Apex, northeast of the intersection of Evans Road and Humie Olive Road. The Assembly is surrounded on three sides by residential communities built in the last seven years. To the north is the Manors at Bella Casa, to the west is the Madison community, and the Verona at Bella Casa community is east of the project area. Directly south is Humie Olive Road, and across Humie Olive Road are the Apex Friendship schools. Walden Road runs through the subject property. Development of the proposed community will realign Walden Road and make a more sensible east-west connection from Evans Road to Vecchio Lane aligned with Madison Creek Drive.

**Section 3: Project Data**

**A. Name of Project:**

Evans Road PUD

**B. Property Owners:**

**MCWILL, LLC**

15711 Verdura Ave  
Paramount, CA 90723

**Horton, Dione & Robert**

P.O. Box 6  
Apex, NC 27502

**Sam Walden Heirs**

36 Snowflower Lane  
Willingboro, NJ 08046

**Shirley Lynn Heirs**  
3317 Lorena Lynn Ct  
Fuquay Varina, NC 27526

**Sam Walden Heirs**  
1305 S. Paxon Street  
Philadelphia, PA 19143

**Joseph Paul Page Heirs**  
1994 Flint Hill Drive  
Lawrenceville, GA 30044

**Joseph B. Shaw Heirs**  
3747 Corbett Road  
Mebane, NC 27302

**Joyner, Kenneth & Sharon**  
2909 Walden Road  
Apex, NC 27502

**Ivory Lee Harris Heirs**  
655 Enterprise Dr Apt 137  
Rohnert Park, C 94928

**Evans, Almie Linwood**  
1609 N. Myrtle Ave  
Clearwater, FL 33755

**Thorpe, Kevin T. & Powell, Lathan**  
2308 Narrawood Street  
Raleigh, NC 27614

**Williams, John & Robin**  
2917 Walden Road  
Apex, NC 27502

**Allison, Ronald & Margaret**  
3305 Evans Road  
Apex, NC 27502

**Harris, Willie Larry Sr.**  
2929 Evans Road  
Apex, NC 27502

**Harris, Jo Ella W.**  
2909 Evans Road  
Apex, NC 27502

**Prepared By:**

Nil Ghosh, Associate  
Morningstar Law Group  
421 Fayetteville St | Ste 530  
Raleigh, NC 27601

**C. Current Zoning Designation:**

Rural Residential (RR)

**D. Proposed Zoning Designation:**

Planned Unit Development – Conditional Zoning (PUD-CZ)

**E. Current 2045 Land Use Map Designation:**

Medium Density Residential (3-7 units/acre); and  
Medium/High Density Residential (7-14 units/acre)

**F. Proposed Use**

Up to 115 dwelling units and associated open space, recreational amenities,  
and infrastructure.

**G. Size of Project**

34.573 Acres (including 1.623 acres of right-of-way)

## Section 4: Purpose Statement

The Evans Road PUD development will be a residential community with both single-family detached and townhome units. The maximum building height shall be forty feet (40') measured to the top of any pitched roof. For a site adjacent to existing single-family homes, across the street from public schools, and adjacent to a planned Neighborhood Mixed Use Center and Office corridor, the mixed housing type residential development is intended to provide a transition between the more intense and non-residential developments existing or planned south along Humie Olive and the existing single-family residential communities to the north.

A thirty-foot streetscape shall be established along the right-of-way for Humie Olive Road (a thoroughfare) and a thirty-foot streetscape shall be established along the right-of-way for Evans Road (a minor collector). A twenty-foot buffer shall be established around the remaining perimeter of the project.

This concept is consistent with the Town's stated PUD goals to provide site specific, high quality neighborhoods that exhibit natural feature preservation as well as compatibility with, and connectivity to, surrounding land uses. More specifically, this plan will:

- Allow uses that are compatible with Section 4.2.2, *Use Table* of the UDO
- Provide for the preservation of existing environmentally sensitive areas.
- Provide for site specific and appropriate stormwater controls that exceed the requirements of the UDO.
- Provide appropriate buffering and screening from the proposed use to the existing residential areas.
- Offer medium to medium-high density housing near a planned Neighborhood Mixed Use Center where there are not many options for the same.
- Demonstrate dimensional standards that are consistent with the UDO, and where variations occur, said variations will be included herein and subject to Council approval.
- Provide a high-quality community that is linked by a network of connected streets and pedestrian sidewalks that promotes connectivity, walkability, and healthy lifestyles.
- Exhibit character and quality that is compatible with surrounding communities, which is expected to enhance the value of surrounding land uses.
- Provide open space and walkable trails to promote pedestrian activity, while appropriately buffering adjacent residential areas.

Site-specific standards and conditions of this PUD Plan shall be consistent with all Conditional Zoning (CZ) District standards set forth in UDO Section 2.3.3, *Conditional Zoning Districts* and UDO Section 2.3.4.F.1, *Planned Unit Development (PUD-CZ) District*. The proposed PUD will provide a development density that is consistent with principles found throughout the Advance Apex 2045 Comprehensive Plan.

## Section 5: Permitted Uses

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply. The development will only include residential and supporting uses. Specifically, the permitted uses include:

- Single-family
- Townhouse
- Accessory Apartment
- Greenway
- Recreation facility, private
- Park, active
- Park, passive
- Utility, minor

Additionally, the following conditions shall apply:

- A. A maximum of 115 residential units shall be permitted upon the property. No more than 50 Townhouse units shall be allowed on the property.
- B. All buildings constructed on the property shall provide solar conduit for the installation of rooftop solar panels.
- C. Signage or informational brochures shall be provided by any homeowner's association regarding the need to eliminate fertilizer near SCMs.
- D. Developer shall install pollinator-friendly flora within SCM Planting areas.
- E. Plantings within perimeter buffers and along streetscapes shall be approved native species as listed in the Apex Design & Development Manual.
- F. Sod used within perimeter buffers, SCMs, and along streets shall not be fescue grasses.
- G. Developer shall apply for Energy Star or other energy efficiency rating for all newly constructed homes on the property.
- H. Developer shall install at least three (3) pet waste stations within the community.
- I. SCMs shall not be located within State dictated stream buffers without the approval of a Town of Apex No Practical Alternatives (NPA) finding.
- J. Prior to final plat approval, developer shall make a one-time donation to the Apex Affordable Housing Fund in an amount equal to \$215.00 per residential lot on the final plat.
- K. A minimum of 25% of the single-family detached homes shall provide the primary bedroom on the main floor.
- L. A minimum of 10% of the townhome units shall be 15% narrower than the average width of the other townhome units.
- M. Each play lawn shall include an historical marker with information about the Friendship area. The developer will work with the Town of Apex and the historical owners of the property to determine the content of each historical marker.
- N. To demonstrate the project's commitment to preserving and re-establishing tree canopy in our region, the developer seeks to replant and restore existing tree canopy that is removed from those portions of the property that are anticipate to contain single family and townhome lots. Prior to recording the first subdivision plat for the property, the developer will provide a donation of \$7,350 to a local non-profit organization with a mission towards tree preservation and replacement.

**Section 6: Proposed Design Controls**

**A. Maximum Non-Residential Densities (SF per non-residential use)** This PUD does not provide for any non-residential land uses (see Section 5, *Permitted Uses*).

**B. Residential Densities and Design Controls**

**Density** - The overall gross density shall not exceed 6.0 units per acre.

**Design Controls** – Dimensional standards below shall apply to all residential uses, and at a minimum, will comply with the following:

Maximum Density:	6.0 Units/Acre (includes RCA and rights-of-way)
Maximum Number of Units:	115
Maximum Built-Up Area:	60%
Minimum Lot Size:	n/a
Minimum Lot Width:	50 feet for single-family detached 22 feet for townhouse
Maximum Building Height:	40 feet, no more than 3 stories

*Note: Porches, patios, decks and other accessory structures may encroach into building setbacks as allowed by the Town of Apex UDO.*

**Minimum Building Setbacks:**

	<b>Single Family (feet)</b>	<b>Townhouse (feet)</b>
<b>Front</b>	10	10
<b>Front (garage)</b>	20	20
<b>Side</b>	5	0
<b>Rear</b>	10	10
<b>Building</b>	10	10

Minimum Buffer/RCA Setbacks: 10 feet for Buildings  
5 feet for Parking Areas

**C. Buffers**

**Perimeter Buffers**

Northern boundary (Bella Casa):	20-foot Type B
Southern boundary (Humie Olive Road):	30-foot Type B
Western boundary (Evans Road):	30-foot Type B
Eastern boundary (Bella Casa and residential uses)	20-foot Type B
Adjacent to REID 0103305 (Stewarts Cemetery)	10-foot Type B

*Note: Where perimeter buffers coincide with stream buffers or 100-year floodplain, existing vegetation will be used to meet the buffer width and opacity.*

**Thoroughfare and Collector Street Buffers**

As depicted on the PD Plan, a 30' Type B Buffer shall be established along Humie Olive Road and a 30' Type B buffer shall be established along Evans Road.

## Section 7: Proposed Architectural Controls

The proposed development offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Changes to the exterior materials, roof, windows, doors, process, trim, etc. are allowable with administrative approval at the staff level. Further details shall be provided at the time of Master Subdivision submittal. The following conditions shall apply:

### Townhomes:

- A. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
- B. The roofline cannot be a single mass; it must be broken up horizontally and vertically between every unit.
- C. Garage doors must have windows, decorative details, or carriage-style adornments on them.
- D. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
- E. The garage cannot protrude more than 1 foot out from the front façade or front porch.
- F. Front facades shall have horizontal relief achieved using recesses and projections.
- G. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
- H. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
- I. The visible side of a townhome on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:
  - Bay windows
  - Recessed windows
  - Decorative windows
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick or stone
  - Decorative trim
  - Decorative shakes
  - Decorative air vents on gables
  - Decorative cornice
  - Column on gable
  - Portico
  - Balcony
  - Dormer
  - Decorative gable



## Evans Road PUD Assembly

### Single-Family

- A. Garage doors shall have windows, decorative details, or carriage-style adornments on them.
- B. The garage shall not protrude more than 1 foot out from the front façade and front porch.
- C. The roof shall be pitched at 5:12 or greater for 75% of the building designs.
- D. Eaves shall project at least 12 inches from the wall of the structure.
- E. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
- F. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
- G. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
- H. Front porches shall be a minimum of 6 feet deep.
- I. The visible side of a home on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:
  - Bay windows
  - Recessed windows
  - Decorative windows
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick or stone
  - Decorative trim
  - Decorative shakes
  - Decorative air vents on gables
  - Decorative cornice
  - Column on gable
  - Portico
  - Balcony
  - Dormer
  - Decorative gable

### **Section 8: Parking and Loading**

Parking for the Evans Road PUD Assembly shall comply with Apex UDO Section 8.3, Off-Street Parking and Loading.

### **Section 9: Signage**

All signage for the Evans Road PUD Assembly shall comply with Apex UDO Section 8.7, *Signs*.

### **Section 10: Natural Resource and Environmental Data**

#### **A. River Basins and Watershed Protection Overlay Districts**

The project is located within the Jordan Lake Watershed, which is within the Cape Fear River Basin. While the site is within the Primary Watershed Protection Overlay District, it does not contain any FEMA designated 100-year floodplain.

**B. Resource Conservation Areas (RCA) – Required and Provided**

This PUD will be subject to, and meet the requirements of Section 8.1.2 of the UDO, *Resource Conservation Area* and Section 2.3.4, *Planned Development Districts*.

The Site is located on the west side of the 540 corridor and therefore is required to preserve a minimum of 30% Resource Conservation Area (RCA). Designated RCA areas will be consistent with the items listed in Section 8.1.2(B) of the Town’s UDO. Preserved streams, wetlands, and associated riparian buffers provide the primary RCA’s throughout the site. Additional RCA area provided include stormwater management areas, perimeter buffers, play lawns, and greenway trails within the walkable community.

**C. Historic structures**

Based upon the information contained within the North Carolina State Historic Preservation Office website, there are no historic structures present within the project boundary.

**Section 11: Stormwater Management**

The Evans Road PUD Assembly shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO, such that post development peak runoff shall not exceed pre-development peak runoff conditions for the 1 year, 10 year, and 25 year 24-hour storm events.

**Section 12: Parks and Recreation**

The Parks, Recreation and Cultural Resources Advisory Commission reviewed the project on June 30, 2021 and unanimously recommended fee-in-lieu of dedication with a credit for construction of greenway trail if an opportunity is identified at the time of Master Subdivision plan review and approval. The recommendation is based on the 2021-2022 rates and proposed maximum lot count provided:

Single Family detached Units:	\$3,495.24 x 65 = \$227,190.60
Single Family attached Units:	\$2,354.05 x 50 = \$117,702.50
Total residential fee in lieu per current unit count:	\$344,893.10

(final PRCR amount will be coordinated with staff during Master Subdivision Plan and Construction Document reviews)

Per Article 14, of the UDO credit for greenway against fees requires the approval of construction plans, contingent upon approval of an engineer’s estimate of probable cost for greenway construction. The greenway shall be completed prior to 25% of the total units for the project receiving building permits.

### **Section 13: Public Facilities**

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4(F)(1)(f) and be designed according to sound engineering standards and shall comply with Town of Apex Sewer and Water Master Plan and the Town of Apex Standards and Specifications. Specifically, road and utility infrastructure shall be as follows:

- **General Roadway Infrastructure**

Developer shall provide minimum frontage widening based on ½ of the ultimate cross section as shown on the adopted Transportation Plan in effect at time of Master Subdivision Plan submittal. The road network will promote connectivity wherever possible to adjacent neighborhoods and undeveloped property. Further, cul-de-sacs will be avoided except where environmental features make through streets unfeasible. Sidewalks will be provided on both sides of streets internal to the site.

Refer to the concept plan of the PUD plan for proposed access points, stub street extensions, and planned vehicular connectivity. All access and circulation are conceptual and will be finalized at the time of Master Subdivision Plan review and approval.

- **Transportation Improvements**

Roadway improvements are subject to modification and final approval by the Town of Apex and NCDOT as part of the Master Subdivision Plan and Construction Document approval process. A Traffic Impact Analysis (TIA) has been performed as part of this PUD rezoning consistent with the Town's standards for the same. Based upon the TIA and staff review, the following traffic improvements are proposed for this development:

Evans Road

The Developer shall widen Evans Road along the project frontage as development occurs based upon a minimum 35-foot curb and gutter roadway section with a 5-foot sidewalk and dedication based upon a 60-foot right-of-way.

Humie Olive Road

The Developer shall widen Humie Olive Road along the project frontage as development occurs based upon a minimum 41-foot curb and gutter roadway section with 10-foot side path and dedication based upon an 80-foot right-of-way.

Evans Road and Madison Creek Drive at Site Drive 1

- The Developer shall construct one (1) full-access point to Evans Road aligned with the existing Madison Creek Drive.
- Construct westbound approach with one (1) ingress lane and one (1) egress lane.
- Provide stop control for the westbound approach.

## Evans Road PUD Assembly

### Humie Olive Road at Site Drive 2

- The Developer shall construct one (1) right-in/right-out access point to Humie Olive Road located approximately 450-feet east of Evans Road.
- Construct southbound approach, striped as a right-in/right-out with one (1) ingress lane and one (1) egress lane.
- Provide stop-control for the southbound approach.
- Provide an exclusive westbound right-turn lane along Humie Olive Road with a minimum of 50 feet of storage and appropriate deceleration and taper length.
- Construct a monolithic concrete median on Humie Olive Road to prohibit left-turn movements.

### Humie Olive Road and Evans Road

- Provide pedestrian accommodations across the north and east legs of the intersection, with crosswalks and traffic signal modifications including push buttons and crosswalk indicators to accommodate new pedestrian phases.
- **Wayfinding Improvements**  
Wayfinding measures at the site shall be provided to facilitate the movement of vehicles and pedestrians to and within the development.
- **Water and Sanitary Sewer**  
All lots within the project will be served by the Town of Apex water and sanitary sewer facilities. The utility design will be finalized at the time of Master Subdivision Plan review and approval based upon available facilities adjacent to the site at that time. A conceptual utility plan is included in the PUD plan for reference.
- **Other Utilities**  
Electricity will be provided by Apex Electric. Phone, cable, and gas will be provided by the developer and shall meet the Town of Apex standards as outlined in the UDO.

### **Section 14: Phasing Plan**

This PUD may be completed in up to three (3) phases, with construction anticipated to begin in 2022. Project phasing will be planned to ensure the points of access, RCA, stormwater controls and other design standards are met in accordance with the UDO. A final phasing plan will be incorporated within the Master Subdivision Plans (MSP) for review and approval through the Technical Review Committee.

### **Section 15: Consistency with the 2045 Land Use Map**

Based upon discussions with Town staff through the Technical Review Committee pre-application and zoning review processes, the proposed land use is consistent with the Town's 2045 Land Use Map.

**Section 16: Compliance with the UDO**

The development standards adopted for this PUD comply with those set forth in the current version of the Town's Unified Development Ordinance (UDO). Any deviations from UDO requirements have been specifically defined within this document. The project includes two deviations:

1. Deviation from the 5% RCA mass grading penalty as outlined in Section 7.2.5 of the Town of Apex UDO; and
2. Reduction in the buffer adjacent to Stewarts Cemetery (REID 0103305)

**Section 17: Compliance with Comprehensive Transportation Plan and Bicycle Plan**

Master Subdivision Plans for any development to be made pursuant to this amendment to the Official Zoning District Map shall comply with the adopted Comprehensive Transportation Plan in effect at the time of the Master Subdivision Plan approval as provided for in the Unified Development Ordinance. Further, development of the Property shall be consistent with the Town's adopted Bicycle Plan.

# EVANS ROAD PUD ASSEMBLY

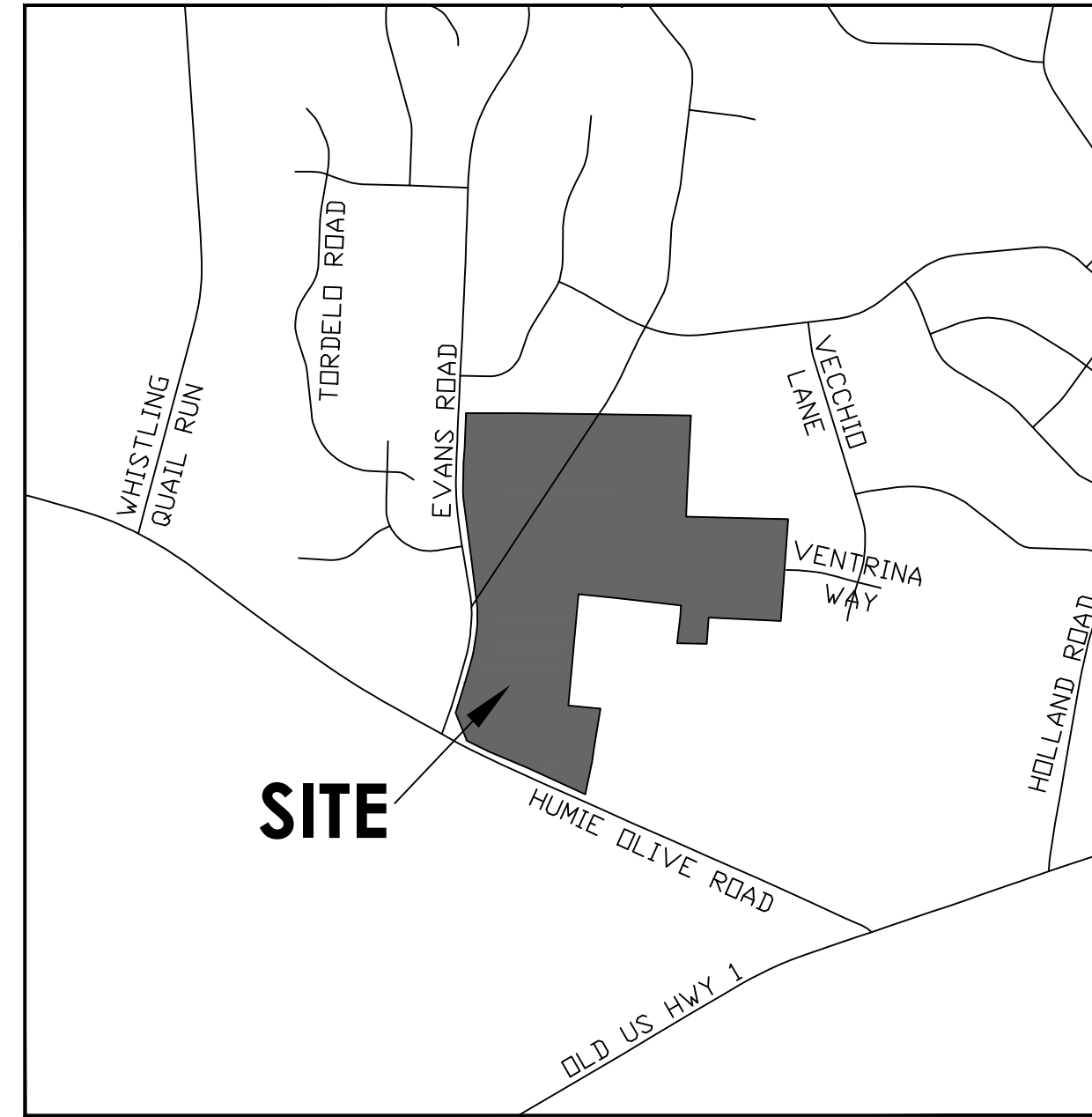
## PLANNED UNIT DEVELOPMENT CONDITIONAL ZONING

### EVANS ROAD @ HUMIE OLIVE ROAD

### APEX, NORTH CAROLINA

### PROJECT NUMBER: 200304

MAY 3, 2021



VICINITY MAP  
NOT TO SCALE



AERIAL MAP  
NOT TO SCALE

#### OWNER/DEVELOPER

**BEAZER HOMES**  
JASON VICKERS  
5400 TRINITY ROAD SUITE 313  
RALEIGH, NC 27607  
PHONE: (919) 448-6167

#### TRANSPORTATION ENGINEER

**RAMEY KEMP & ASSOCIATES**  
NATE BOUQUIN  
5808 FARINGDON PLACE SUITE 100  
RALEIGH, NC 27609

#### CIVIL ENGINEER

**PEAK ENGINEERING & DESIGN, PLLC**  
JEFF ROACH, P.E.  
1125 APEX PEAKWAY  
APEX, NC 27502  
PHONE: (919) 439-0100

#### ENVIRONMENTAL CONSULTANT

**SOIL & ENVIRONMENTAL CONSULTANTS (S&E)**  
STEPHEN BALL  
8412 FALLS OF NEUSE ROAD SUITE 104  
RALEIGH, NC 27615

#### DRAWING INDEX:

C000	COVER SHEET
C001	EXISTING CONDITIONS
C100	CONCEPTUAL SITE PLAN
C200	CONCEPTUAL UTILITY PLAN

#### SITE INFORMATION:

Property Owner/Site Address Page	PIN	REID	Map Number	Deeded Acreage	Deed Book/Plat Book &
KEVIN T THORPE 7428 HUMIE OLIVE RD APEX, NC 27502	0721-80-1110	70642	072104	0.999	DB 7710, PG 949
MCWILL LLC 3029 EVANS RD APEX, NC 27502	0721-80-3174	43207	072104	6.243	DB 15964, PG 879
DIONE HORTON 3033 EVANS RD APEX, NC 27502	0721-80-1336	82068	0721 04	0.503	DB 17083, PG 18
SAM WALDEN HEIRS 0 EVANS RD APEX, NC 27502	0721-80-2377	183428	072104	0.764	DB 94-E, PG 468
SHIRLEY W LYNN HEIRS 3025 EVANS RD APEX, NC 27502	0721-80-1553	43195	072104	0.501	DEED NOT AVAILABLE
SHIRLEY W LYNN HEIRS 0 EVANS RD APEX, NC 27502	0721-80-3505	43230	072104	0.502	DEED NOT AVAILABLE
SAM WALDEN HEIRS 3027 EVANS RD APEX, NC 27502	0721-80-3619	73331	072104	0.605	DB 94-E, PG 468
JOSEPH PAUL PAGE HEIRS 0 WALDEN RD APEX, NC 27502	0721-81-3022	58177	072104	1.822	DB 2184, PG 232
JOSEPH B SHAW HEIRS 2921 EVANS RD APEX, NC 27502	0721-80-4836	78415	072104	0.473	DB 19-E, PG 791
KENNETH T JOYNER & SHARON ELAINE JOYNER 2909 WALDEN RD APEX, NC 27502	0721-81-4170	62891	072104	0.635	DB 11783, PG 680
IVORY LEE HARRIS HEIRS 0 WALDEN RD APEX, NC 27502	0721-81-5061	28597	072104	1.122	DEED NOT AVAILABLE
ALMIE LINWOOD EVANS 2925 WALDEN RD APEX, NC 27502	0721-80-7948	21169	072104	2.923	DB 2477, PG 189
KEVIN T THORPE & LATHAM POWELL 0 HUMIE OLIVE RD APEX, NC 27502	0721-90-1910	56864	072104	4.951	DEED NOT AVAILABLE
KEVIN T THORPE & LATHAM POWELL 7616 HUMIE OLIVE RD APEX, NC 27502	0721-80-9611	56865	072104	0.371	DEED NOT AVAILABLE
JOHN R & ROBIN WILLIAMS 2917 WALDEN RD APEX, NC 27502	0721-80-1975	165103	072104	1.822	DB 15183, PG 1934
RONALD A ALLISON & MARGARET L ALLISON 2912 WALDEN RD APEX, NC 27502	0721-81-0212	165100	072104	4.082	DB 10630, PG 1968
WILLIE LARRY HARRIS 2828 WALDEN RD APEX, NC 27502	0721-81-2581	173485	072104	0.987	DB 14082, PG 2458
WILLIE LARRY HARRIS SR 2905 WALDEN RD APEX, NC 27502	0721-81-6313	89597	072104	2.666	DB 14082, PG 2467
JO ELLA W HARRIS 2825 WALDEN RD APEX, NC 27502	0721-81-6591	82261	072104	1.732	DB 14614, PG 894
WILLIE LARRY HARRIS SR 2929 WALDEN RD APEX, NC 27502	0721-71-9581	89594	072104	0.94	DB 13597, PG 1236
Total acreage:				34.642 acres	

#### SITE INFORMATION CONTINUED:

Existing Zoning:	RR (Rural Residential)																								
Proposed Zoning:	PUD-CZ (Planned Unit Density - Conditional Zoning)																								
Current 2045 Land Use Map:	Medium Density Residential, Medium/High Density Residential																								
Existing Use:	Vacant, Single Family Residential																								
Township:	Buckhorn																								
Flood Zone Information:	Firm Panel 3720072100J does not show the presence of flood zones on the properties.																								
Watershed Information:	Primary Watershed Protection Overlay District, Beaver Creek Basin, Cape Fear River Basin																								
Historical:	No historical structures on site																								
Proposed Uses:	Single Family; Townhouse; Accessory Apartment; Greenway; Recreation facility, private; Park active; Park, passive; Utility, minor																								
Buildings:	65 Single Family Detached, 50 Single Family Attached																								
Density:	3.4 DU/acre (less than 6 DU/acre)																								
Building Height:	40 feet / 3-stories																								
Built Upon Area (BUA):	60%																								
Building Setbacks:	<table border="1"> <thead> <tr> <th></th> <th>Single Family</th> <th>Townhomes</th> </tr> </thead> <tbody> <tr> <td>Front:</td> <td>10 feet</td> <td>10 feet</td> </tr> <tr> <td>Front (garage):</td> <td>20 feet</td> <td>20 feet</td> </tr> <tr> <td>Side:</td> <td>5 feet</td> <td>0 feet</td> </tr> <tr> <td>Rear:</td> <td>10 feet</td> <td>10 feet</td> </tr> <tr> <td>Building to Building:</td> <td>10 feet</td> <td>10 feet</td> </tr> <tr> <td>From Buffer/RCA:</td> <td>10 feet for buildings</td> <td></td> </tr> <tr> <td></td> <td>5 feet for parking areas</td> <td></td> </tr> </tbody> </table>		Single Family	Townhomes	Front:	10 feet	10 feet	Front (garage):	20 feet	20 feet	Side:	5 feet	0 feet	Rear:	10 feet	10 feet	Building to Building:	10 feet	10 feet	From Buffer/RCA:	10 feet for buildings			5 feet for parking areas	
	Single Family	Townhomes																							
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Rear:	10 feet	10 feet																							
Building to Building:	10 feet	10 feet																							
From Buffer/RCA:	10 feet for buildings																								
	5 feet for parking areas																								
Parking:	Parking to comply with UDO Section 8.3.2																								
Required Spaces:	2 spaces per dwelling unit 65 dwelling units x 2 spaces/unit = 130 spaces 130 spaces (parking is provided within garages and driveways)																								
Proposed Spaces:																									
Single Family Attached (Townhomes)																									
Required Spaces:	2 spaces per dwelling unit plus .25 per unit for guest parking 2 spaces x 50 dwelling units = 100 spaces .25 x 50 dwelling units = 13 spaces Total = 113 parking spaces																								

seal:

BY	
REVISION	
DATE	
NO.	

title:  
**COVER SHEET**

proj #:  
**180903**

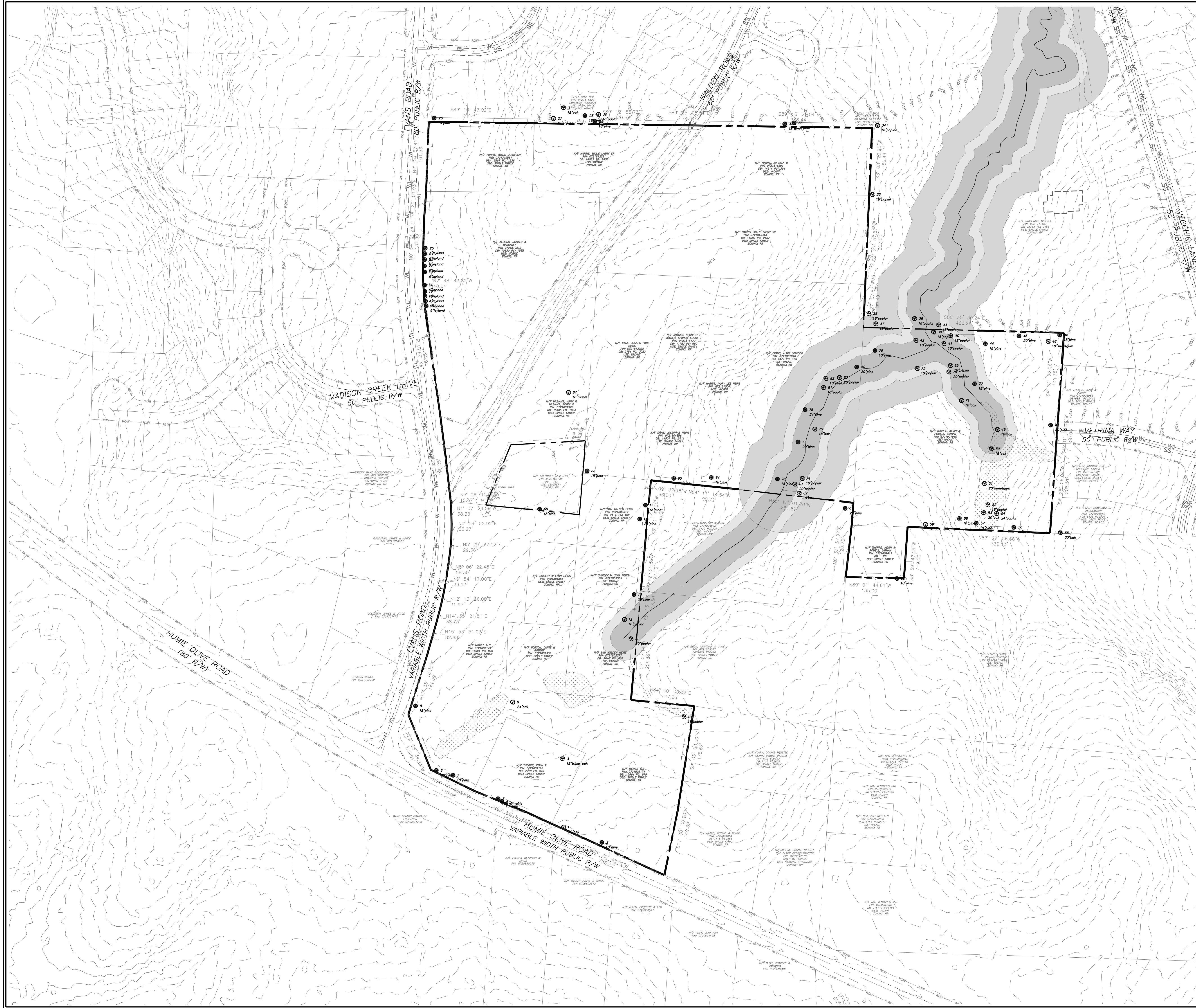
date:  
**May 3, 2021**

dwg by: **JE** chkd by: **JR**



scale:  
**As Noted**

sheet:

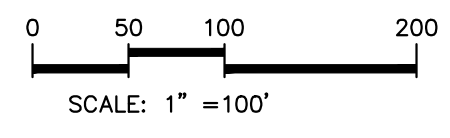
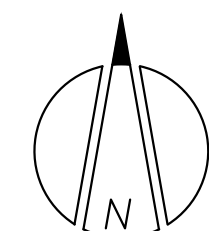
**C000**  
SKETCH PLAN



**TREE LEGEND**

	PINE TREES (>18" DBH)
	DECIDUOUS TREES (>18" DBH)

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY



**1** EXISTING CONDITIONS  
SCALE: 1" = 100'

NC License #P-0673

Project:  
**EVANS ROAD PUD ASSEMBLY**  
EVANS ROAD @ HUME OLIVE ROAD  
BUCKHORN TOWNSHIP  
APEX, NORTH CAROLINA 27502

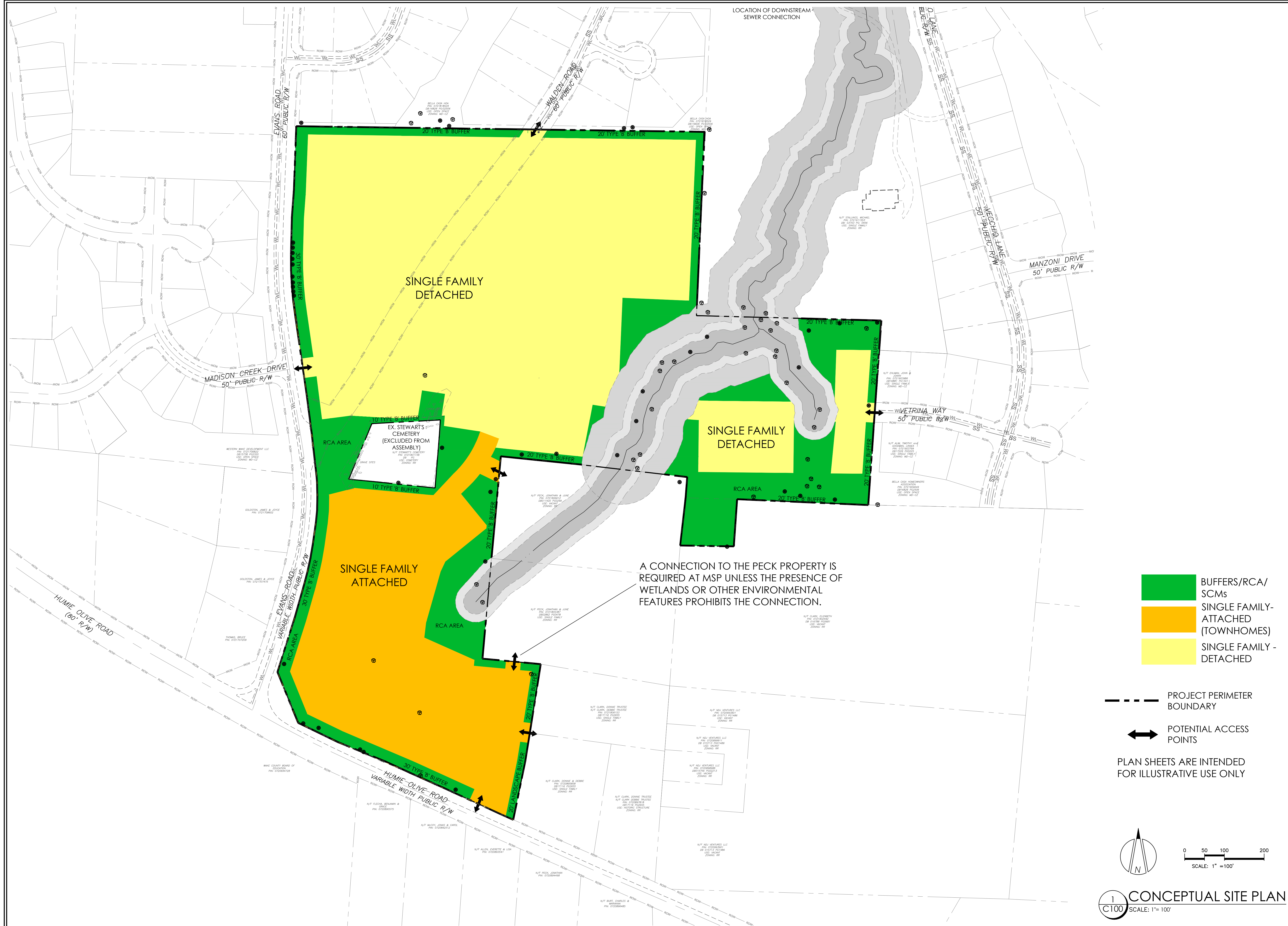
seal:

NO.	DATE	REVISION	BY

title:  
**EXISTING CONDITIONS**

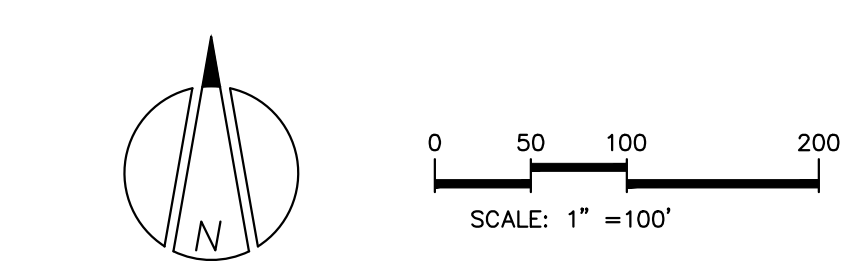
proj #: 180903  
date: May 3, 2021  
dwg by: chkd by: JE JR  
scale: As Noted  
sheet:

**C001**  
SKETCH PLAN



- BUFFERS/RCA/SCMs
- SINGLE FAMILY-ATTACHED (TOWNHOMES)
- SINGLE FAMILY-DETACHED

- PROJECT PERIMETER BOUNDARY
  - POTENTIAL ACCESS POINTS
- PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY



**1** CONCEPTUAL SITE PLAN  
C100 SCALE: 1"= 100'

NC License #P-0673

Project:  
**EVANS ROAD PUD ASSEMBLY**  
EVANS ROAD @ HUME OLIVE ROAD  
BUCKHORN TOWNSHIP  
APEX, NORTH CAROLINA 27502

seal:

NO.	DATE	REVISION	BY

title:  
**CONCEPTUAL SITE PLAN**

proj #:  
**180903**

date:  
**May 3, 2021**

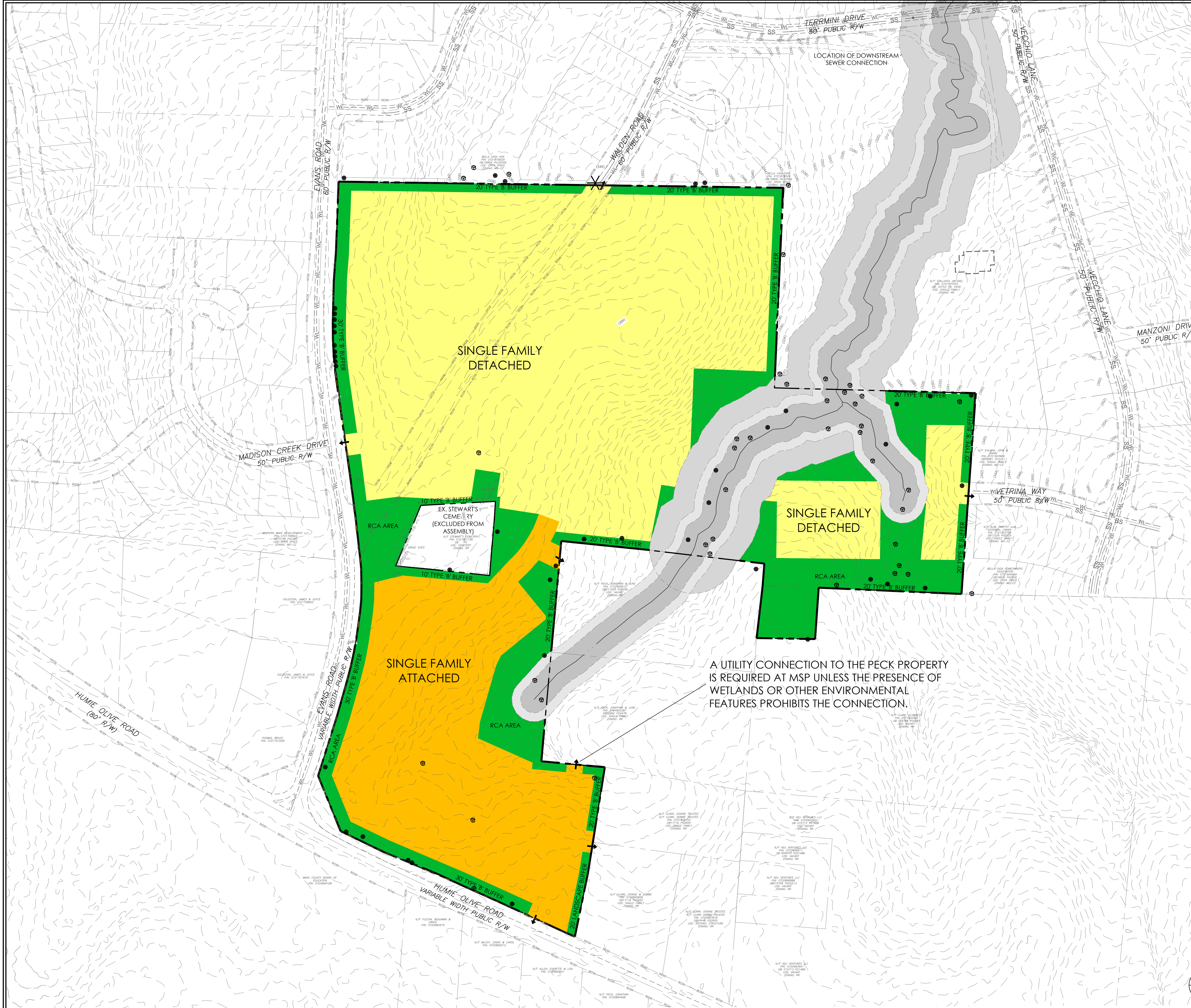
dwg by: **JE**    chkd by: **JR**

scale:  
**As Noted**

sheet:

**C100**  
SKETCH PLAN





- UTILITY NOTES:**
1. THE SITE IS REQUESTING FULL TOWN SERVICES - WATER, SEWER AND ELECTRICITY
  2. THIS SITE WILL NOT UTILIZE PRIVATE SEWAGE DISPOSAL.

- ↑ PROPOSED WATER CONNECTIONS
- ✕ PROPOSED SEWER CONNECTIONS
- PROJECT PERIMETER BOUNDARY

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY

1 CONCEPTUAL UTILITY PLAN  
 C200 SCALE: 1" = 100'

0 50 100 200  
 SCALE: 1" = 100'

Project:  
**EVANS ROAD PUD ASSEMBLY**  
**EVANS ROAD @ HUME OLIVE ROAD**  
 BUCKHORN TOWNSHIP  
 APEX, NORTH CAROLINA 27502

seal:

NO.	DATE	REVISION	BY

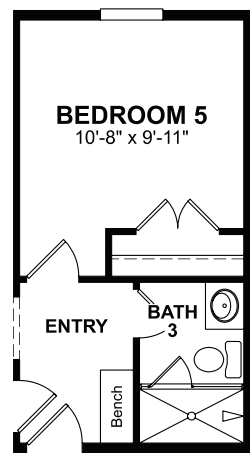
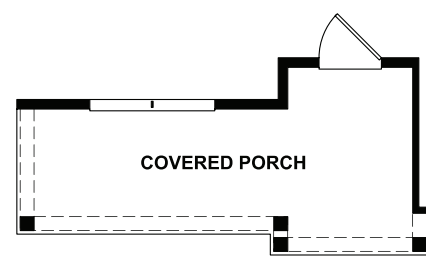
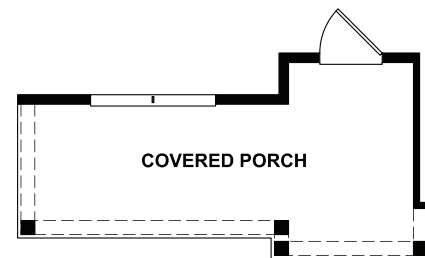
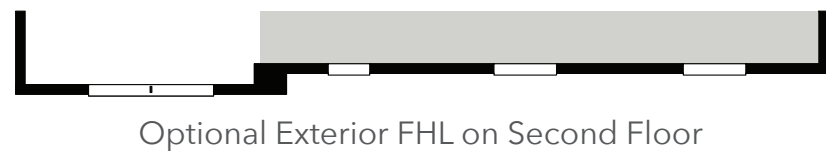
title:  
 CONCEPTUAL UTILITY PLAN

proj #: 180903  
 date: May 3, 2021  
 dwg by: JE JR  
 scale: As Noted  
 sheet:

**C200**  
 SKETCH PLAN

# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee



Optional Bedroom 5/Bath 3 ILO Study/Powder

Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



## Beckett

3-5 beds / 2.5-3 baths  
2,556 sq. ft.  
2-car garage



French Country L Exterior



Farmhouse L Exterior



Traditional L Exterior

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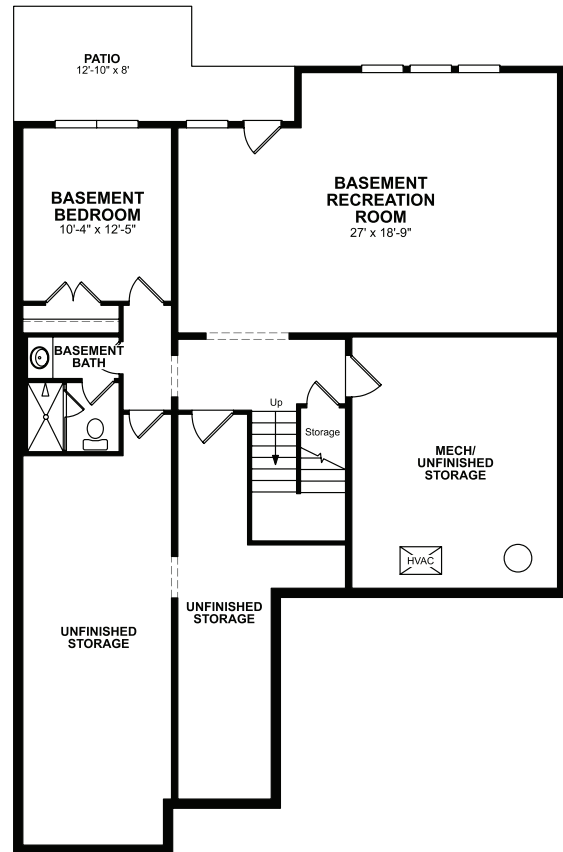
# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee

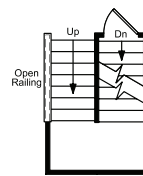


## Dianne

4-6 beds / 3.5-4.5 baths  
3,501 sq. ft.  
2-car garage



Optional Basement



Stairs to  
Optional Basement

Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



Arts & Crafts L Exterior



French Country L Exterior



Farmhouse L Exterior



Traditional A Exterior

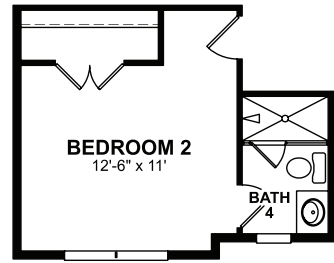
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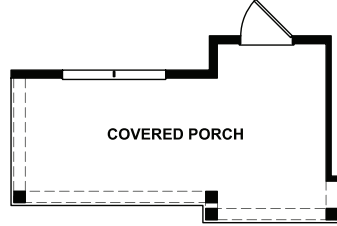
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# Paid Options

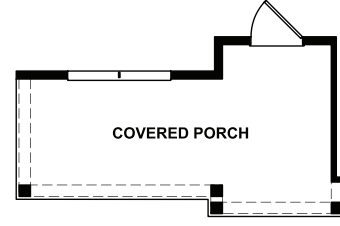
Structural options that add square footage or other structure (s) to the home for a fee



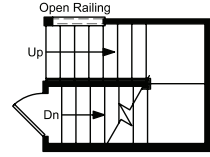
Optional Bath 4  
ILO Walk-In Closet



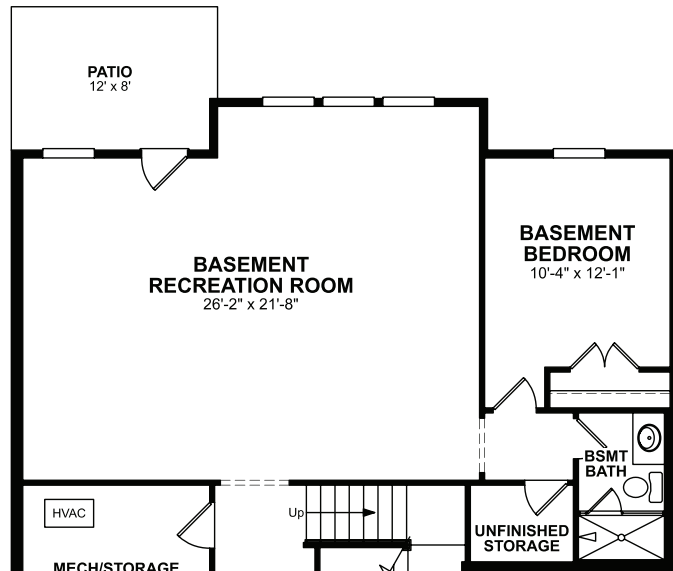
Elevation FCL



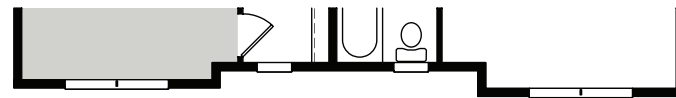
Elevation FHL



Stairs to Optional  
Basement



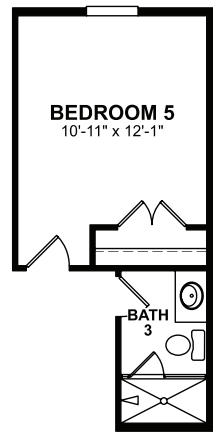
Optional Basement



Elevation FCL



Elevation FHL



Optional Bedroom 5/  
Bath 3 ILO Study/Powder

Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



## Miller

4-6 beds / 2.5-5 baths  
2,972 sq. ft.  
2-car garage



French Country L Exterior



Farmhouse L Exterior



Traditional L Exterior

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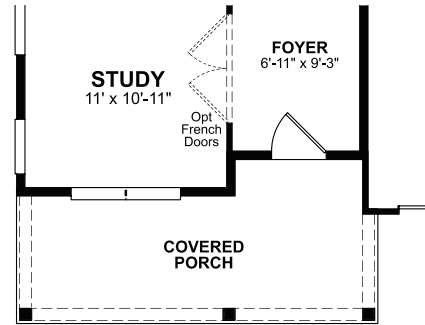
# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee

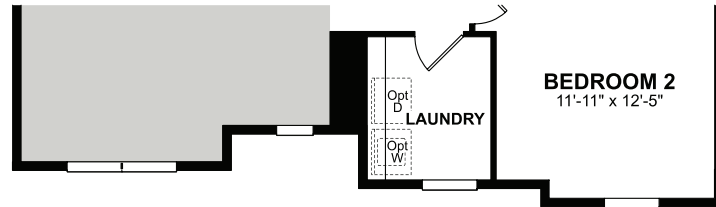


## Douglas

5 beds / 4.5 baths  
3,431 sq. ft.  
2-car garage



Elevation FHL/ FHM/ FCL/ TRM



Elevation FHL/ FHM

Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



French Country L Exterior



Farmhouse L Exterior



Farmhouse M Exterior



Traditional L Exterior

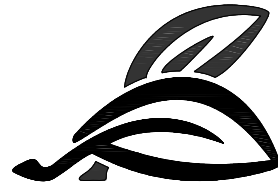


Traditional M Exterior

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# BEAZER HOMES DIANNE RLH V567

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<b>BEAZER HOMES</b>  PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328  PH: 770-392-2100	<b>BEAZER HOMES</b>  RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607  PH: 919-881-9350	<b>MULHERN &amp; KULP ENGINEERING</b>  CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002  PH: 770-777-0074

NOTE:  
AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

NOTE:  
ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC RESIDENTIAL CODE, SPECIFICALLY:  
 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRA/TRL
F-1.1	Slab Plan Elev ACL
F-1.2	Slab Plan Elev FHL
F-1.3	Slab Plan Elev FCL
F-1.4	Slab Plan Options
F-2.0	Crawl Plan
F-2.1	Crawl Plan Partials
F-3.0	Basement Plan
F-3.1	Basement Plan Partials
A-1.0	First Floor Plan & Partial
A-1.1	First Floor Plan Partials
A-2.0	Second Floor Plan & Partial
A-2.1	Second Floor Plan Partials
A-3.0	Front Elevation TRA
A-3.1	Side Elevations TRA
A-3.2	Front Elevation ACL
A-3.3	Side Elevations ACL
A-3.4	Front Elevation FHL
A-3.5	Side Elevations FHL
A-3.6	Front Elevation FCL
A-3.7	Side Elevations FCL
A-4.0	Typical Sections
O-1.0	Choice Options
O-2.0	Optional Fireplace
O-3.0	Optional Screened Porch
O-4.0	Optional Basement Elevation

Sheet List	
Sheet #	Description
E-1.0	First Floor Electrical Plan
E-2.0	Second Floor Electrical Plan
E-3.0	Option Electrical Plans
E-4.0	Basement Electrical Plan
S-0.0	Structural Notes
S-1.0	1st Floor Framing Plans
S-2.0	2nd Floor Framing Plans
S-3.0	Roof Framing Plans
S-4.0	Options Framing Plans
S-5.0	Shear Transfer Details

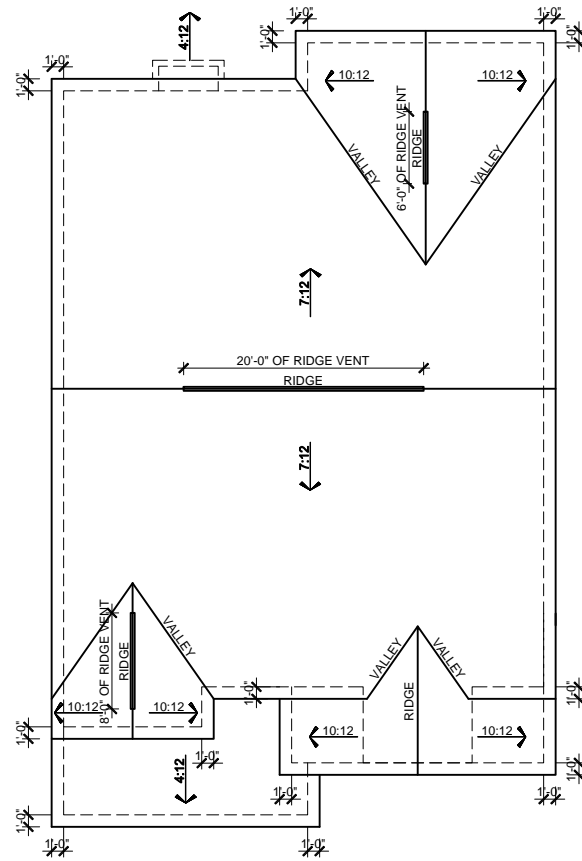
REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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**RLH V567 3.2**  
**Cover Sheets**  
**Cover Sheet**

drawn by: BZH  
 checked by: SDP  
 date: 11.07.17  
 sheet number:  
**CS-1.0**



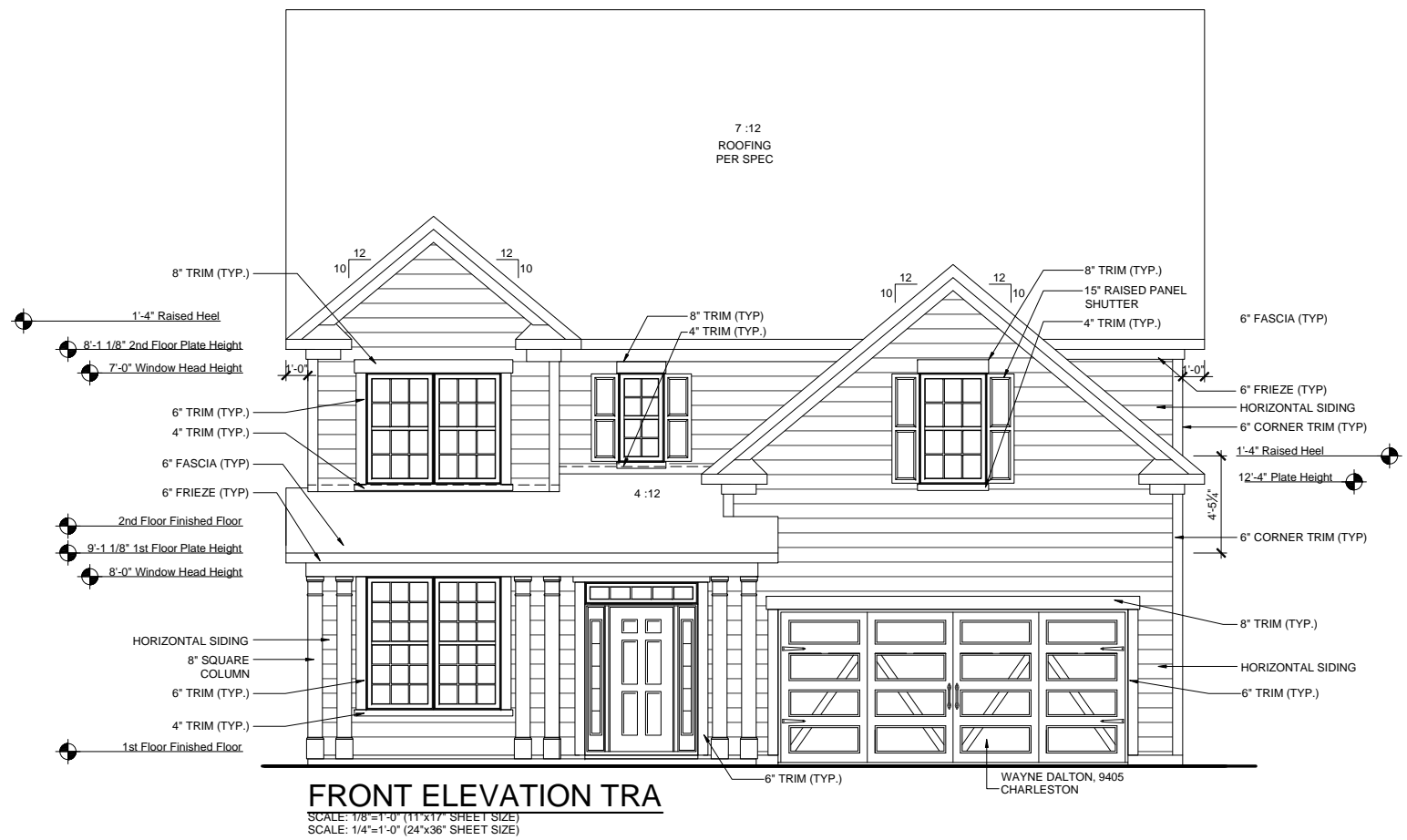
**ROOF PLAN TRA**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF TRA  
ATTIC VENT CALCULATION**

ATTIC SQUARE FOOTAGE =	2161 SF
2161 SF x 1/300	7.13SF
7.13 SF x 144 SQ. IN.	REQ TOTAL VENT: 1026.9 IN.
<b>HIGH VENTING</b>	
(34) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	612 SQ. IN.
<b>LOW VENTING</b>	
(50) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	450 SQ. IN.
<b>TOTAL FREE AREA PROVIDED</b>	1062 SQ. IN.

**PORCH/GARAGE ROOF TRA  
ATTIC VENT CALCULATION**

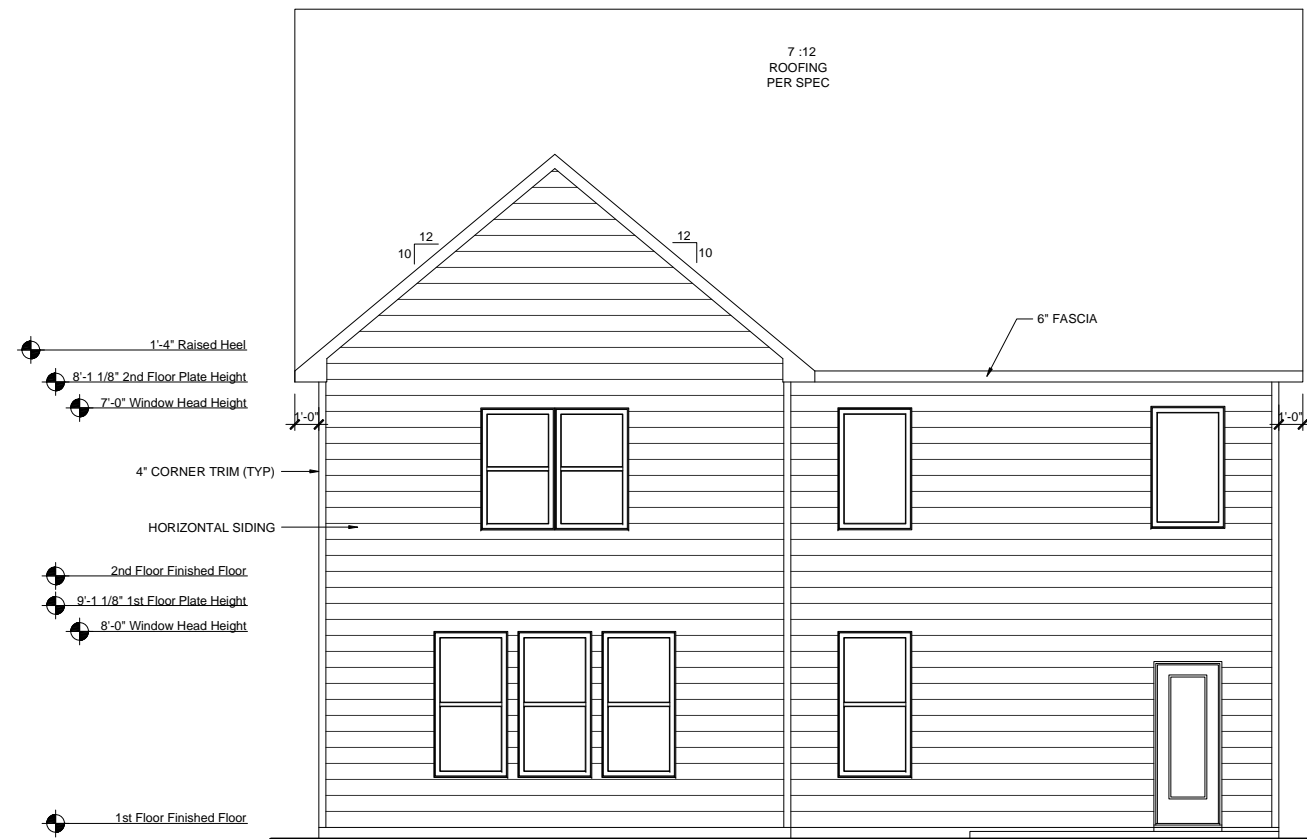
ATTIC SQUARE FOOTAGE =	246 SF
246 SF x 1/300	.81 SF
.81 SF x 144 SQ. IN.	REQ TOTAL VENT: 116.90 IN.
<b>HIGH VENTING</b>	
(0) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	0 SQ. IN.
<b>LOW VENTING</b>	
(14) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	126 SQ. IN.
<b>TOTAL FREE AREA PROVIDED</b>	126 SQ. IN.



**FRONT ELEVATION TRA**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION - TRA on CRAWLSPACE**  
 SCALE: 3/32"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 3/16"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION TRA**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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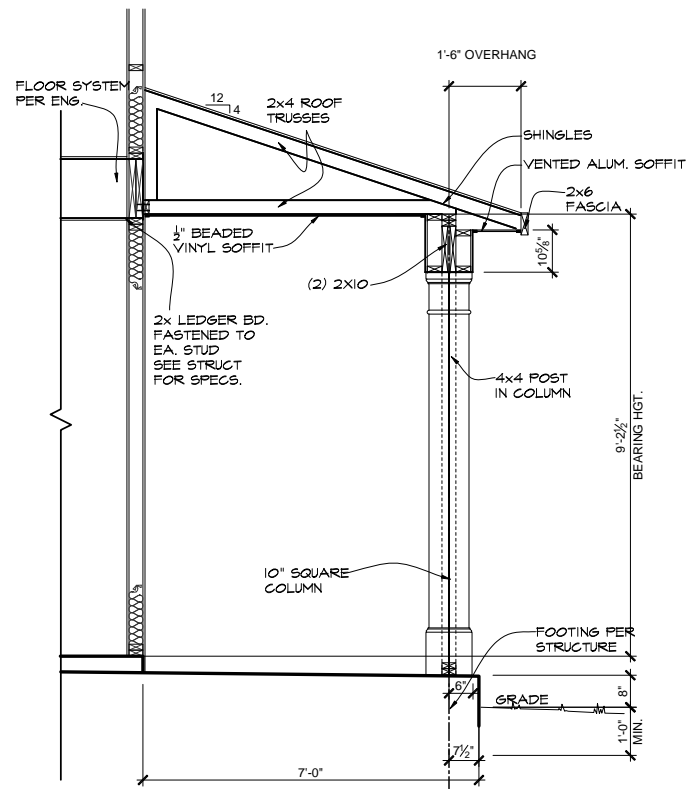
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**RLH V567 3.2**  
**Elevation Plans**  
**Front Elevation TRA**

drawn by: BZH  
 checked by: SDP  
 date: 11.07.17  
 sheet number:

**A-3.0**



**FRONT PORCH SECTION**

SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION TRA**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION TRA**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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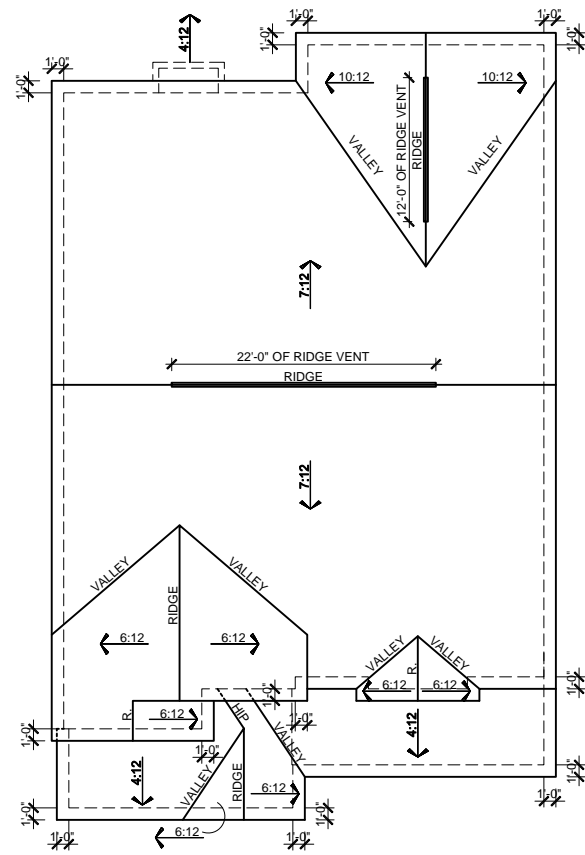


**RLH V567 3.2**  
**Elevation Plans**  
**Side Elevations TRA**

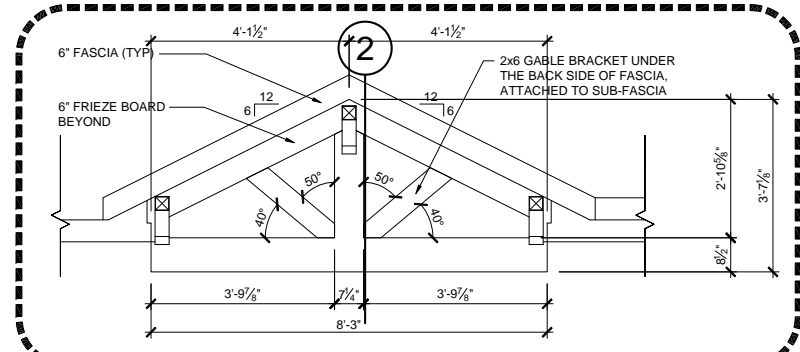
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checked by: SDP  
date: 11.07.17  
sheet number:

**A-3.1**

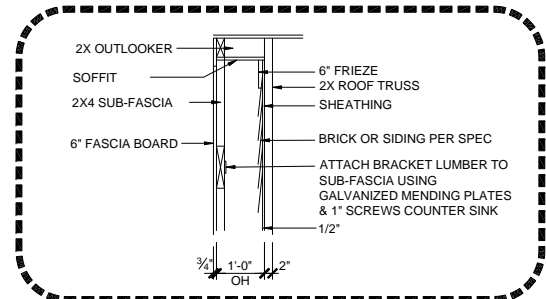




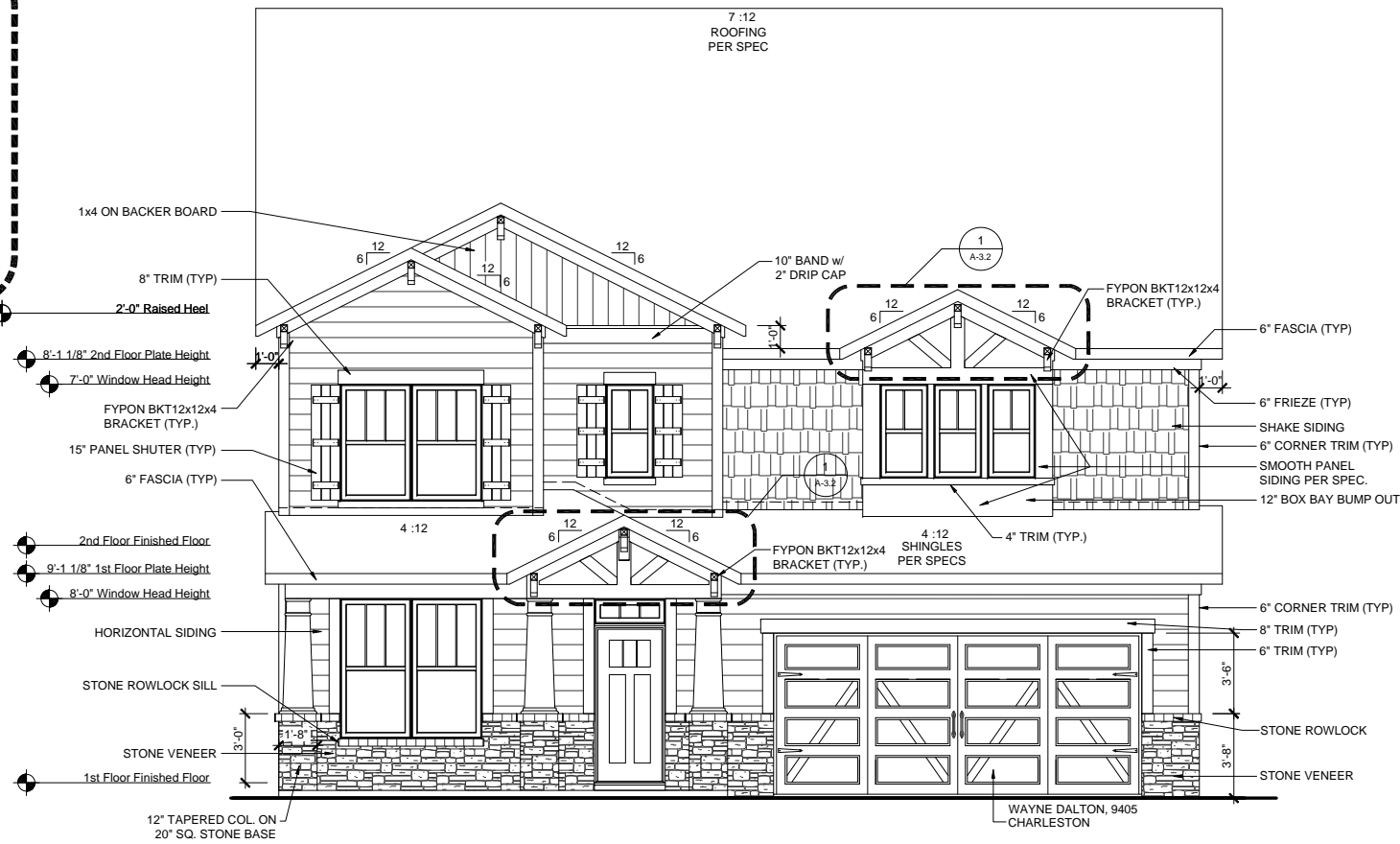
**ROOF PLAN ACL**  
SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



**1 GABLE END DETAIL**  
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**2 GABLE END SECTION DETAIL**  
SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION ACL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION - ACL on CRAWLSPACE**  
SCALE: 3/32"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 3/16"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF ACL**

ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	2091 SF
2091 SF x 1/300	6.97 SF
6.97 SF x 144 SQ. IN.	REQ TOTAL VENT: 1004 IN.
HIGH VENTING (34) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	612 SQ. IN.
LOW VENTING (50) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	450 SQ. IN.
TOTAL FREE AREA PROVIDED	1062 SQ. IN.

PORCH/GARAGE ROOF ACL	
ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	301 SF
301 SF x 1/300	1.00 SF
1.00 SF x 144 SQ. IN.	REQ TOTAL VENT: 144 IN.
HIGH VENTING (0) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	0 SQ. IN.
LOW VENTING (20) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	180 SQ. IN.
TOTAL FREE AREA PROVIDED	180 SQ. IN.



**REAR ELEVATION ACL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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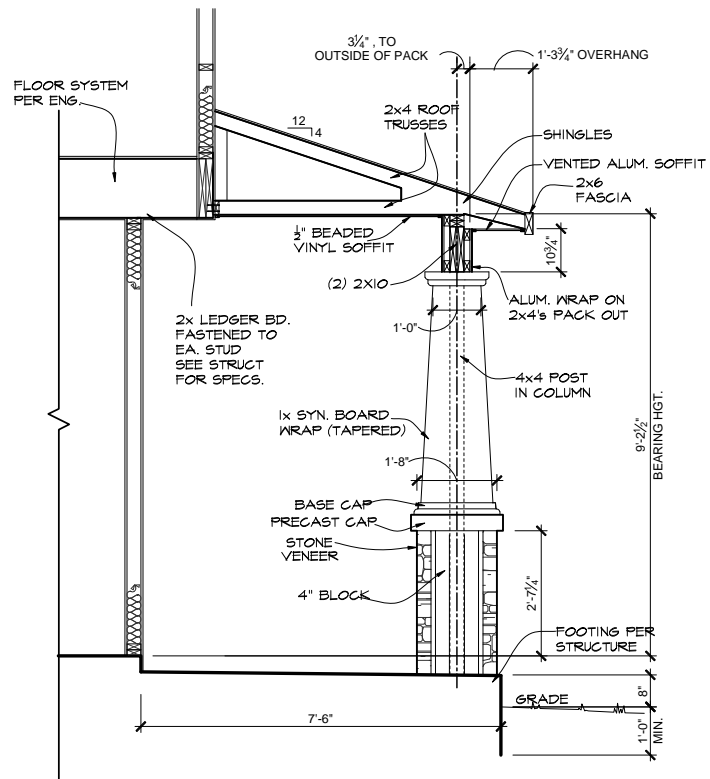
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**RLH V567 3.2**  
**Elevation Plans**  
**Front Elevation ACL**

drawn by: BZH  
checked by: SDP  
date: 11.07.17  
sheet number:

**A-3.2**



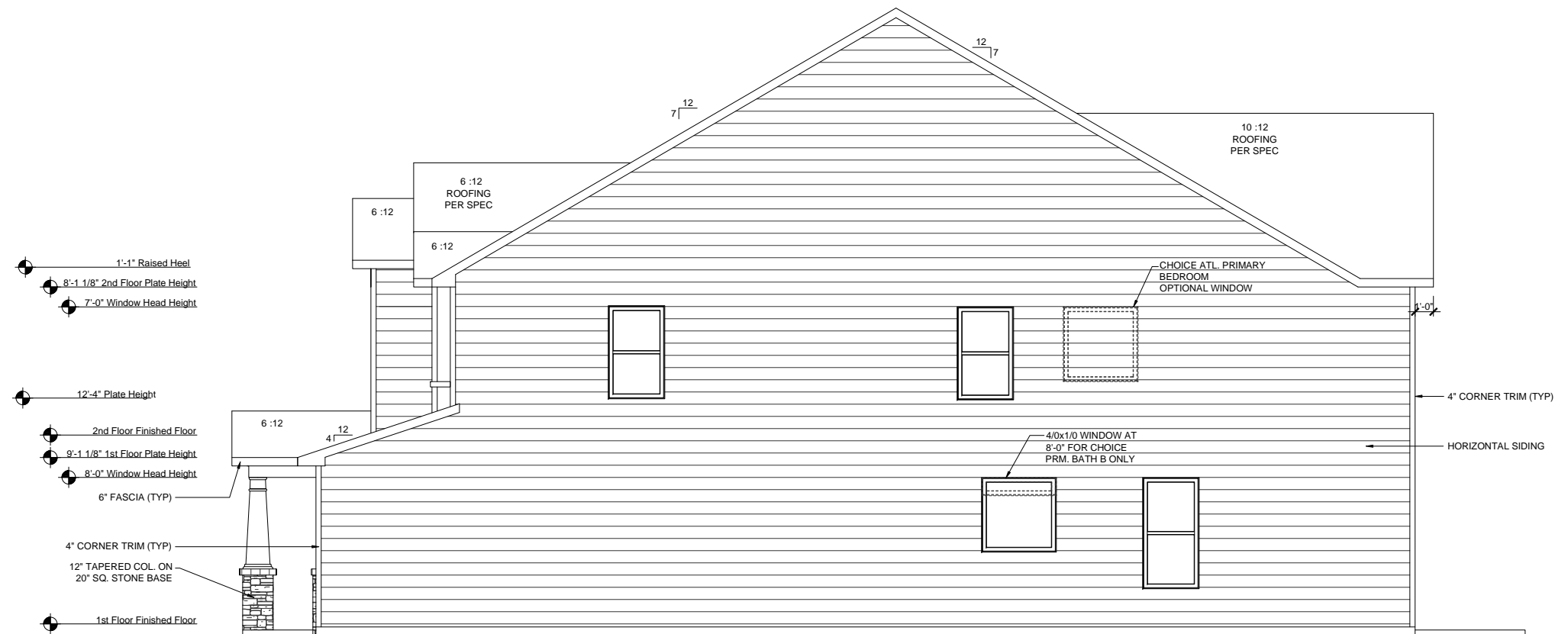
**FRONT PORCH SECTION**

SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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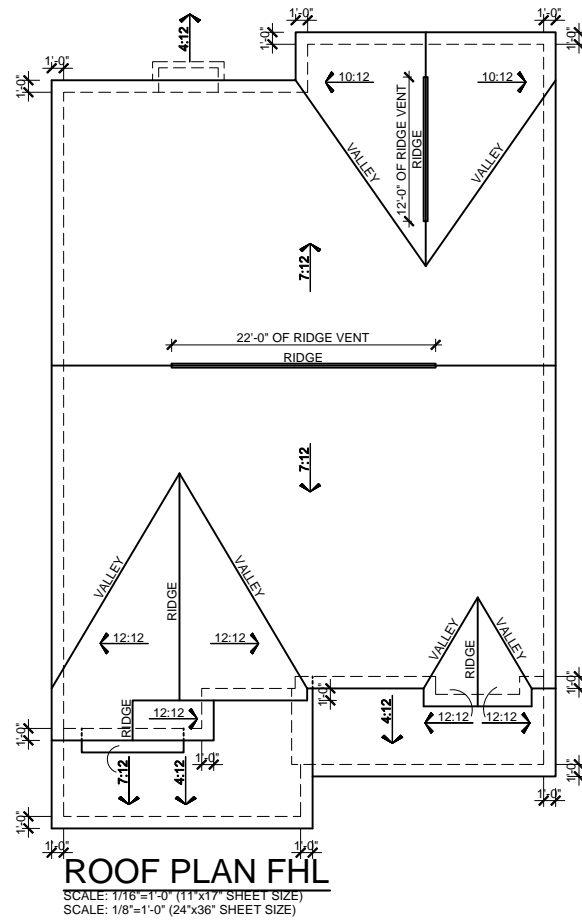
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**RLH V567 3.2**  
**Elevation Plans**  
**Side Elevations ACL**

drawn by: BZH  
checked by: SDP  
date: 11.07.17  
sheet number:

**A-3.3**

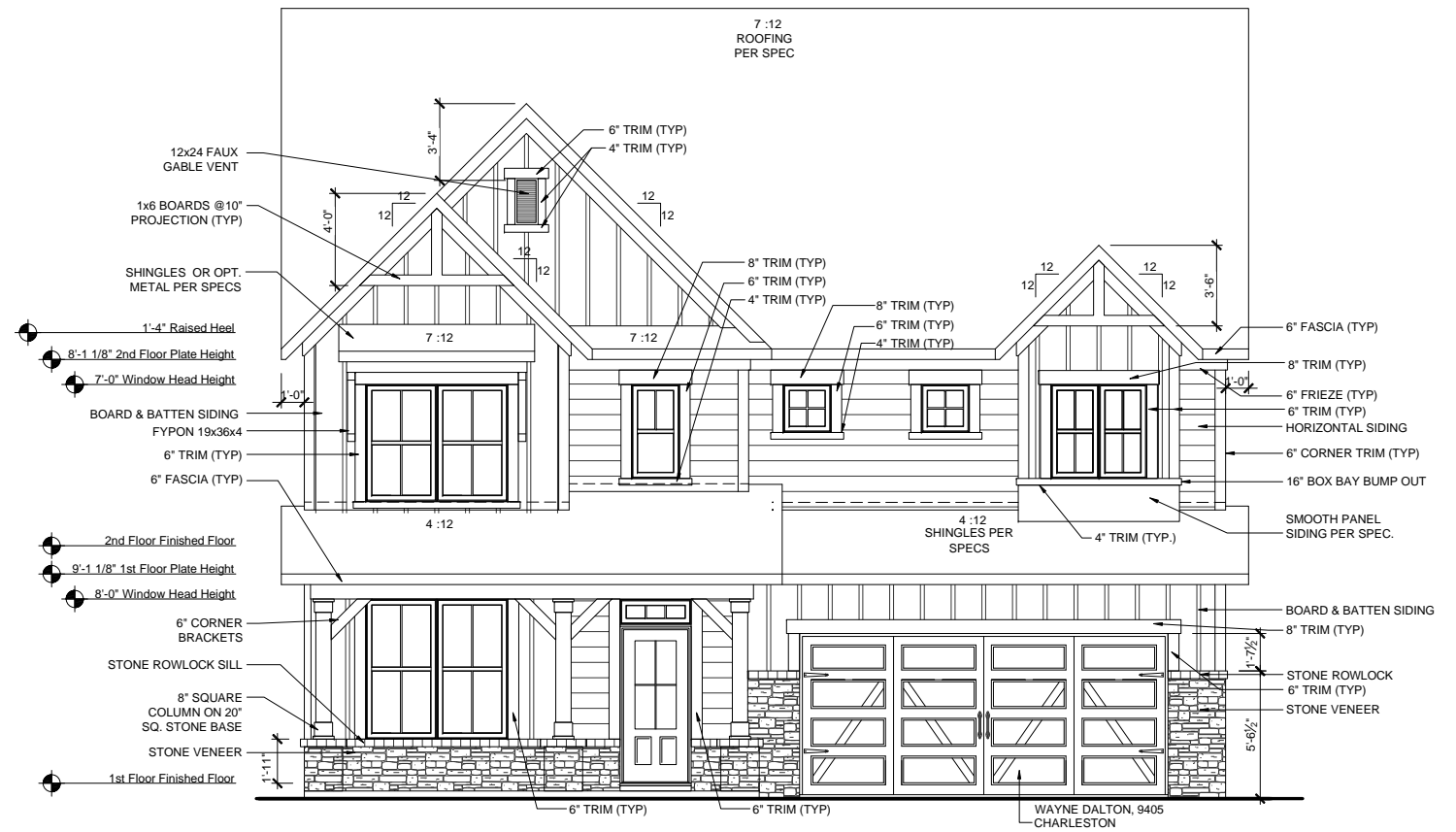


**MAIN ROOF FHL**

ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	2094 SF
2094 SF x 1/300	6.91 SF
6.91 SF x 144 SQ. IN.	REQ TOTAL VENT: 995.1 IN.
HIGH VENTING	
(34) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	612 SQ. IN.
LOW VENTING	
(50) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	450 SQ. IN.
TOTAL FREE AREA PROVIDED	1062 SQ. IN.

**PORCH/GARAGE ROOF FHL**

ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	369 SF
369 SF x 1/300	1.22 SF
1.22 SF x 144 SQ. IN.	REQ TOTAL VENT: 176.3 IN.
HIGH VENTING	
(0) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	0 SQ. IN.
LOW VENTING	
(20) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	180 SQ. IN.
TOTAL FREE AREA PROVIDED	180 SQ. IN.



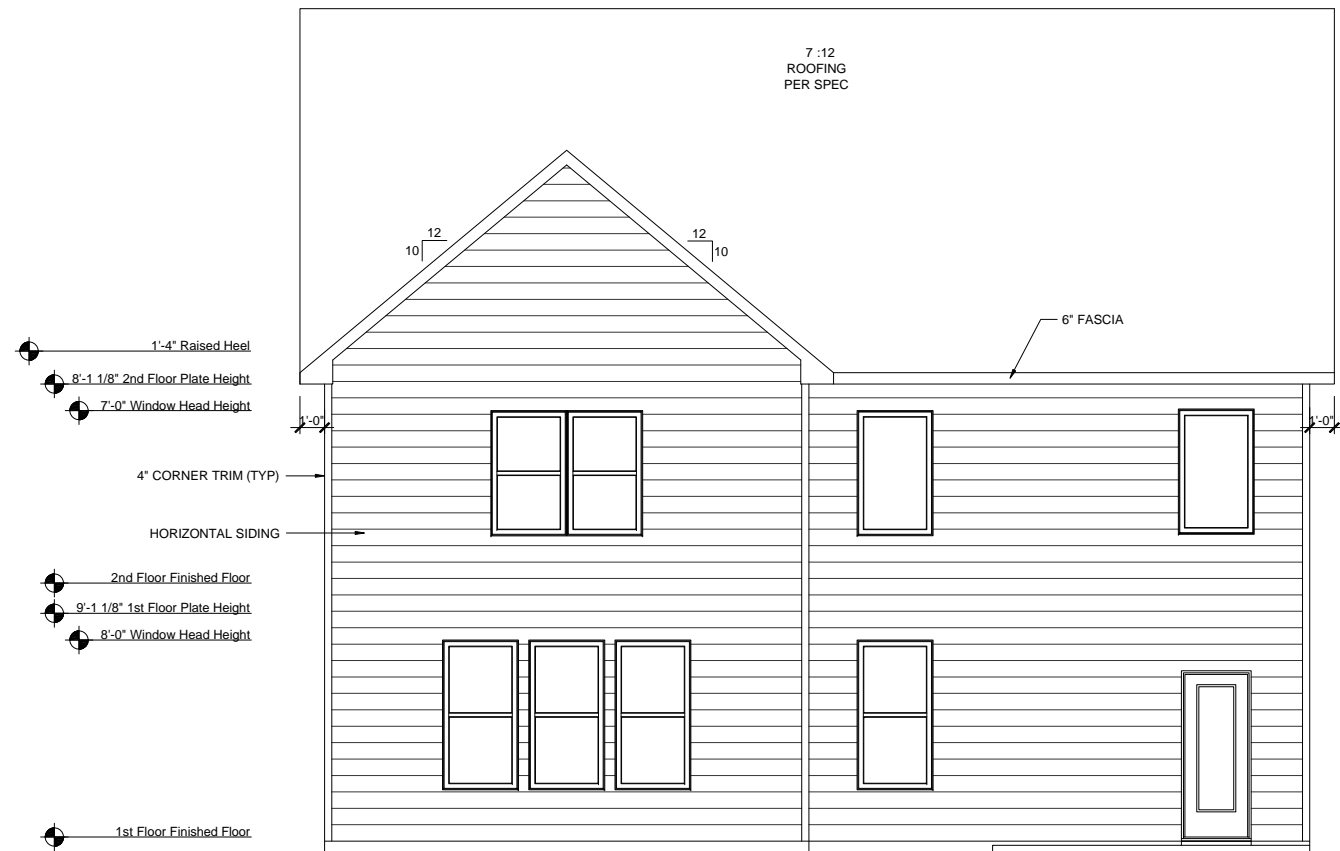
**FRONT ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION - FHL on CRAWLSPACE**

SCALE: 3/32"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 3/16"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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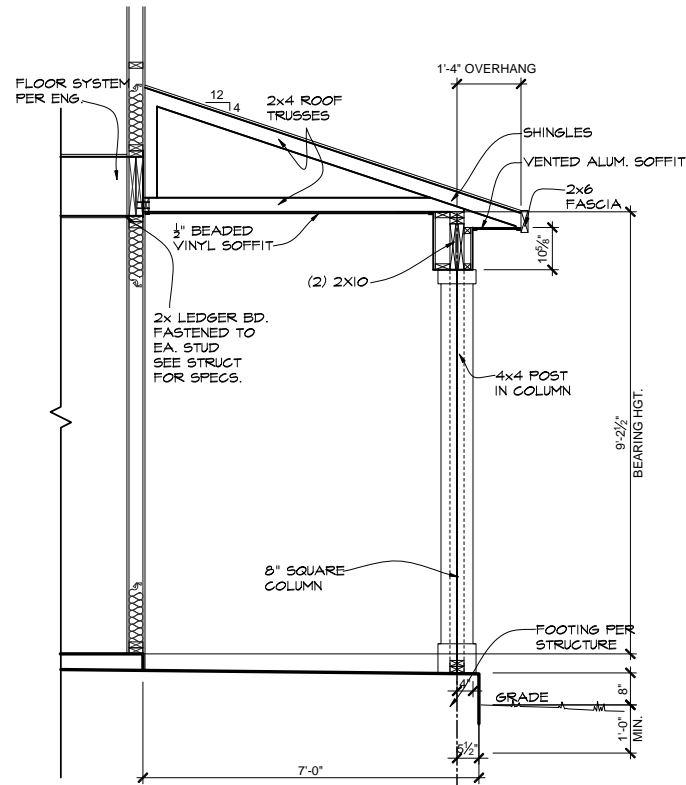
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**RLH V567 3.2**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: BZH  
checked by: SDP  
date: 11.07.17  
sheet number:

**A-3.4**



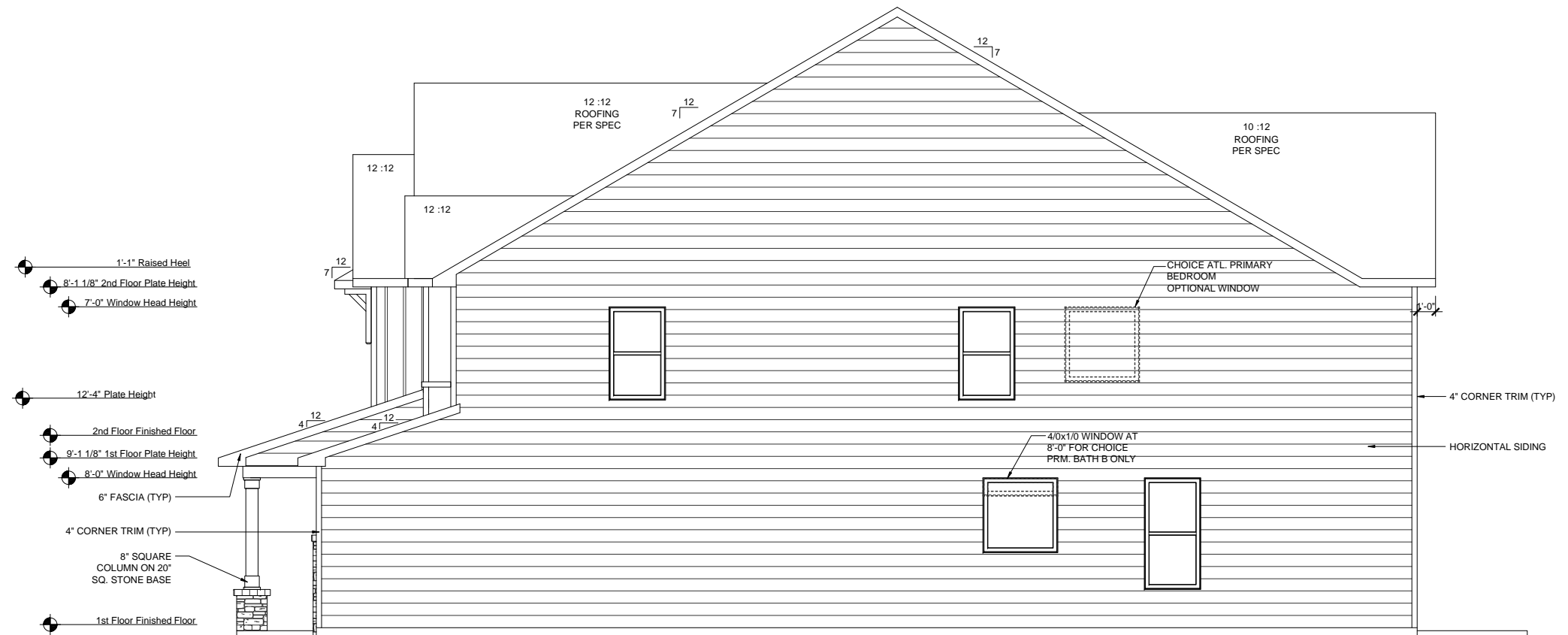
**FRONT PORCH SECTION**

SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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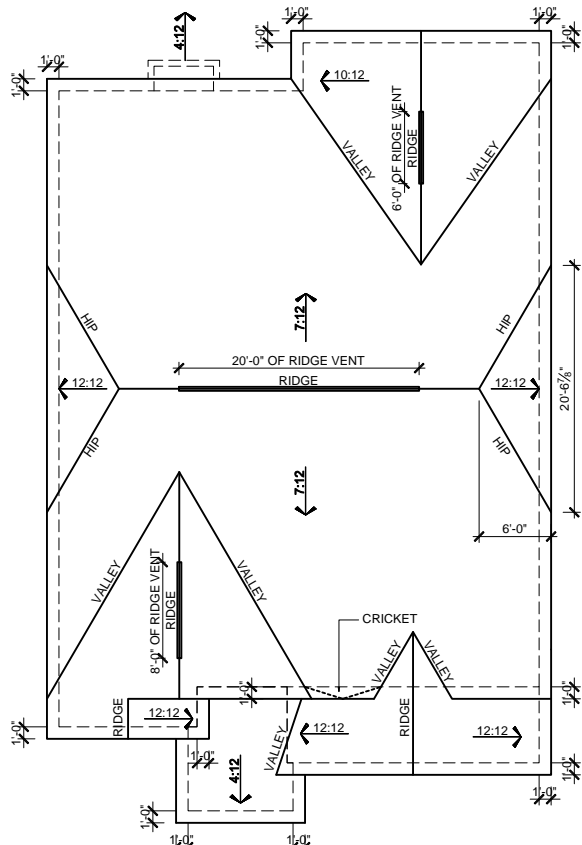
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**RLH V567 3.2**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: BZH  
checked by: SDP  
date: 11.07.17  
sheet number:

**A-3.5**



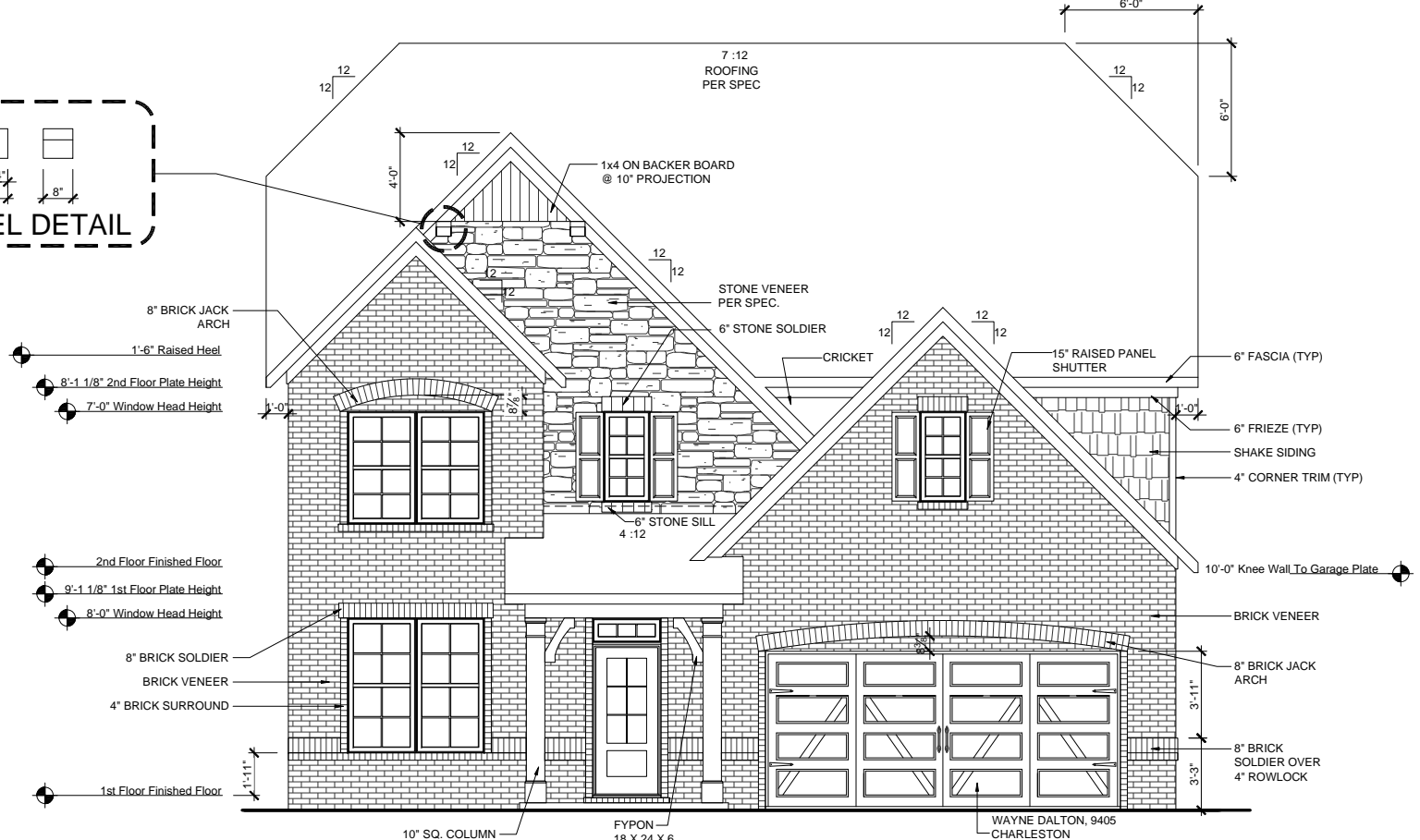
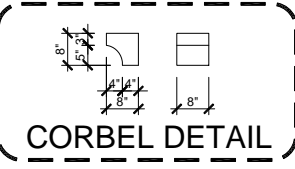
**ROOF PLAN FCL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FCL**

ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	2113 SF
2113 SF x 1/300	6.97 SF
6.97 SF x 144 SQ. IN.	REQ TOTAL VENT: 1004.1 IN.
HIGH VENTING (34) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	612 SQ. IN.
LOW VENTING (50) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	450 SQ. IN.
TOTAL FREE AREA PROVIDED	1062 SQ. IN.

**PORCH/GARAGE ROOF FCL**

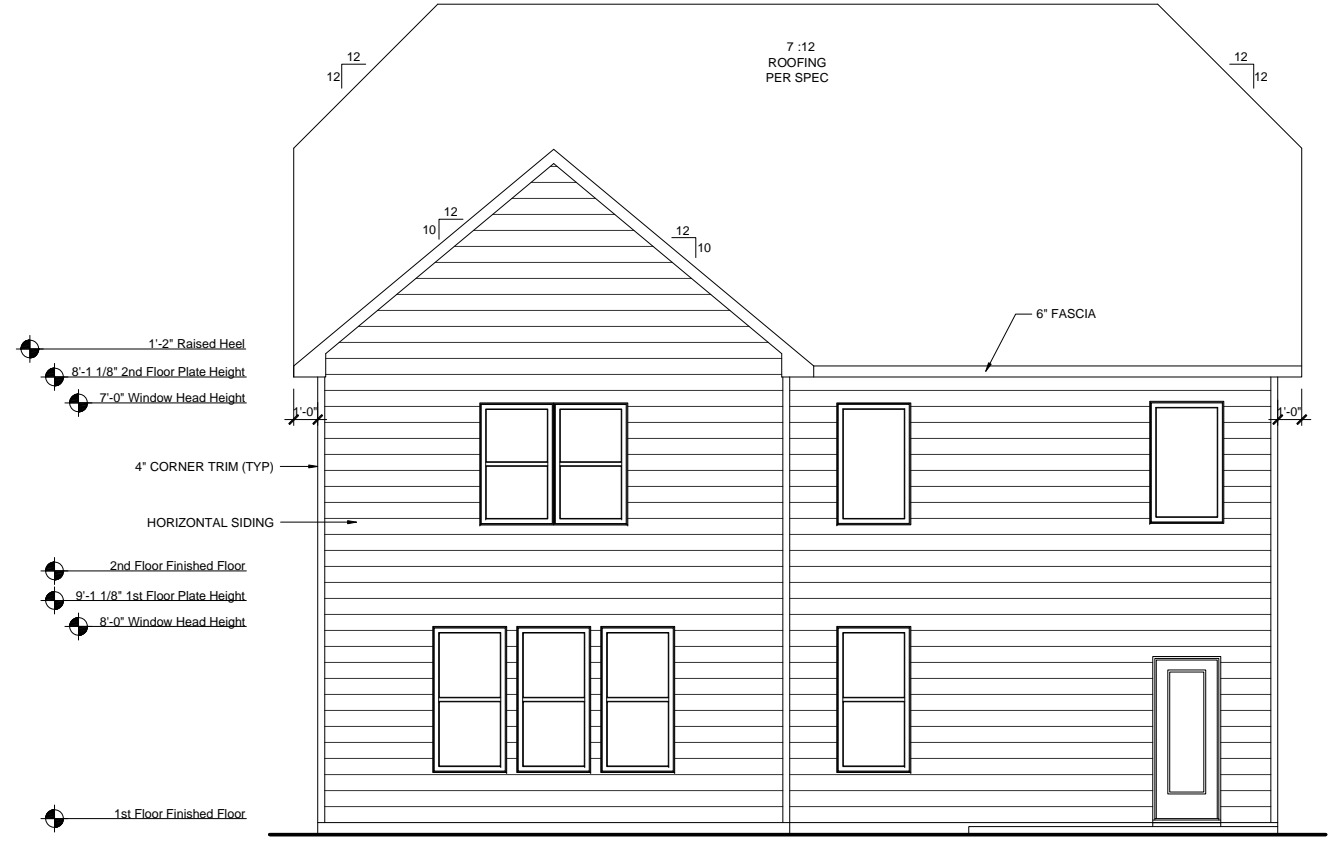
ATTIC VENT CALCULATION	
ATTIC SQUARE FOOTAGE =	208 SF
208 SF x 1/300	.69 SF
.69 SF x 144 SQ. IN.	REQ TOTAL VENT: 98.8 IN.
HIGH VENTING (0) RIDGE VENTS x 18 SQ. IN. PER LINEAL FT	0 SQ. IN.
LOW VENTING (12) SOFFIT VENTS x 9 SQ. IN. PER LINEAL FT	108 SQ. IN.
TOTAL FREE AREA PROVIDED	108 SQ. IN.



**FRONT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION - FCL on CRAWLSPACE**  
 SCALE: 3/32"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 3/16"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

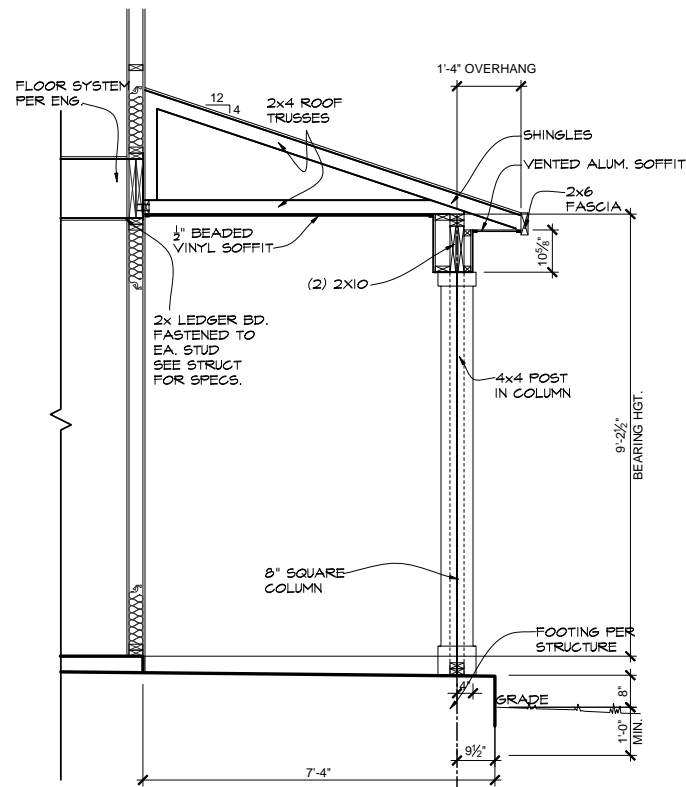
REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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**RLH V567 3.2**  
**Elevation Plans**  
**Front Elevation FCL**

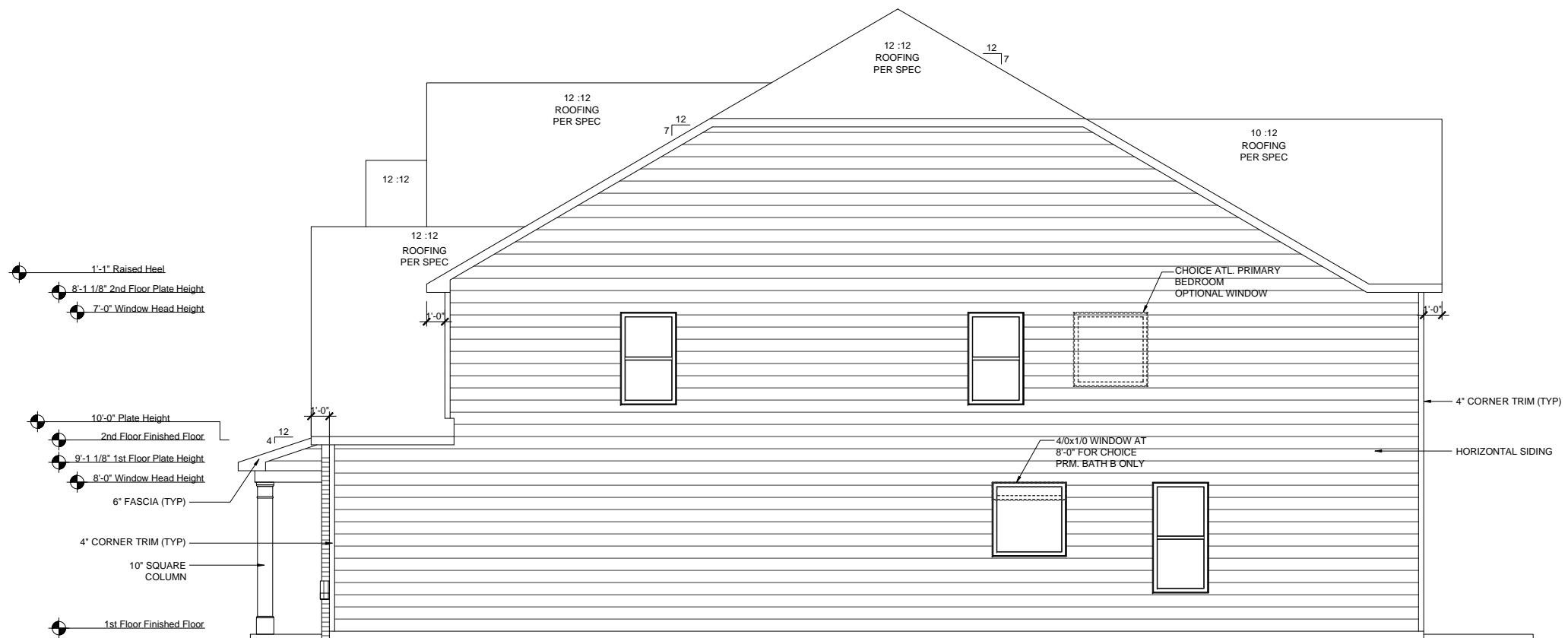
drawn by: BZH  
 checked by: SDP  
 date: 11.07.17  
 sheet number:  
**A-3.6**



**FRONT PORCH SECTION**  
 SCALE: 1/4"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/2"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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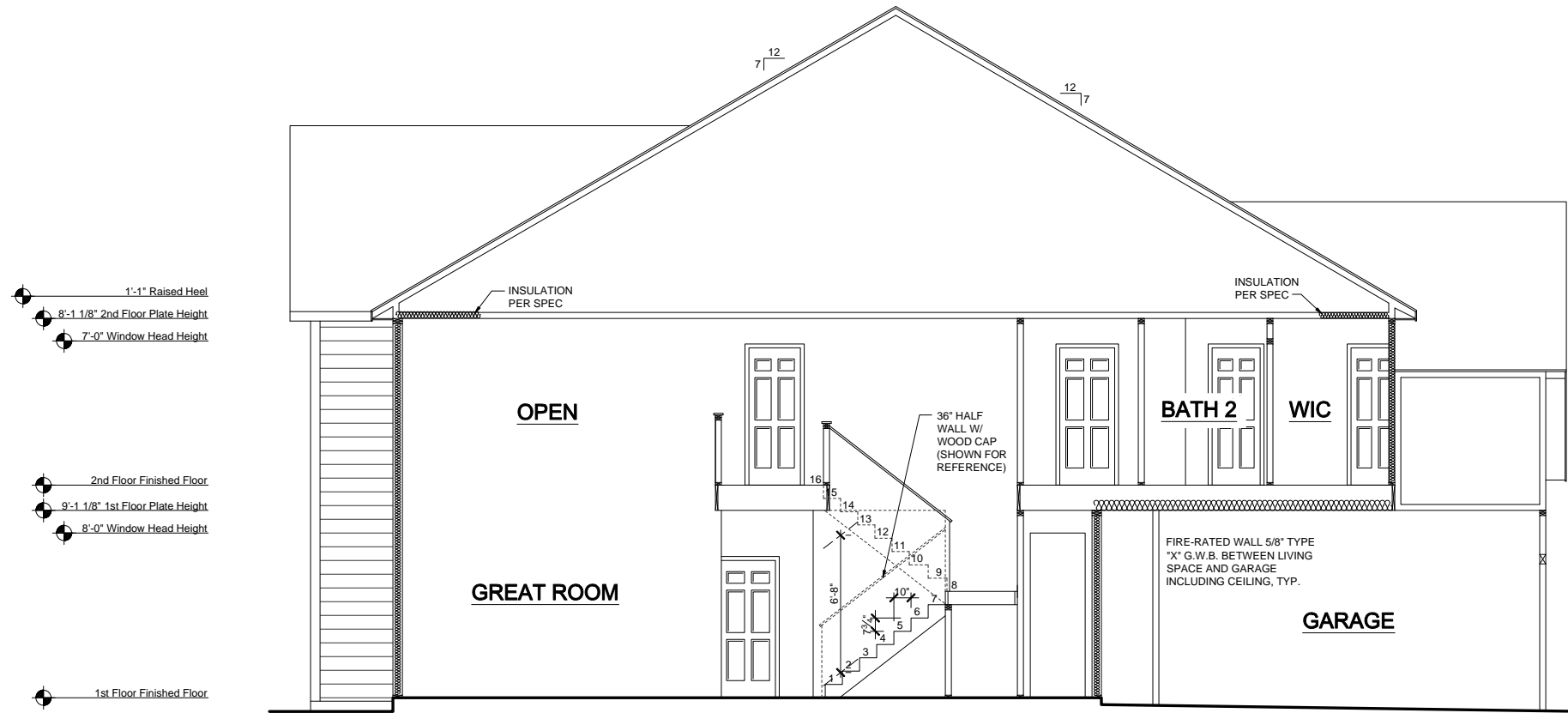
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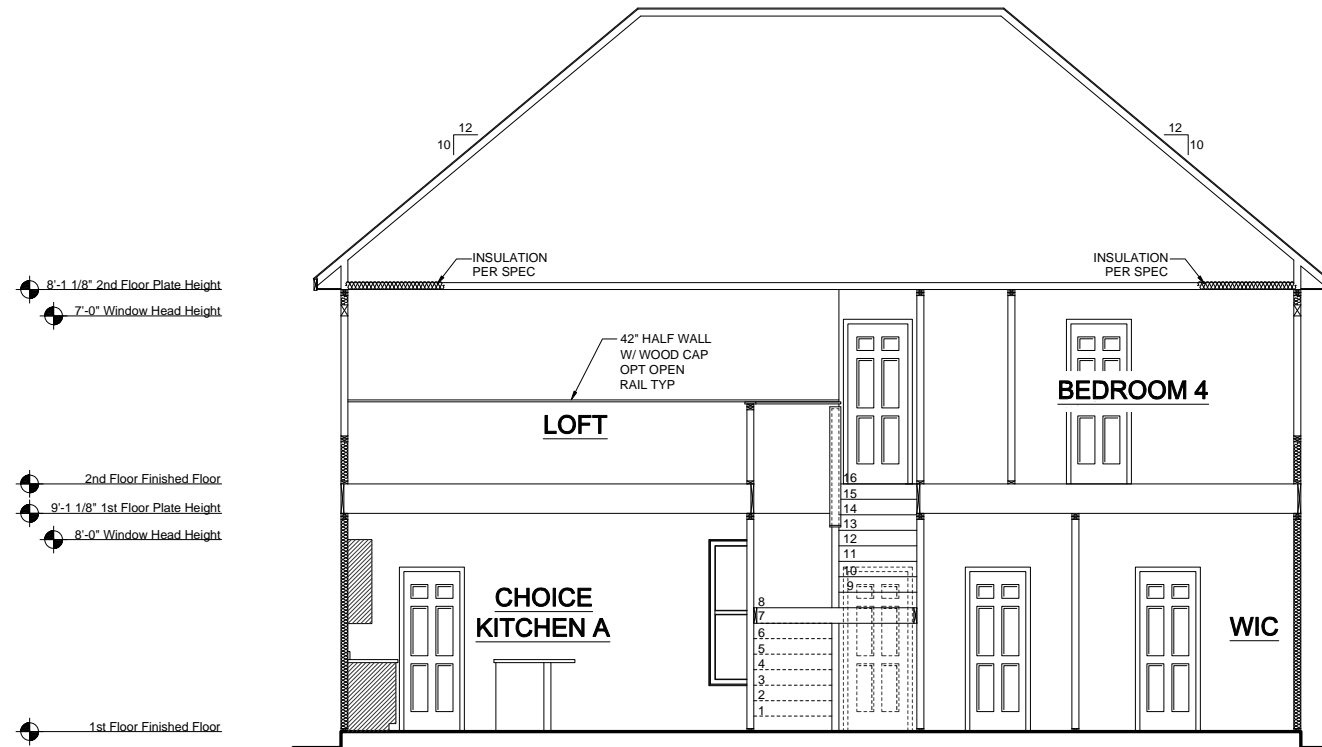
**RLH V567 3.2**  
**Elevation Plans**  
**Side Elevations FCL**

drawn by: BZH  
 checked by: SDP  
 date: 11.07.17  
 sheet number:

**A-3.7**



**SECTION 1**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**SECTION 2**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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**RLH V567 3.2**  
**Typical Sections**  
**Sections**

drawn by: BZH  
 checked by: SDP  
 date: 11.07.17  
 sheet number:

**A-4.0**



**REAR ELEVATION  
AT BASEMENT**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v3.0	08.16.19
v3.1	10.14.19
v3.2	07.22.19

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**RLH V567 3.2**  
**Structural Options**  
**Optional Basement Elevation**

drawn by: BZH  
checked by: SDP  
date: 11.07.17  
sheet number:

**O-4.0**





**BEAZER  
HOMES**

**BECKETT  
RLH V642**

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<p><b>BEAZER HOMES</b></p> <p>PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328</p> <p>PH: 770-392-2100</p>	<p><b>BEAZER HOMES</b></p> <p>RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607</p> <p>PH: 919-881-9350</p>	<p><b>MULHERN &amp; KULP ENGINEERING</b></p> <p>CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002</p> <p>PH: 770-777-0074</p>

NOTE:  
AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

NOTE:  
ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC RESIDENTIAL CODE, SPECIFICALLY:  
- GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
- ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
- GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
- DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

**ABBREVIATION LEGEND**

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan TRL
F-1.1	Slab Plan FHL
F-1.2	Slab Plan FCL
F-1.3	Slab Plan Options
F-2.0	Crawl Plan TRL
F-2.1	Crawl Plan Partial
A-1.0	First Floor Plan & Partial
A-2.0	Second Floor Plan & Partial
A-3.0	Front Elevation TRL
A-3.1	Side Elevation TRL
A-3.2	Front Elevation FHL
A-3.3	Side Elevation FHL
A-3.4	Front Elevation FCL
A-3.5	Side Elevation FCL
A-4.0	Typical Sections
O-1.0	Choice Options
O-2.0	Floor Plan Options
O-2.1	Optional Screened Porch
E-1.0	First Floor Electrical Plan
E-2.0	Second Floor Electrical Plan
E-3.0	Option Electrical Plans
S-0.0	Structural Notes
S-1.0	1st Floor Framing Plans
S-2.0	2nd Floor Framing Plans
S-3.0	Roof Framing Plans
S-4.0	Options Framing Plans
S-5.0	Shear Transfer Details
S-5.1	Shear Transfer Details

REV.	DATE
1.1	10/11/19
1.2	02/06/20
1.3	07/23/20

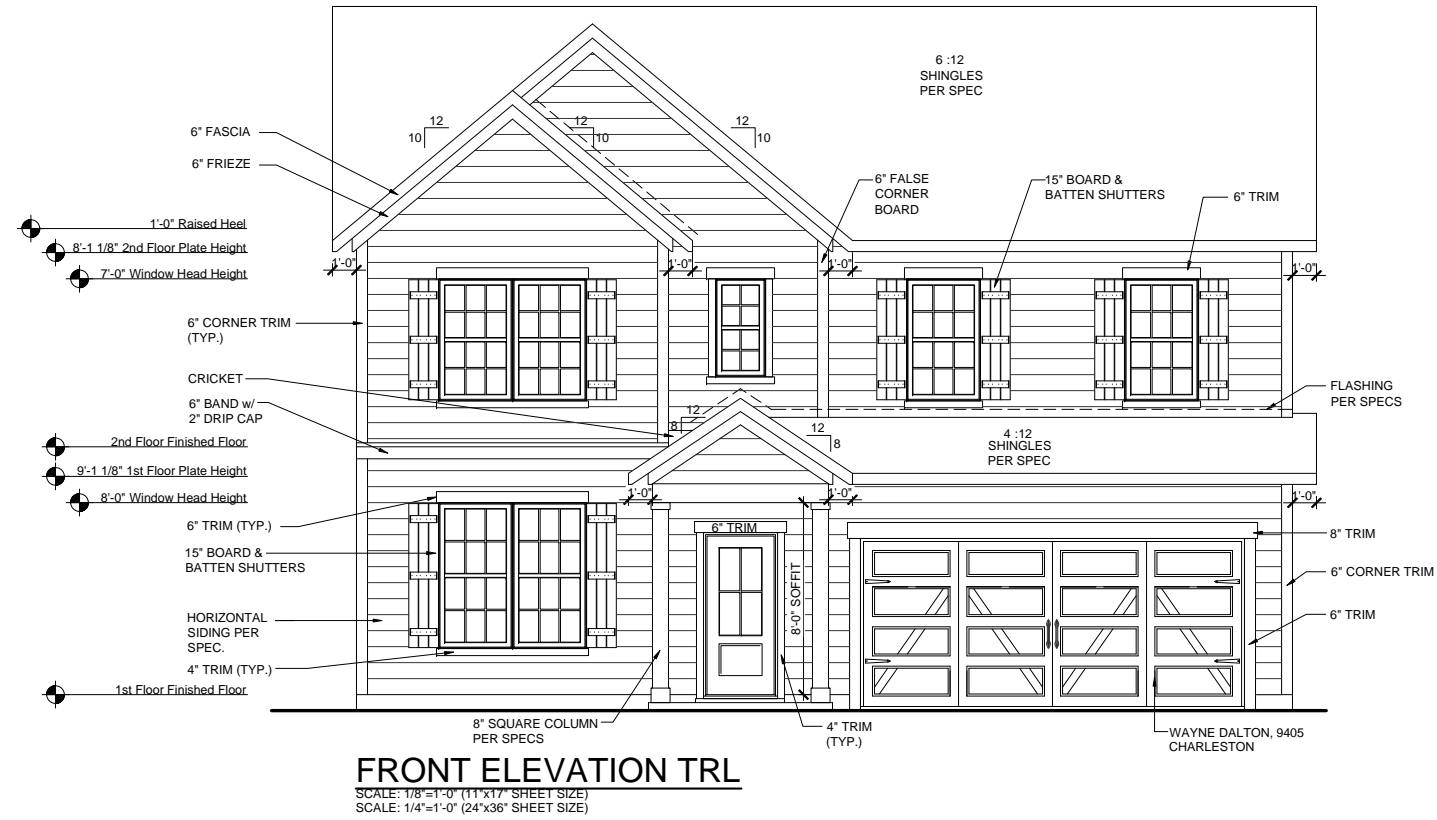
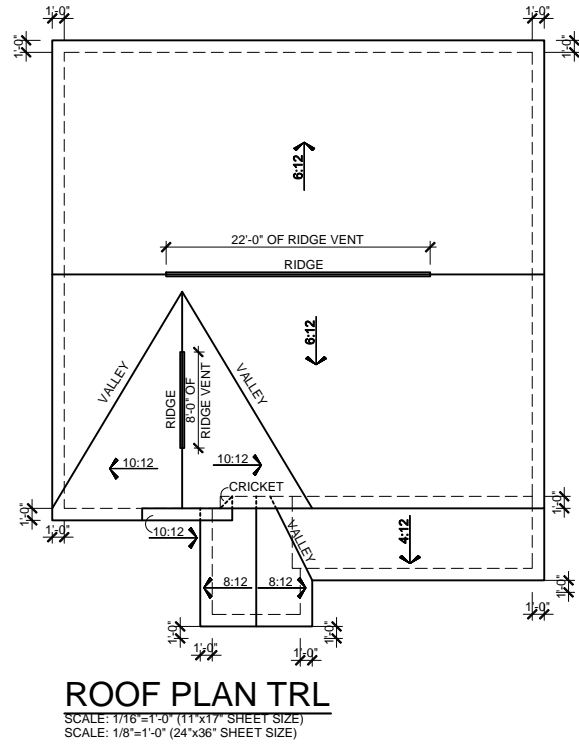
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**RLH V642 1.3**  
**Cover Sheets**  
**Cover Sheet**

drawn by: XSI  
checked by: BZH  
date: 07/24/19  
sheet number:  
**CS-1.0**



REV.	DATE
1.1	10/11/19
1.2	02/06/20
1.3	07/23/20

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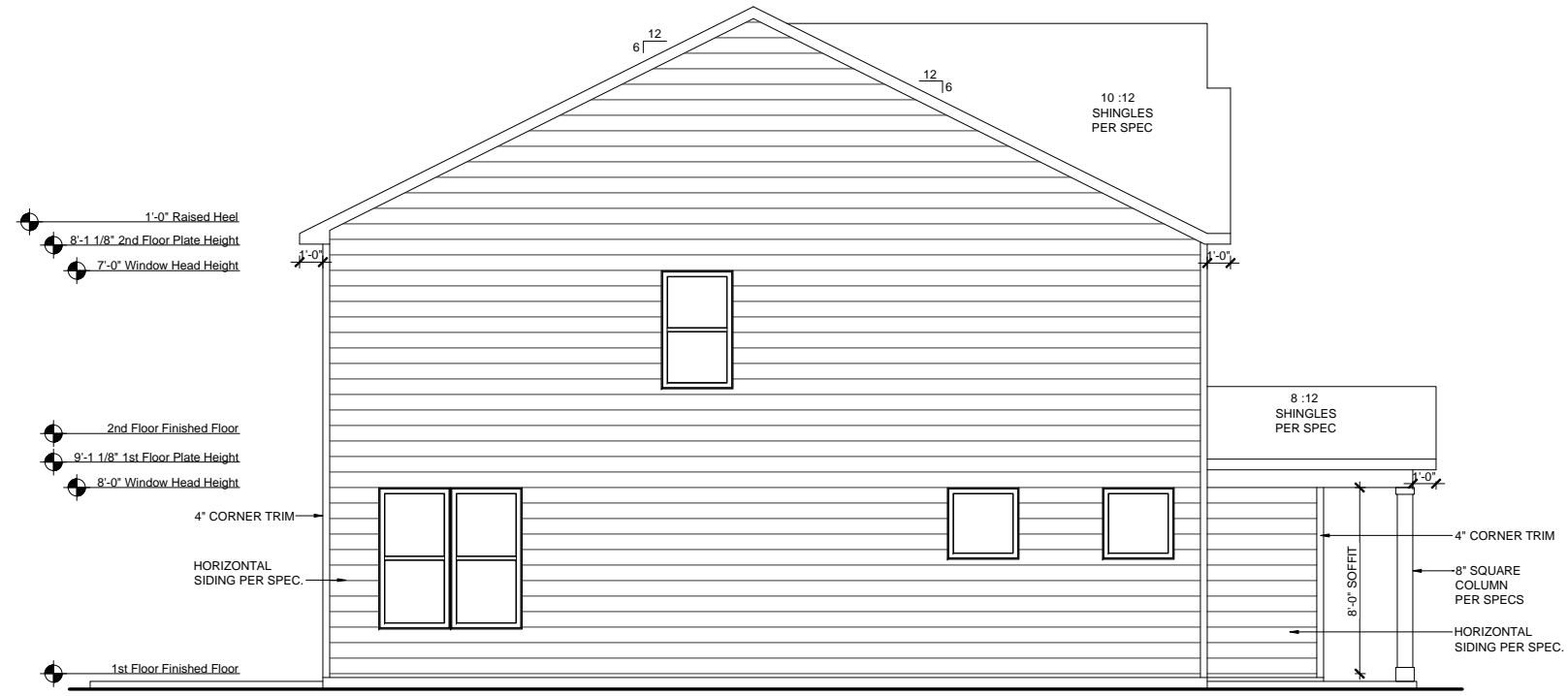
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**RLH V6421.3**  
**Elevation Plans**  
**Front Elevation TRL**

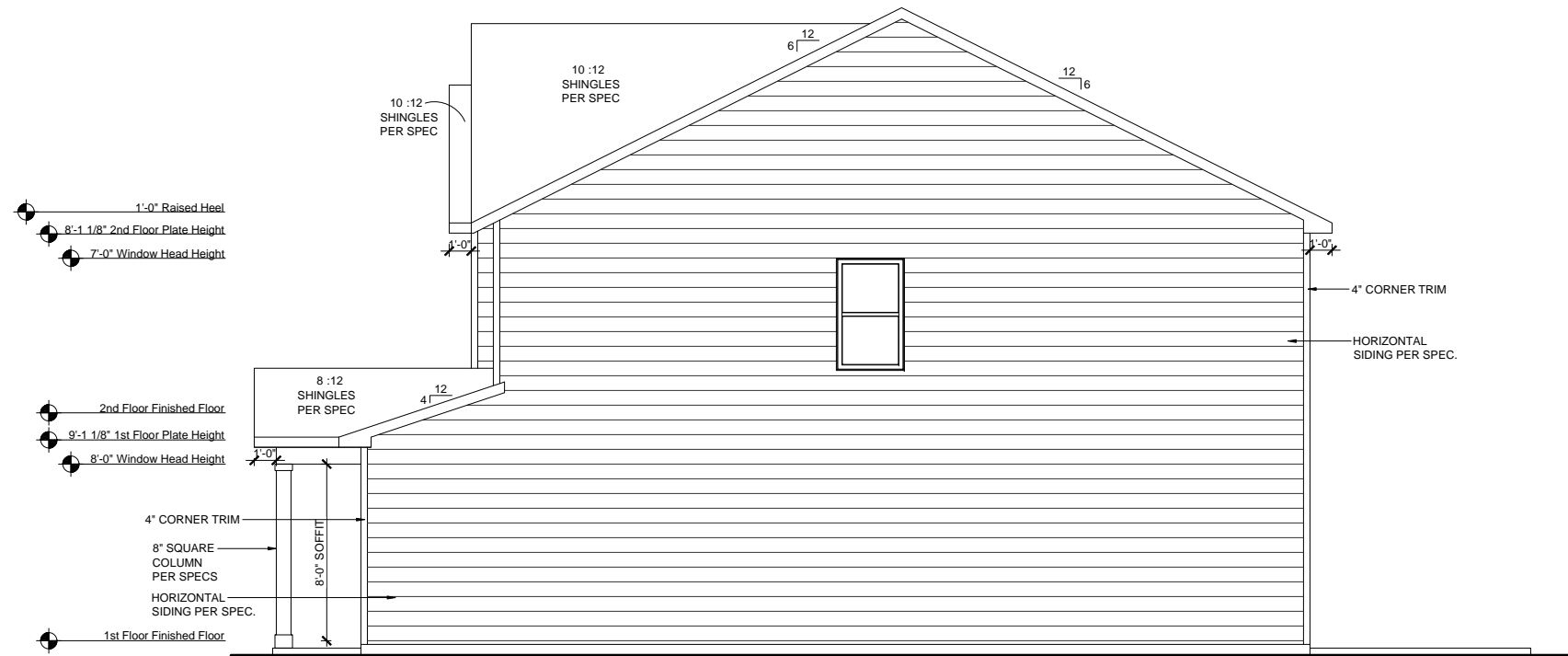
drawn by: XSI  
 checked by: BZH  
 date: 07/24/19  
 sheet number:

**A-3.0**



**LEFT ELEVATION TRL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION TRL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10/11/19
1.2	02/06/20
1.3	07/23/20

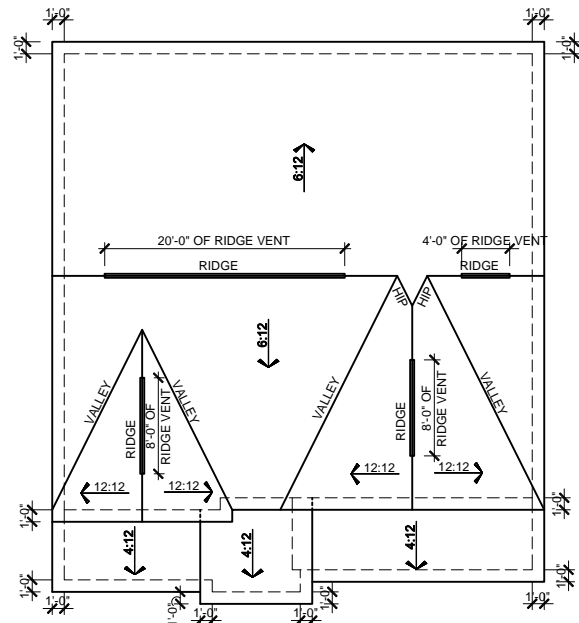
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**RLH V6421.3**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
checked by: BZH  
date: 07/24/19  
sheet number:

**A-3.1**



**ROOF PLAN FHL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FHL**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 1456 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1456 \text{ SQ FT} \times 1/300) \times 144) / 2 = 349 \text{ SQ. IN.}$

349 / 18 NFA OF RIDGE VENT = 19 L.F.  
 349 / 9 NFA OF SOFFIT VENT = 39 L.F.

ACTUAL RIDGE VENT PROVIDED: 40'  
 ACTUAL SOFFIT VENT PROVIDED: 60'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE & PORCH ROOF**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 245 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((245 \text{ SQ FT} \times 1/150) \times 144) = 235 \text{ SQ. IN.}$

235 / 9 NFA OF SOFFIT VENT = 26 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 39'

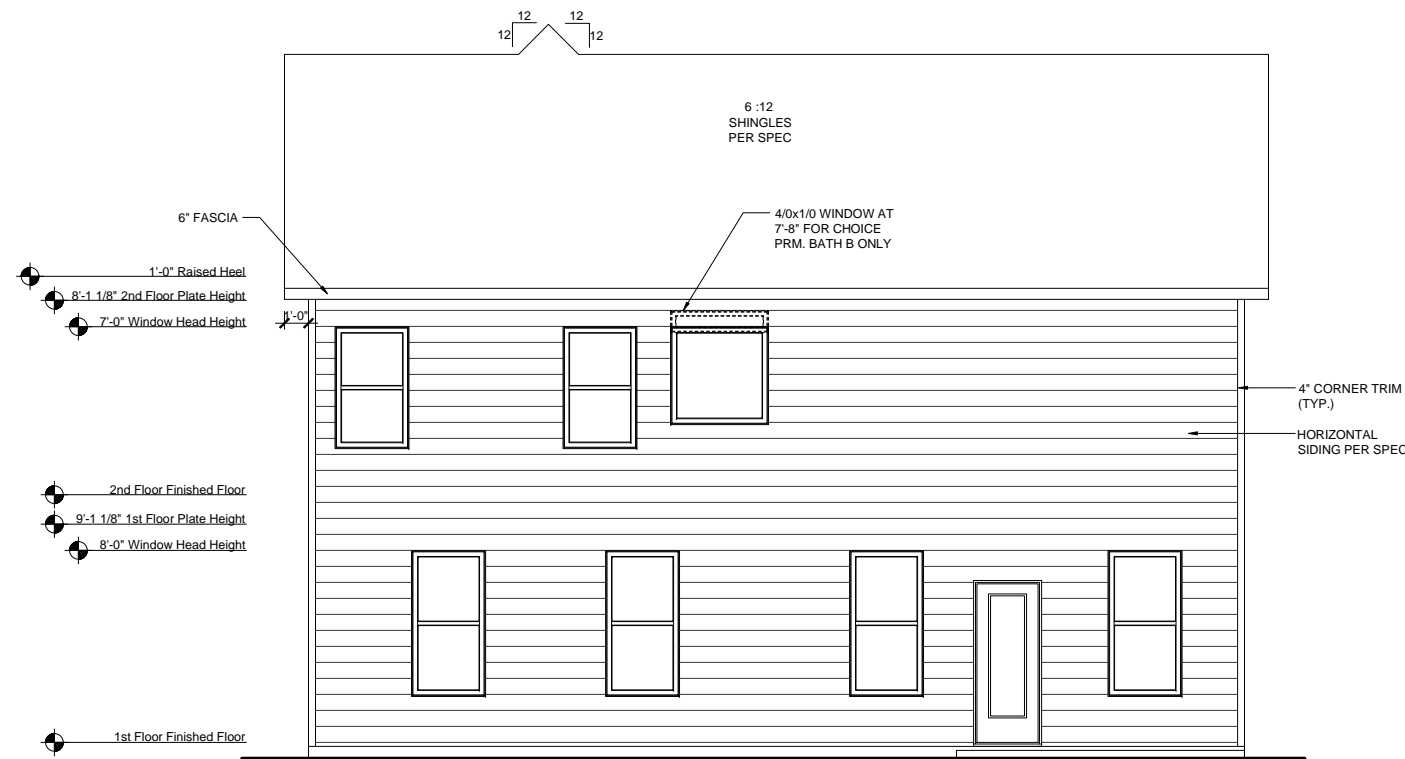
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION FHL on CRAWL SPACE**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

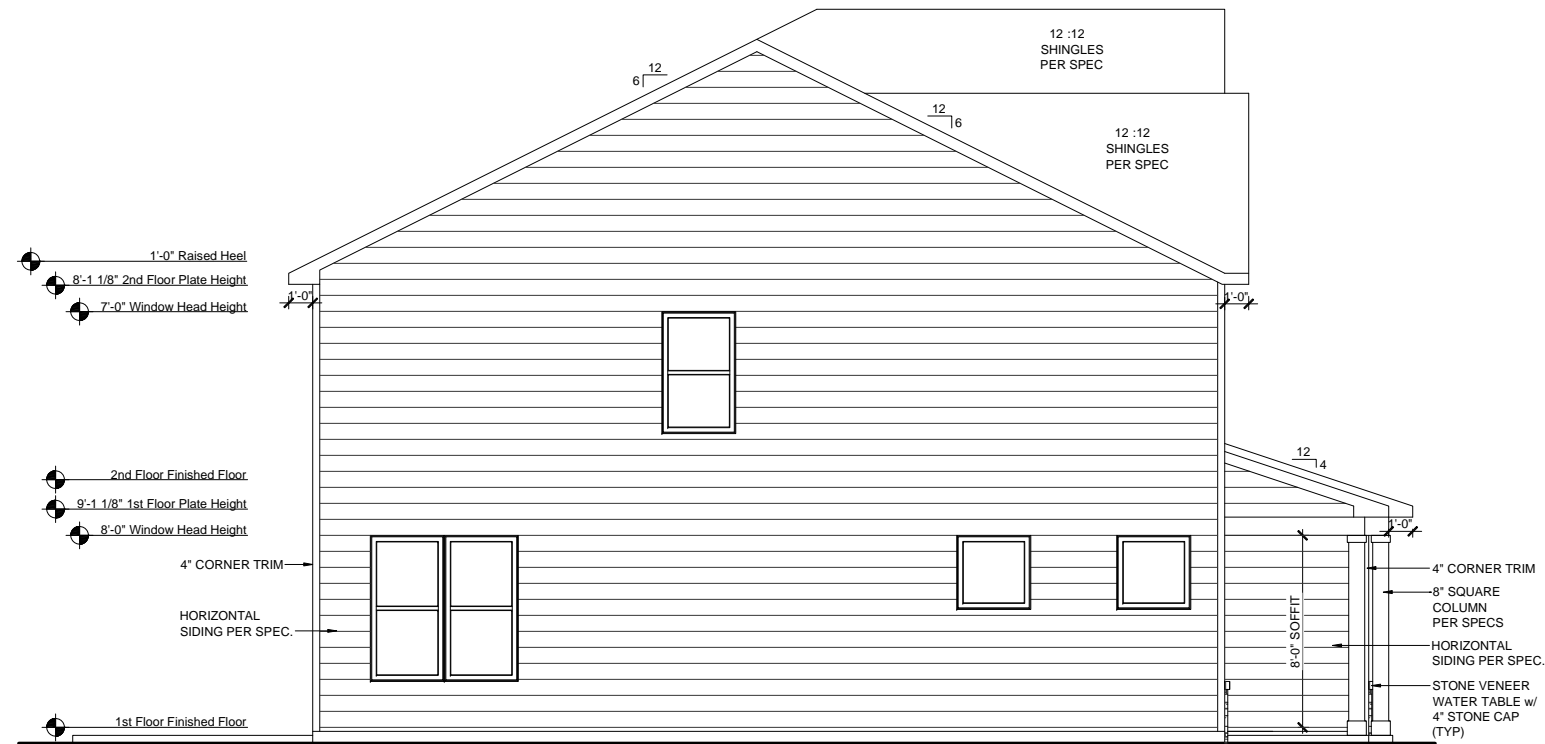
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1.2	02/06/20
1.3	07/23/20

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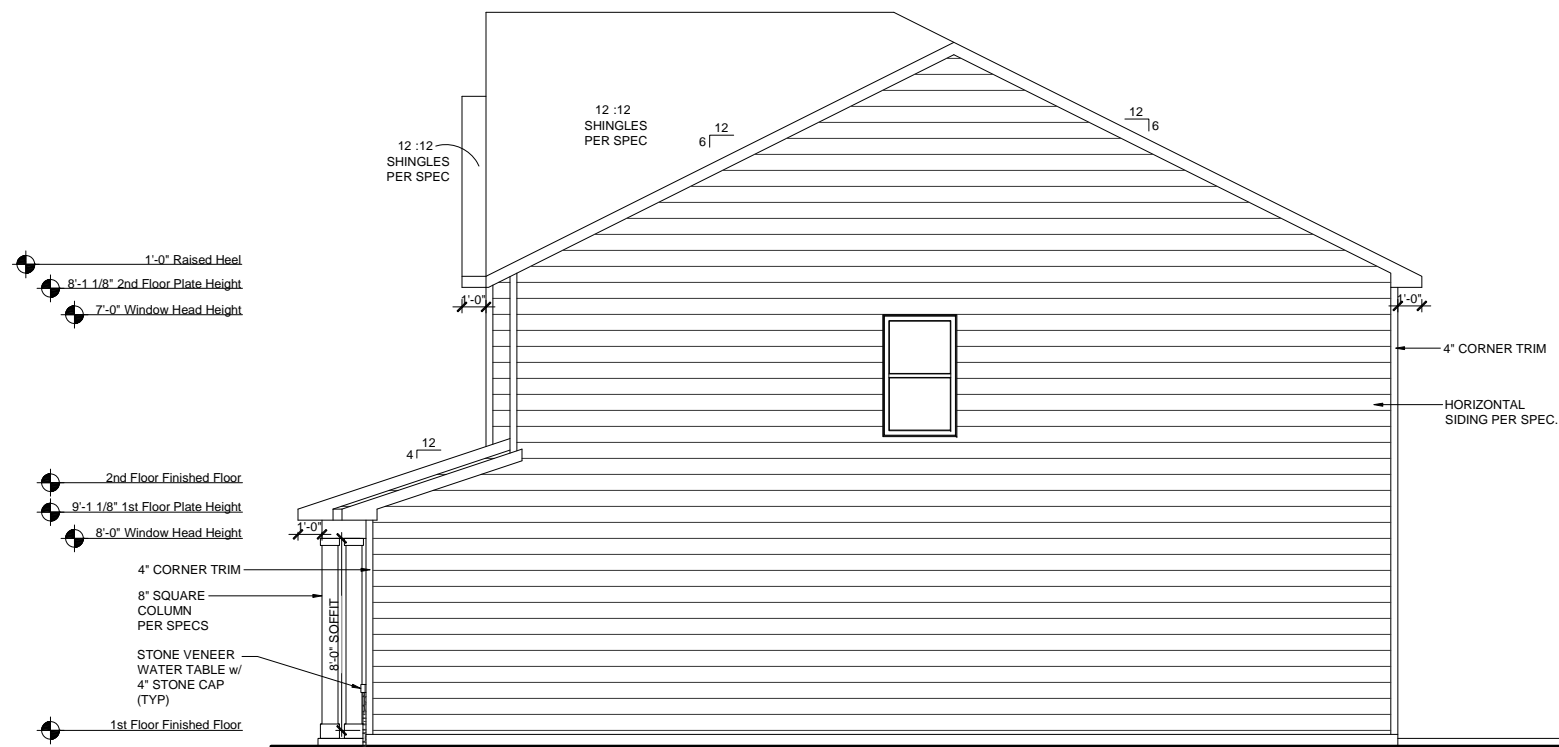
**RLH V6421.3**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 07/24/19  
 sheet number:  
**A-3.2**



**LEFT ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

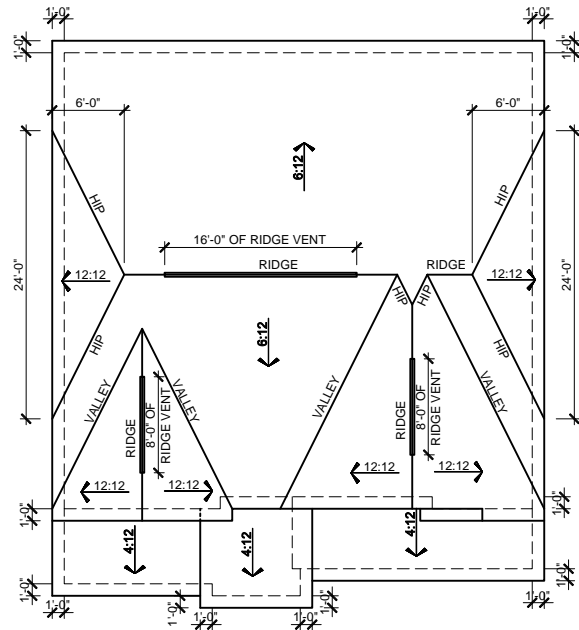
REV.	DATE
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1.2	02/06/20
1.3	07/23/20

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**RLH V6421.3**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: XSI  
checked by: BZH  
date: 07/24/19  
sheet number:  
**A-3.3**



**ROOF PLAN FCL**

SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FCL**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 1464 SQ. FT.  
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1464 \text{ SQ. FT.} \times 1/300) \times 144) / 2 = 351 \text{ SQ. IN.}$

351 / 18 NFA OF RIDGE VENT = 20 L.F.  
351 / 9 NFA OF SOFFIT VENT = 39 L.F.

ACTUAL RIDGE VENT PROVIDED: 32'  
ACTUAL SOFFIT VENT PROVIDED: 93'

NOTE:  
1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE & PORCH ROOF**

**ATTIC VENT CALCULATION**

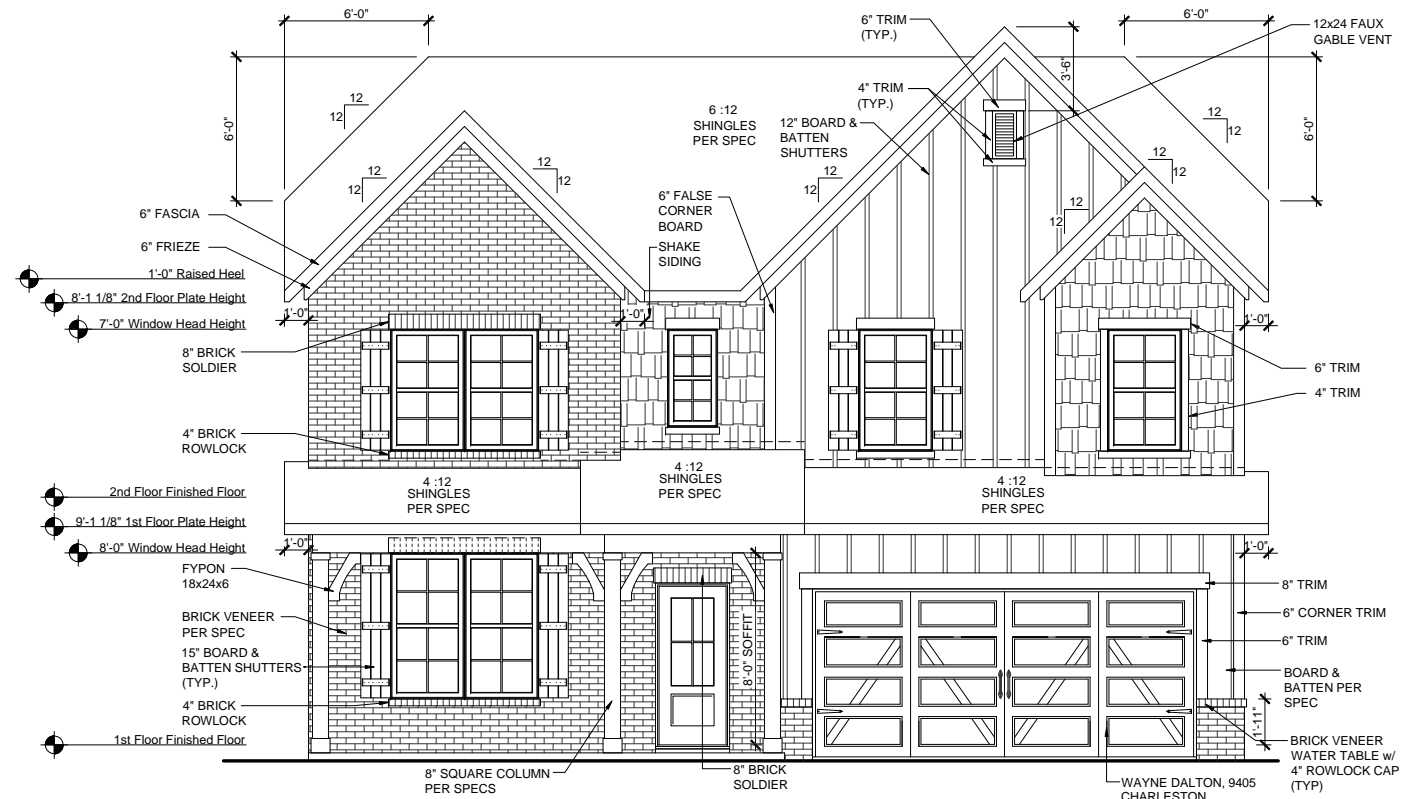
TOTAL SQ. FT. OF ROOF AREA: 245 SQ. FT.  
RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((245 \text{ SQ. FT.} \times 1/150) \times 144) = 235 \text{ SQ. IN.}$

235 / 9 NFA OF SOFFIT VENT = 26 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
ACTUAL SOFFIT VENT PROVIDED: 39'

NOTE:  
1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



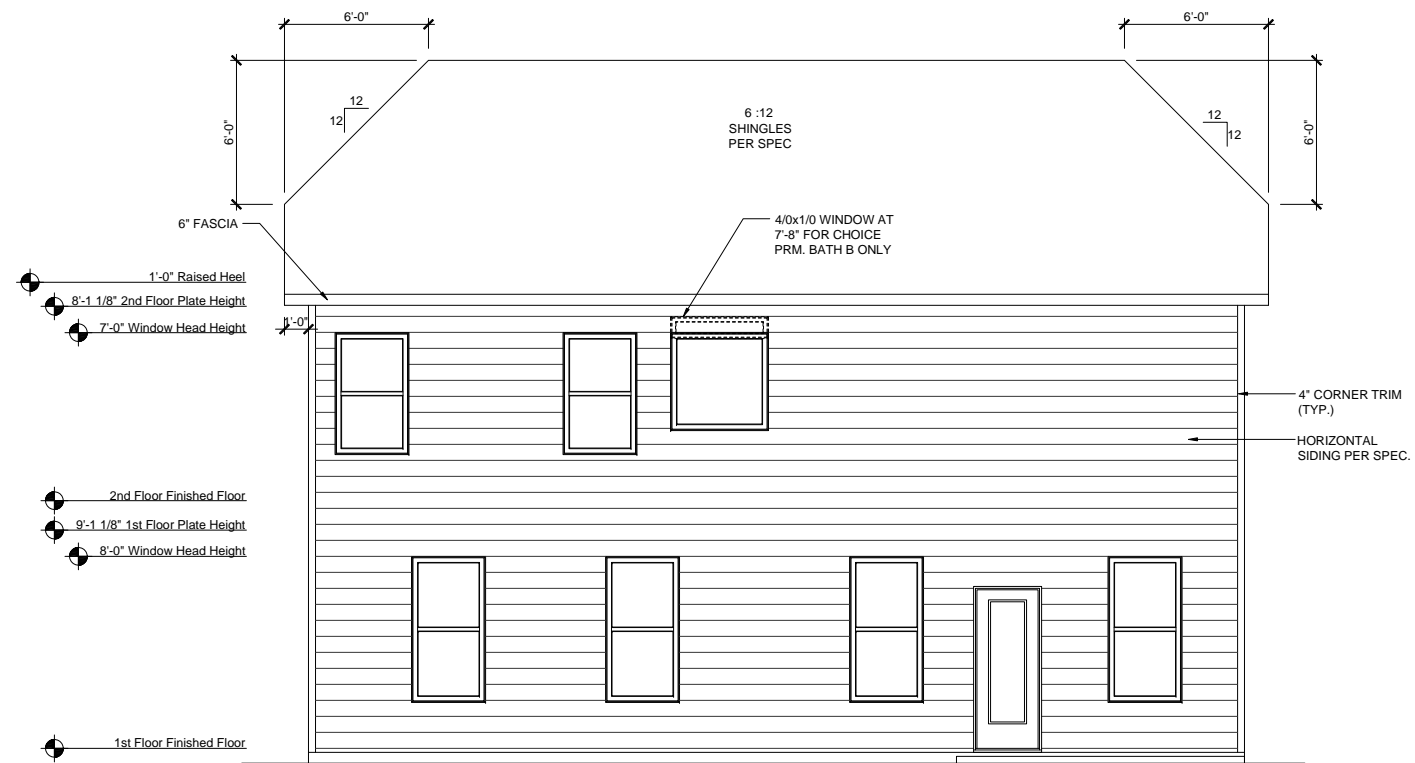
**FRONT ELEVATION FCL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION FCL on CRAWL SPACE**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FCL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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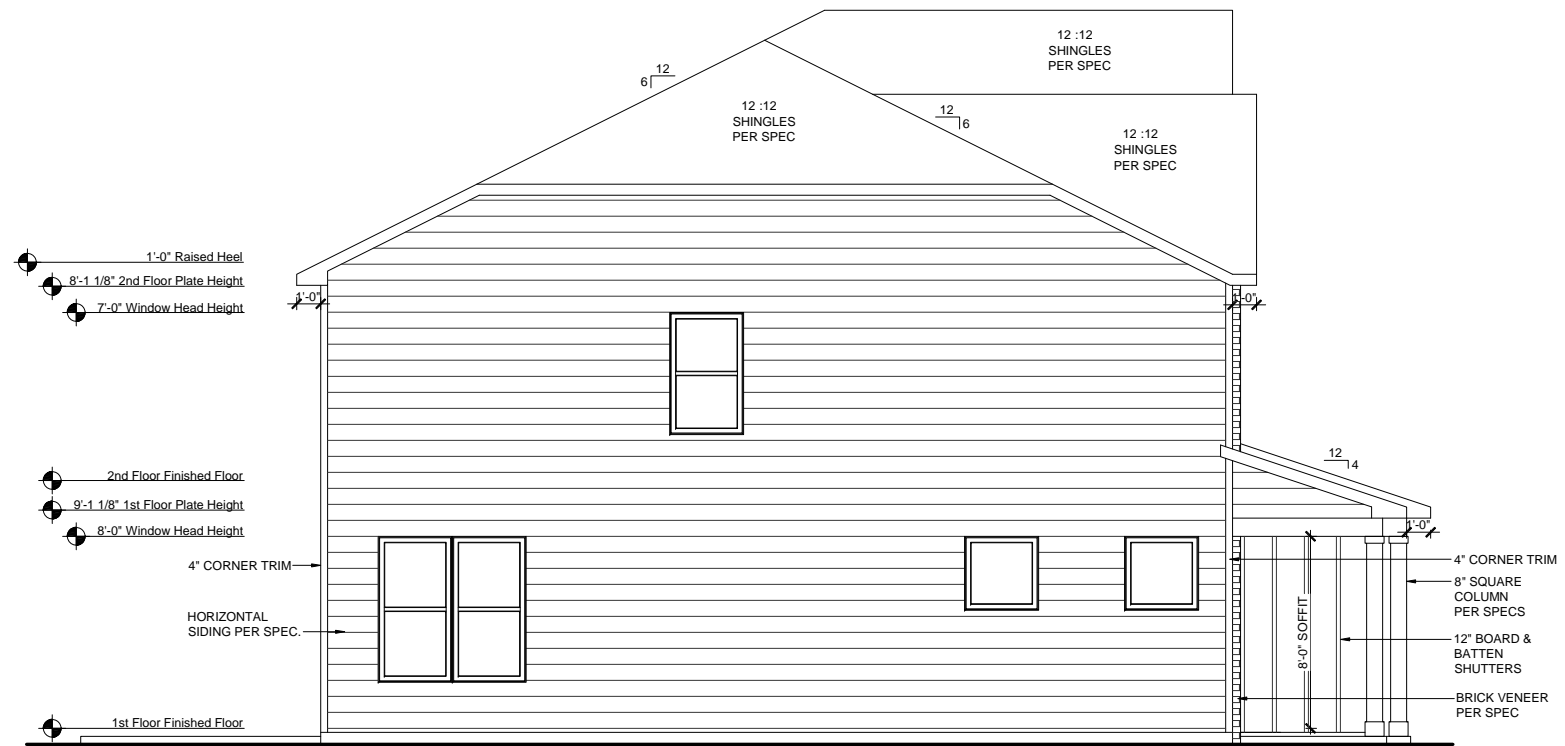
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**RLH V6421.3**  
**Elevation Plans**  
**Front Elevation FCL**

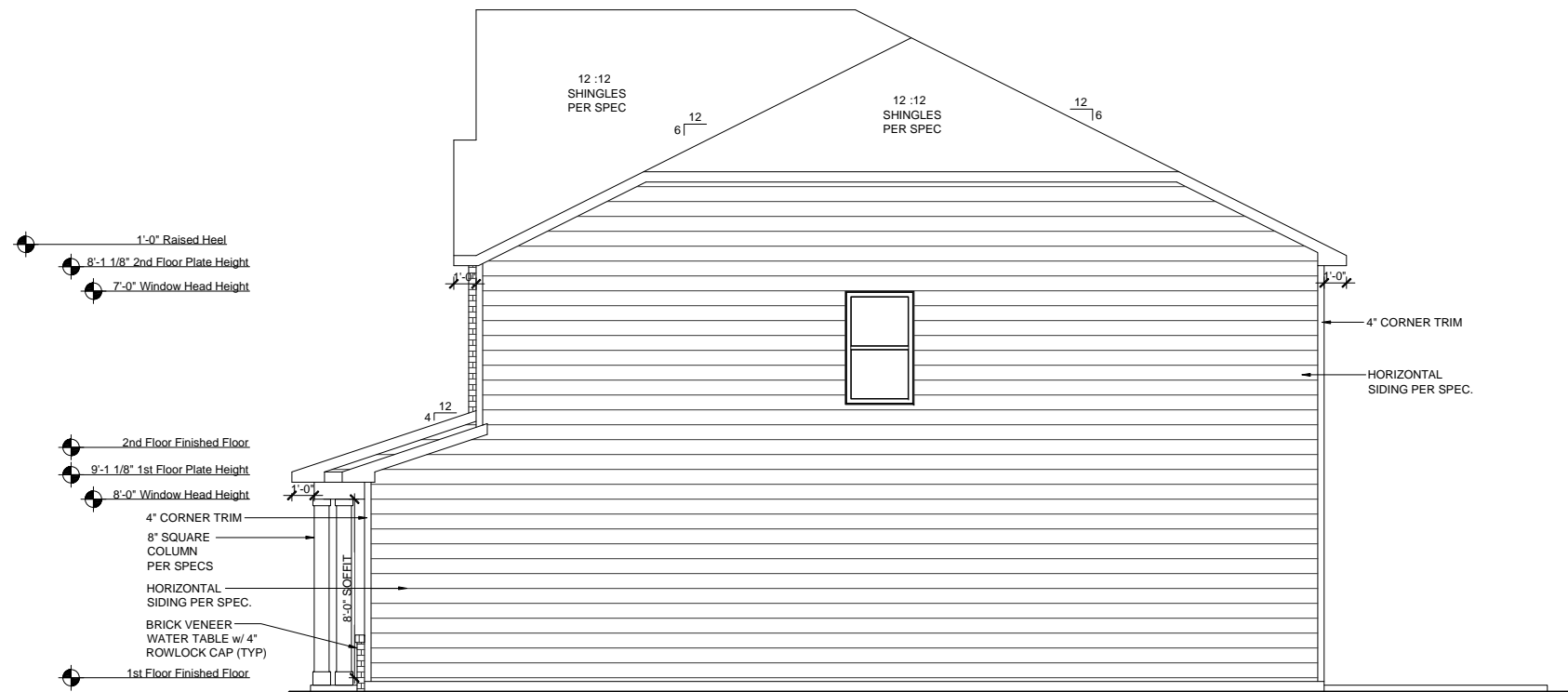
drawn by: XSI  
checked by: BZH  
date: 07/24/19  
sheet number:

**A-3.4**



**LEFT ELEVATION FCL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FCL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10/11/19
1.2	02/06/20
1.3	07/23/20

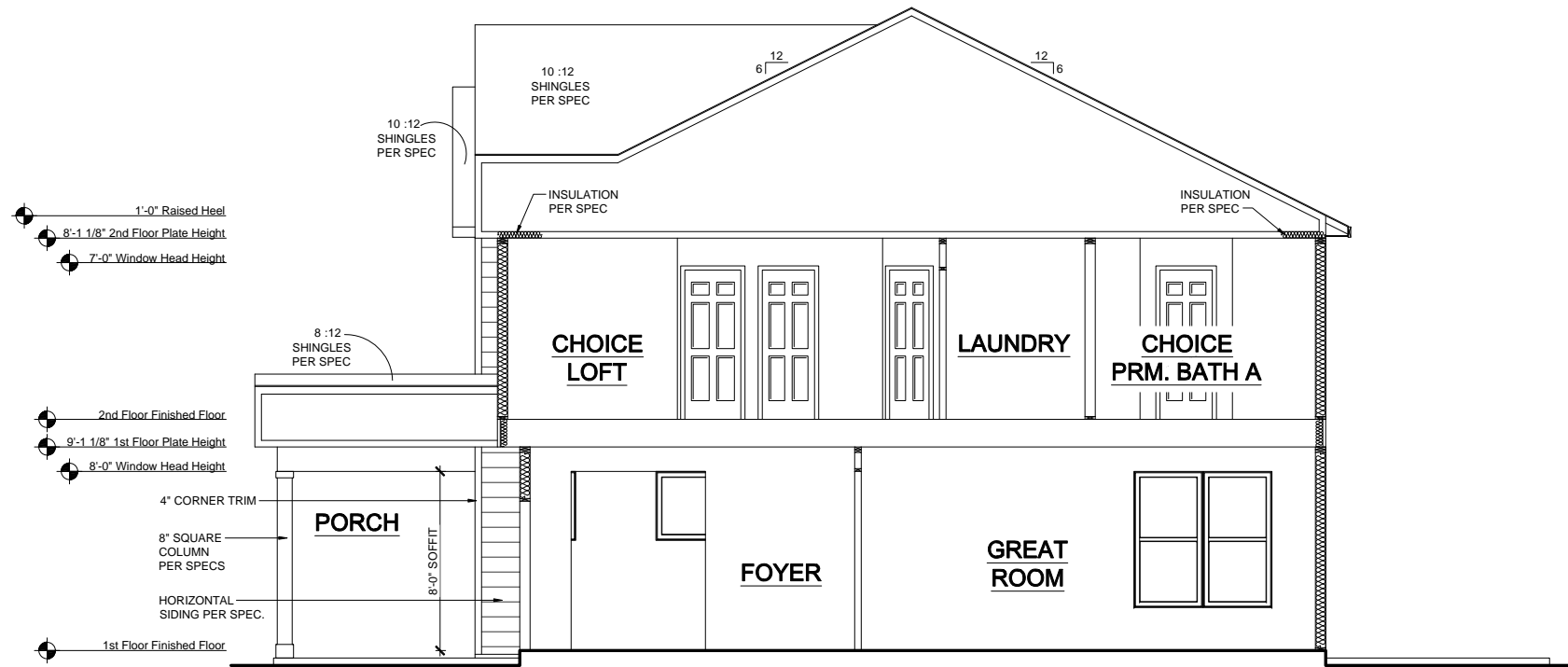
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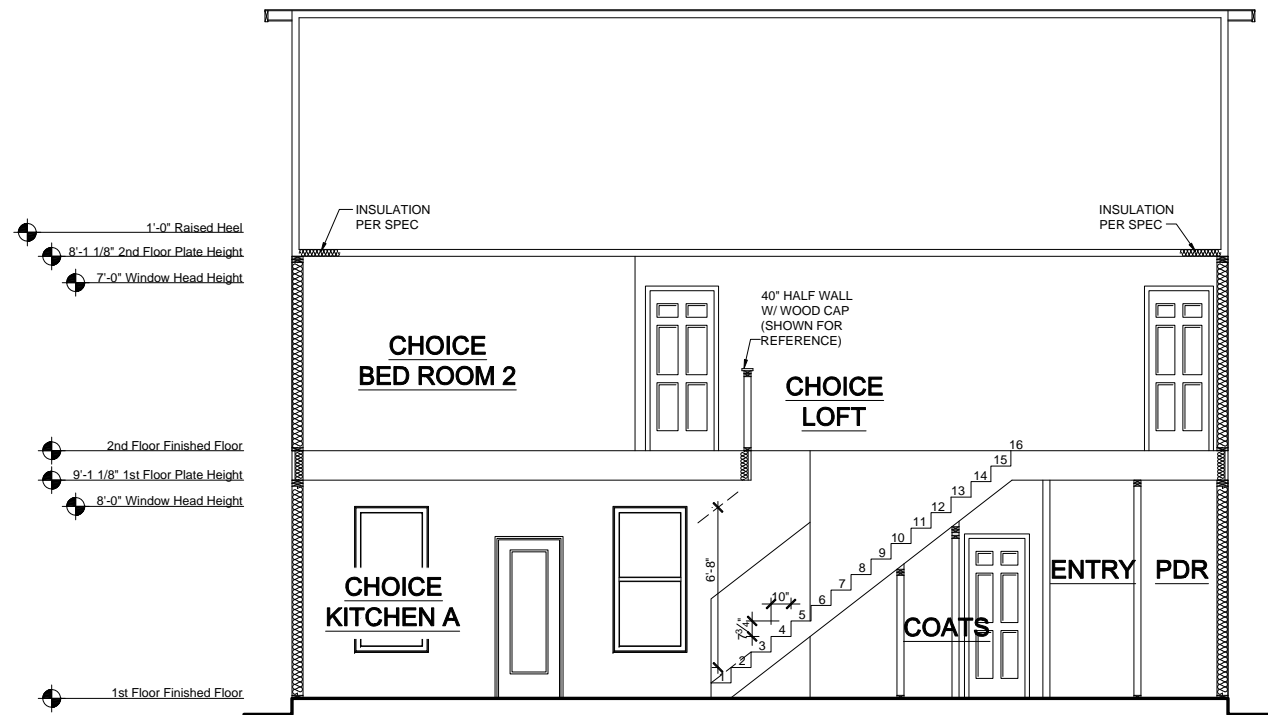
**RLH V6421.3**  
**Elevation Plans**  
**Side Elevations FCL**

drawn by: XSI  
checked by: BZH  
date: 07/24/19  
sheet number:

**A-3.5**



**SECTION 1**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**SECTION 2**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

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**RLH V642 1.3**  
**Typical Sections**  
**Sections**

drawn by: XSI  
 checked by: BZH  
 date: 07/24/19  
 sheet number:

**A-4.0**





# MILLER RLH V643

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<b>BEAZER HOMES</b>  PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328  PH: 770-392-2100	<b>BEAZER HOMES</b>  RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607  PH: 919-881-9350	<b>MULHERN &amp; KULP ENGINEERING</b>  CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002  PH: 770-777-0074

NOTE:  
AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

NOTE:  
ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC RESIDENTIAL CODE, SPECIFICALLY:  
 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan TRL
F-1.1	Slab Plan FHL
F-1.2	Slab Plan FCL
F-1.3	Slab Plan Options
F-2.0	Crawl Plan TRL
F-2.1	Crawl Plan Partials
F-3.0	Finished Basement Plan TRL
F-3.1	Finished Basement Plan Partials
A-1.0	First Floor Plan & Partials
A-2.0	Second Floor Plan & Partials
A-3.0	Front Elevation TRL
A-3.1	Side Elevation TRL
A-3.2	Front Elevation FHL
A-3.3	Side Elevation FHL
A-3.4	Front Elevation FCL
A-3.5	Side Elevation FCL
A-4.0	Typical Sections
A-4.1	Typical Sections
O-1.0	Choice Options
O-2.0	Floor Plan Options
O-2.1	Optional Screened Porch
O-3.0	Optional Basement Elevation
E-1.0	First Floor Electrical Plan
E-2.0	Second Floor Electrical Plan
E-3.0	Option Electrical Plans
E-4.0	Basement Electrical Plan
S-0.0	Structural Notes
S-1.0	1st Floor Framing Plans
S-2.0	2nd Floor Framing Plans
S-3.0	Roof Framing Plans
S-4.0	Options Framing Plans
S-5.0	Shear Transfer Details
S-5.1	Shear Transfer Details

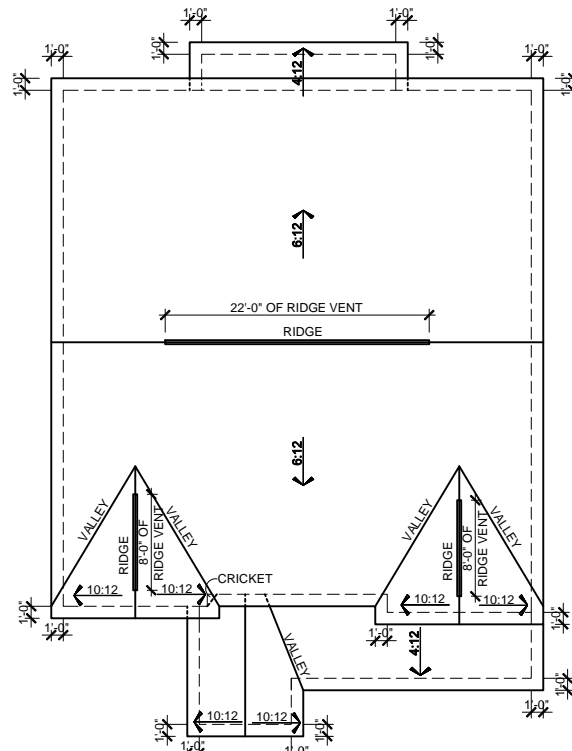
REV.	DATE
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1.3	07-22-20

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**RLH V643 1.3**  
**Cover Sheets**  
**Cover Sheet**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:  
**CS-1.0**



**ROOF PLAN TRL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF TRL**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 1668 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1668 \text{ SQ. FT.} \times 1/300) \times 144) / 2 = 400 \text{ SQ. IN.}$

$400 / 18 \text{ NFA OF RIDGE VENT} = 22 \text{ L.F.}$   
 $400 / 9 \text{ NFA OF SOFFIT VENT} = 44 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 38'  
 ACTUAL SOFFIT VENT PROVIDED: 54'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE & PORCH ROOF**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 204 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((204 \text{ SQ. FT.} \times 1/150) \times 144) = 196 \text{ SQ. IN.}$

$196 / 9 \text{ NFA OF SOFFIT VENT} = 22 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 33'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

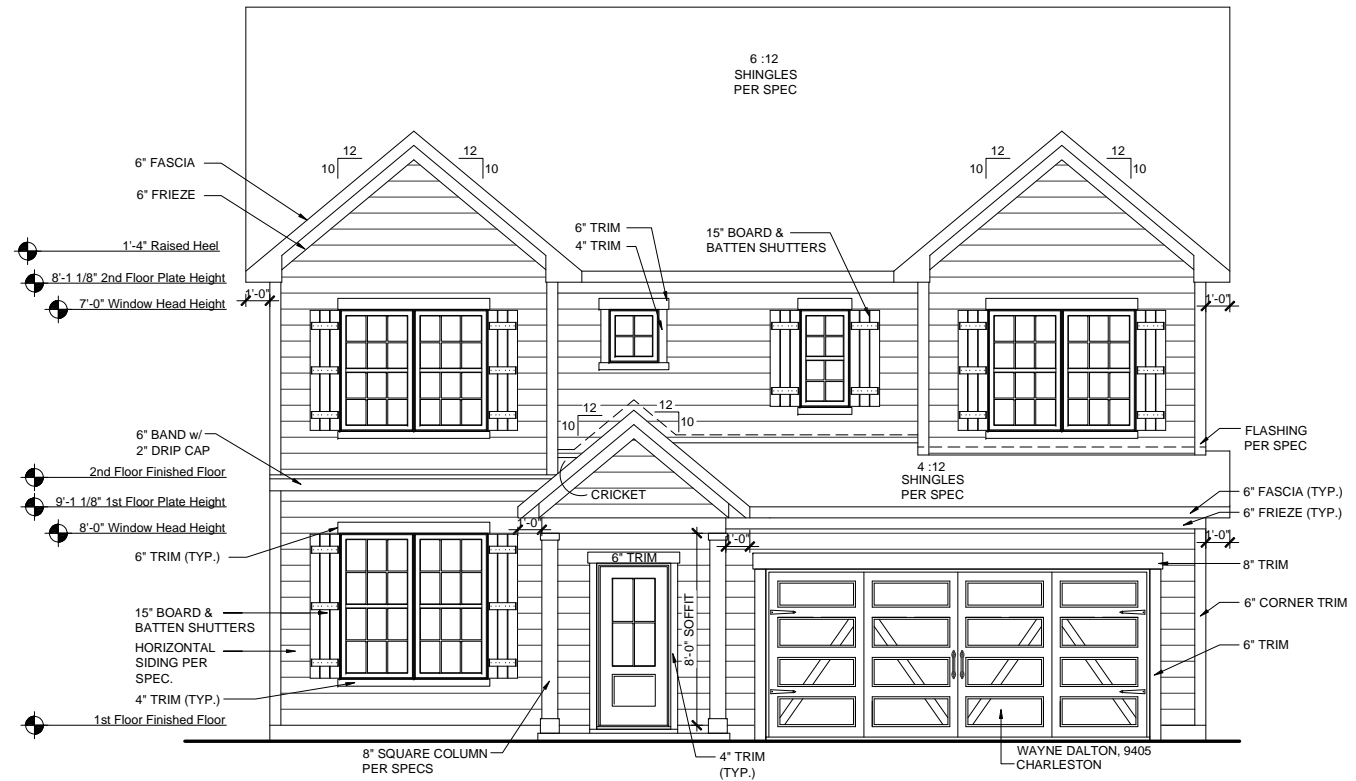
**3' EXT. GREAT ROOM**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 49 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((49 \text{ SQ. FT.} \times 1/150) \times 144) = 47 \text{ SQ. IN.}$

$47 / 9 \text{ NFA OF SOFFIT VENT} = 5 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 18'

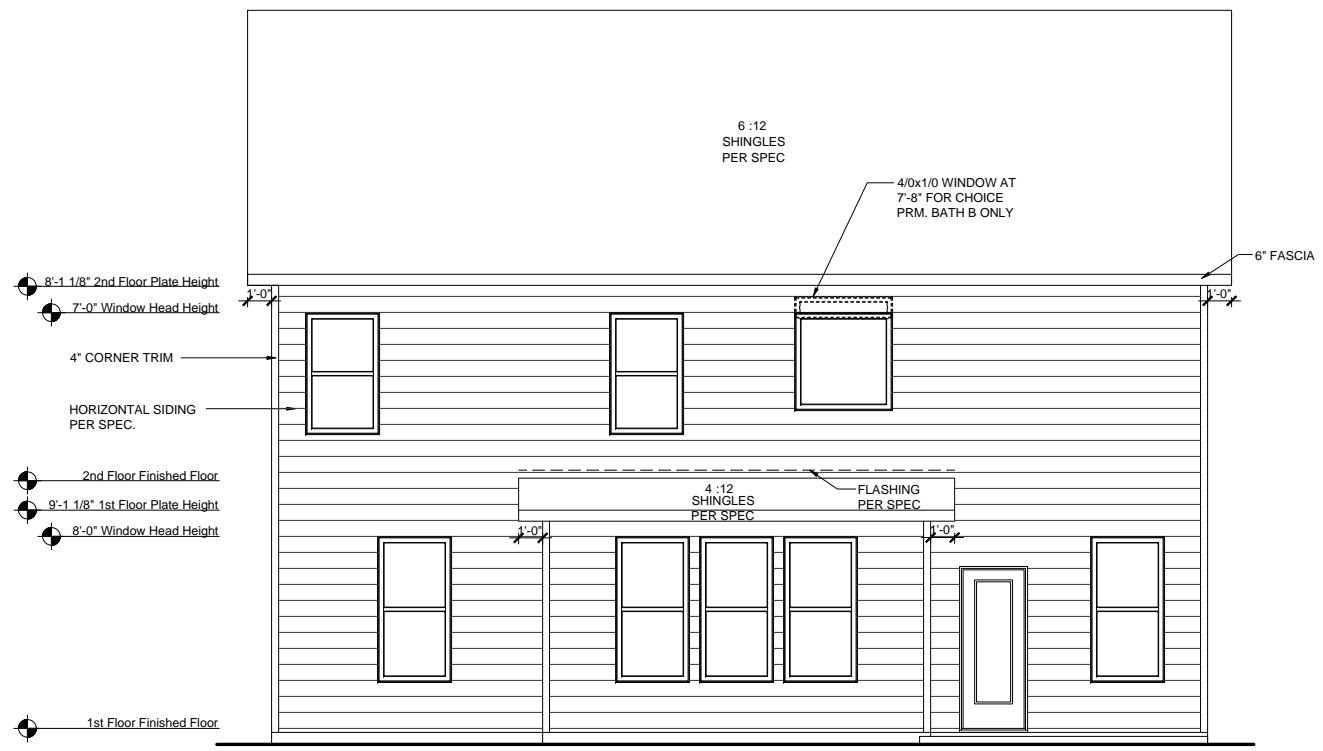
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION TRL ON CRAWL SPACE**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

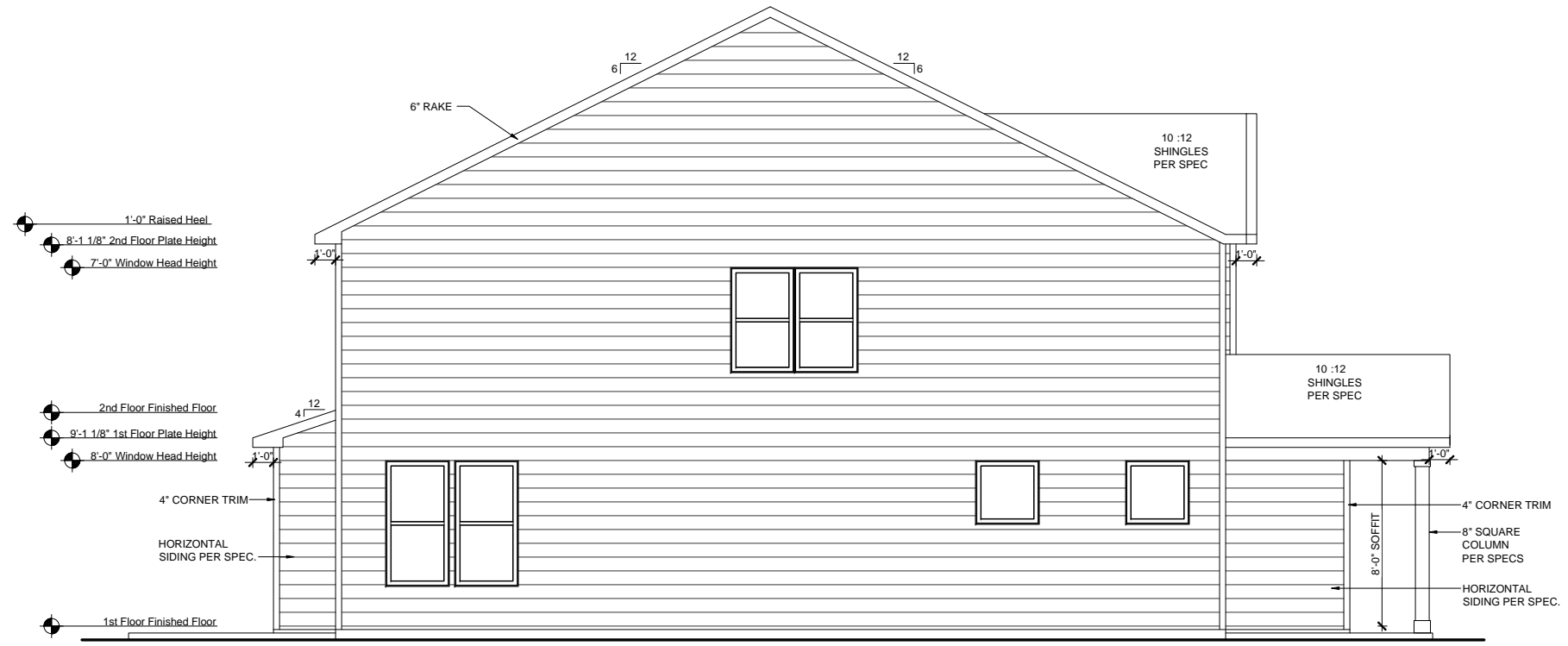
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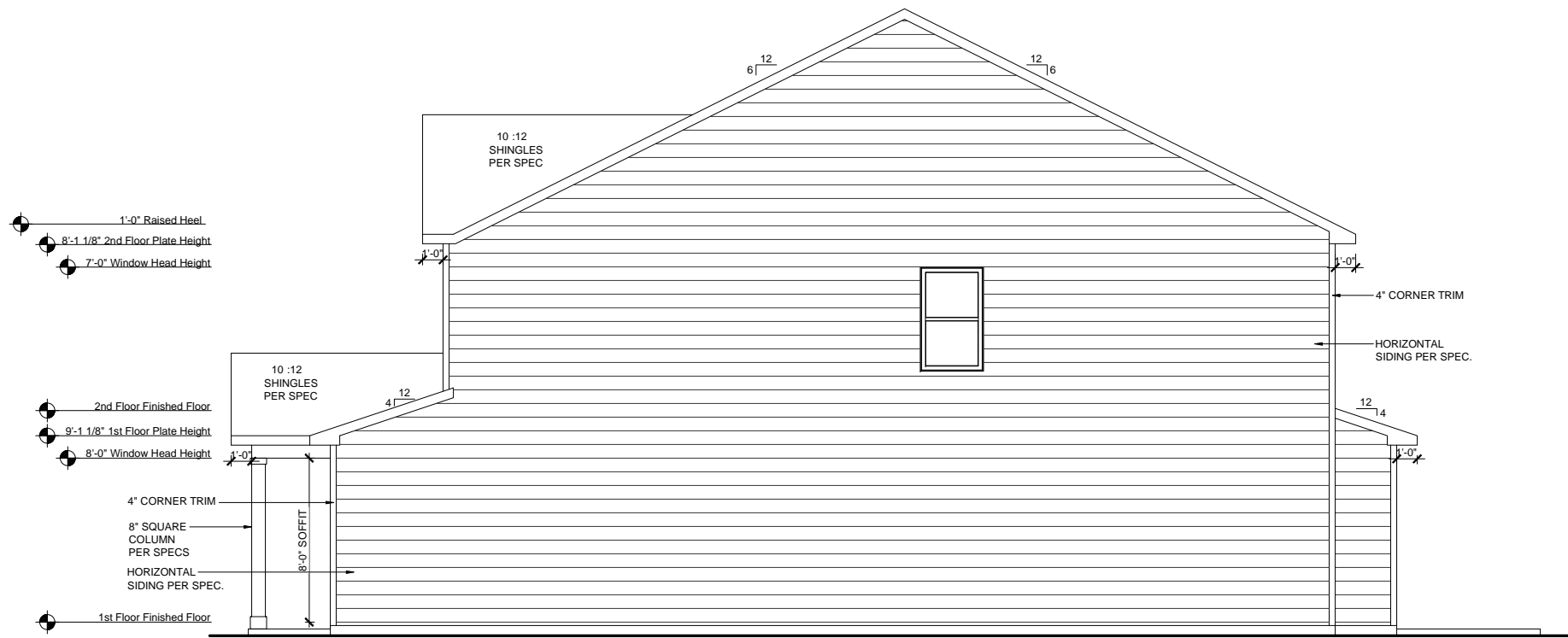
**RLH V6431.3**  
**Elevation Plans**  
**Front Elevation TRL**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:  
**A-3.0**



**LEFT ELEVATION TRL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION TRL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

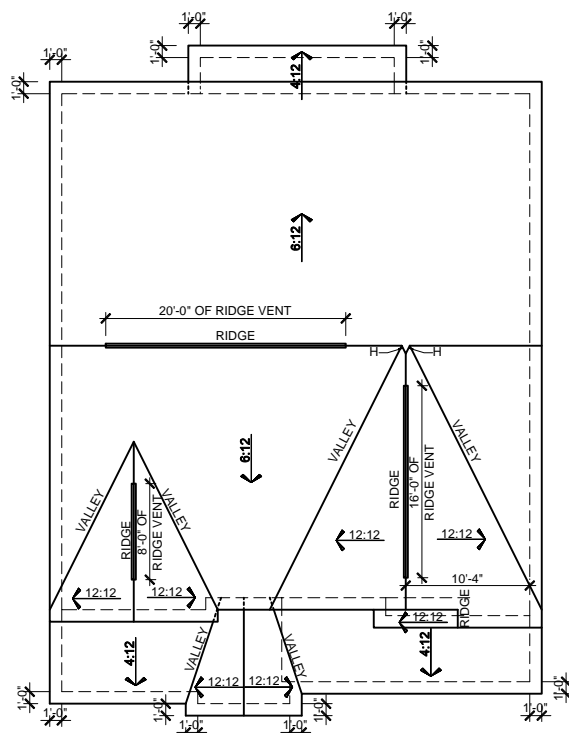
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**RLH V643 1.3**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
checked by: BZH  
date: 09/13/19  
sheet number:  
**A-3.1**



**ROOF PLAN FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FHL**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 1668 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1668 \text{ SQ FT} \times 1/300) \times 144) / 2 = 400 \text{ SQ. IN.}$

400 / 18 NFA OF RIDGE VENT = 22 L.F.  
 400 / 9 NFA OF SOFFIT VENT = 44 L.F.

ACTUAL RIDGE VENT PROVIDED: 44'  
 ACTUAL SOFFIT VENT PROVIDED: 54'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE & PORCH ROOF**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 267 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((267 \text{ SQ FT} \times 1/150) \times 144) = 256 \text{ SQ. IN.}$

256 / 9 NFA OF SOFFIT VENT = 28 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 31'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**3' EXT. GREAT ROOM**

**ATTIC VENT CALCULATION**

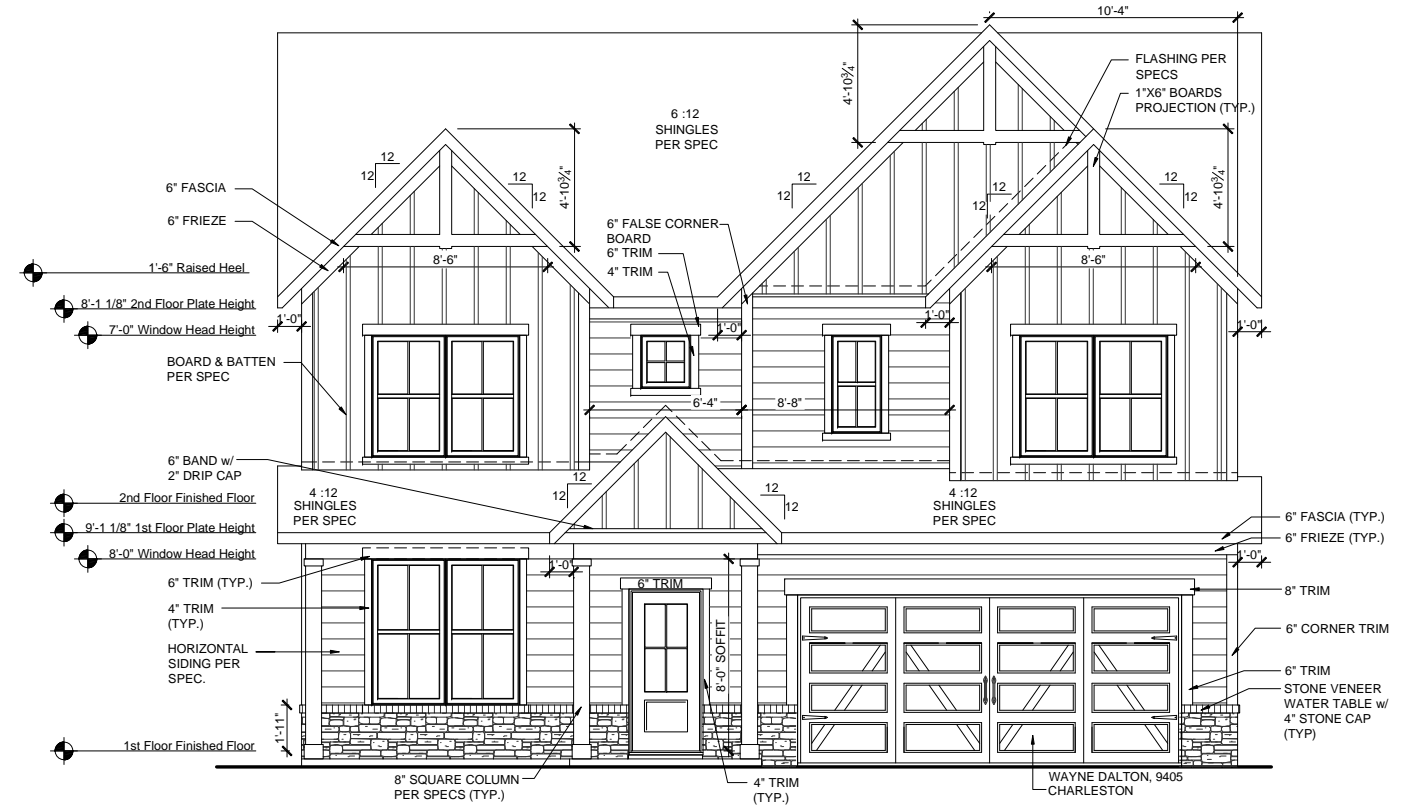
TOTAL SQ. FT. OF ROOF AREA: 49 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((49 \text{ SQ FT} \times 1/150) \times 144) = 47 \text{ SQ. IN.}$

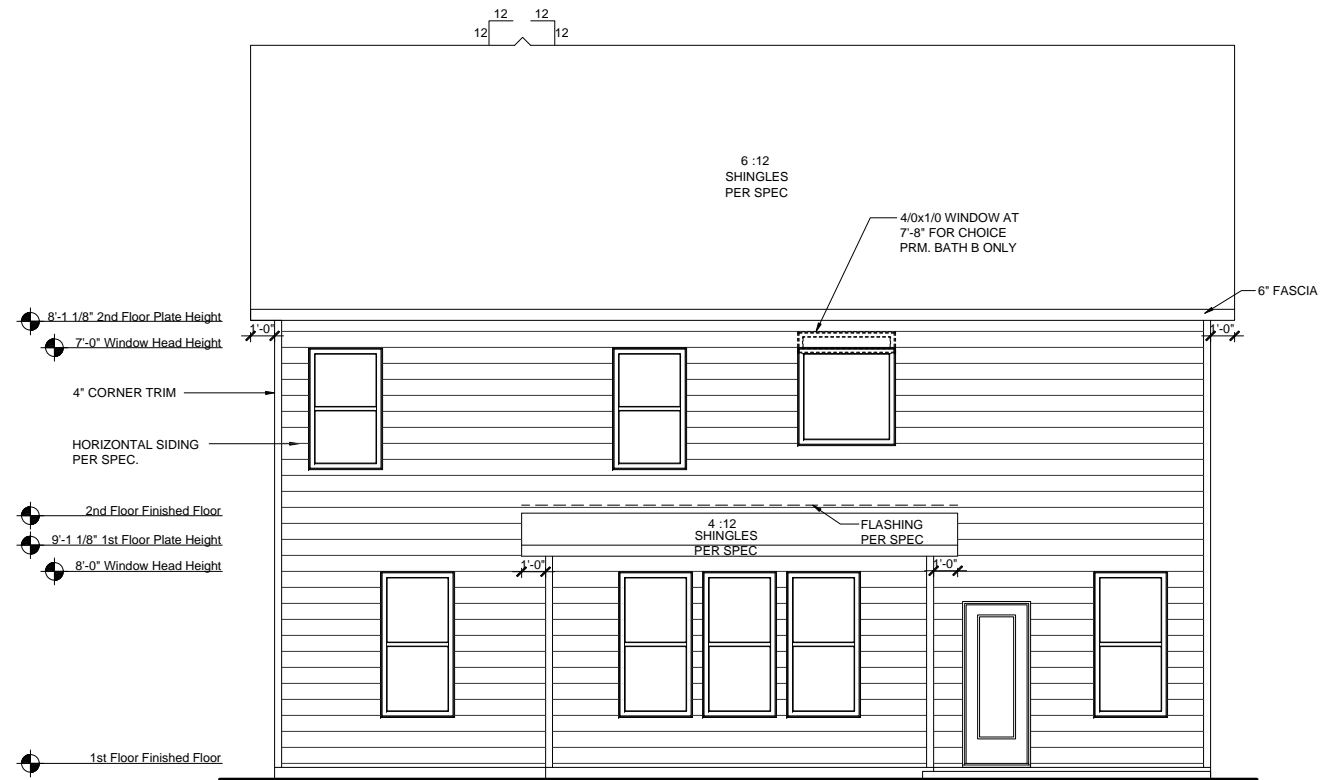
47 / 9 NFA OF SOFFIT VENT = 5 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 18'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION FHL ON CRAWL SPACE**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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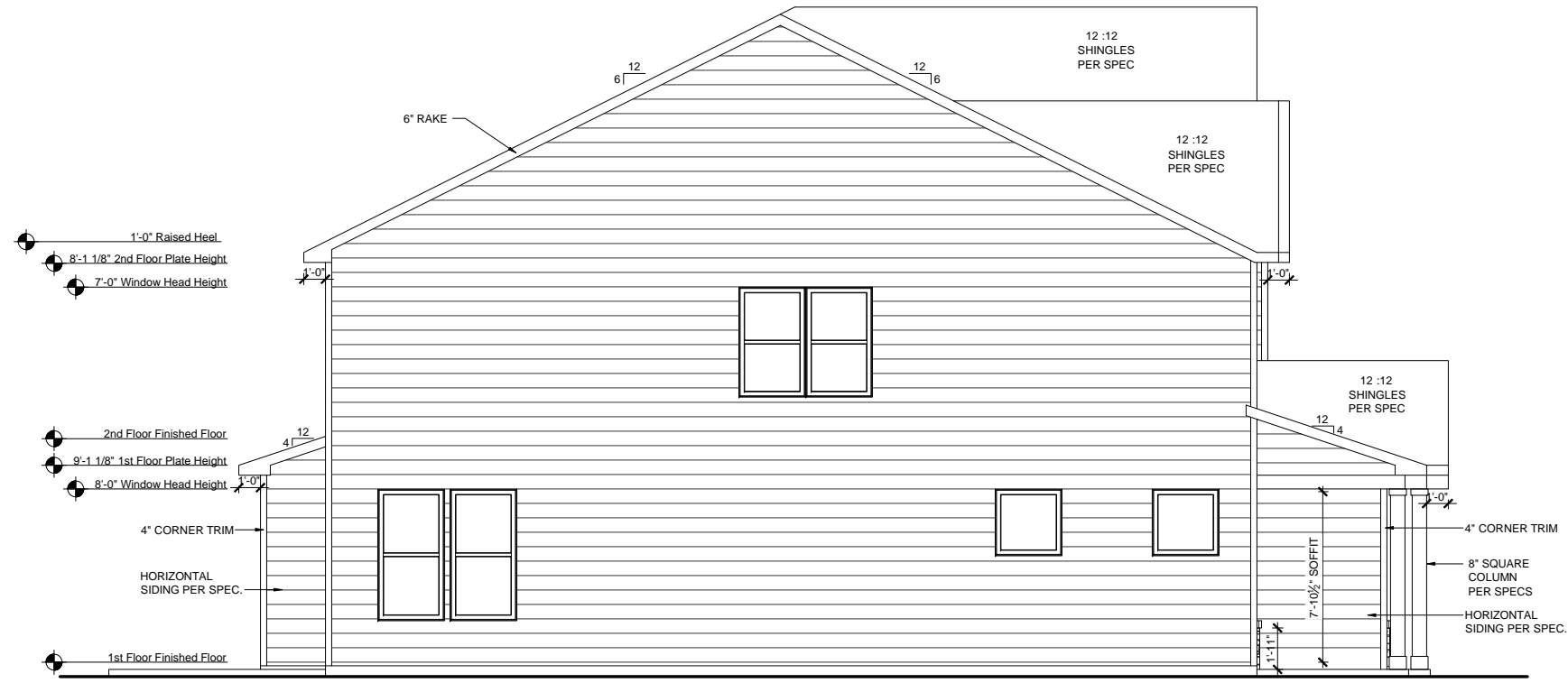
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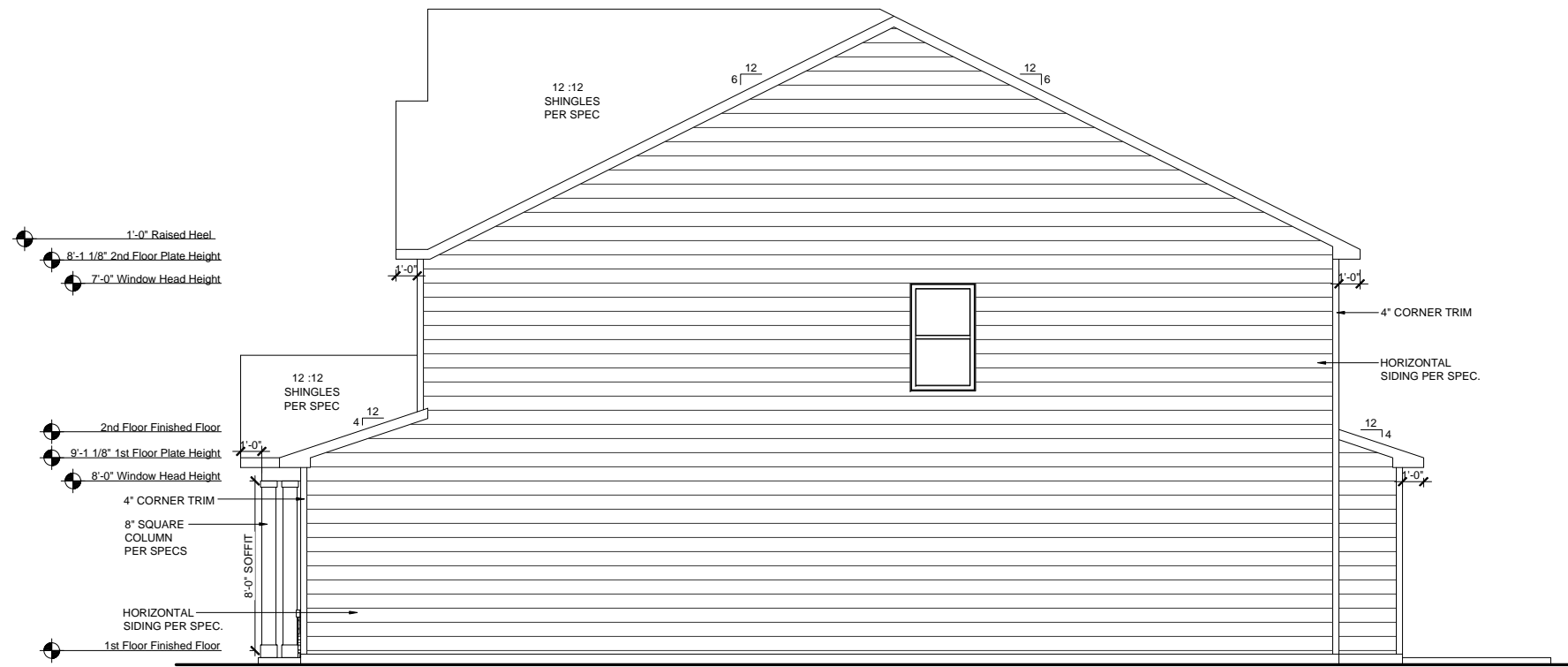


**RLH V6431.3**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:  
**A-3.2**



**LEFT ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

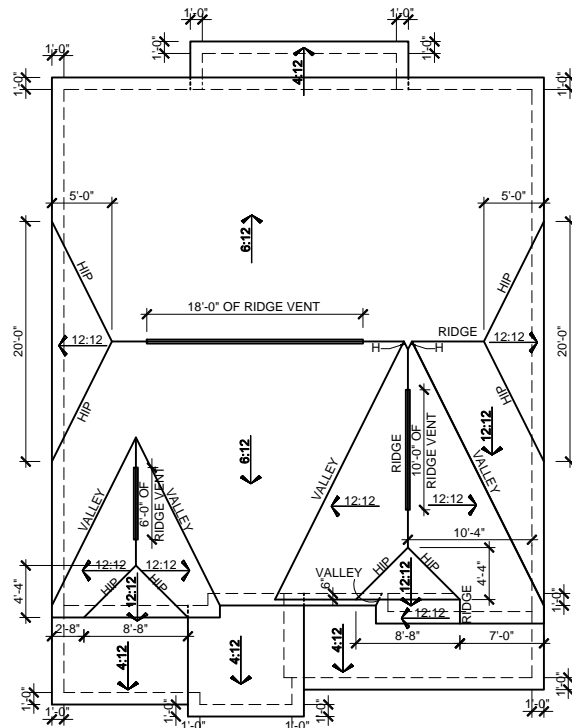
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**RLH V6431.3**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:

**A-3.3**



**ROOF PLAN FCL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FCL**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 1668 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1668 \text{ SQ FT} \times 1/300) \times 144) / 2 = 400 \text{ SQ. IN.}$   
 $400 / 18 \text{ NFA OF RIDGE VENT} = 22 \text{ L.F.}$   
 $400 / 9 \text{ NFA OF SOFFIT VENT} = 44 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 34'  
 ACTUAL SOFFIT VENT PROVIDED: 54'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE & PORCH ROOF**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 274 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((274 \text{ SQ FT} \times 1/150) \times 144) = 263 \text{ SQ. IN.}$   
 $263 / 9 \text{ NFA OF SOFFIT VENT} = 29 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 51'

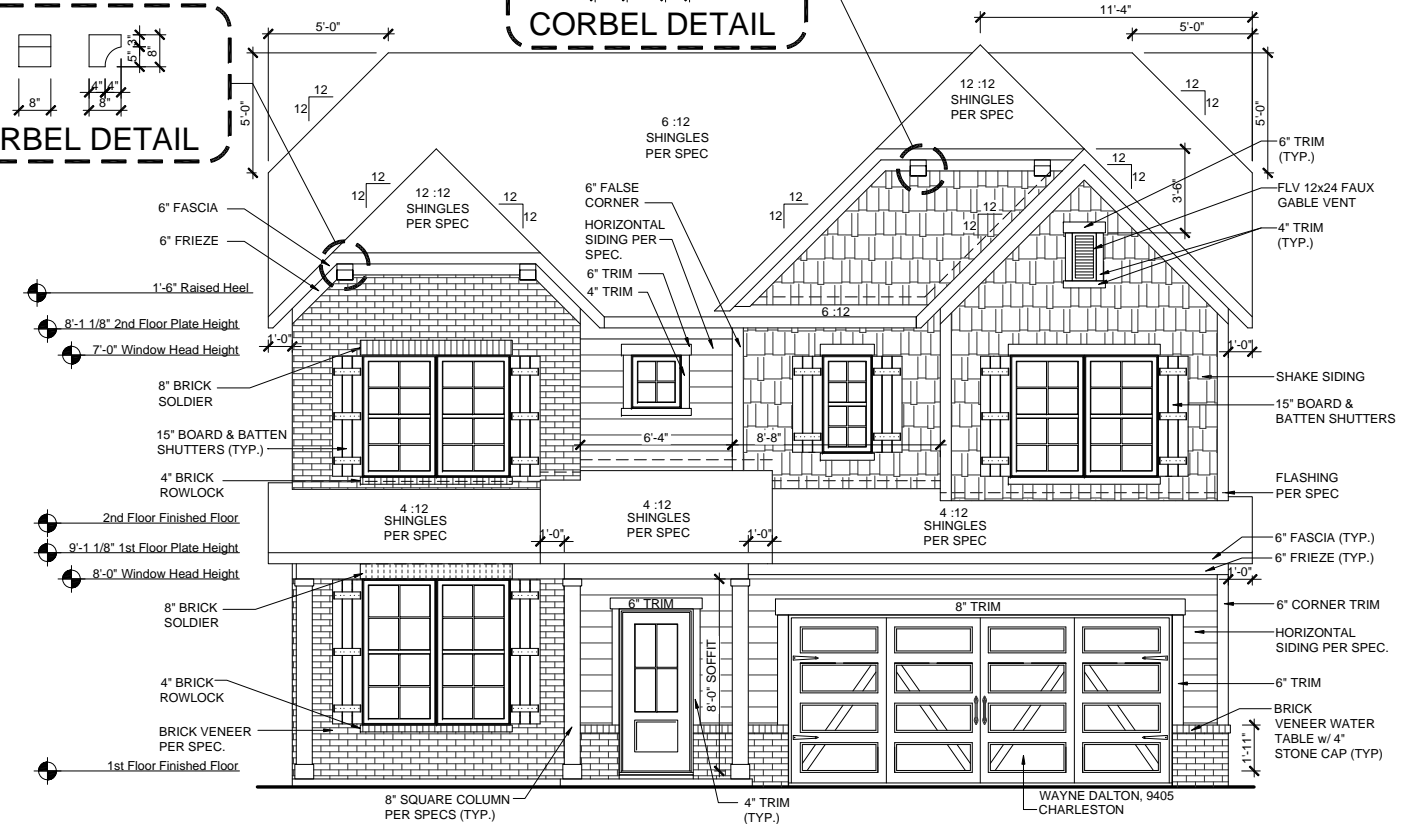
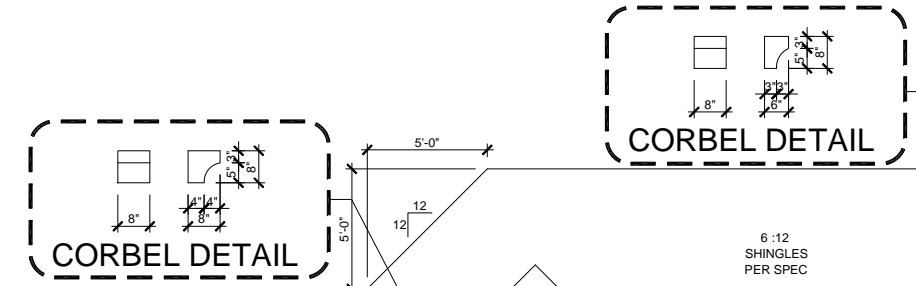
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**3' EXT. GREAT ROOM**  
**ATTIC VENT CALCULATION**  
 TOTAL SQ. FT. OF ROOF AREA: 49 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((49 \text{ SQ FT} \times 1/150) \times 144) = 47 \text{ SQ. IN.}$   
 $47 / 9 \text{ NFA OF SOFFIT VENT} = 5 \text{ L.F.}$

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 18'

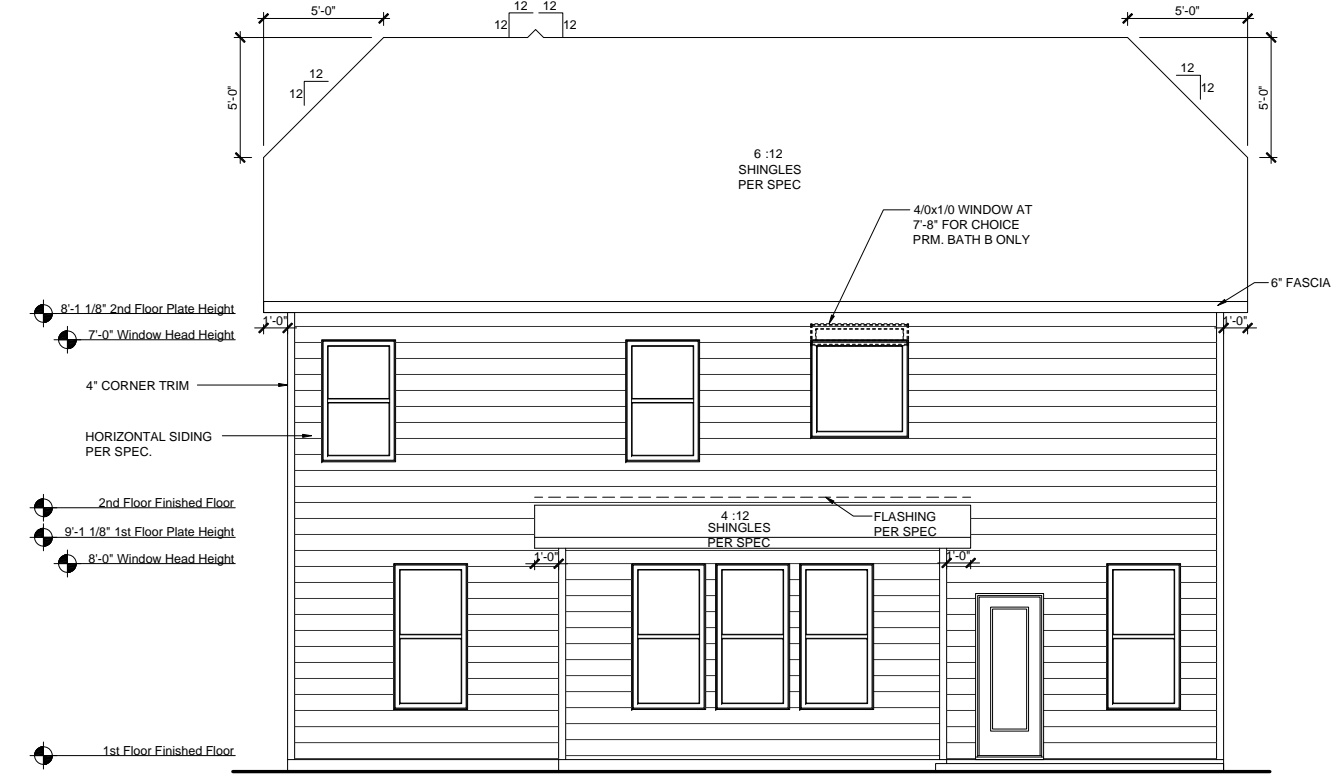
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**FRONT ELEVATION FCL ON CRAWL SPACE**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

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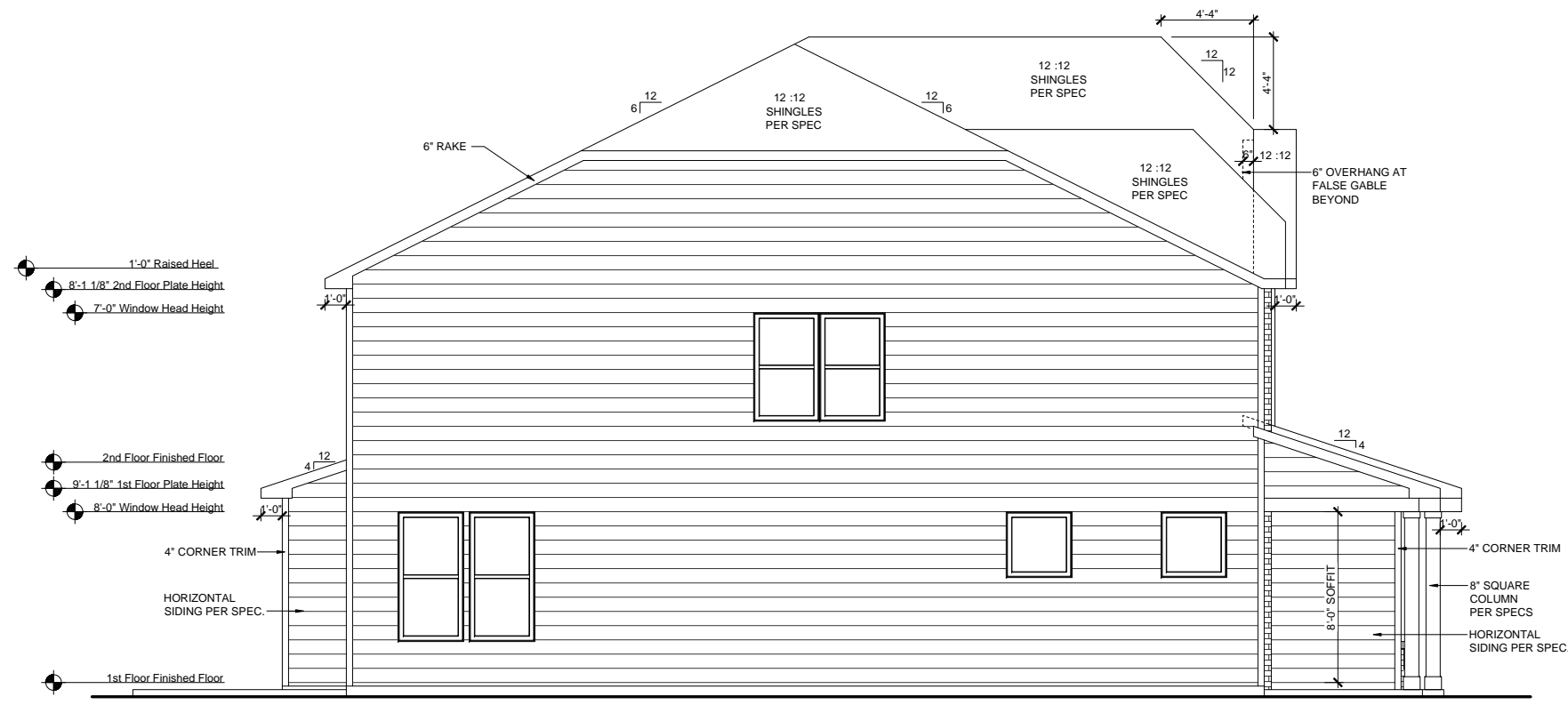
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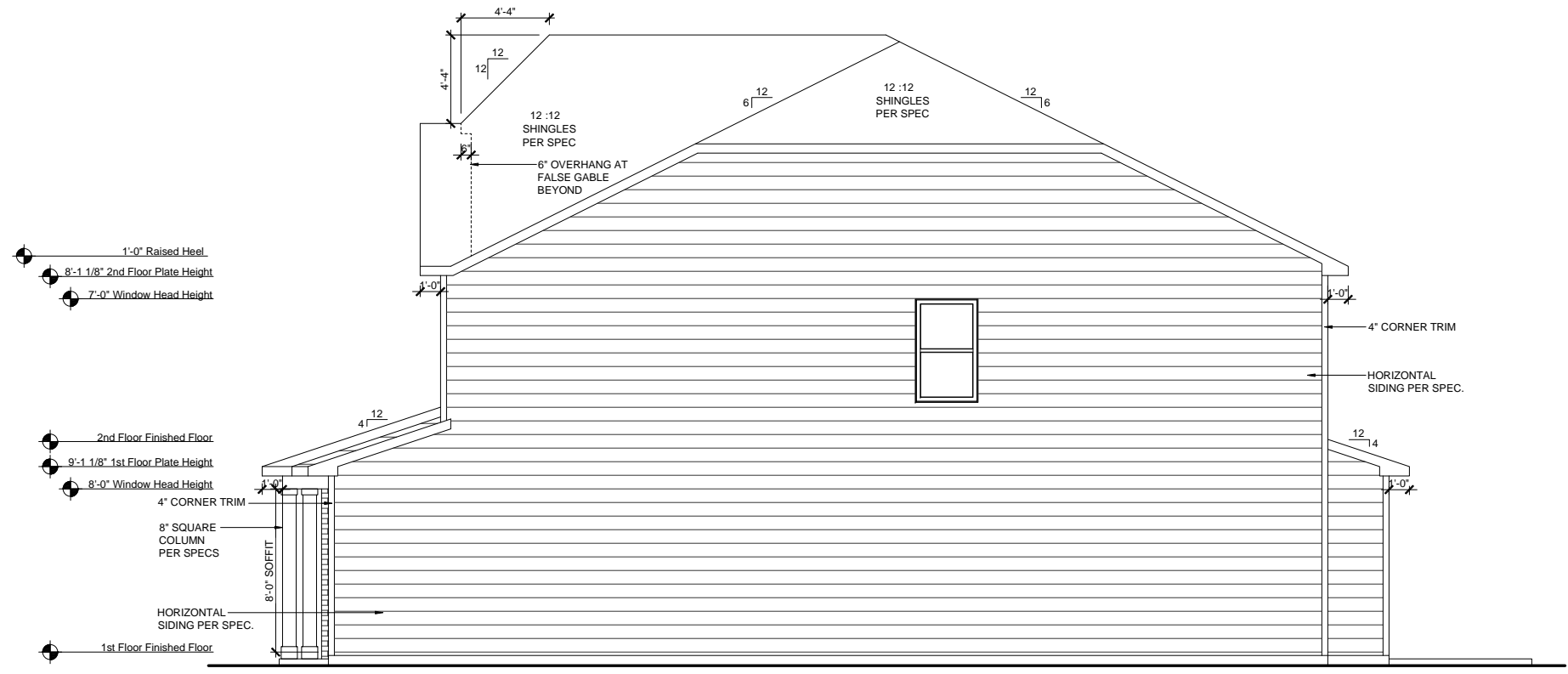
**RLH V643 1.3**  
**Elevation Plans**  
**Front Elevation FCL**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:

**A-3.4**



**LEFT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

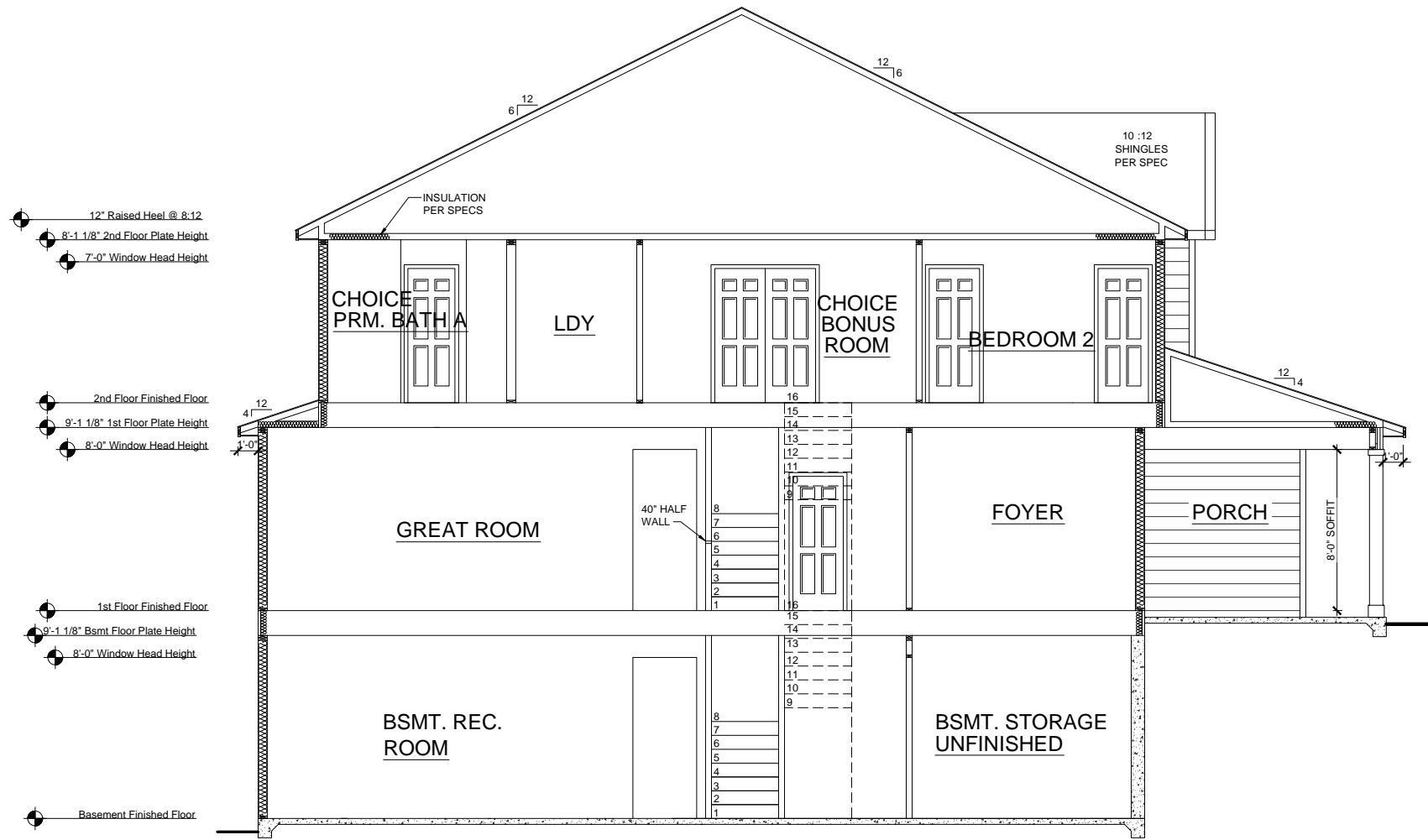
REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

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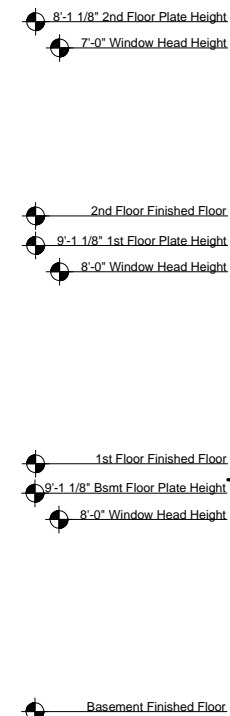
**RLH V6431.3**  
**Elevation Plans**  
**Side Elevations FCL**

drawn by: XSI  
 checked by: BZH  
 date: 09/13/19  
 sheet number:  
**A-3.5**



**SECTION 1 w/ BASEMENT**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**SECTION 2 w/ BASEMENT**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

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**RLH V643 1.3**  
**Typical Sections**  
**Sections**

drawn by: XSI  
checked by: BZH  
date: 09/13/19  
sheet number:

**A-4.1**



Square Footage Options	
Area	Square Footage
Opt. Screened Porch	119 SF
Opt. Finished Basement Area	929 SF
Unfinished Basement Area	344 SF
Extended Patio/Deck	110 SF



**REAR ELEVATION  
AT BASEMENT**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

Plot Date: 7/22/2020 7:58:39 PM; By: Vinayak Dhangat

REV.	DATE
1.1	10-11-19
1.2	03-24-20
1.3	07-22-20

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**RLH V6431.3**  
**Structural Options**  
**Optional Basement Elevation**

drawn by: XSI  
checked by: BZH  
date: 09/13/19  
sheet number:  
**O-3.0**



# DOUGLAS RLH V648 THORNEBURY COMMUNITY

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<b>BEAZER HOMES</b>  PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328  PH: 770-392-2100	<b>BEAZER HOMES</b>  RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607  PH: 919-881-9350	<b>MULHERN &amp; KULP ENGINEERING</b>  CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002  PH: 770-777-0074

NOTE:  
AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

NOTE:  
ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC RESIDENTIAL CODE, SPECIFICALLY:  
 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan TRL
F-1.1	Slab Plan TRM
F-1.2	Slab Plan FHL/FHM
F-1.3	Slab Plan FCL
F-1.4	Slab Plan Options
A-1.0	First Floor Plan & Partials
A-2.0	Second Floor Plan & Partials
A-3.0	Front Elevation TRL
A-3.1	Side Elevation TRL
A-3.2	Front Elevation FHL
A-3.3	Side Elevation FHL
A-3.4	Front Elevation FCL
A-3.5	Side Elevation FCL
A-4.0	Typical Sections
O-1.0	Choice Options
O-2.0	Optional Screened Porch
E-1.0	First Floor Electrical Plan
E-2.0	Second Floor Electrical Plan
E-3.0	Option Electrical Plans

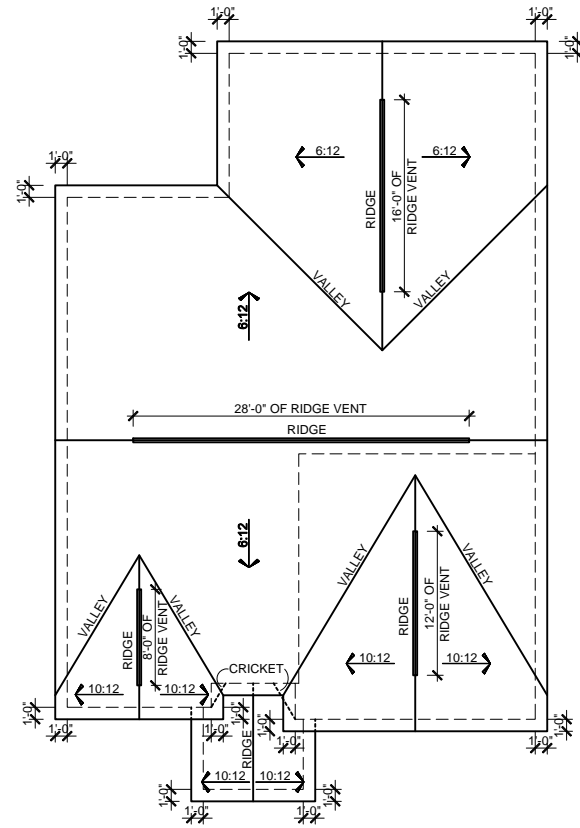
REV.	DATE
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1.2	14-10-2020
1.3	02-24-2021

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**THORNEBURY COMMUNITY**  
**RLH V648 1.3**  
**Cover Sheets**  
**Cover Sheet**

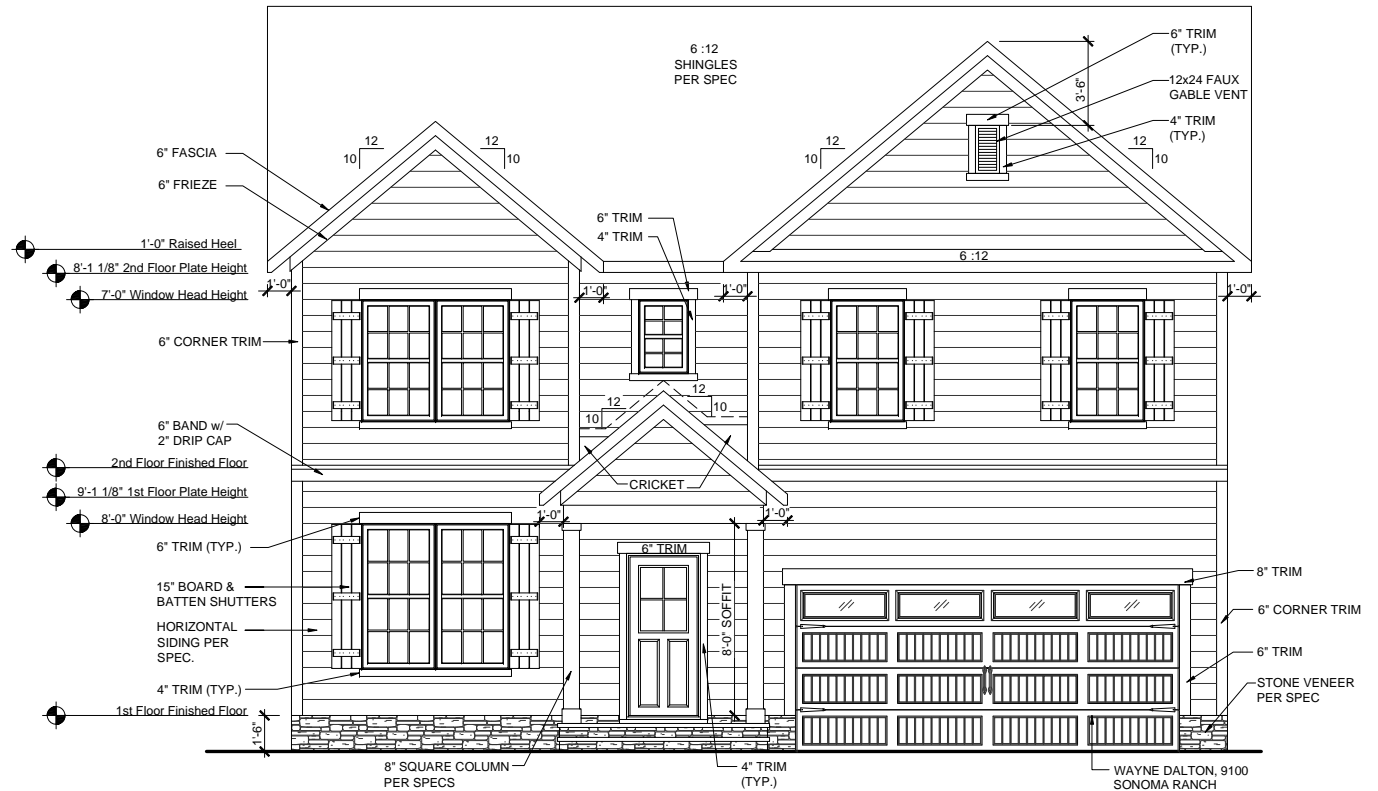
drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**CS-1.0**



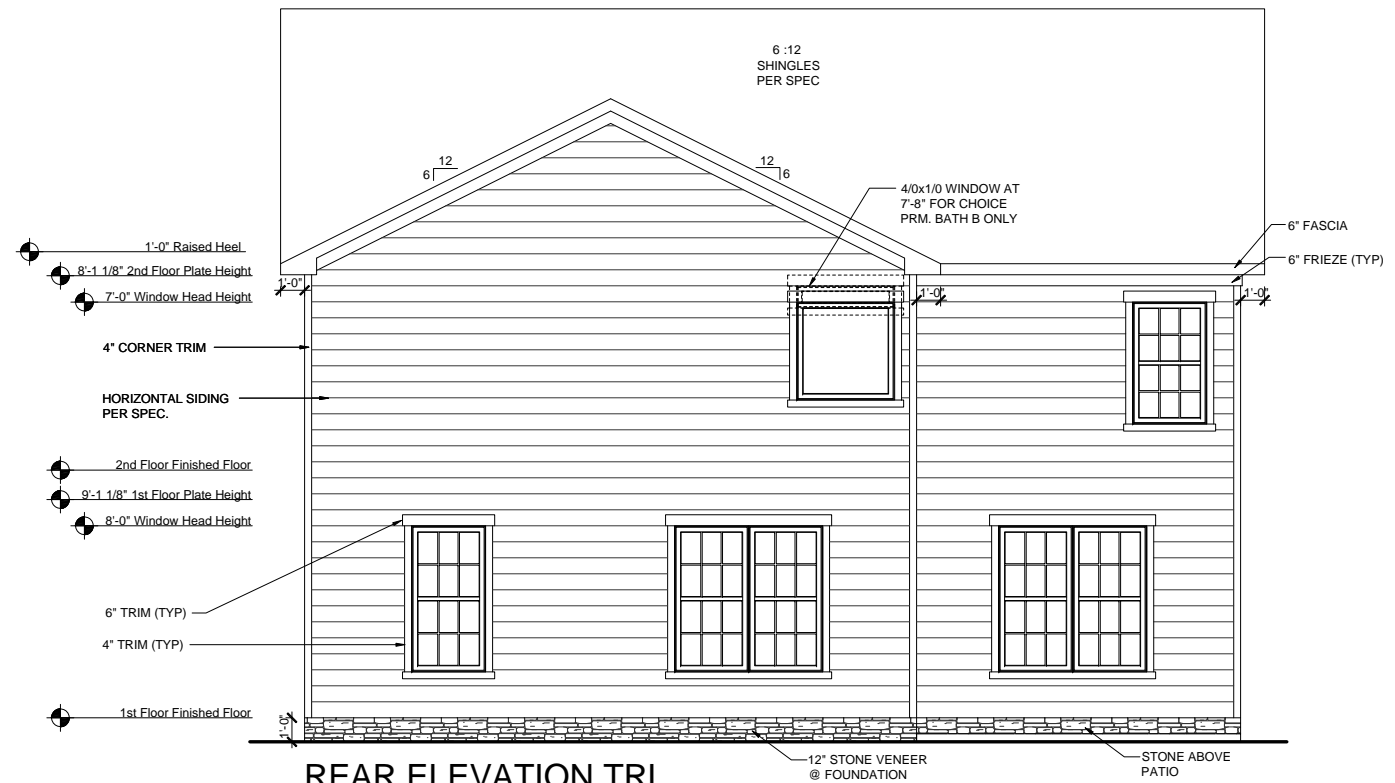
**ROOF PLAN TRL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

MAIN ROOF TRL ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 1969 SQ. FT. RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT	
((1969 SQ FT x 1/300) x 144) / 2 = 473 SQ. IN.	
473 / 18 NFA OF RIDGE VENT = 26 L.F. 473 / 9 NFA OF SOFFIT VENT = 53 L.F.	
ACTUAL RIDGE VENT PROVIDED: 64' ACTUAL SOFFIT VENT PROVIDED: 48'	
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

PORCH ROOF ATTIC VENT CALCULATION	
TOTAL SQ. FT. OF ROOF AREA: 70 SQ. FT. RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT	
((70 SQ FT x 1/150) x 144) = 67 SQ. IN.	
67 / 9 NFA OF SOFFIT VENT = 8 L.F.	
ACTUAL RIDGE VENT PROVIDED: 0' ACTUAL SOFFIT VENT PROVIDED: 15'	
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



**FRONT ELEVATION TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.2	07-01-2020
1.2	14-10-2020
1.3	02-24-2021

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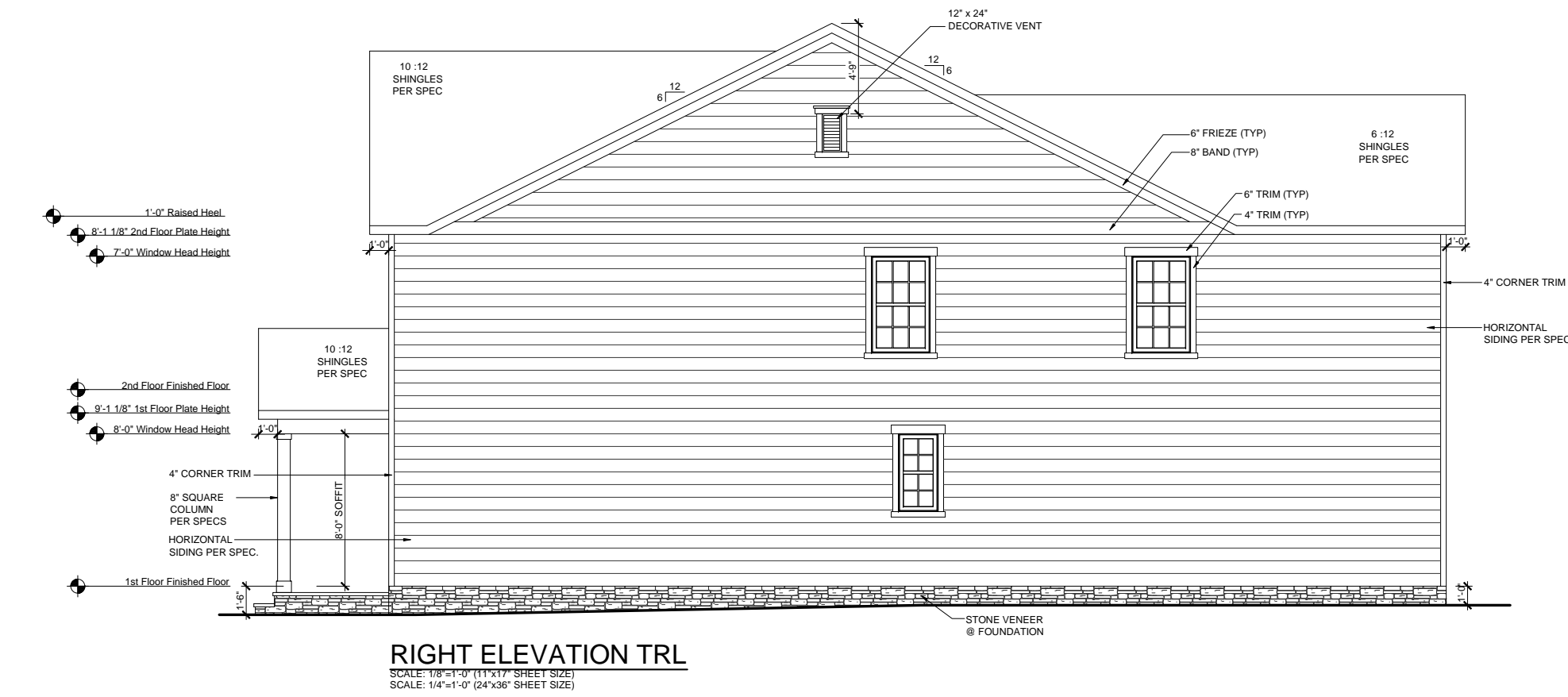
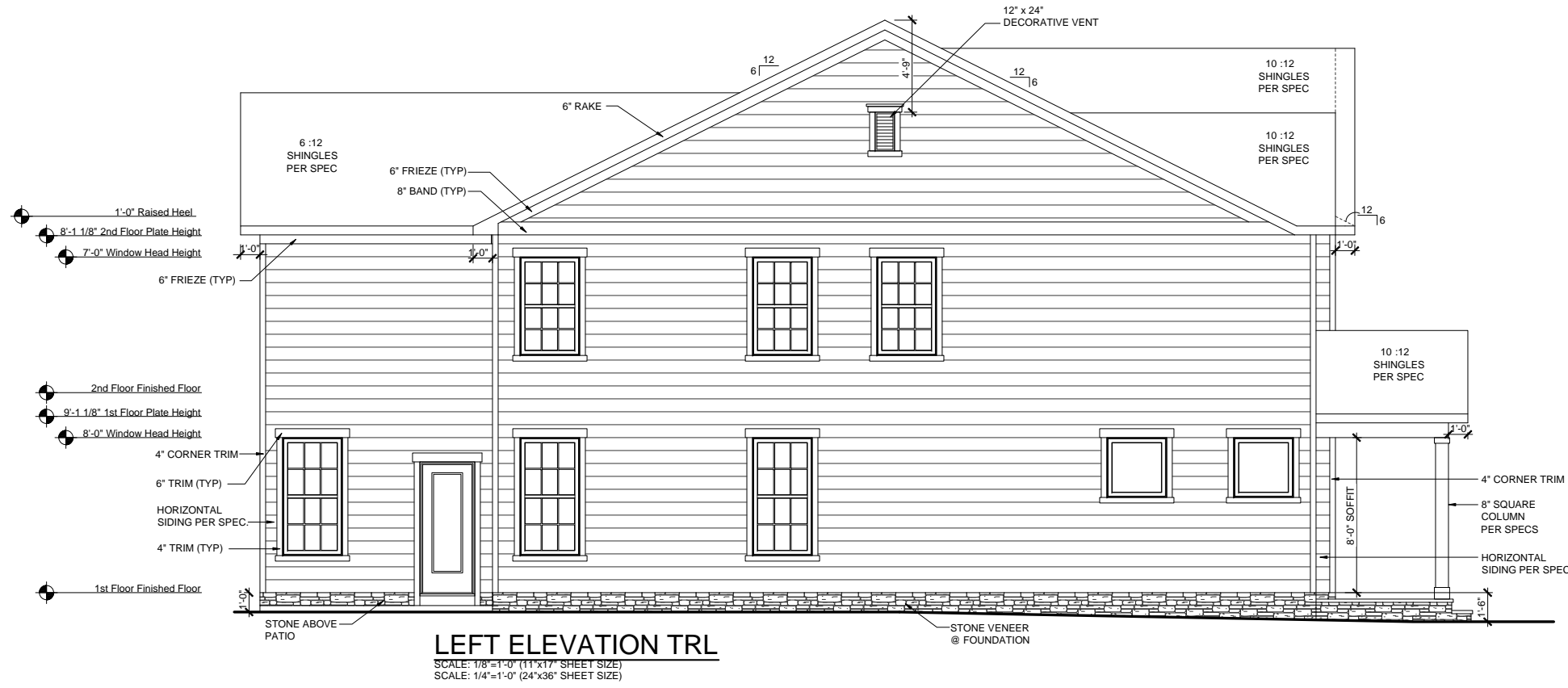


**RLH V6481.3**  
**Elevation Plans**  
**Front Elevation TRL**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:

**A-3.0**

THORNEBURY COMMUNITY



REV.	DATE
1.2	07-01-2020
1.2	14-10-2020
1.3	02-24-2021

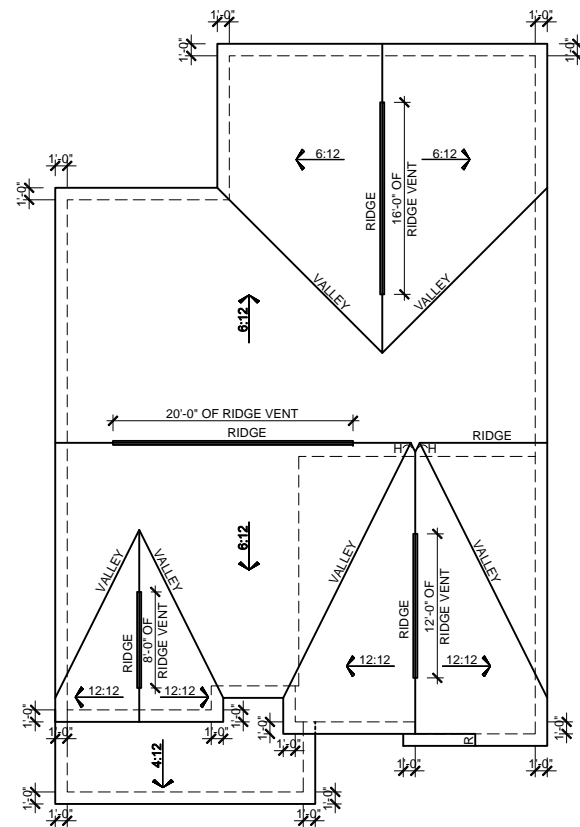
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**RLH V648 1.3**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**A-3.1**

THORNEBURY COMMUNITY



**ROOF PLAN FHL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FHL**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 1979 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1979 \text{ SQ FT} \times 1/300) \times 144) / 2 = 475 \text{ SQ. IN.}$

475 / 18 NFA OF RIDGE VENT = 26 L.F.  
 475 / 9 NFA OF SOFFIT VENT = 53 L.F.

ACTUAL RIDGE VENT PROVIDED: 56'  
 ACTUAL SOFFIT VENT PROVIDED: 49'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**PORCH ROOF**

**ATTIC VENT CALCULATION**

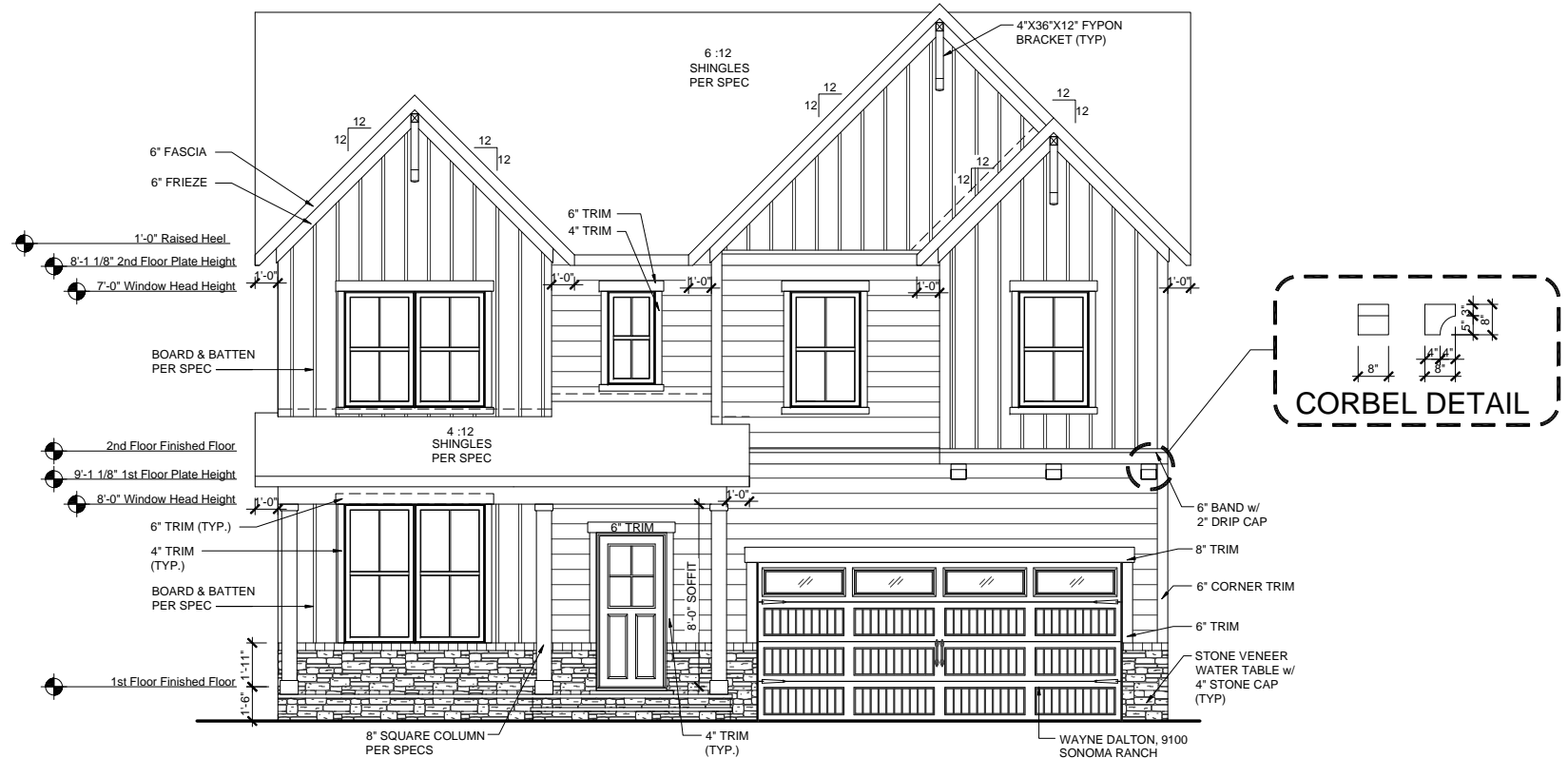
TOTAL SQ. FT. OF ROOF AREA: 148 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((148 \text{ SQ FT} \times 1/150) \times 144) = 142 \text{ SQ. IN.}$

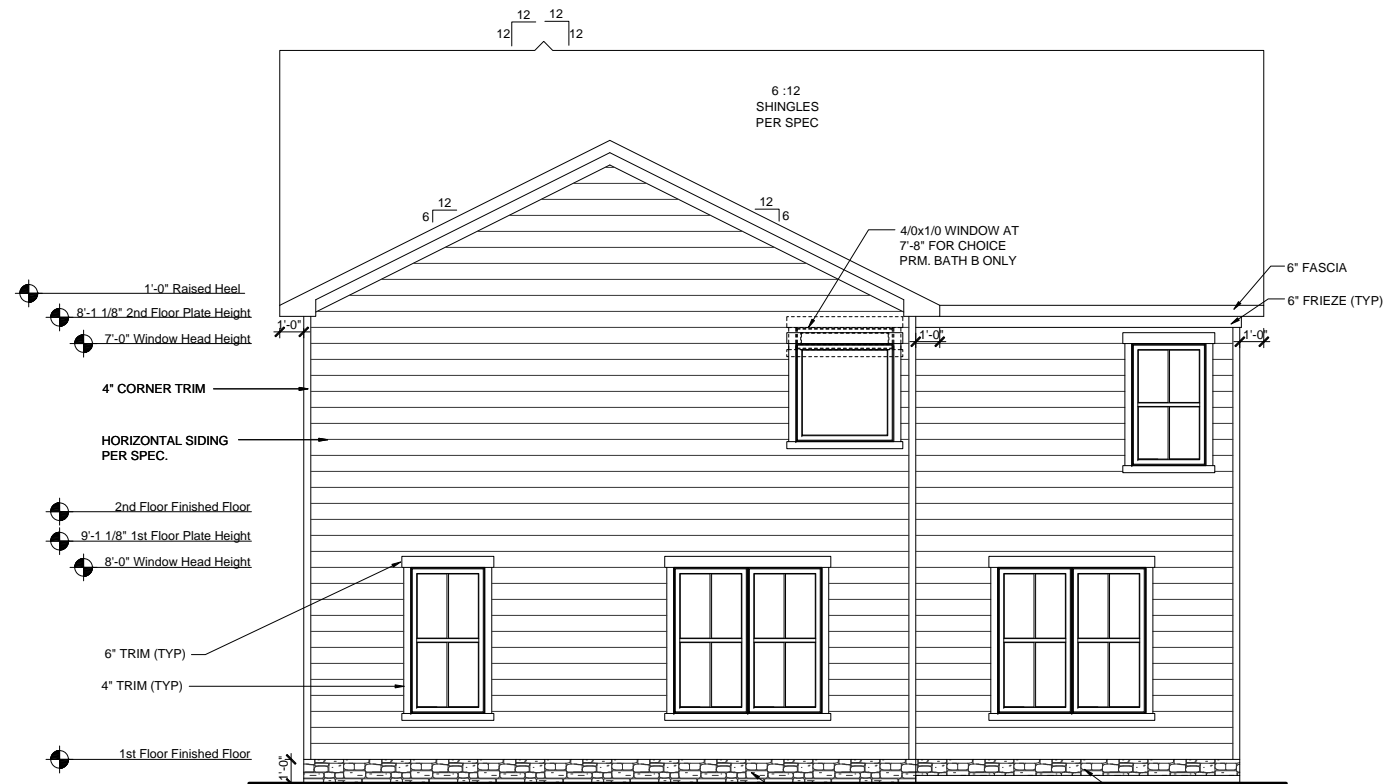
142 / 9 NFA OF SOFFIT VENT = 16 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 22'

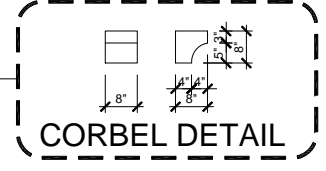
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



REV.	DATE
1.2	07-01-2020
1.2	14-10-2020
1.3	02-24-2021

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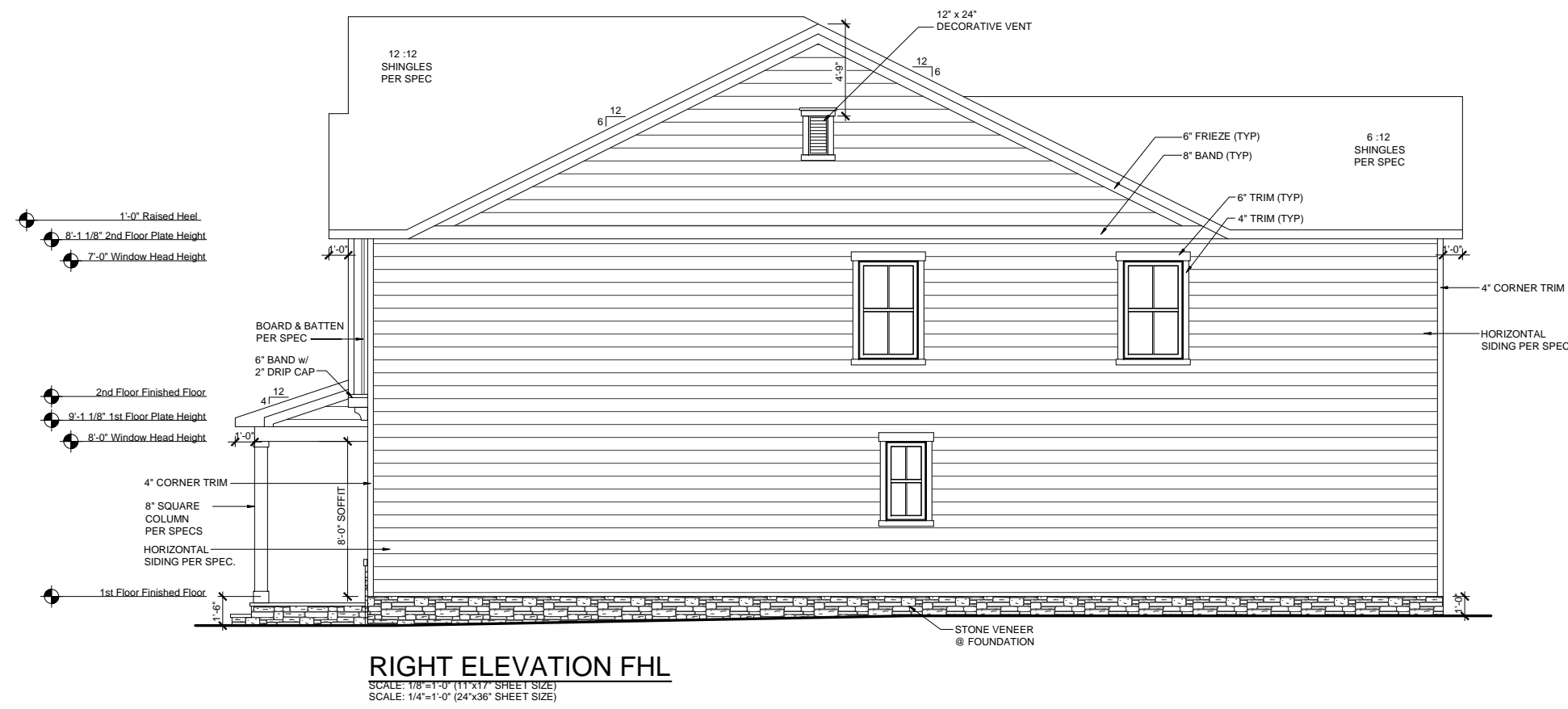
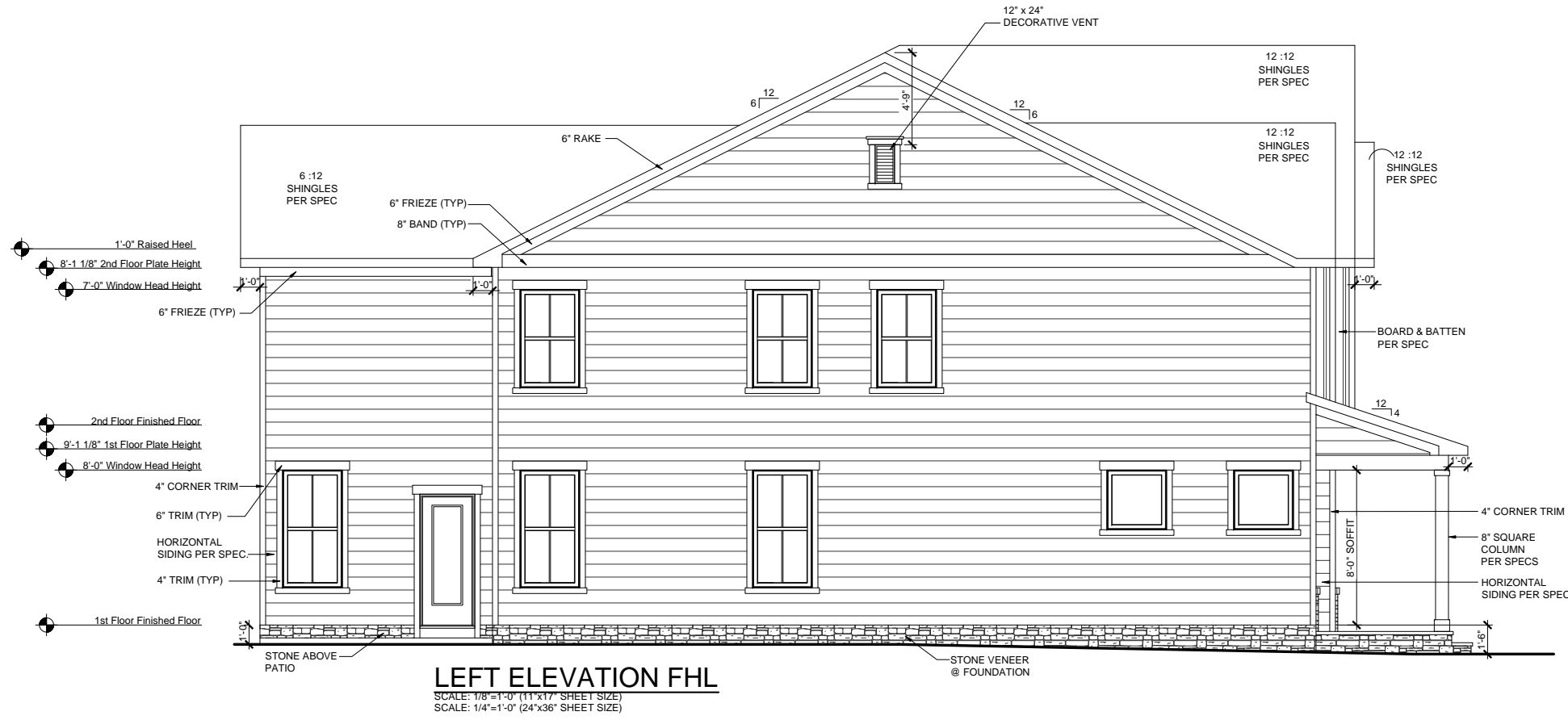
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**RLH V648 1.3**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:

**A-3.2**



REV.	DATE
1.2	07-01-2020
1.3	14-10-2020
1.3	02-24-2021

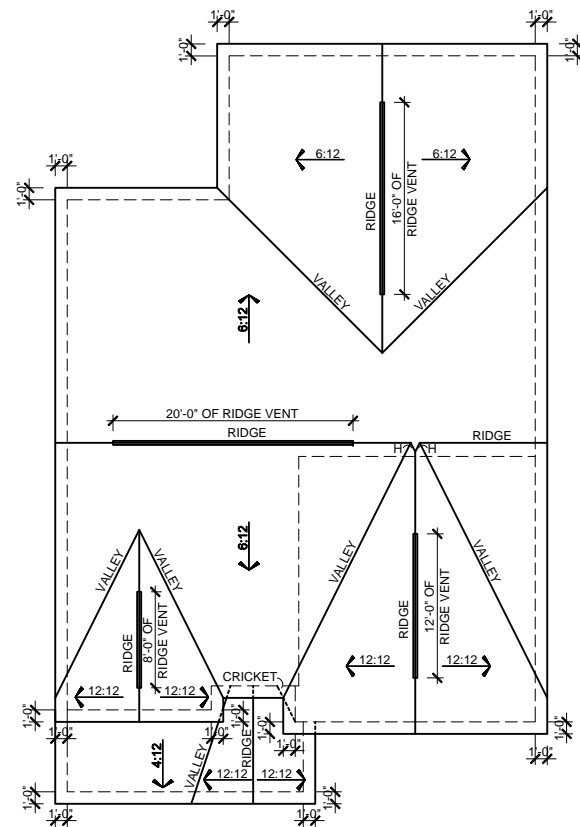
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**RLH V648 1.3**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**A-3.3**

THORNEBURY COMMUNITY



**ROOF PLAN FCL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF FCL**

**ATTIC VENT CALCULATION**

TOTAL SQ. FT. OF ROOF AREA: 1969 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((1969 \text{ SQ FT} \times 1/300) \times 144) / 2 = 473 \text{ SQ. IN.}$

473 / 18 NFA OF RIDGE VENT = 26 L.F.  
 473 / 9 NFA OF SOFFIT VENT = 53 L.F.

ACTUAL RIDGE VENT PROVIDED: 56'  
 ACTUAL SOFFIT VENT PROVIDED: 48'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**PORCH ROOF**

**ATTIC VENT CALCULATION**

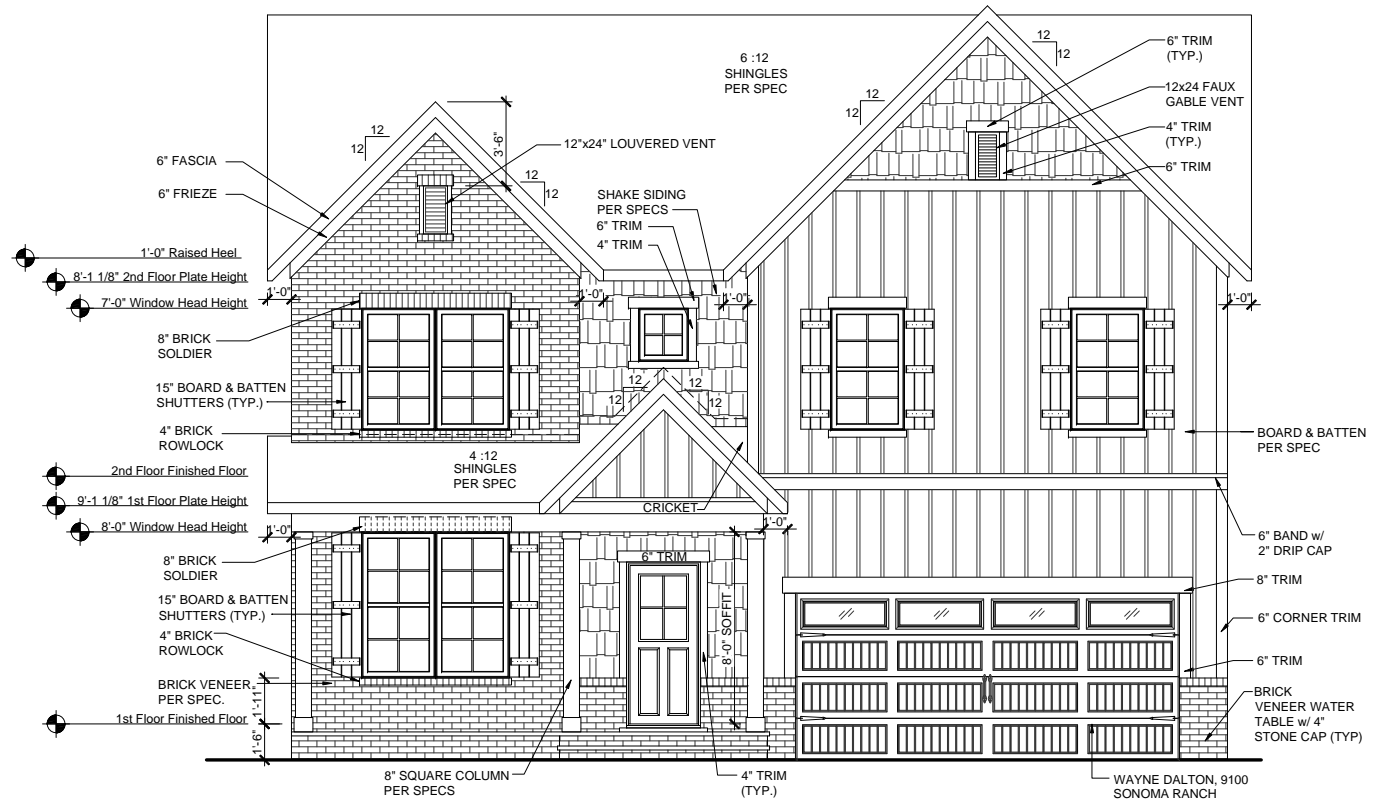
TOTAL SQ. FT. OF ROOF AREA: 148 SQ. FT.  
 RIDGE VENT NET FREE AREA: 18 SQ. IN. PER LINEAL FOOT  
 SOFFIT VENT NET FREE AREA: 9 SQ. IN. PER LINEAL FOOT

$((148 \text{ SQ FT} \times 1/150) \times 144) = 142 \text{ SQ. IN.}$

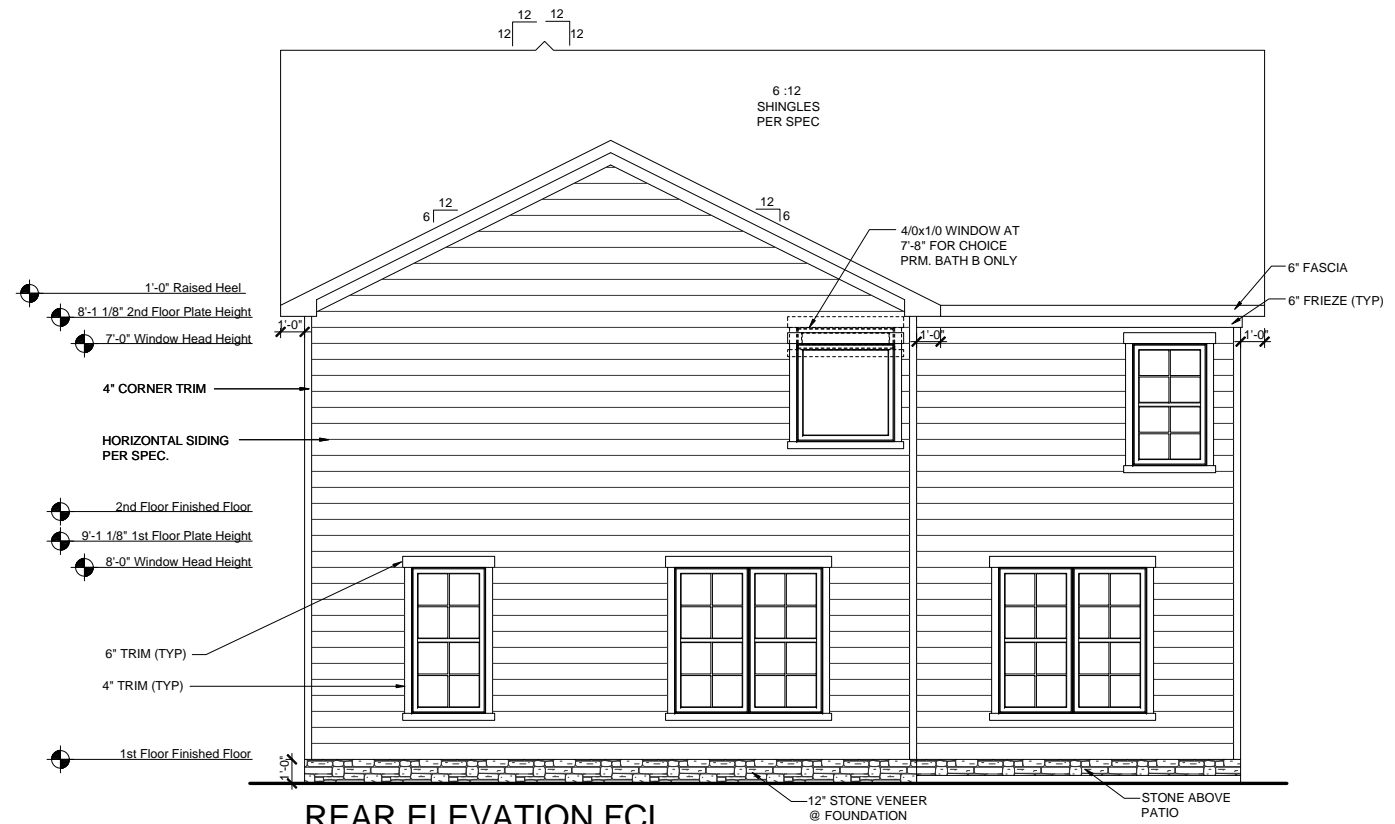
142 / 9 NFA OF SOFFIT VENT = 16 L.F.

ACTUAL RIDGE VENT PROVIDED: 0'  
 ACTUAL SOFFIT VENT PROVIDED: 18'

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 50% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION FCL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.2	07-01-2020
1.2	14-10-2020
1.3	02-24-2021

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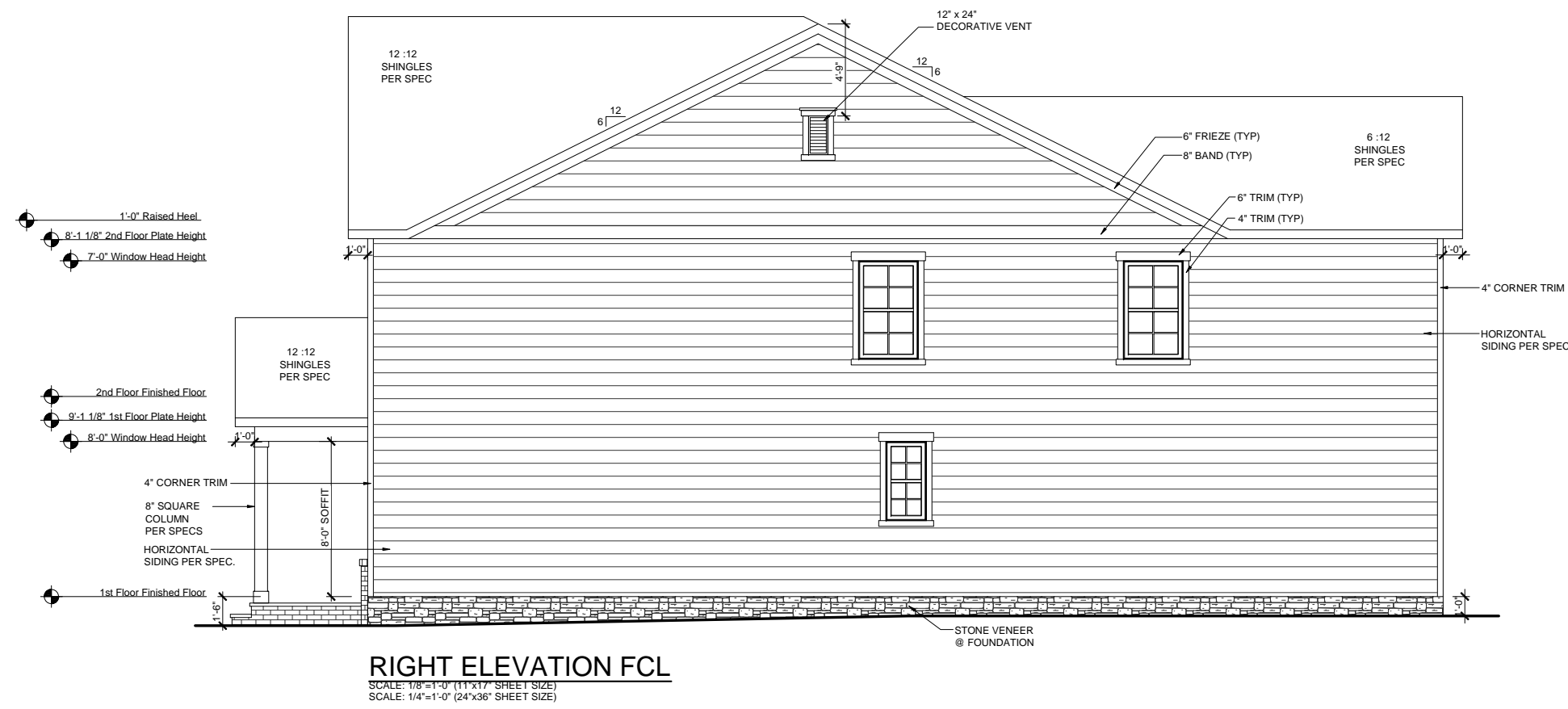
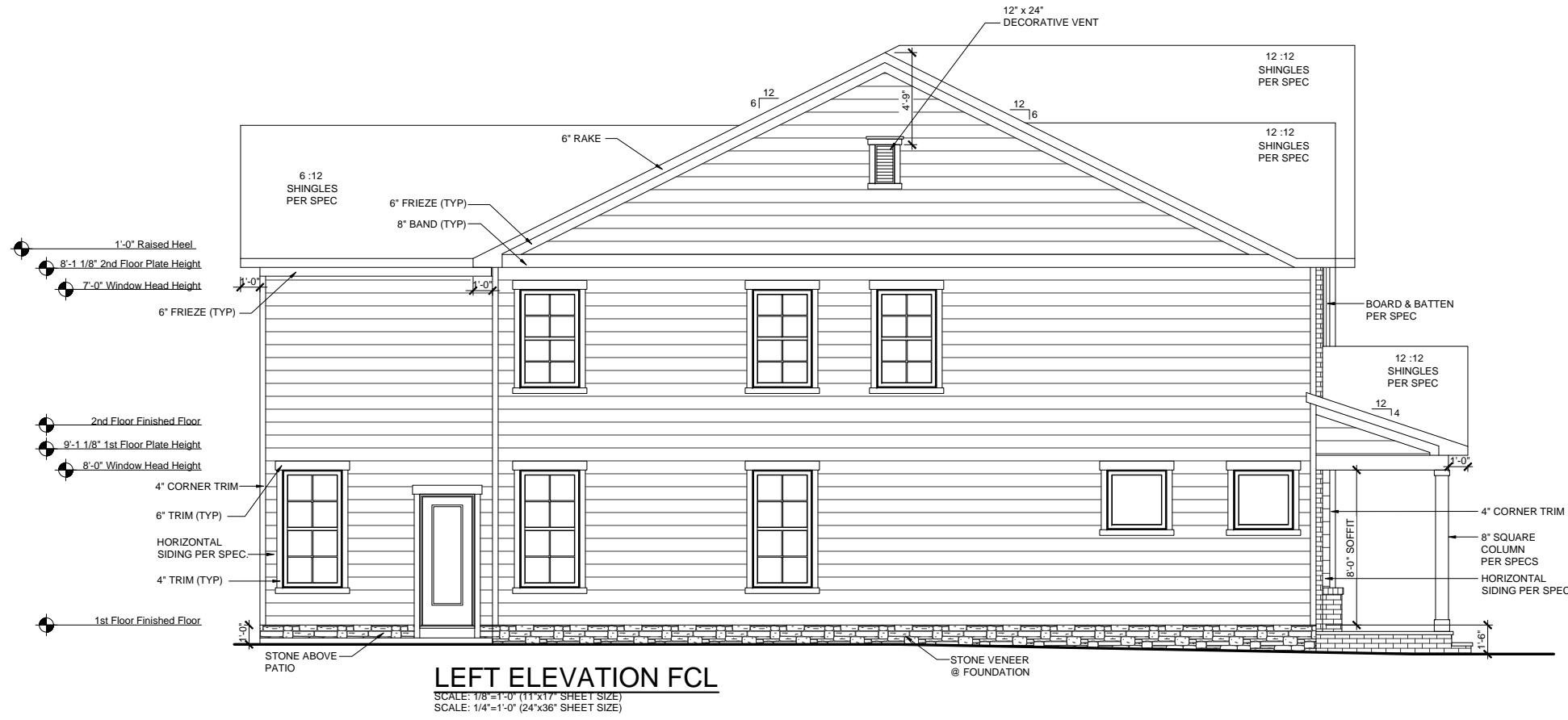
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**RLH V648 1.3**  
**Elevation Plans**  
**Front Elevation FCL**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**A-3.4**

THORNBURY COMMUNITY



REV.	DATE
1.2	07-01-2020
1.3	14-10-2020
1.3	02-24-2021

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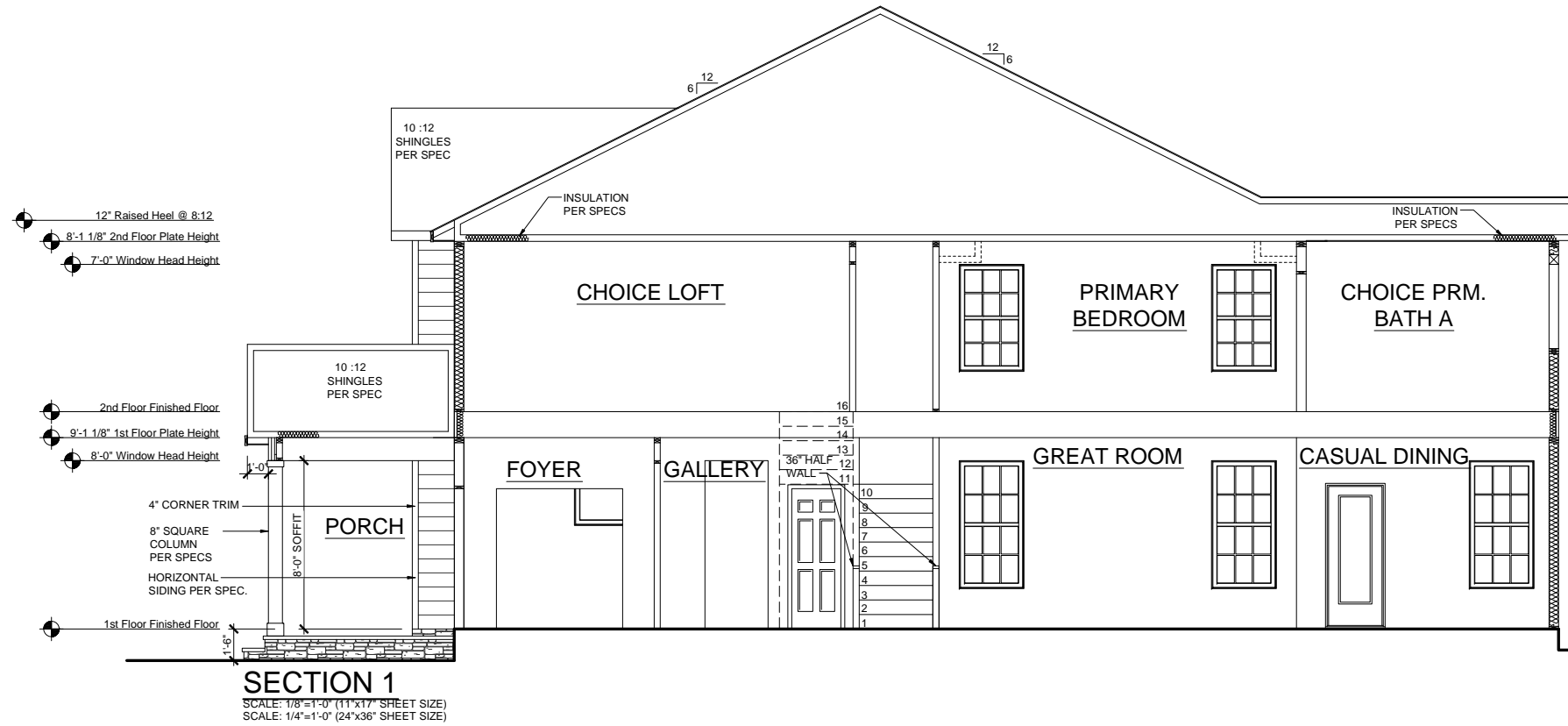


**RLH V648 1.3**  
**Elevation Plans**  
**Side Elevations FCL**

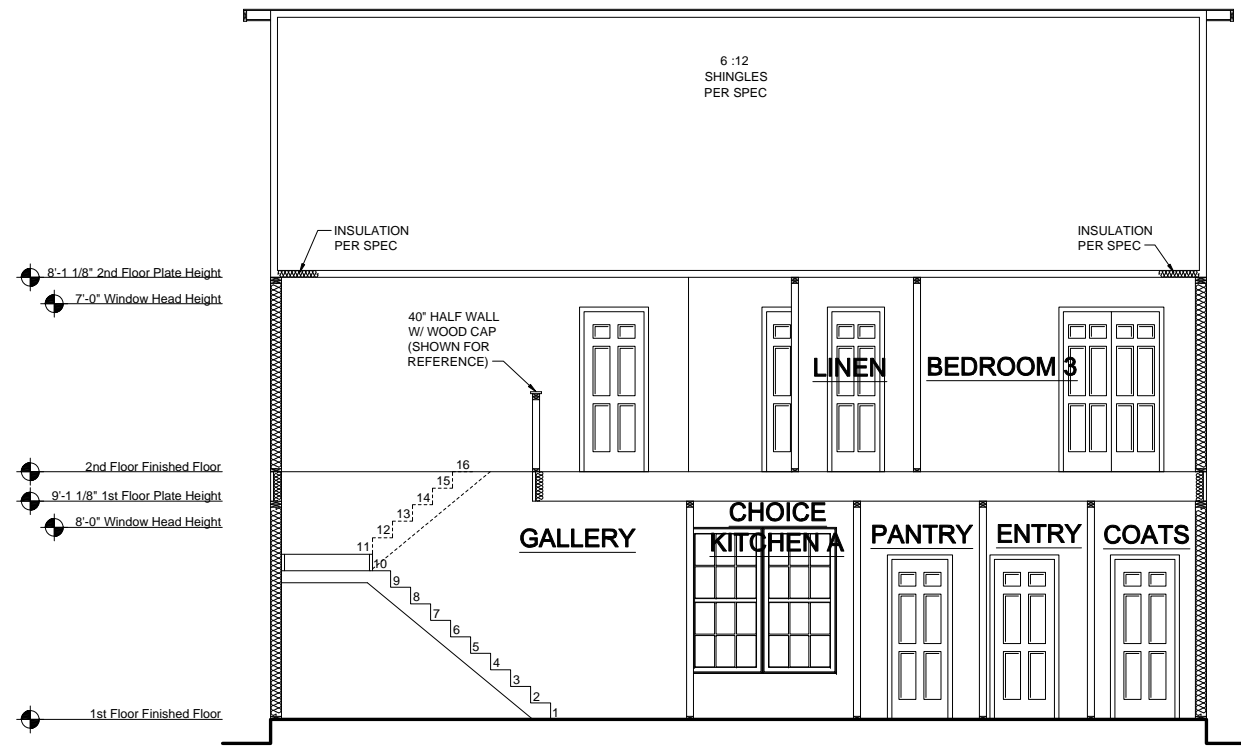
drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**A-3.5**

THORNBURY COMMUNITY





**SECTION 1**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**SECTION 2**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

Plot Date: 2/24/2021 11:22:29 AM; By: AMD

REV.	DATE
1.2	07-01-2020
1.2	14-10-2020
1.3	02-24-2021

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**RLH V648 1.3**  
**Typical Sections**  
**Sections**

drawn by: XSI  
 checked by: BZH  
 date: 10/05/19  
 sheet number:  
**A-4.0**

THORNEBURY COMMUNITY

# Building 1 elev DWN





**T477 PARKER  
FRONT ELEVATION - FHL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

**T439 BRAXTON  
FRONT ELEVATION - FHL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

**T433 ADDISON  
FRONT ELEVATION - ACL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

**T437 MAXWELL  
FRONT ELEVATION - ACL**  
SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

WAYNE DALTON, 9100 SONOMA RANCH WITH GLASS AND HARDWARE

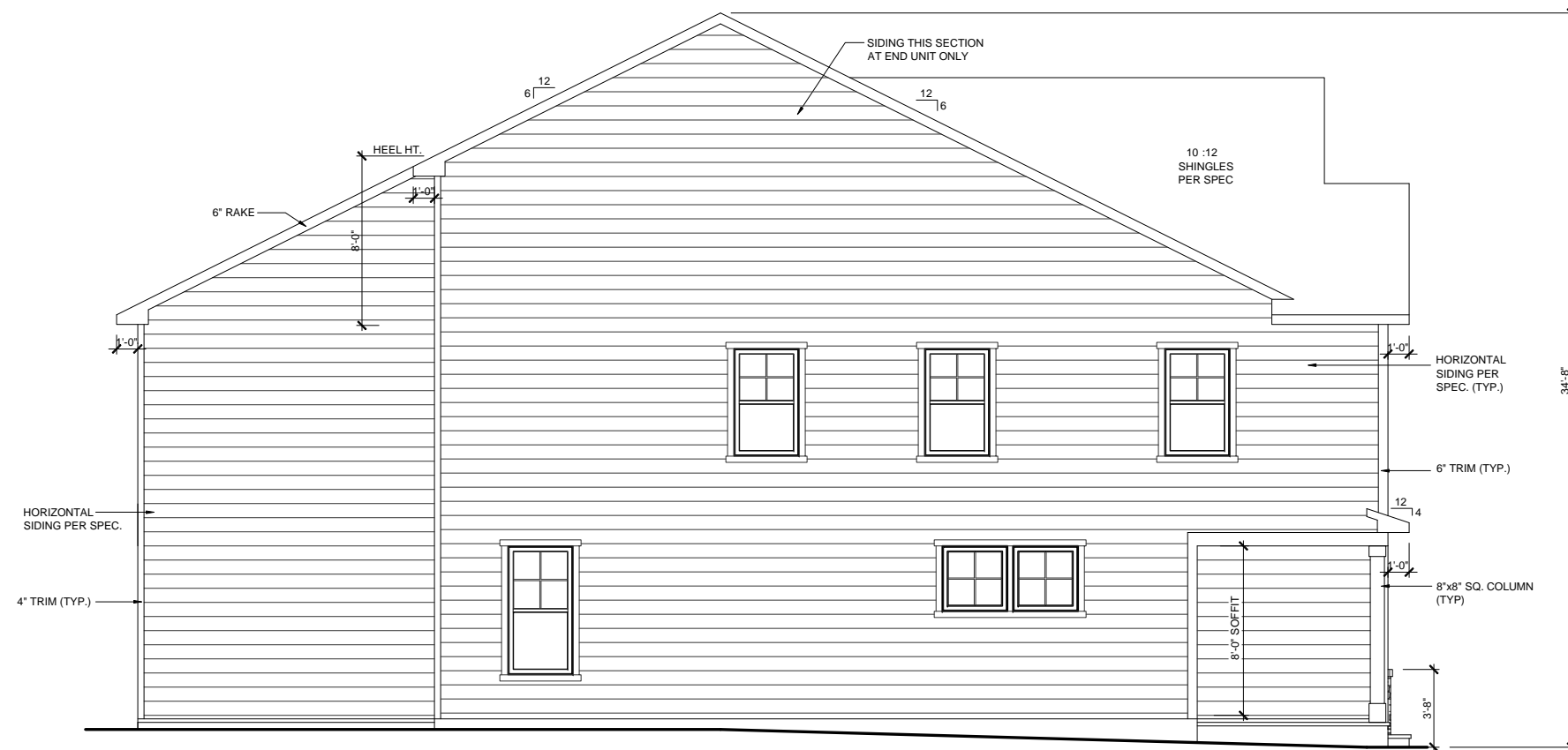


26' TH SERIES

SCALE: 1/8" = 1'-0"

FRONT ELEVATION

DATE: 4-30-2021



**LEFT ELEVATION**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

- 1'-0" Raised Heel
- 8'-1 1/8" 2nd Floor Plate Height
- 6'-1 1/8" Window Head Height
  
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
  
- 1st Floor Finished Floor



**RIGHT ELEVATION**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

- 8'-1 1/8" 2nd Floor Plate Height
- 6'-1 1/8" Window Head Height
  
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
  
- 1st Floor Finished Floor



26' TH SERIES

SCALE: 1/8" = 1'-0"

SIDE ELEVATIONS

DATE: 4-30-2021



**REAR ELEVATION**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



26' TH SERIES

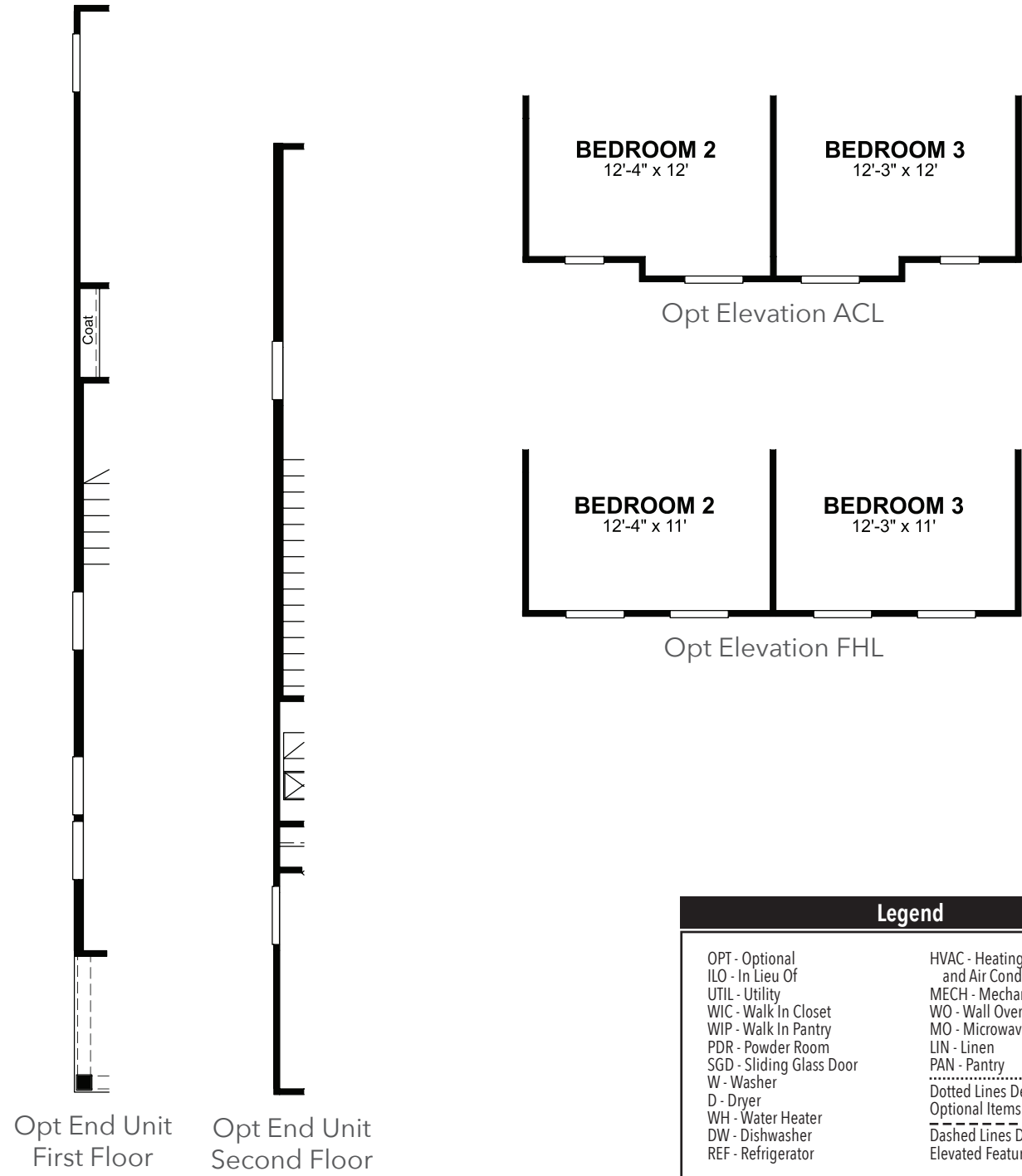
SCALE: 1/8" = 1'-0"

REAR ELEVATION

DATE: 4-30-2021

# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee



Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



## Addison

4 beds / 3 baths  
2,148 sq. ft.  
2-car garage



Arts & Crafts L Exterior



Farmhouse L Exterior



Traditional L Exterior

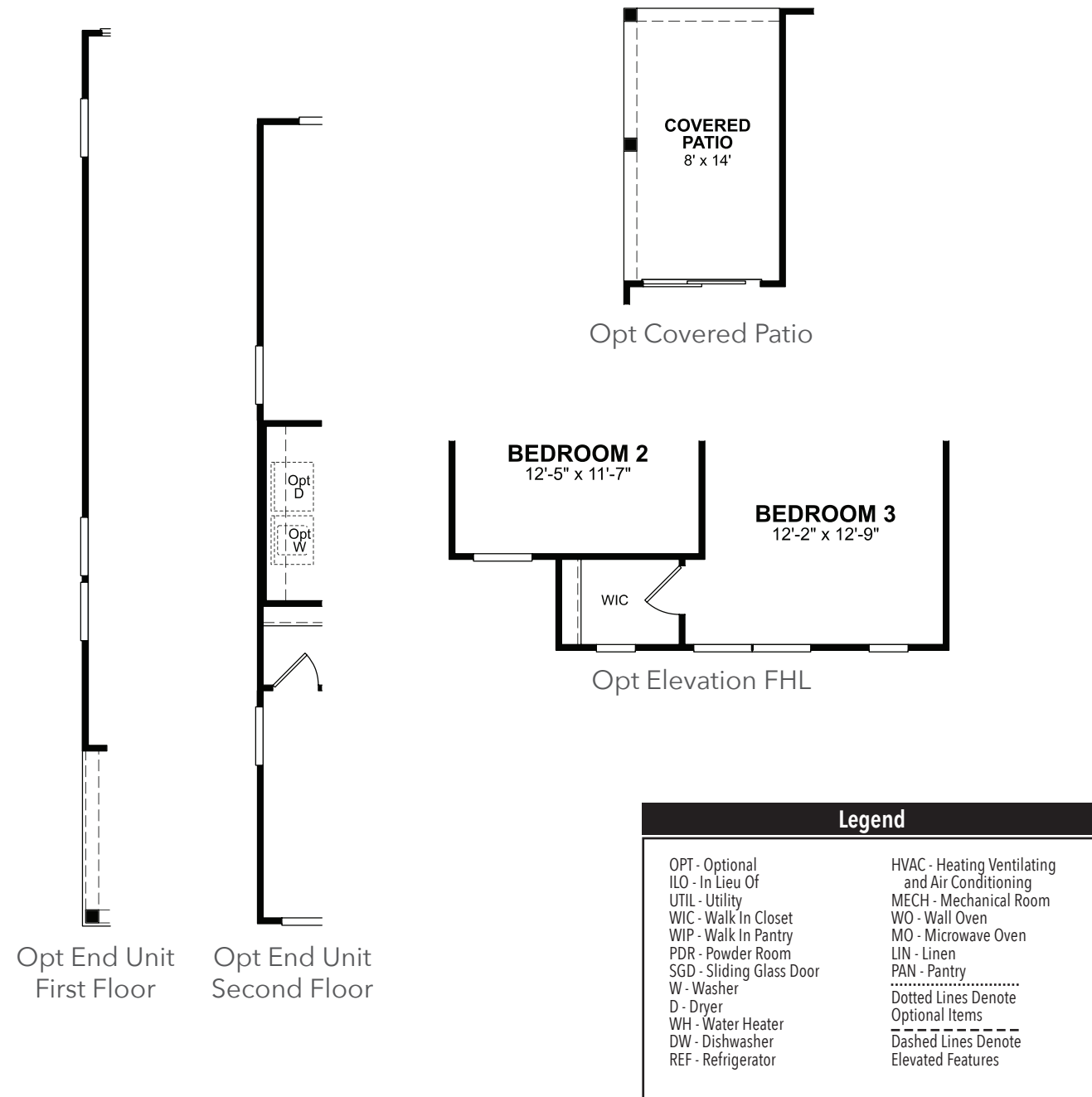
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# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee



## Braxton

3 beds / 2.5 baths  
2,282 sq. ft.  
2-car garage



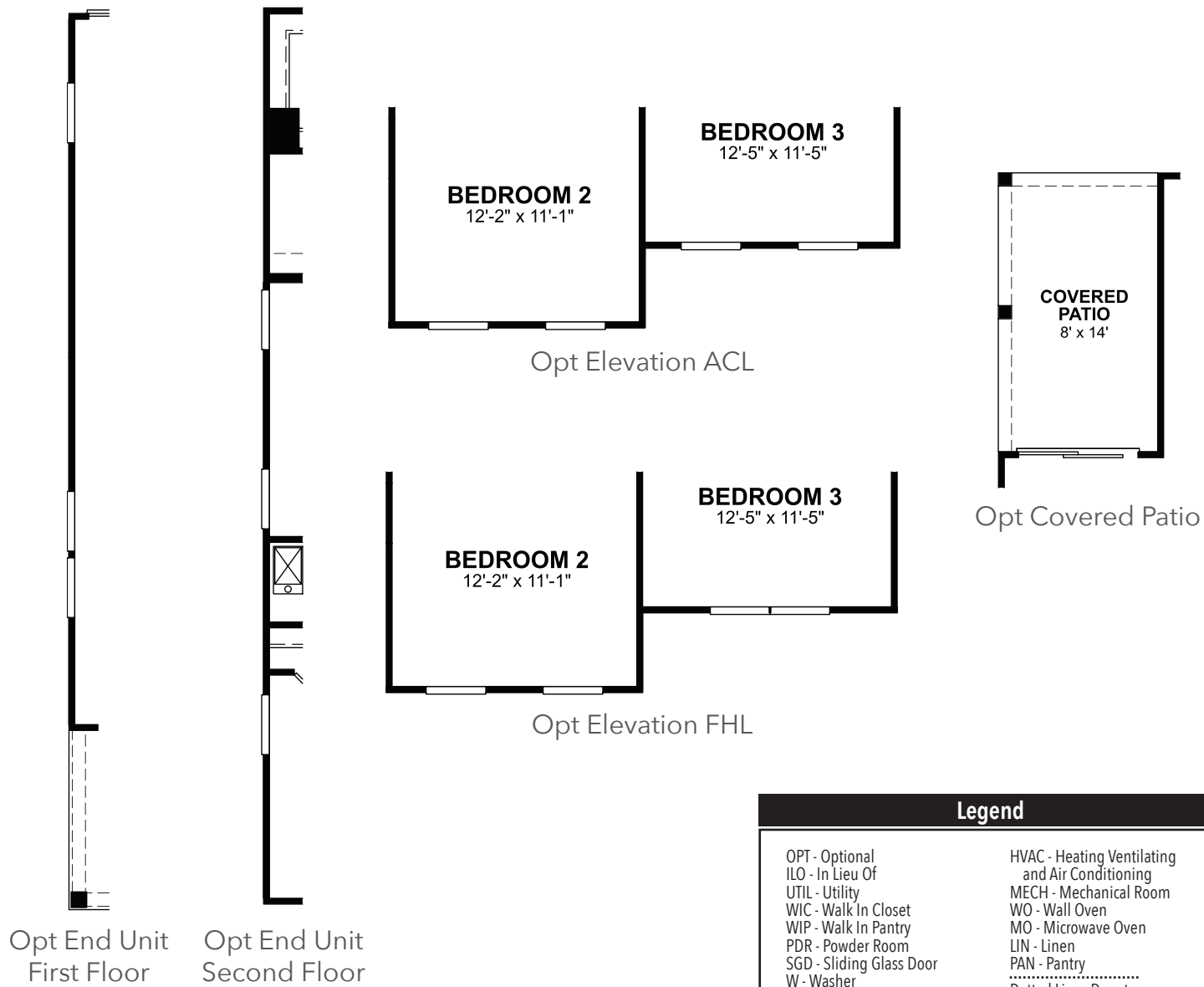
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# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee



Legend	
OPT - Optional	HVAC - Heating Ventilating and Air Conditioning
ILO - In Lieu Of	MECH - Mechanical Room
UTIL - Utility	WO - Wall Oven
WIC - Walk In Closet	MO - Microwave Oven
WIP - Walk In Pantry	LIN - Linen
PDR - Powder Room	PAN - Pantry
SGD - Sliding Glass Door	..... Dotted Lines Denote Optional Items
W - Washer	----- Dashed Lines Denote Elevated Features
D - Dryer	
WH - Water Heater	
DW - Dishwasher	
REF - Refrigerator	



## Maxwell

3 beds / 2.5 baths  
2,207 sq. ft.  
2-car garage



Arts & Crafts L Exterior



Farmhouse L Exterior



Traditional L Exterior

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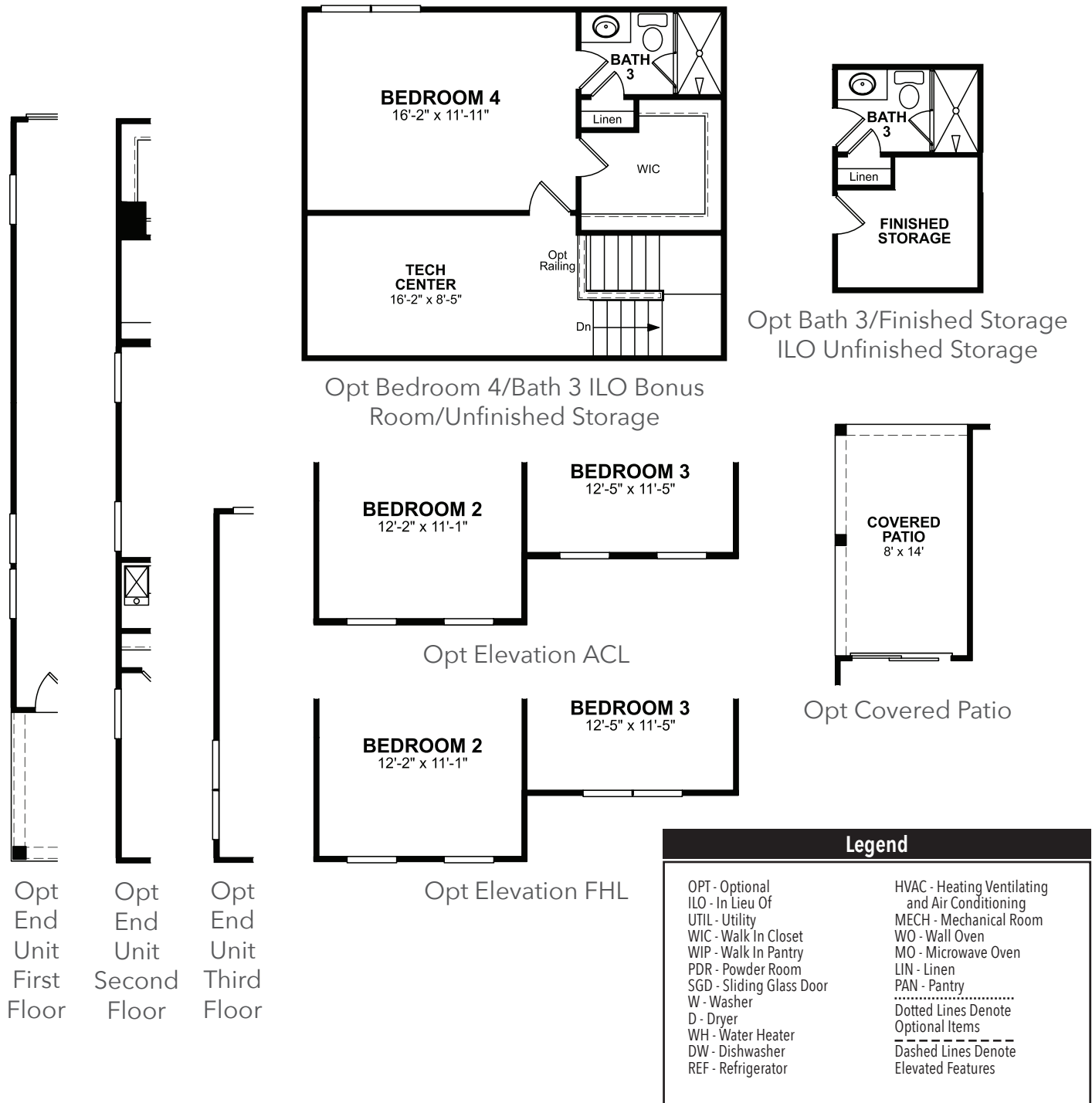


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# Paid Options

Structural options that add square footage or other structure (s) to the home for a fee



Opt End Unit First Floor  
 Opt End Unit Second Floor  
 Opt End Unit Third Floor



## Parker

3-4 beds / 2.5-3.5 baths  
 2,623 sq. ft.  
 2-car garage



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# BEAZER HOMES

## ADDISON RLH T433

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan - TRL
F-1.1	Slab Plan - ACL
F-1.2	Slab Plan - FHL
A-1.0	First Floor Plan
A-1.1	First Floor Partial
A-2.0	Second Floor Plan
A-2.1	Second Floor Partial
A-3.0	Front Elevation TRL
A-3.1	Side Elevations TRL
A-3.2	Front Elevation ACL
A-3.3	Side Elevations ACL
A-3.4	Front Elevation FHL
A-3.5	Side Elevations FHL
A-4.0	Typical Section
E-1.0	First Floor Electrical Plan
E-2.0	Second Floor Electrical Plan

REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<p><b>BEAZER HOMES</b></p> <p>PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328</p> <p>PH: 770-392-2100</p>	<p><b>BEAZER HOMES</b></p> <p>DIVISION ADDRESS ADDRESS CITY, STATE ZIP</p> <p>CONTACT: PH: NUMBER FAX: NUMBER</p>	<p><b>CONSULTANT</b></p> <p>ADDRESS ADDRESS CITY, STATE ZIP</p> <p>PH: NUMBER FAX: NUMBER</p>

NOTE:  
AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW OS LOCATED.

NOTE:  
ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC, RESIDENTIAL CODE, SPECIFICALLY:  
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- ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
- GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
- DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

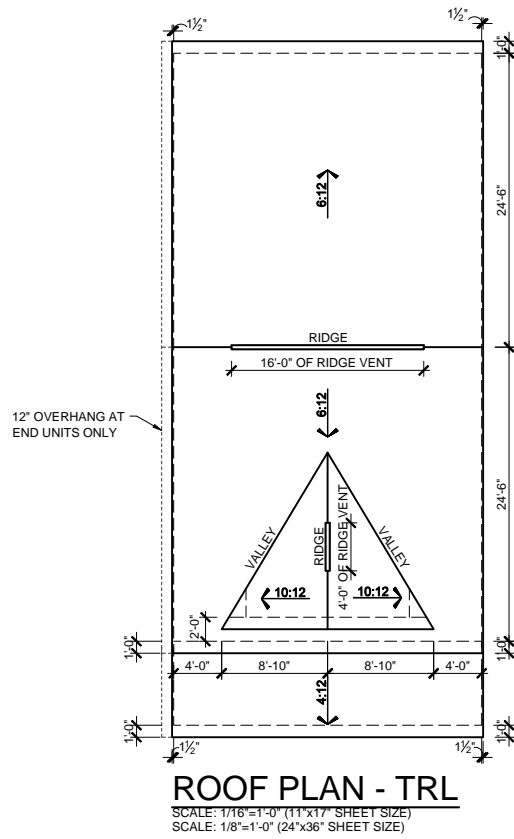
### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER



**RLH T433 2.1**  
**Cover Sheets**  
**Cover Sheet**

drawn by: XSI  
checked by: BZH  
date: 7/26/19  
sheet number:  
**CS-1.0**

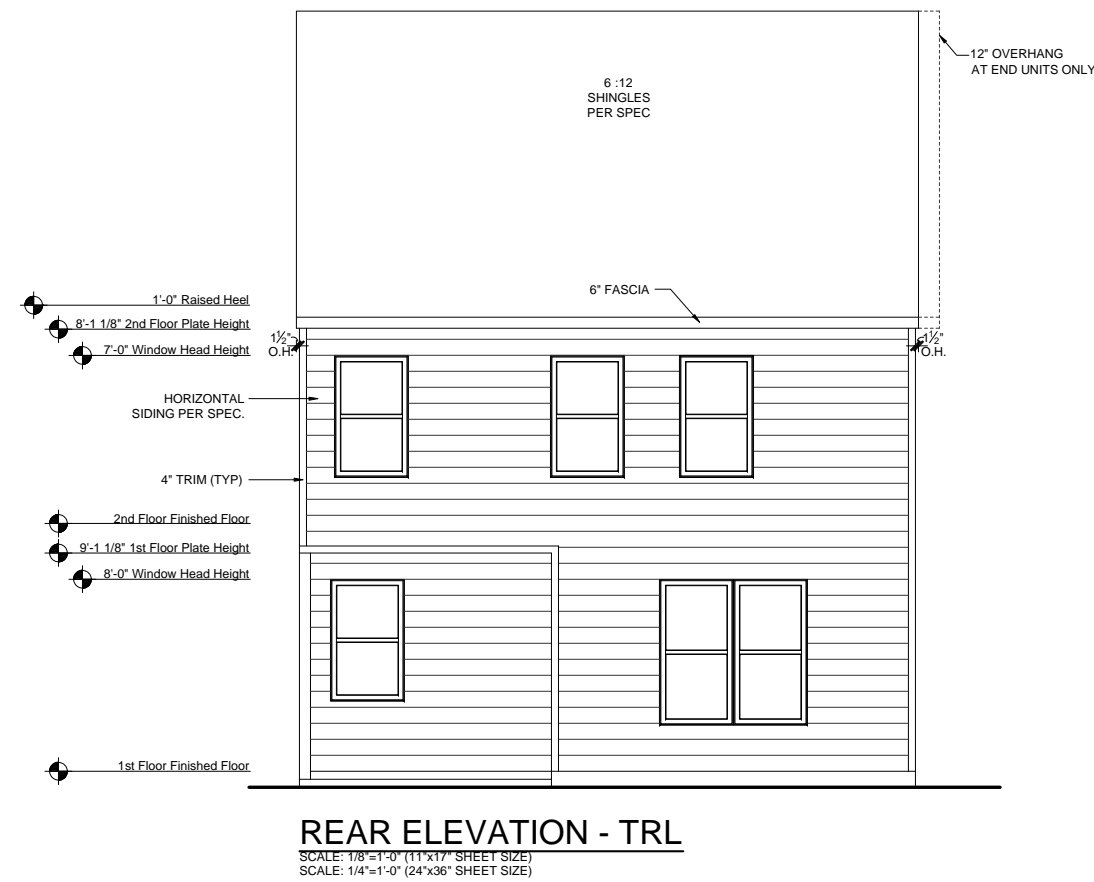
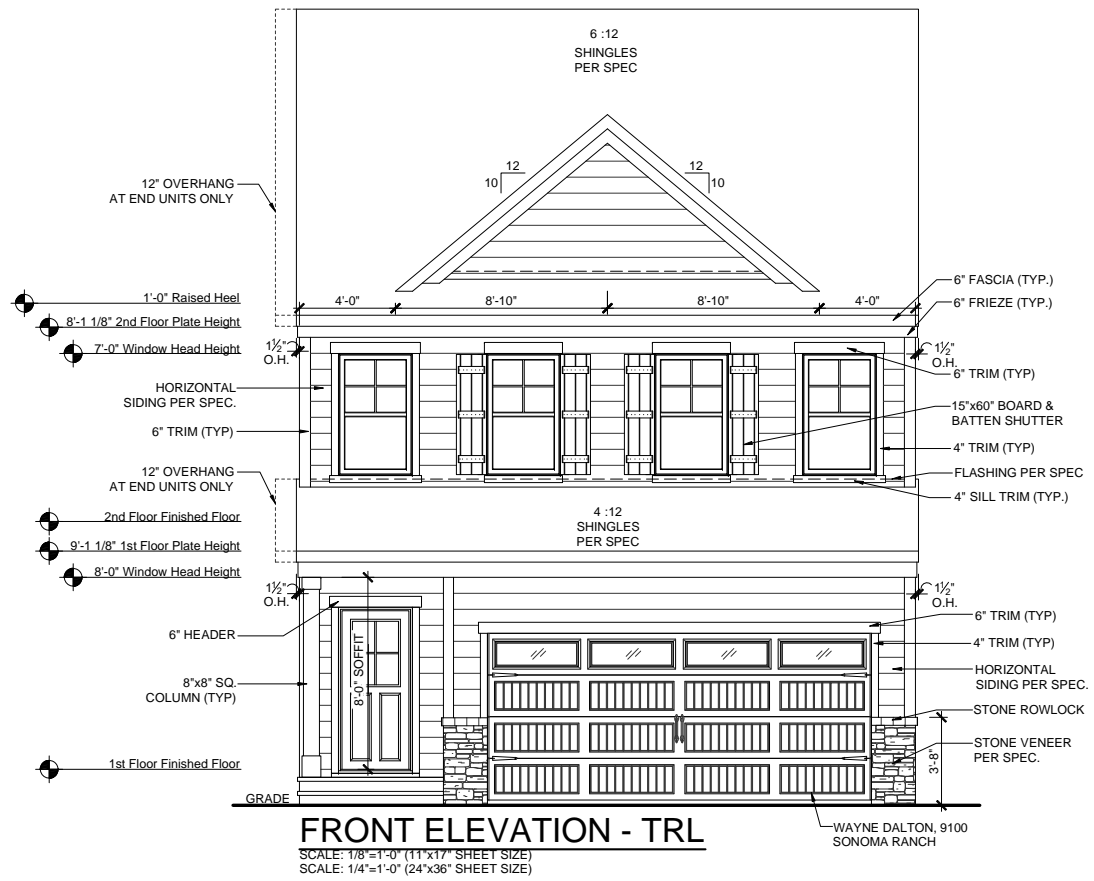


**MAIN ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE =	1258 S.F.
VENTING =	
1258 S.F. / 150 =	8.38 S.F. REQUIRED
1258 S.F. / 300 =	4.19 S.F. REQUIRED
Ridge Vents:	20 lin ft
Soffit Vents:	52 lin ft
NOTE:	
1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

**GARAGE/PORCH ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE =	180 S.F.
VENTING =	
180 S.F. / 150 =	1.2 S.F. REQUIRED
180 S.F. / 300 =	0.6 S.F. REQUIRED
Ridge Vents:	0 lin ft
Soffit Vents:	26 lin ft
NOTE:	
1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



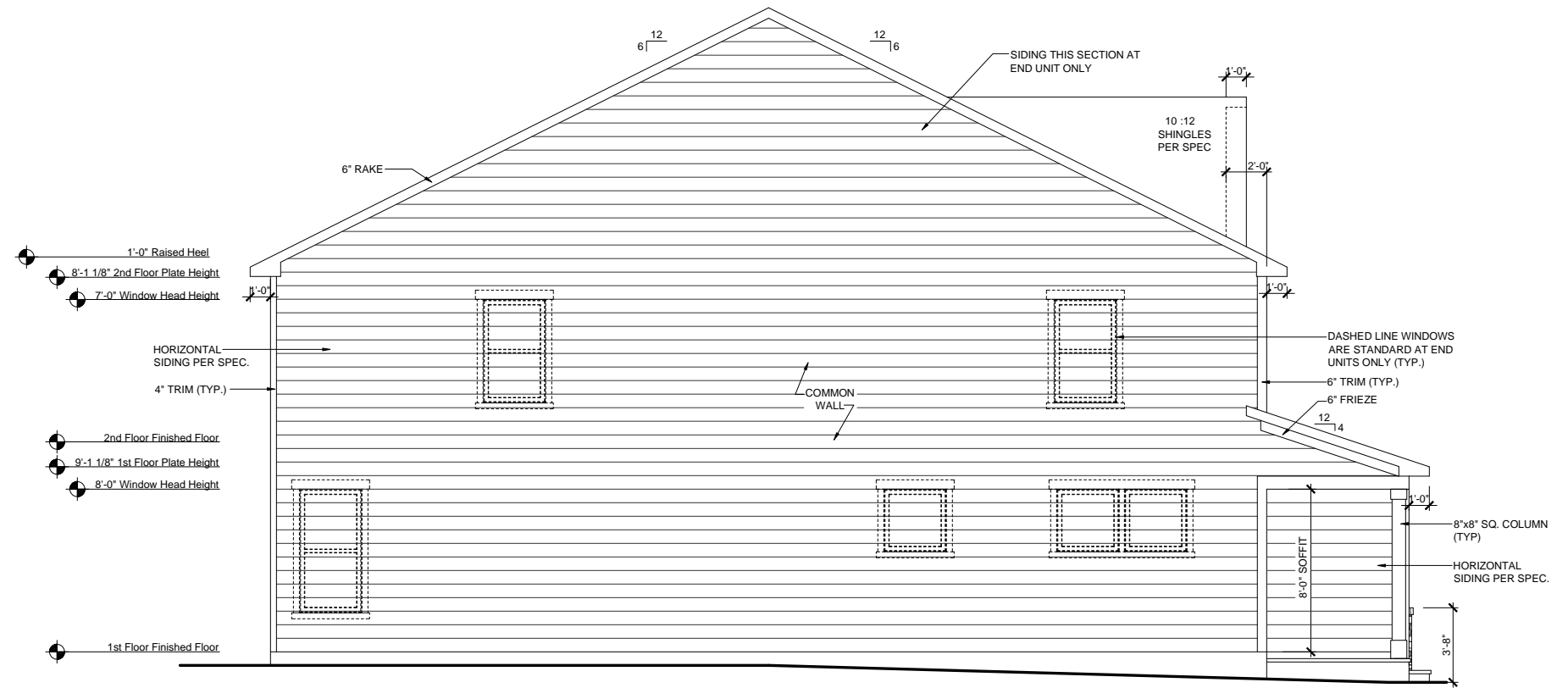
REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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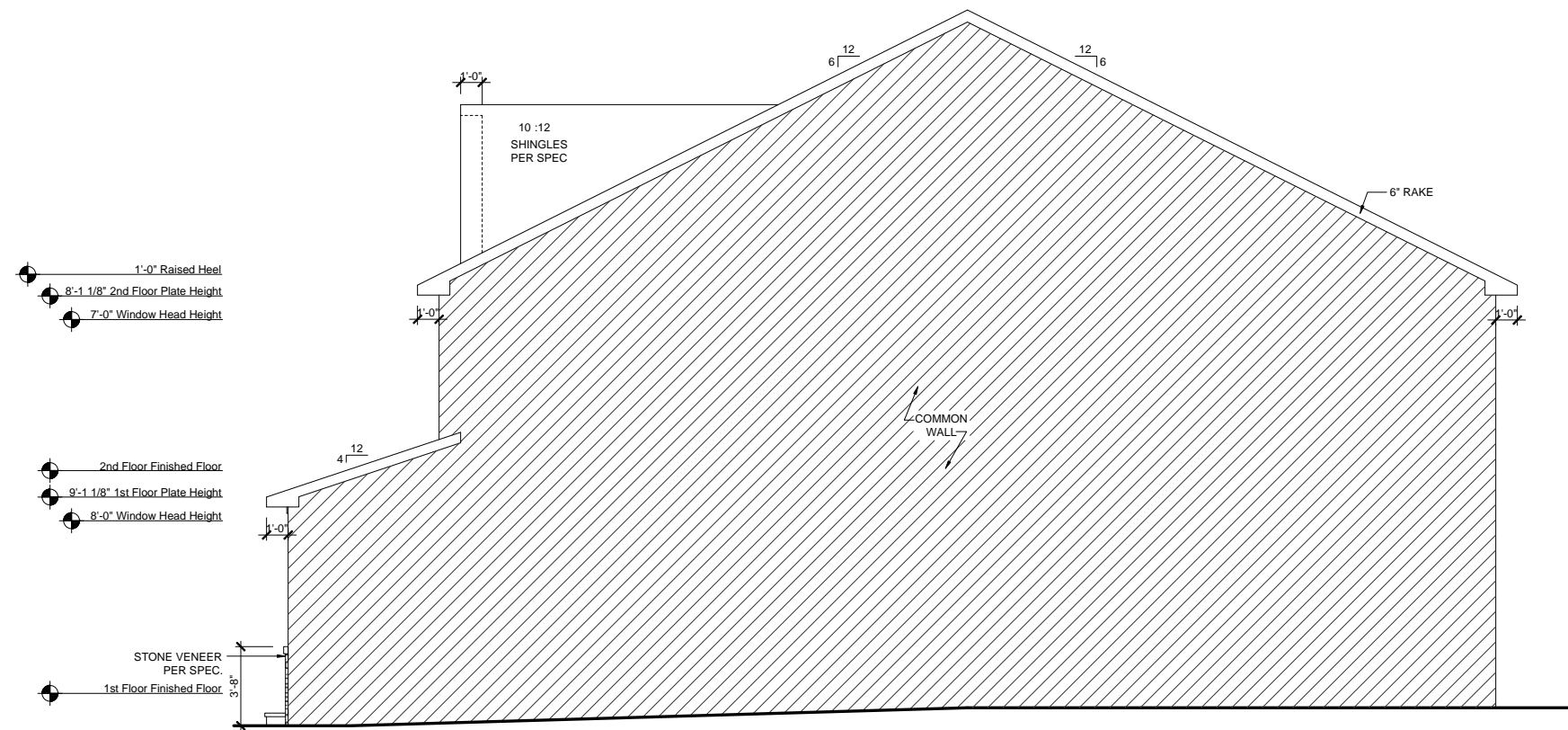


**RLH T4332.1**  
**Elevation Plans**  
**Front Elevation TRL**

drawn by: XSI  
 checked by: BZH  
 date: 7/26/19  
 sheet number:  
**A-3.0**



**LEFT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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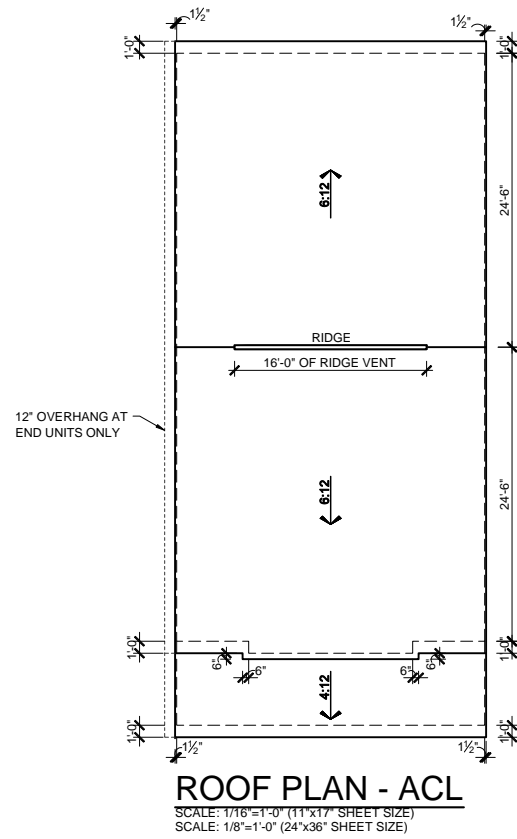
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**RLH T4332.1**  
**Elevation Plans**  
**Side Elevations TRL**

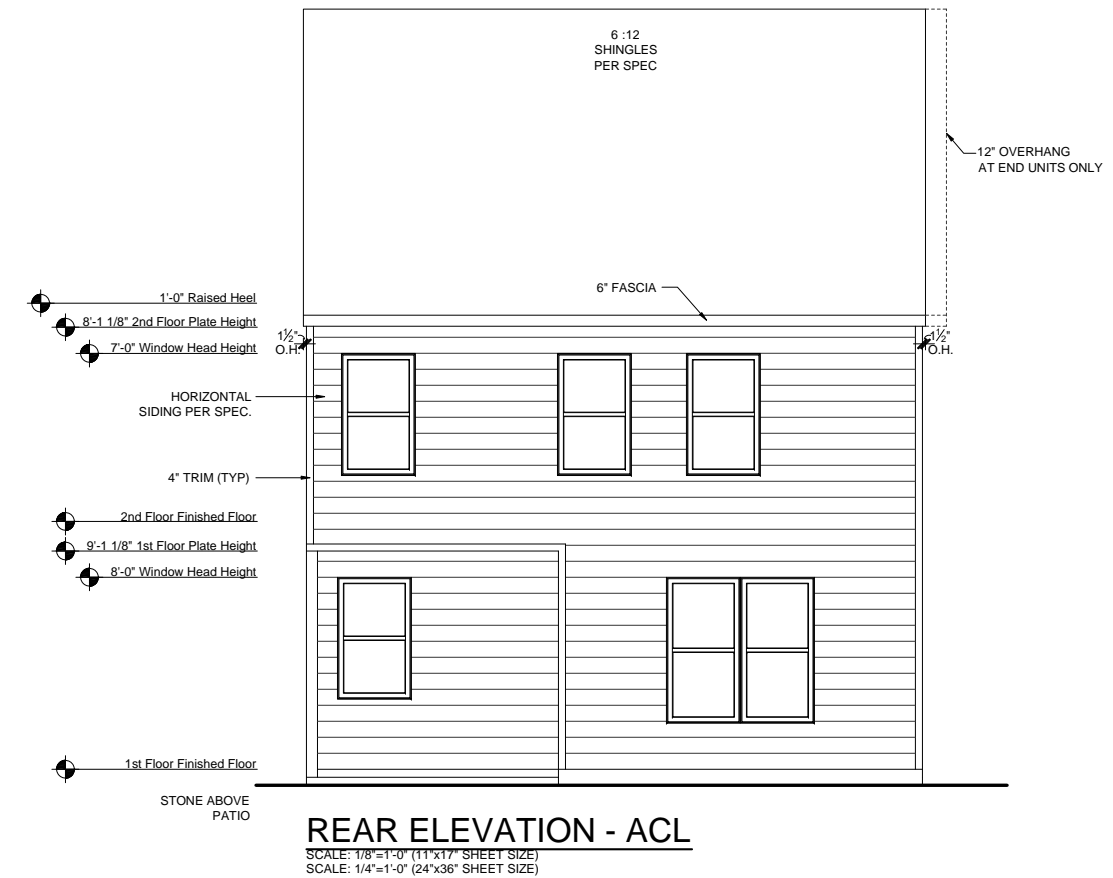
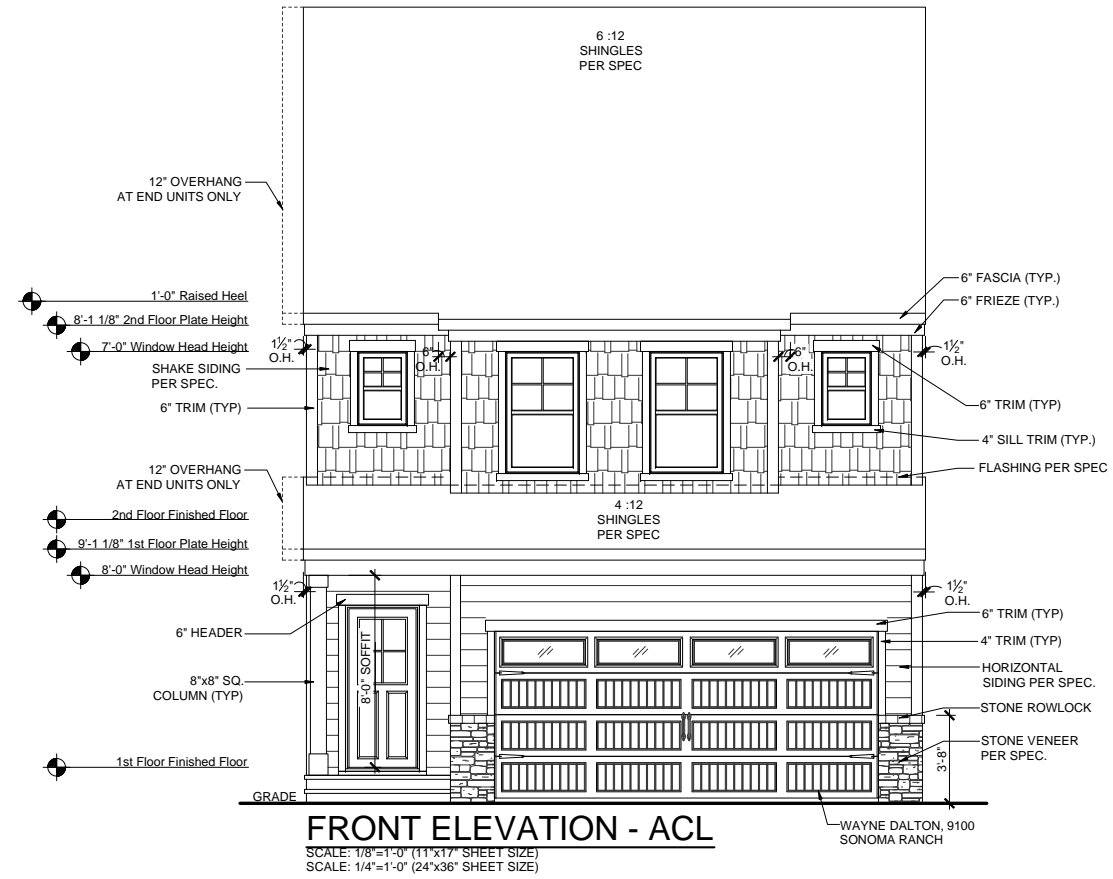
drawn by: XSI  
 checked by: BZH  
 date: 7/26/19  
 sheet number:  
**A-3.1**

ROBERTS CROSSING



MAIN ROOF	
<b>ATTIC VENT CALCULATIONS</b>	
ROOF SQUARE FOOTAGE = 1271 S.F.	
VENTING =	
1271 S.F. / 150 =	8.47 S.F. REQUIRED
1271 S.F. / 300 =	4.23 S.F. REQUIRED
Ridge Vents:	16 lin ft
Soffit Vents:	53 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

GARAGE/PORCH ROOF	
<b>ATTIC VENT CALCULATIONS</b>	
ROOF SQUARE FOOTAGE = 166 S.F.	
VENTING =	
166 S.F. / 150 =	1.1 S.F. REQUIRED
166 S.F. / 300 =	0.55 S.F. REQUIRED
Ridge Vents:	0 lin ft
Soffit Vents:	26 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

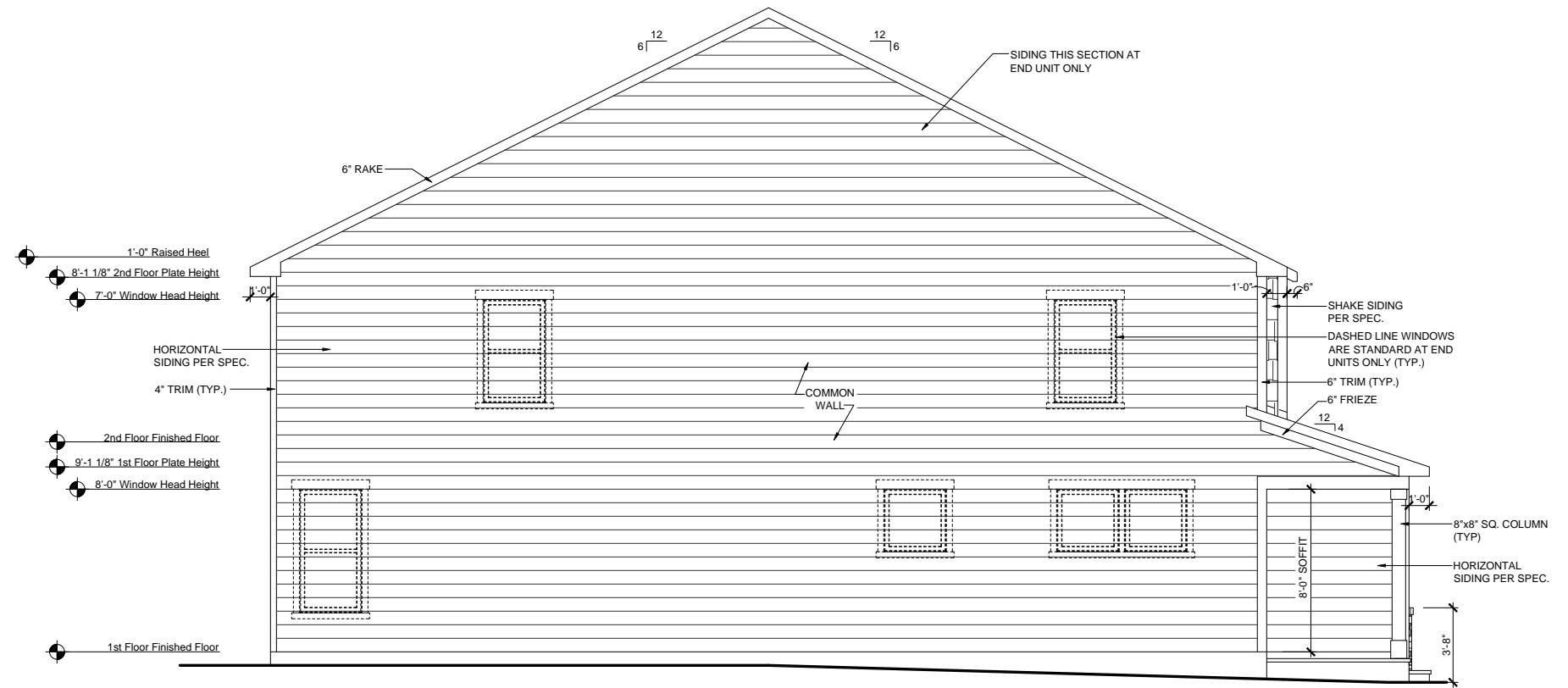
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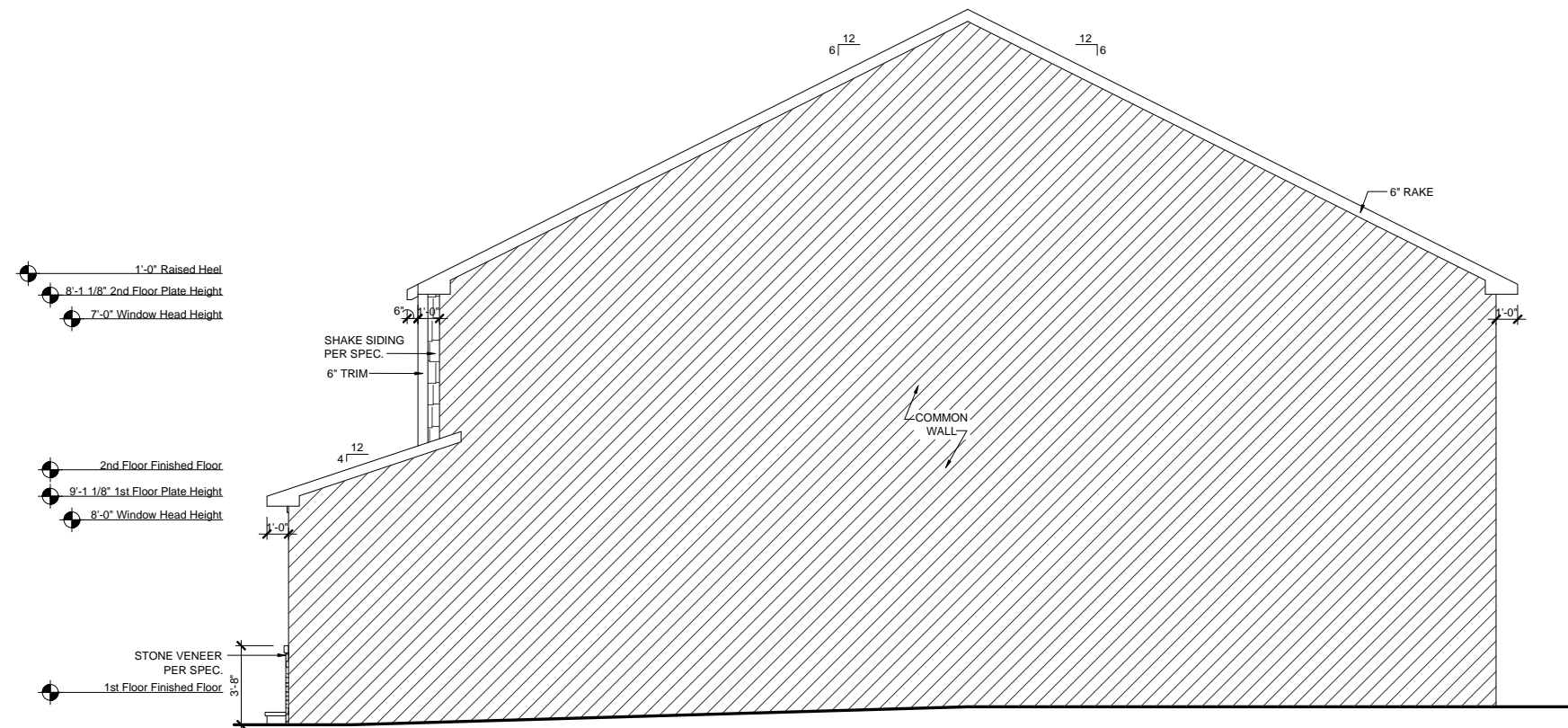
**RLH T4332.1**  
**Elevation Plans**  
**Front Elevation ACL**

drawn by: XSI  
 checked by: BZH  
 date: 7/26/19

sheet number:  
**A-3.2**



**LEFT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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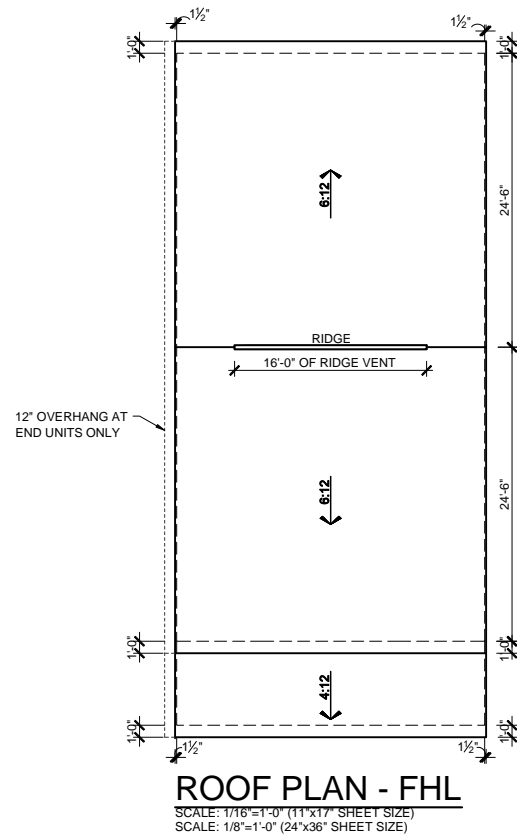
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**RLH T4332.1**  
**Elevation Plans**  
**Side Elevations ACL**

drawn by: XSI  
 checked by: BZH  
 date: 7/26/19  
 sheet number:  
**A-3.3**

ROBERTS CROSSING



**MAIN ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1258 S.F.  
 VENTING =  
 1258 S.F. / 150 = 8.38 S.F. REQUIRED  
 1258 S.F. / 300 = 4.19 S.F. REQUIRED

Ridge Vents: 16 lin ft  
 Soffit Vents: 53 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

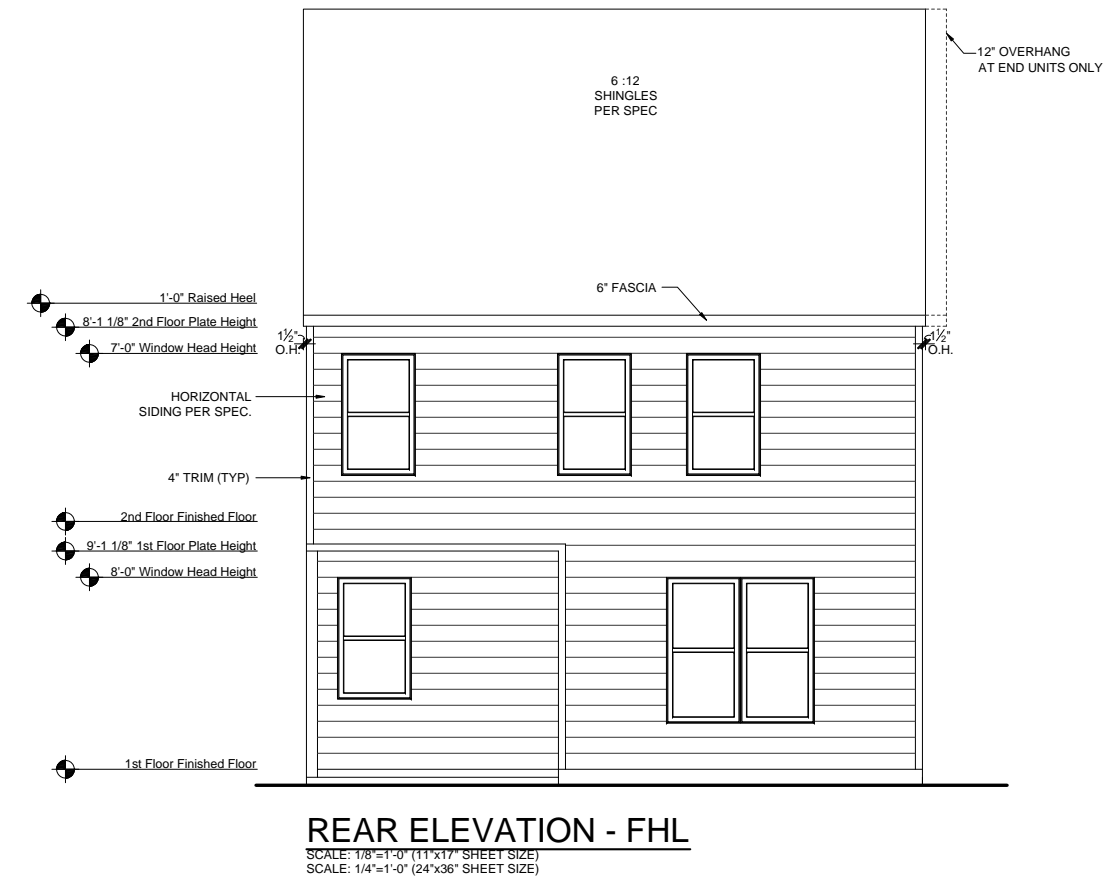
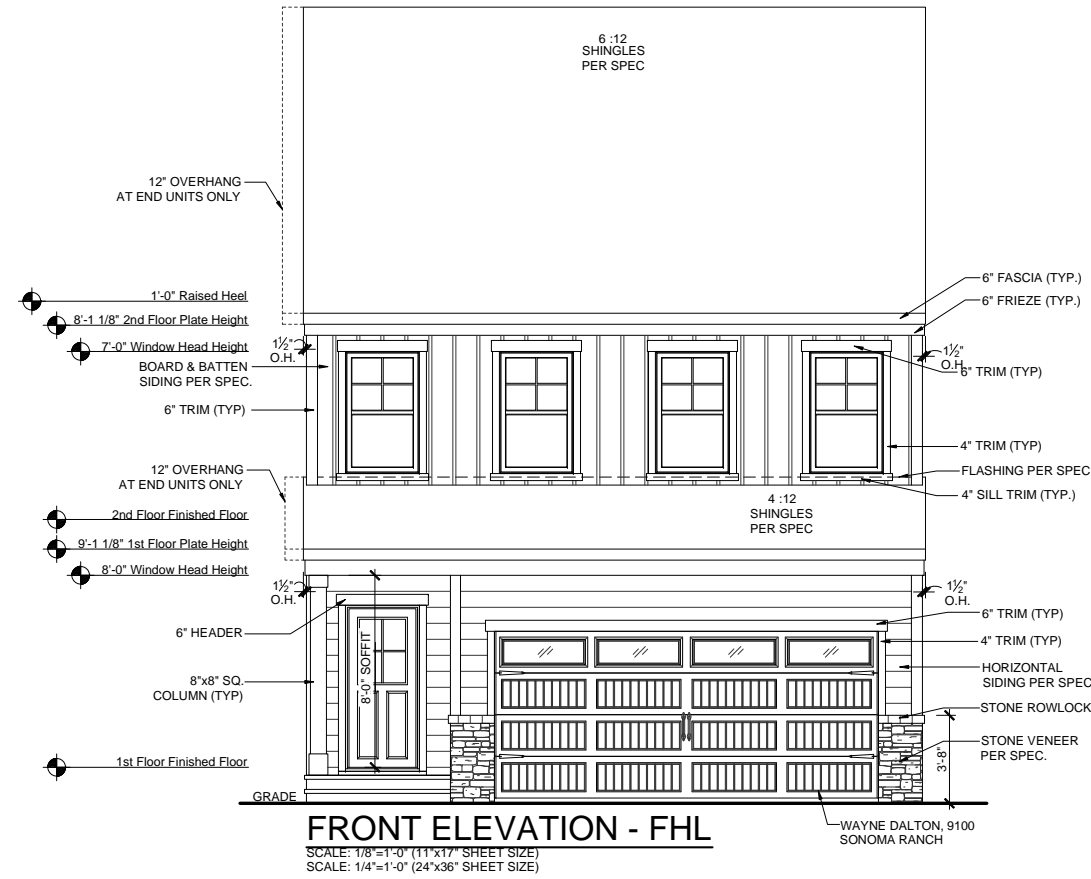
**GARAGE/PORCH ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 180 S.F.  
 VENTING =  
 180 S.F. / 150 = 1.2 S.F. REQUIRED  
 180 S.F. / 300 = 0.6 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 26 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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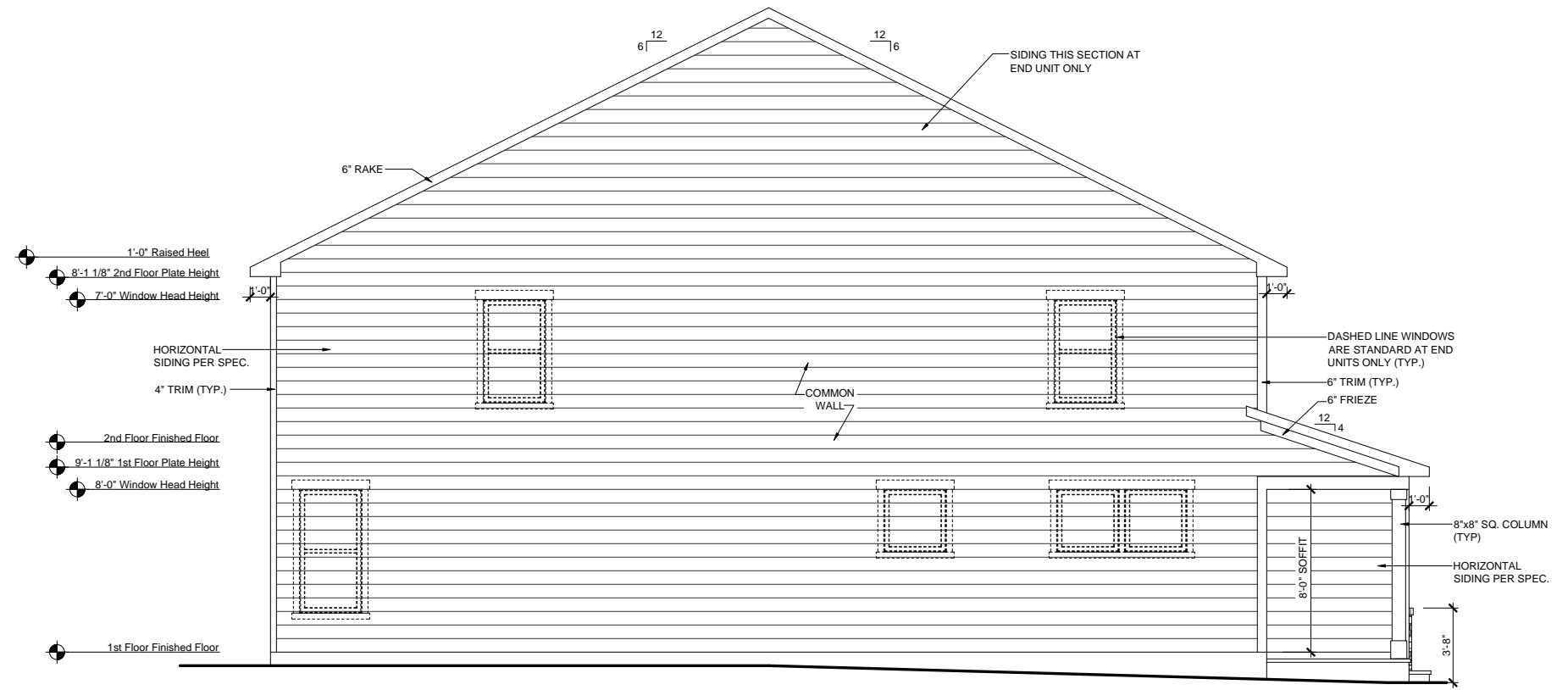
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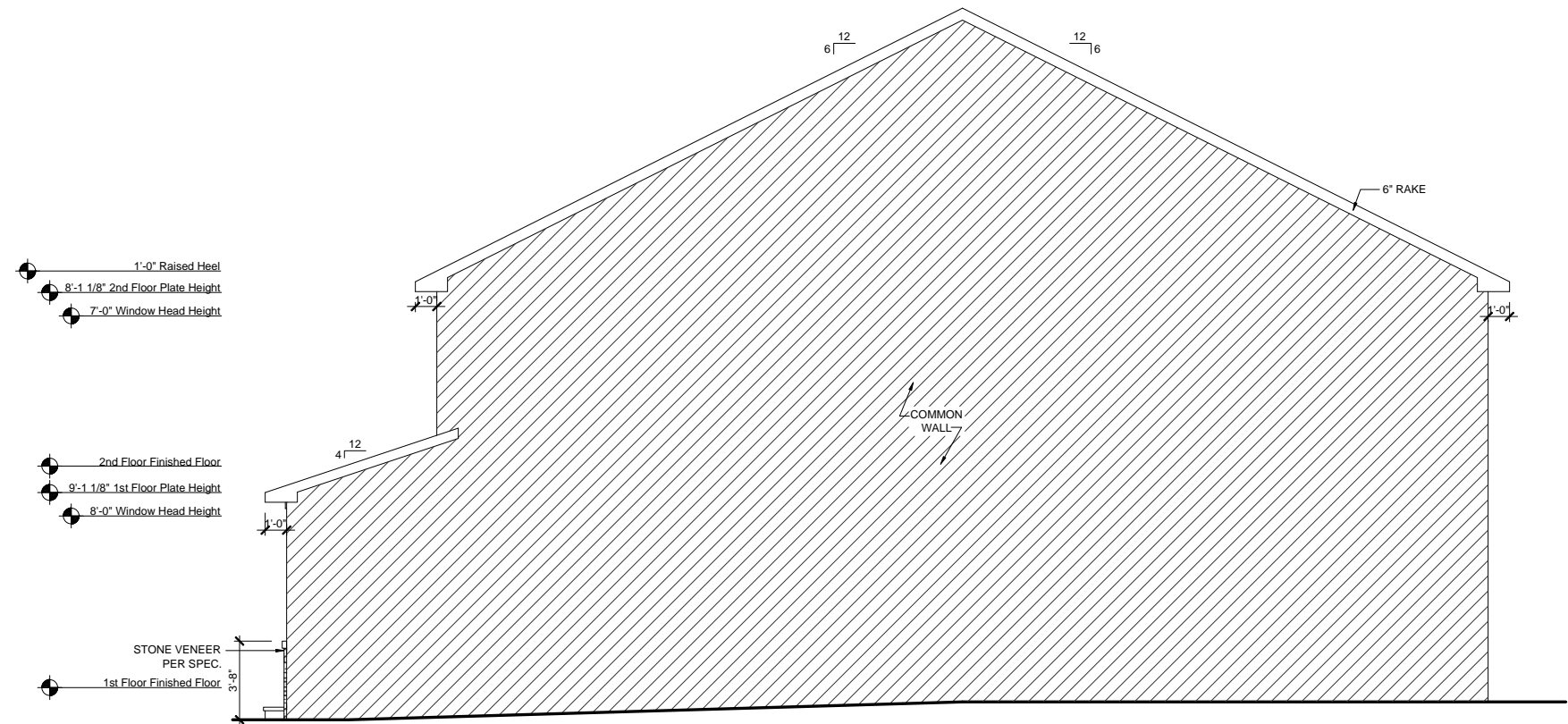
**RLH T4332.1**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 7/26/19  
 sheet number:  
**A-3.4**

ROBERTS CROSSING



**LEFT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v2.0	09-18-20
v2.1	02-23-21

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**RLH T4332.1**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: XSI  
 checked by: BZH  
 date: 7/26/19  
 sheet number:  
**A-3.5**

ROBERTS CROSSING





# BEAZER HOMES MAXWELL RLH T437

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRL
F-1.1	Slab Plan Elev ACL
F-1.2	Slab Plan Elev FHL
F-1.3	Slab Options
A-1.0	First Floor Plan
A-1.1	First Floor Partial
A-1.2	Opt. Covered Patio
A-2.0	Second Floor Plan
A-2.1	Second Floor Partial
A-3.0	Front Elevation TRL
A-3.1	Side Elevations TRL
A-3.2	Front Elevation ACL
A-3.3	Side Elevations ACL
A-3.4	Front Elevation FHL
A-3.5	Side Elevations FHL
A-4.0	Typical Section
E-1.0	1st Floor Electrical Plan
E-2.0	2nd Floor Electrical Plan

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<b>BEAZER HOMES</b> PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328  PH: 770-392-2100	<b>BEAZER HOMES</b> RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607  PH: 919-881-9350	<b>MULHERN &amp; KULP ENGINEERING</b> CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002 &  PH: 770-777-0074

NOTE:  
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NOTE:  
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 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

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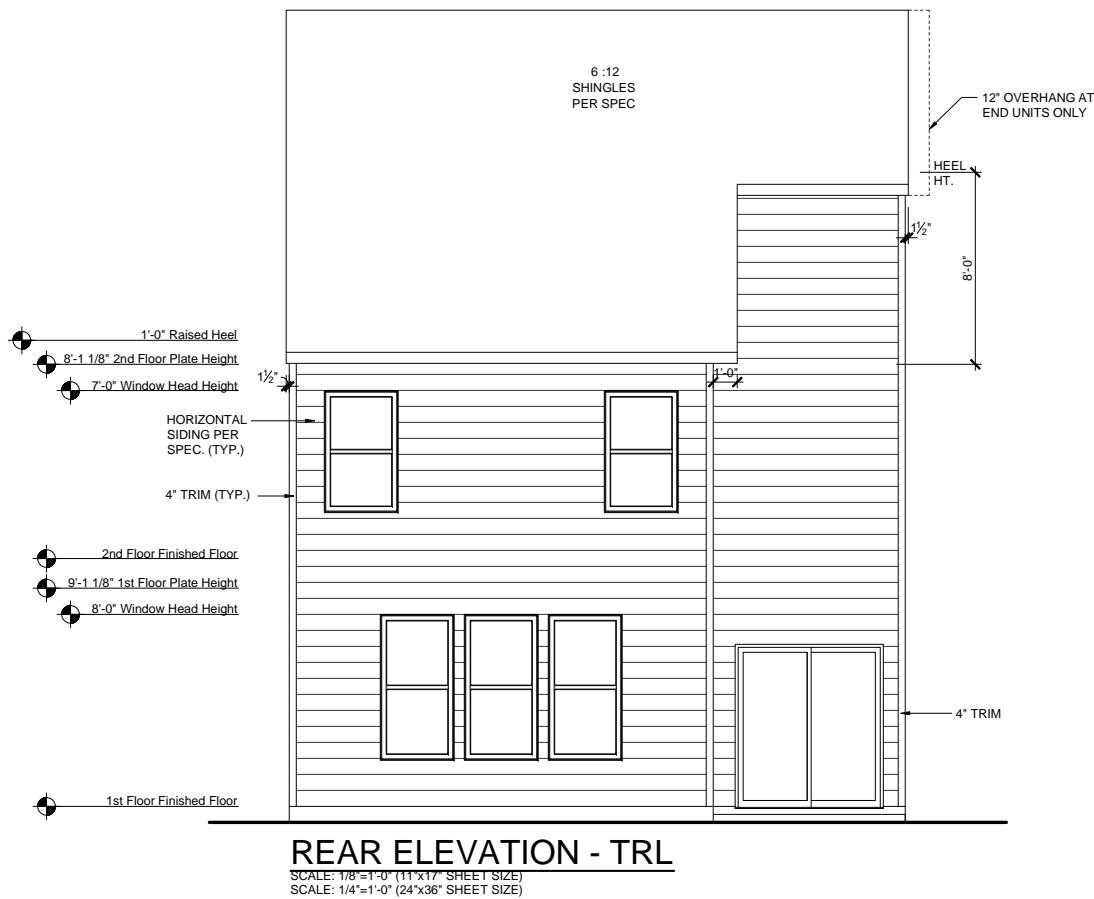
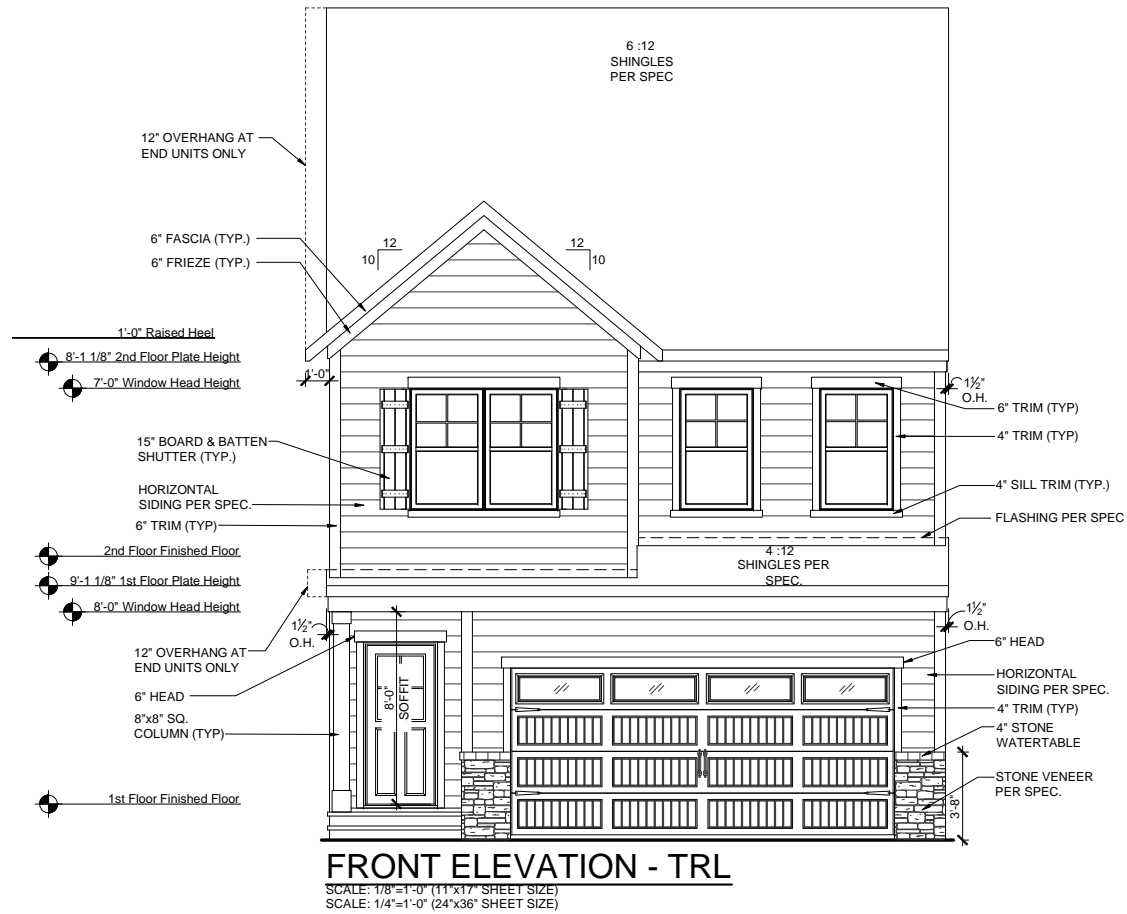
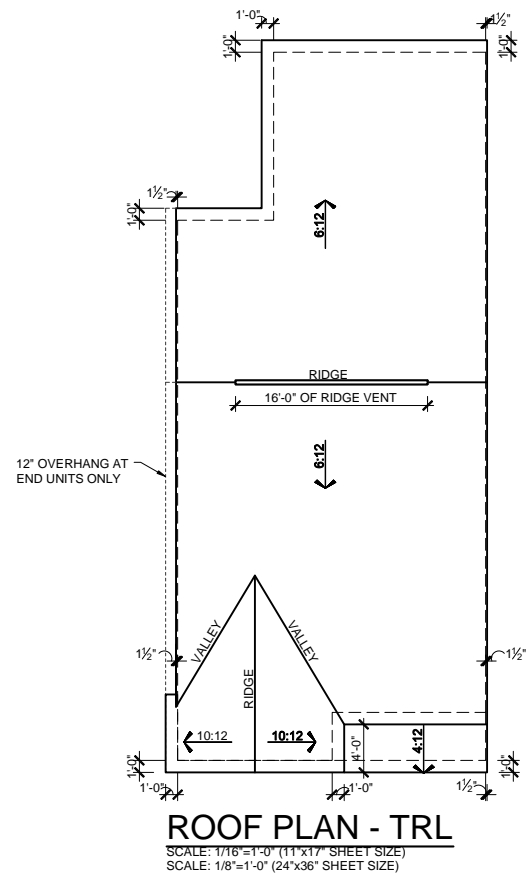
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**RLH T437 2.1**  
**Cover Sheets**  
**Cover Sheet**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:  
**CS-1.0**

ROBERT'S CROSSING



**MAIN ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 1351 S.F.	
VENTING =	
1351 S.F. / 150 =	9.00 S.F. REQUIRED
1351 S.F. / 300 =	4.50 S.F. REQUIRED
Ridge Vents: 16 lin ft	
Soffit Vents: 45 lin ft	
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

**GARAGE/PORCH ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 51 S.F.	
VENTING =	
51 S.F. / 150 =	0.34 S.F. REQUIRED
51 S.F. / 300 =	0.17 S.F. REQUIRED
Ridge Vents: 0 lin ft	
Soffit Vents: 26 lin ft	
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

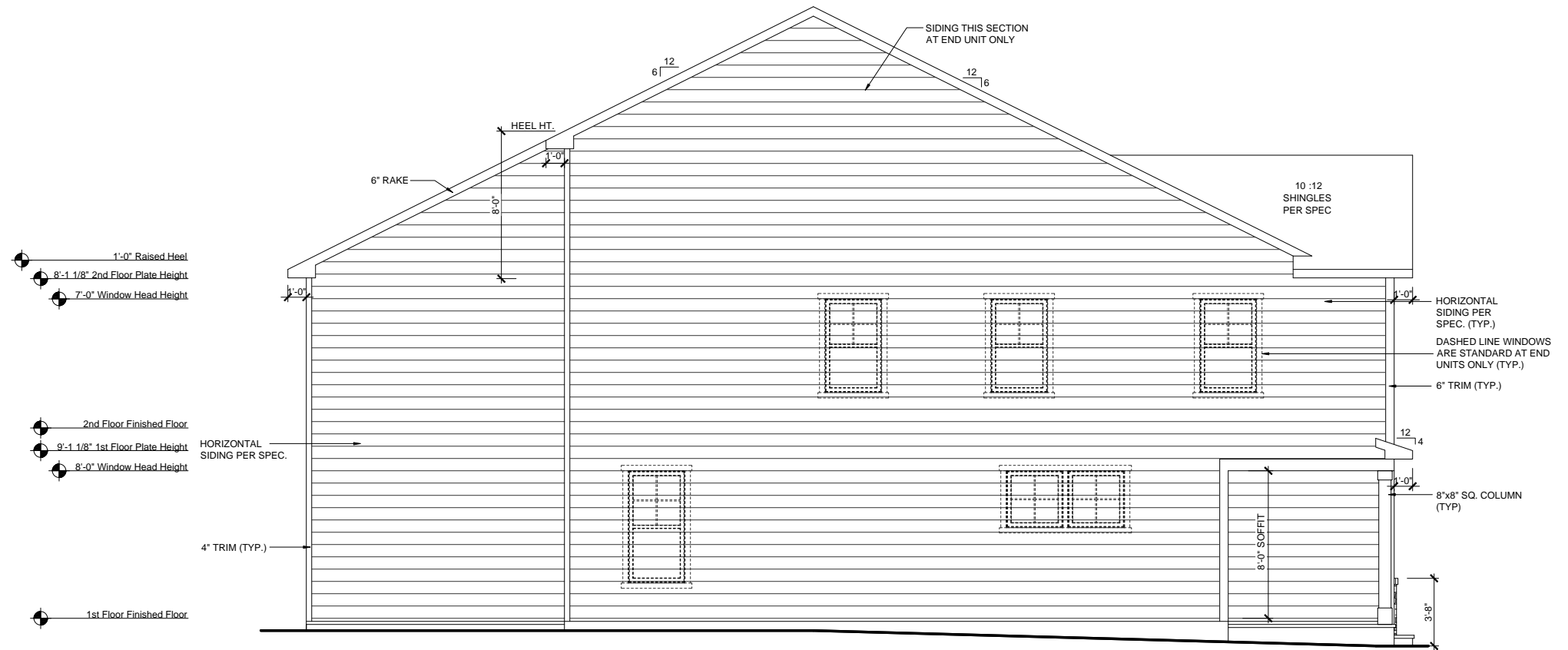
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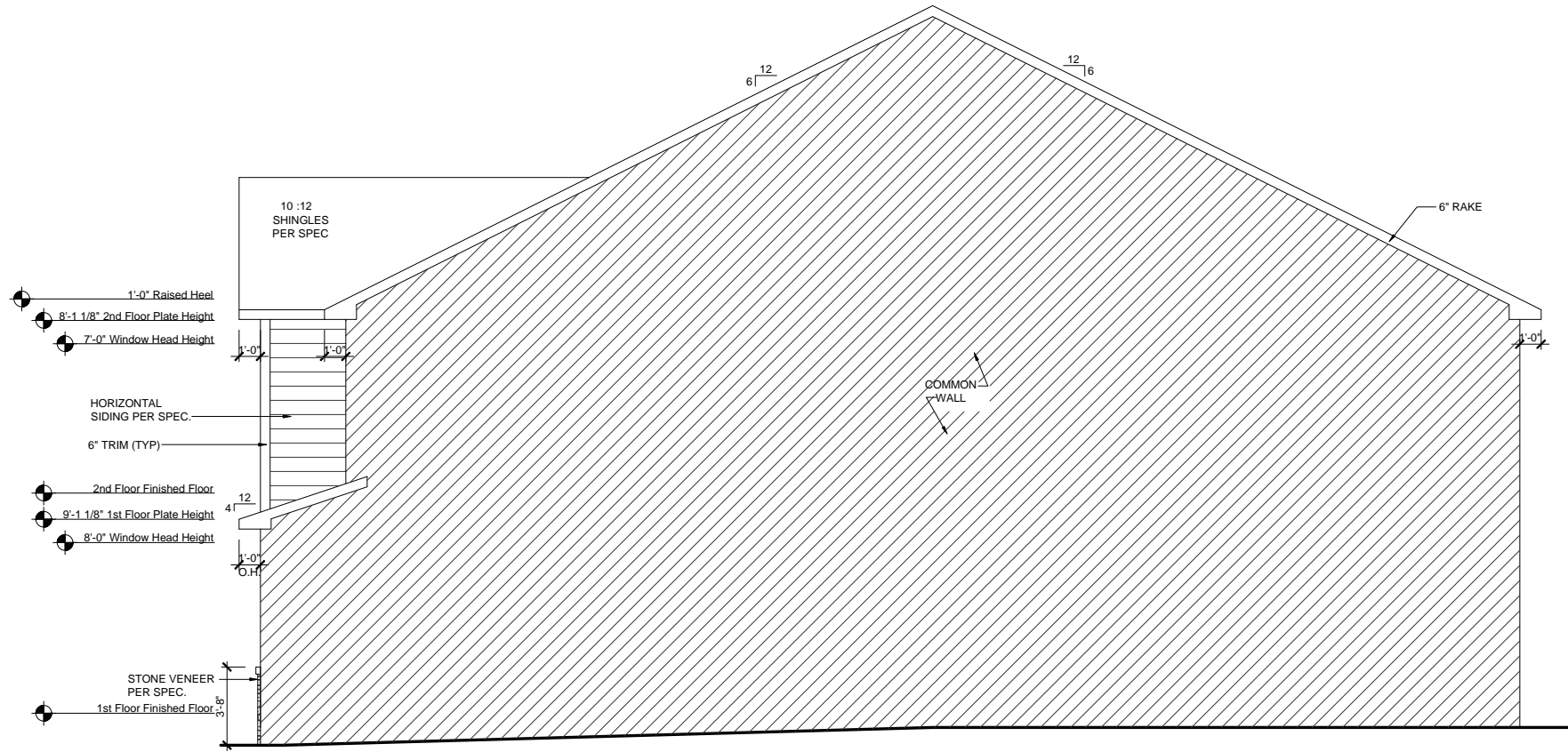


**RLH T4372.1**  
**Elevation Plans**  
**Front Elevation TRL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:  
**A-3.0**



**LEFT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

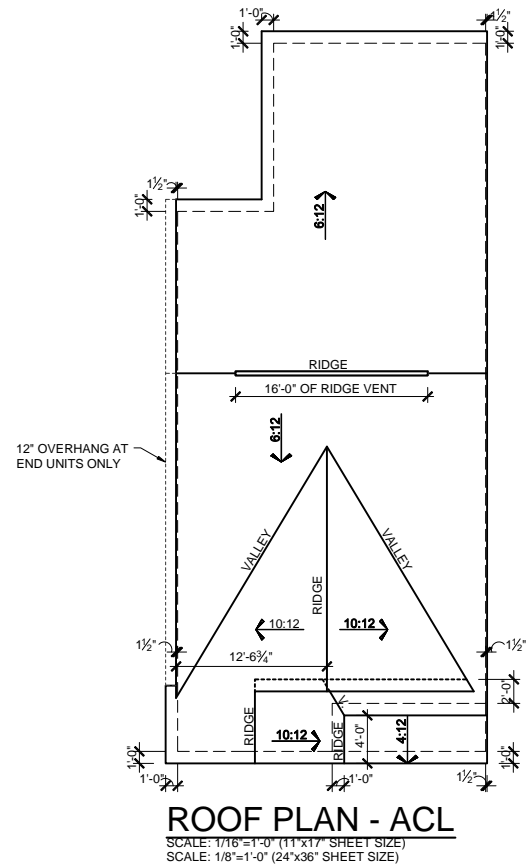
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**RLH T4372.1**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.1**

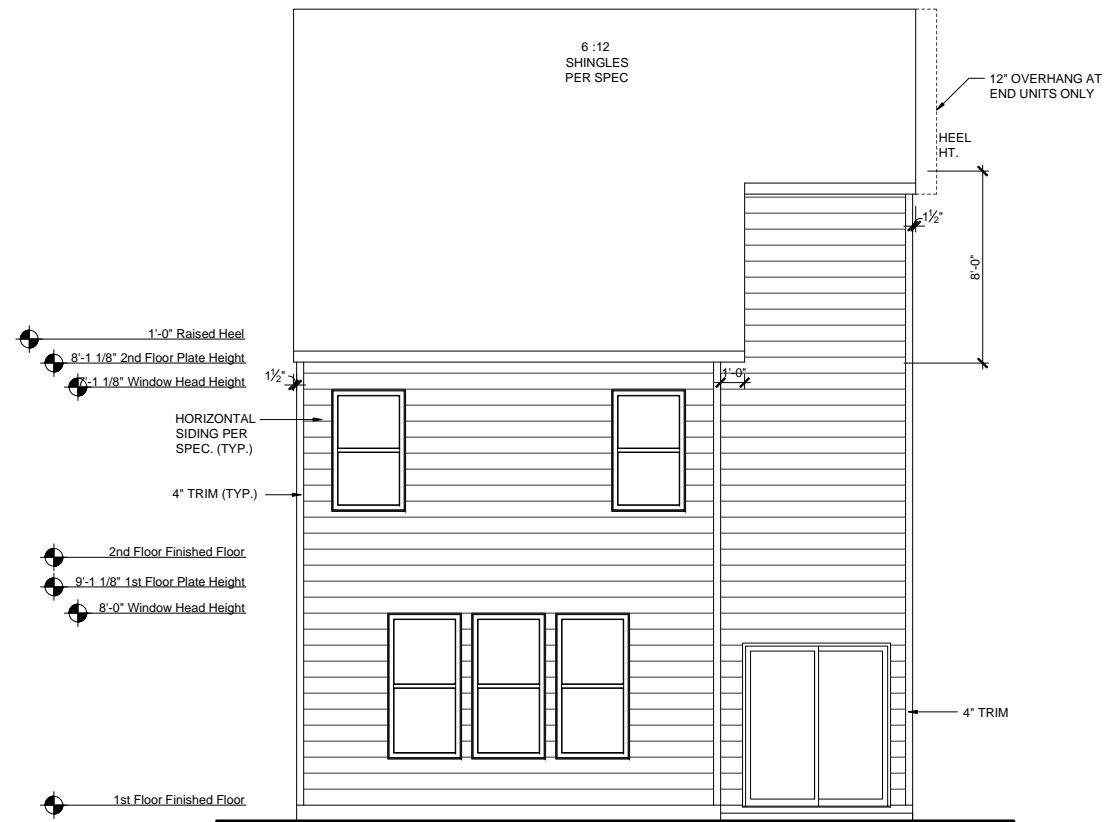
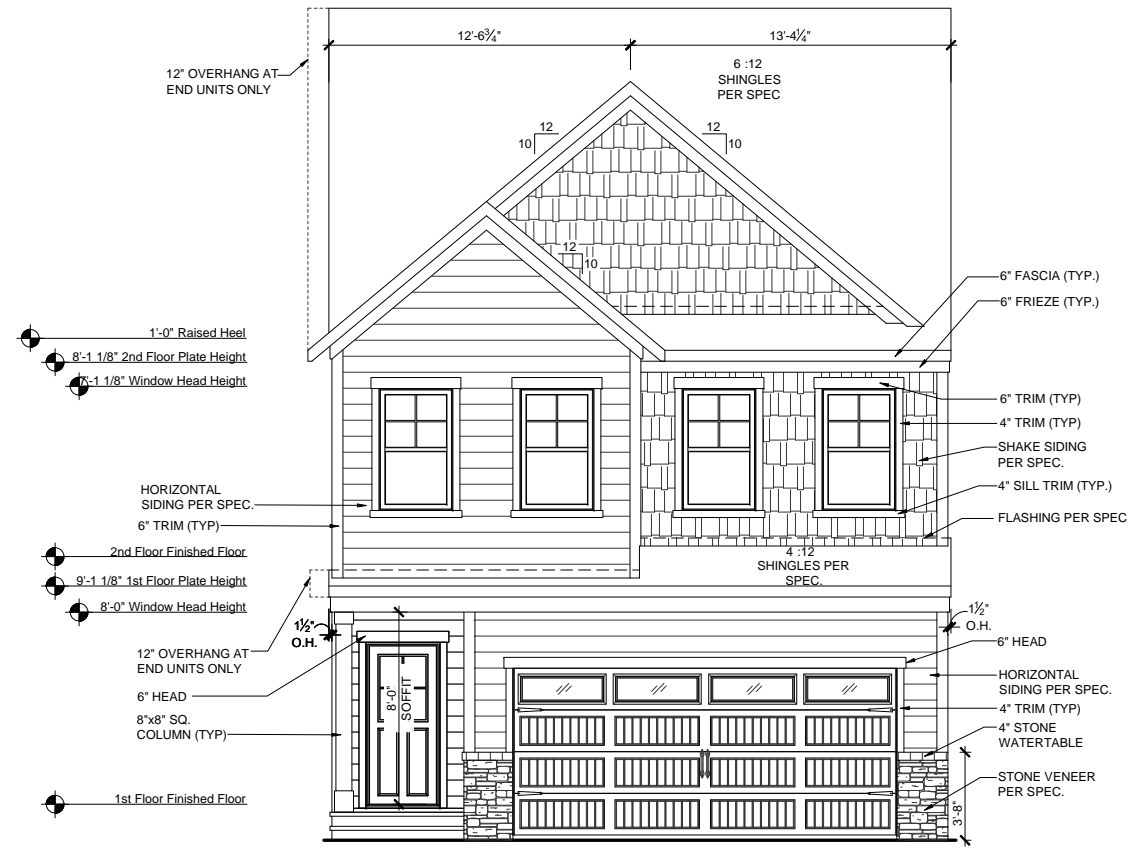


**MAIN ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 1351 S.F.	
VENTING =	
1351 S.F. / 150 =	9.00 S.F. REQUIRED
1351 S.F. / 300 =	4.50 S.F. REQUIRED
Ridge Vents:	16 lin ft
Soffit Vents:	45 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

**GARAGE/PORCH ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 51 S.F.	
VENTING =	
51 S.F. / 150 =	0.34 S.F. REQUIRED
51 S.F. / 300 =	0.17 S.F. REQUIRED
Ridge Vents:	0 lin ft
Soffit Vents:	26 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

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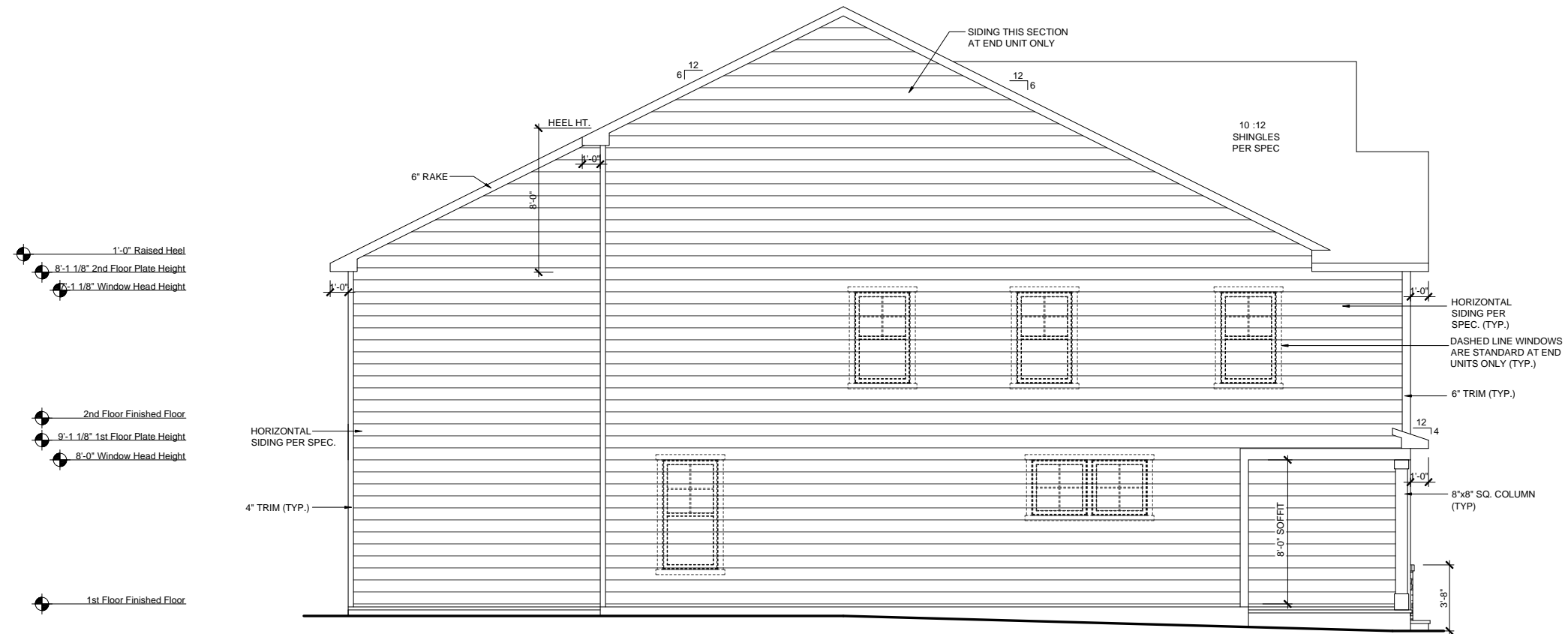
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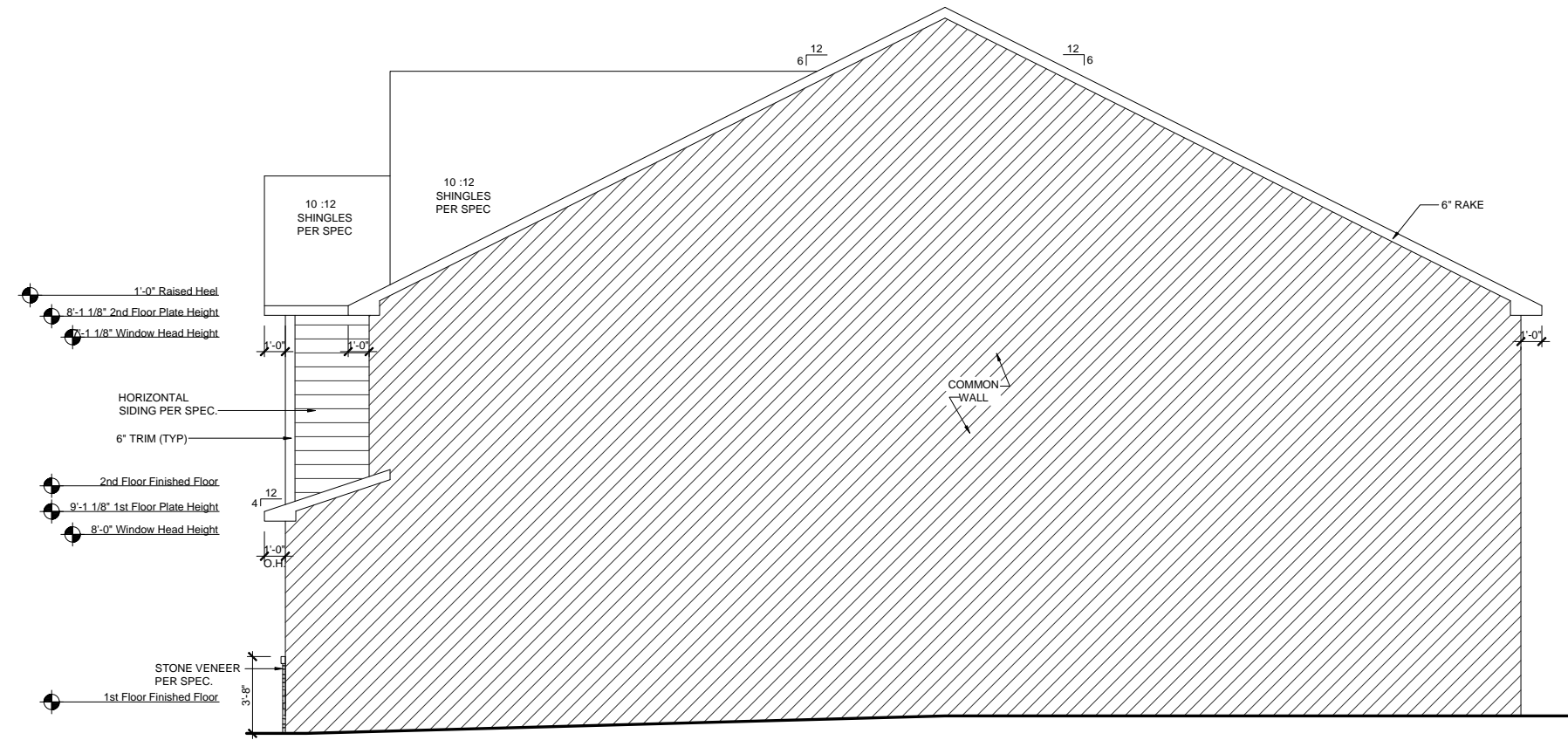
**RLH T4372.1**  
**Elevation Plans**  
**Front Elevation ACL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.2**



**LEFT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

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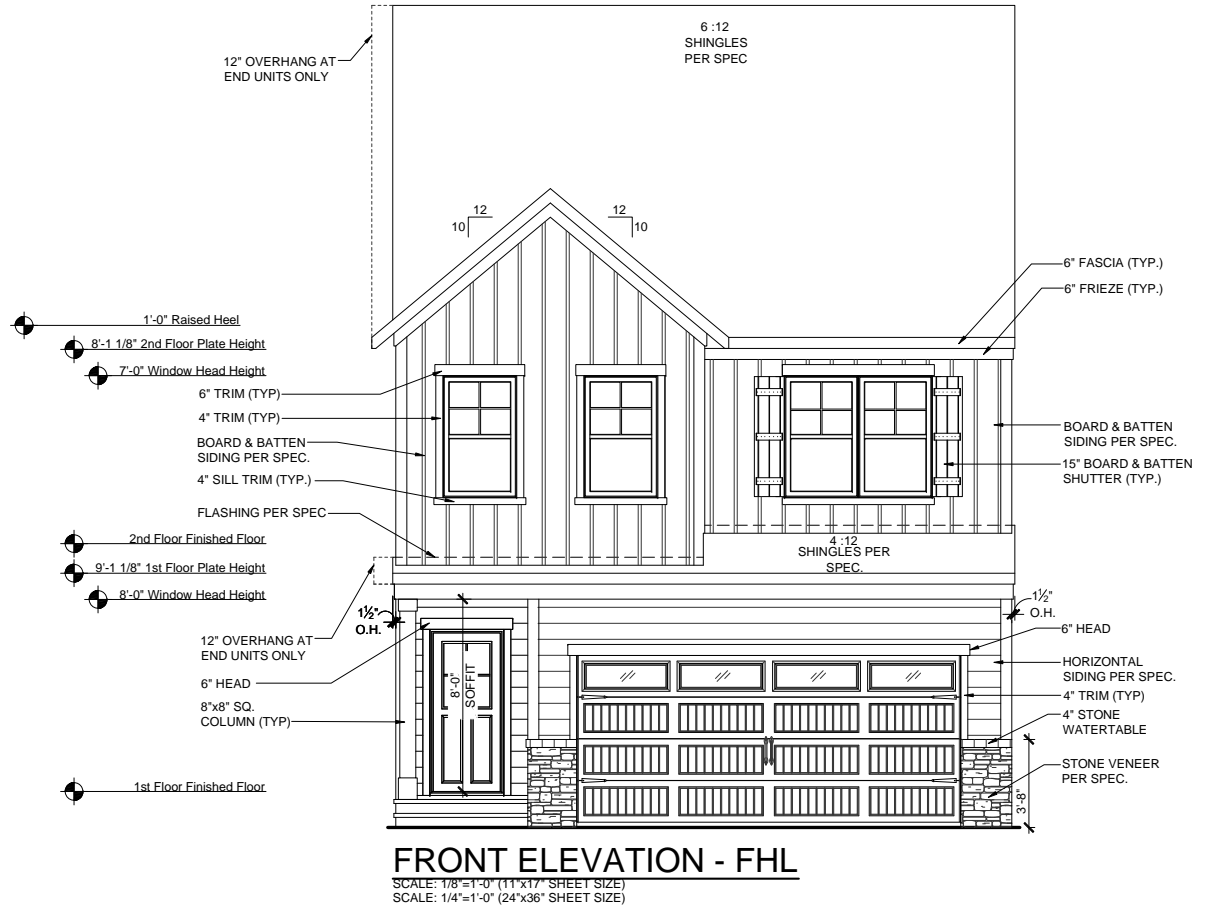
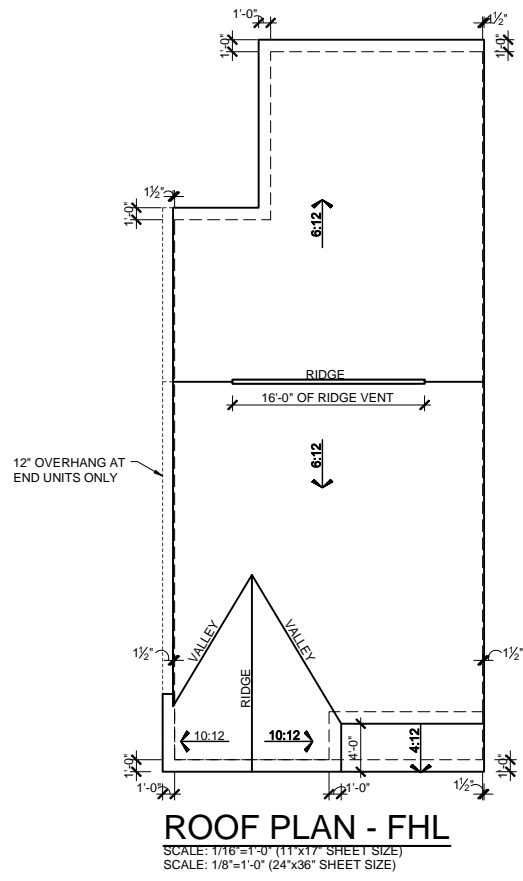


**RLH T4372.1**  
**Elevation Plans**  
**Side Elevations ACL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.3**

ROBERT'S CROSSING



**MAIN ROOF ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1351 S.F.  
 VENTING =  
 1351 S.F. / 150 = 9.00 S.F. REQUIRED  
 1351 S.F. / 300 = 4.50 S.F. REQUIRED

Ridge Vents: 16 lin ft  
 Soffit Vents: 45 lin ft

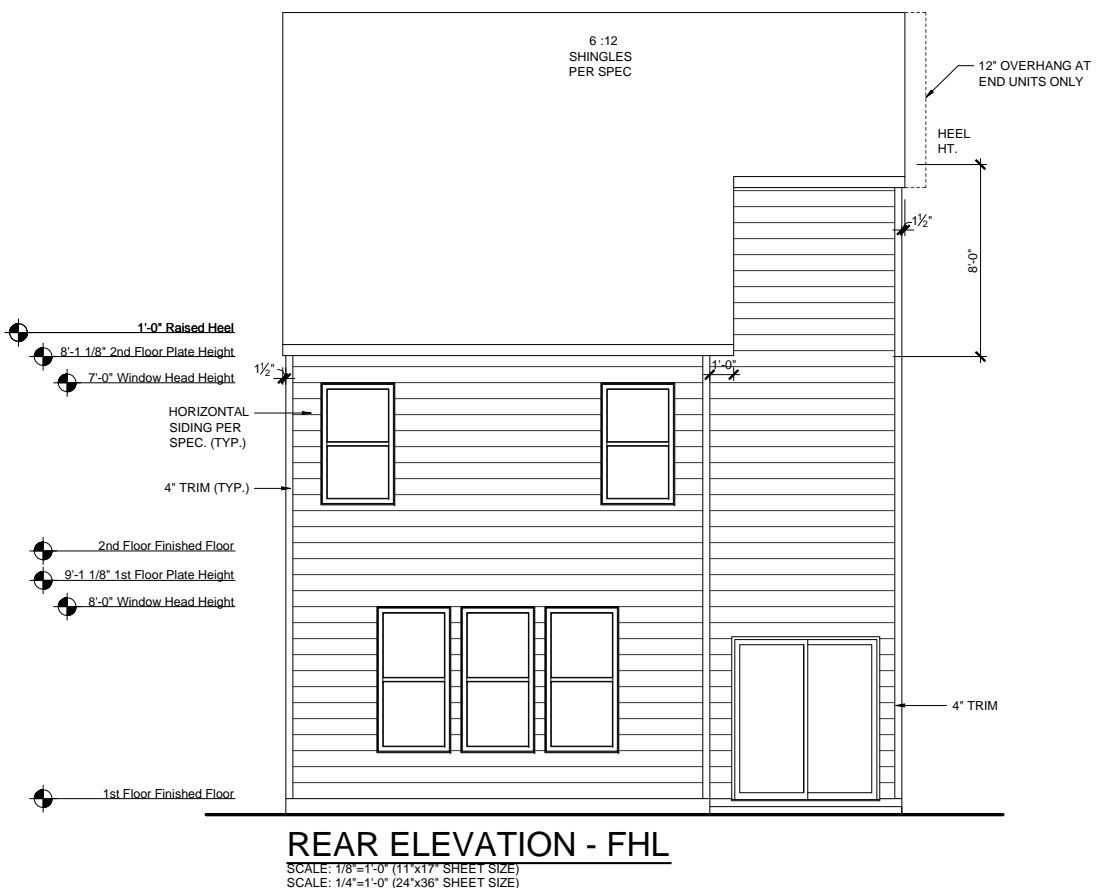
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE/PORCH ROOF ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 51 S.F.  
 VENTING =  
 51 S.F. / 150 = 0.34 S.F. REQUIRED  
 51 S.F. / 300 = 0.17 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 26 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

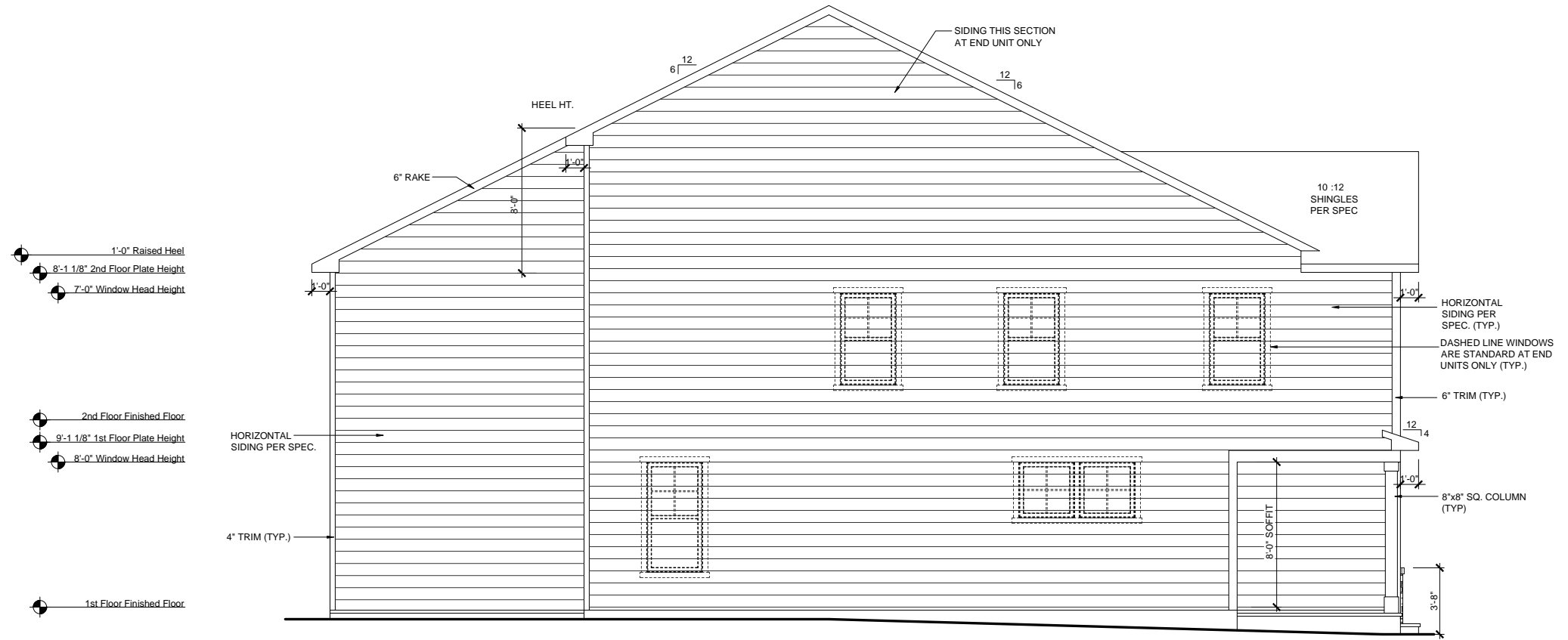
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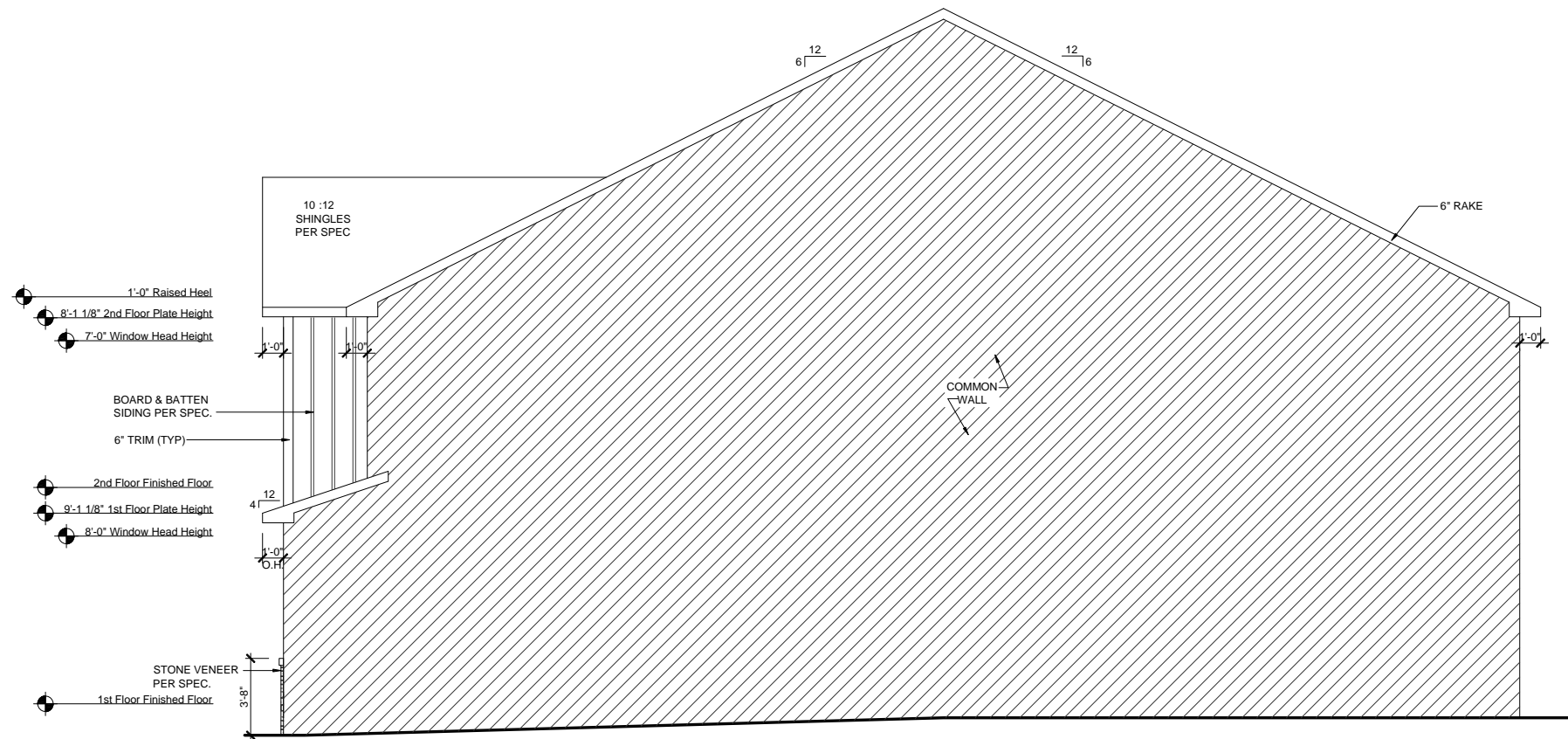


**RLH T4372.1**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:  
**A-3.4**



**LEFT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.3	06.30.2020
v2.0	09.17.2020
v2.1	02.23.2021

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**RLH T4372.1**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.5**

ROBERT'S CROSSING



# BEAZER HOMES BRAXTON RLH T439

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRL
F-1.1	Slab Plan Elev ACL
F-1.2	Slab Plan Elev FHL
F-1.3	Slab Options
A-1.0	First Floor Plan
A-1.1	First Floor Partials
A-1.2	Opt. Covered Patio
A-2.0	Second Floor Plan
A-2.1	Second Floor Partials
A-3.0	Front Elevations TRL
A-3.1	Side Elevations TRL
A-3.2	Front Elevations ACL
A-3.3	Side Elevations ACL
A-3.4	Front Elevations FHL
A-3.5	Side Elevations FHL
A-4.0	Typical Sections
E-1.0	1st Floor Electrical Plans
E-2.0	2nd Floor Electrical Plans

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<p><b>BEAZER HOMES</b></p> <p>PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328</p> <p>PH: 770-392-2100</p>	<p><b>BEAZER HOMES</b></p> <p>RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607</p> <p>PH: 919-881-9350</p>	<p><b>MULHERN &amp; KULP ENGINEERING</b></p> <p>CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002</p> <p>PH: 770-777-0074</p>

**NOTE:**

AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW OS LOCATED.

**NOTE:**

ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC, RESIDENTIAL CODE, SPECIFICALLY:  
 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

**ABBREVIATION LEGEND**

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

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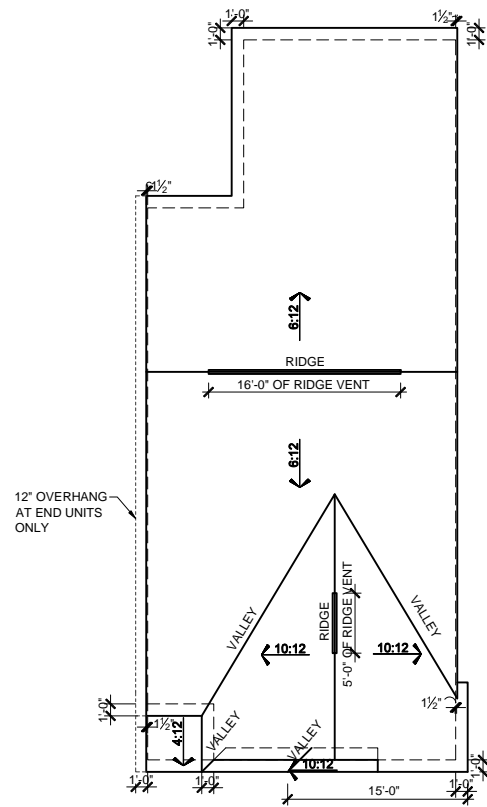


**RLH T439 2.1**  
**Cover Sheets**  
**Cover Sheet**

drawn by: XSI  
checked by: BZH  
date: 09/20/19  
sheet number:  
**CS-1.0**

ROBERT'S CROSSING

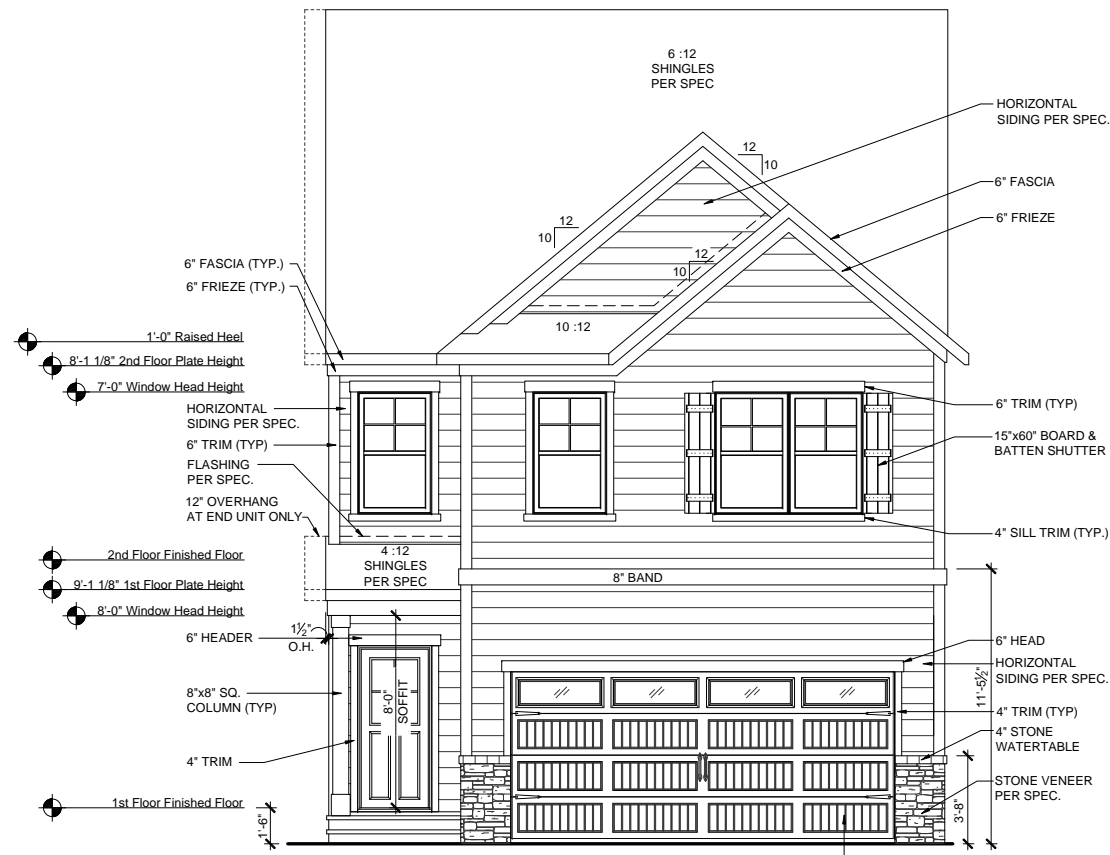




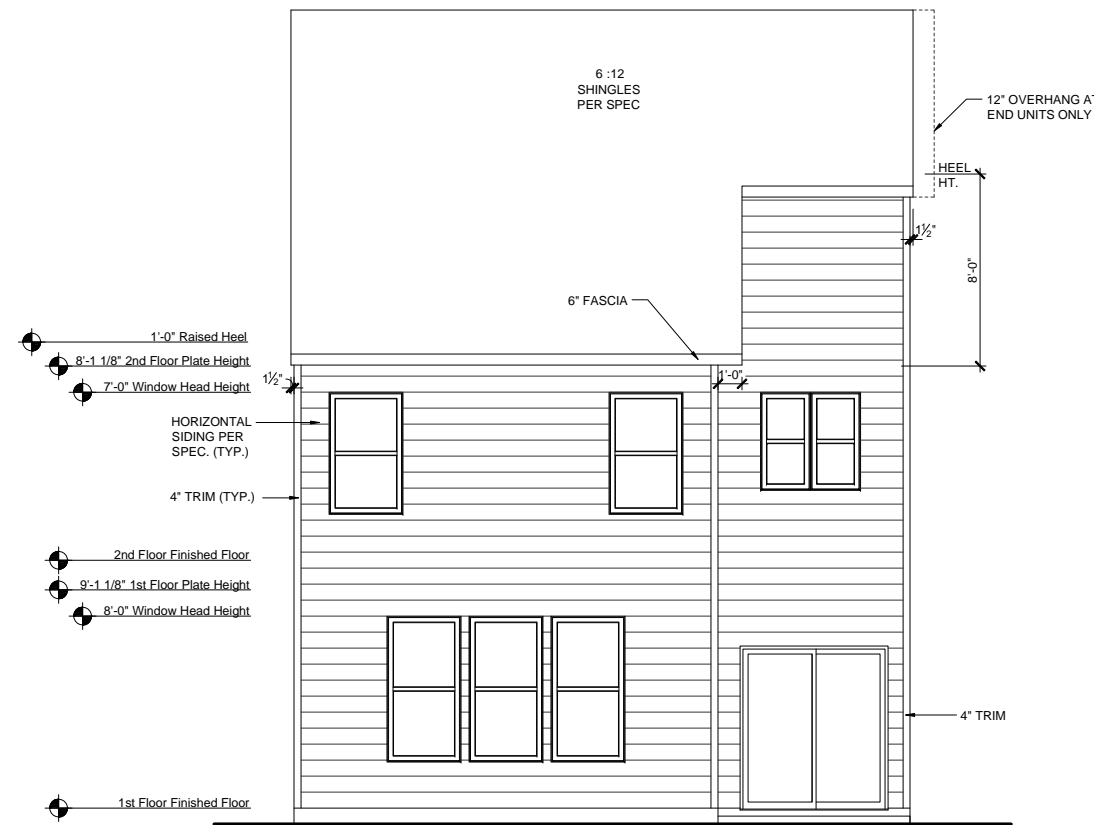
**ROOF PLAN - TRL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

MAIN ROOF	
<b>ATTIC VENT CALCULATIONS</b>	
ROOF SQUARE FOOTAGE = 1428 S.F.	
VENTING =	
1428 S.F. / 150 =	9.52 S.F. REQUIRED
1428 S.F. / 300 =	4.76 S.F. REQUIRED
Ridge Vents:	21 lin ft
Soffit Vents:	43 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

GARAGE/PORCH ROOF	
<b>ATTIC VENT CALCULATIONS</b>	
ROOF SQUARE FOOTAGE = 91 S.F.	
VENTING =	
91 S.F. / 150 =	0.60 S.F. REQUIRED
91 S.F. / 300 =	0.30 S.F. REQUIRED
Ridge Vents:	0 lin ft
Soffit Vents:	28 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



**FRONT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

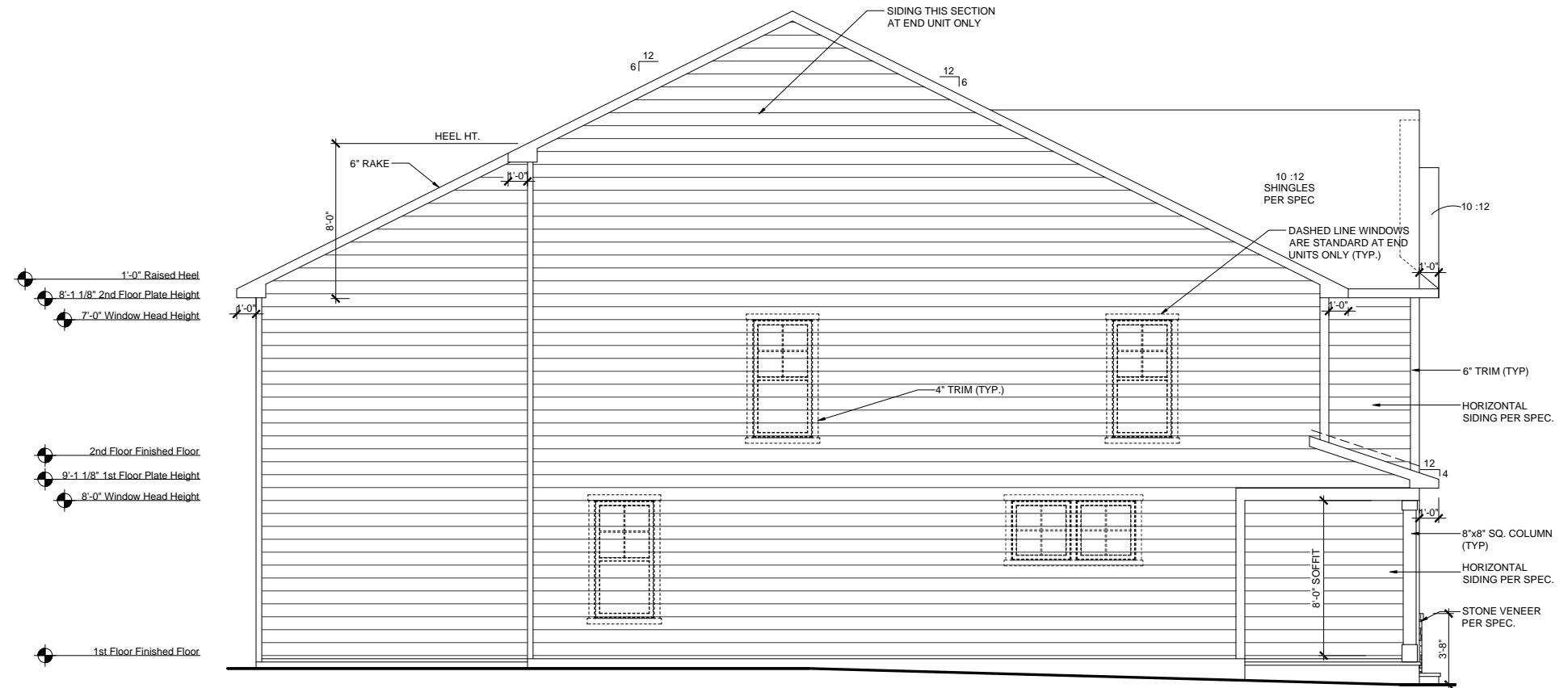
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**RLH T4392.1**  
**Elevation Plans**  
**Front Elevation TRL**

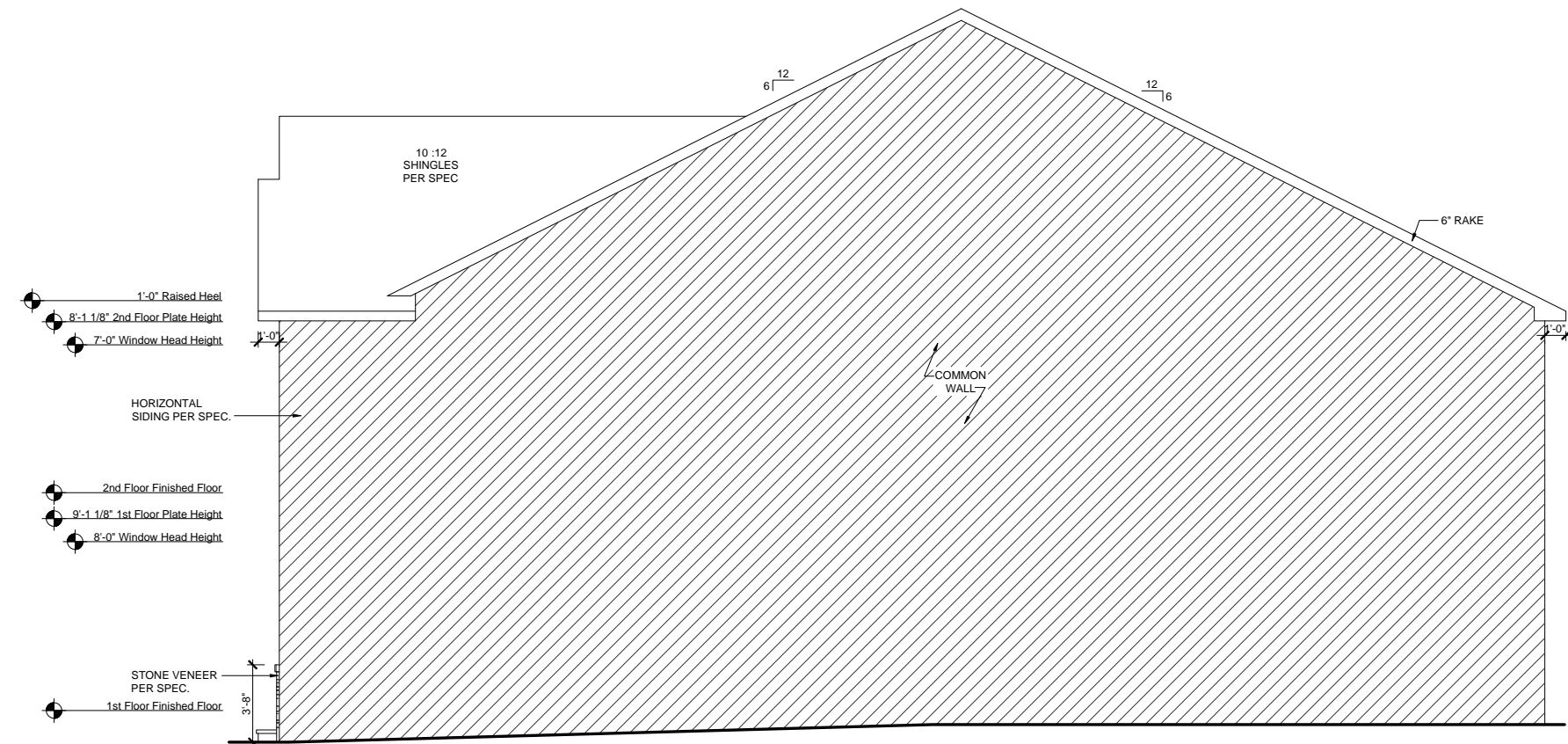
drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.0**



- 1'-0" Raised Heel
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- 1st Floor Finished Floor

**LEFT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



- 1'-0" Raised Heel
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- HORIZONTAL SIDING PER SPEC.
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- STONE VENEER PER SPEC.
- 1st Floor Finished Floor

**RIGHT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

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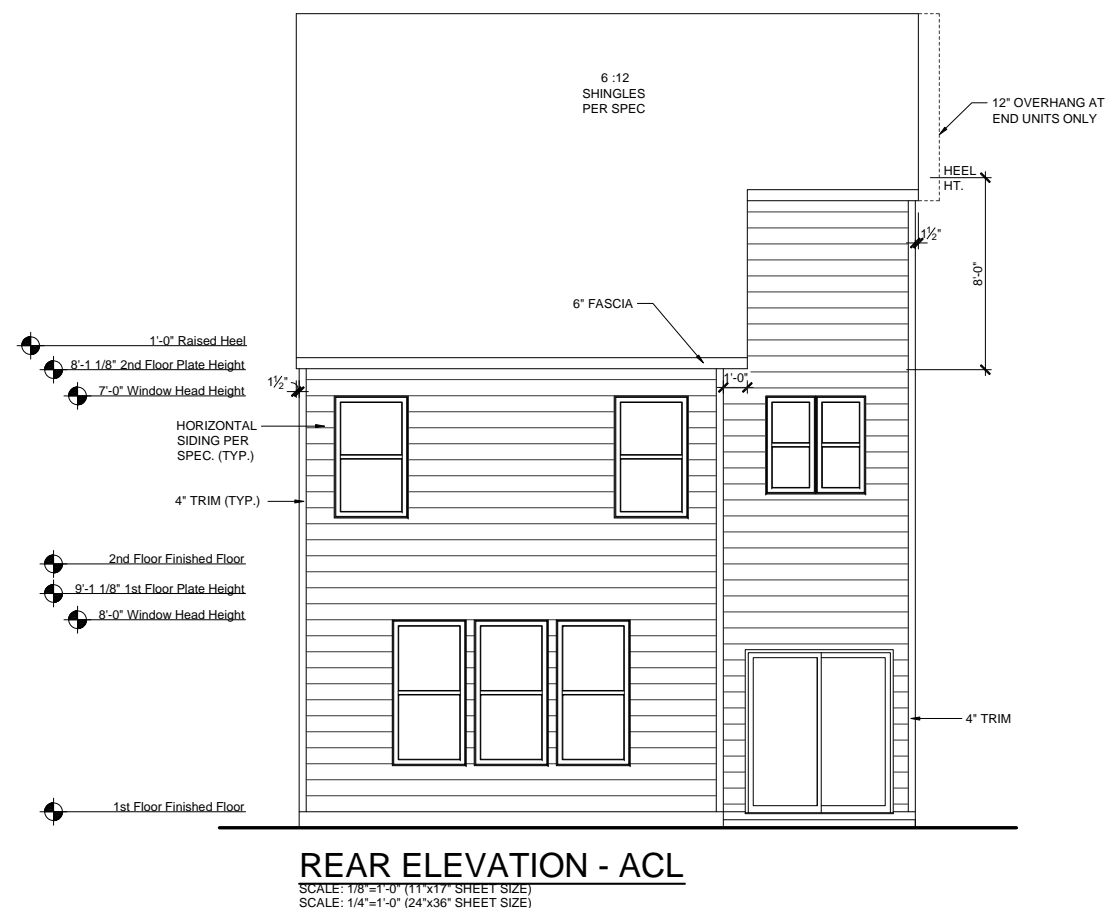
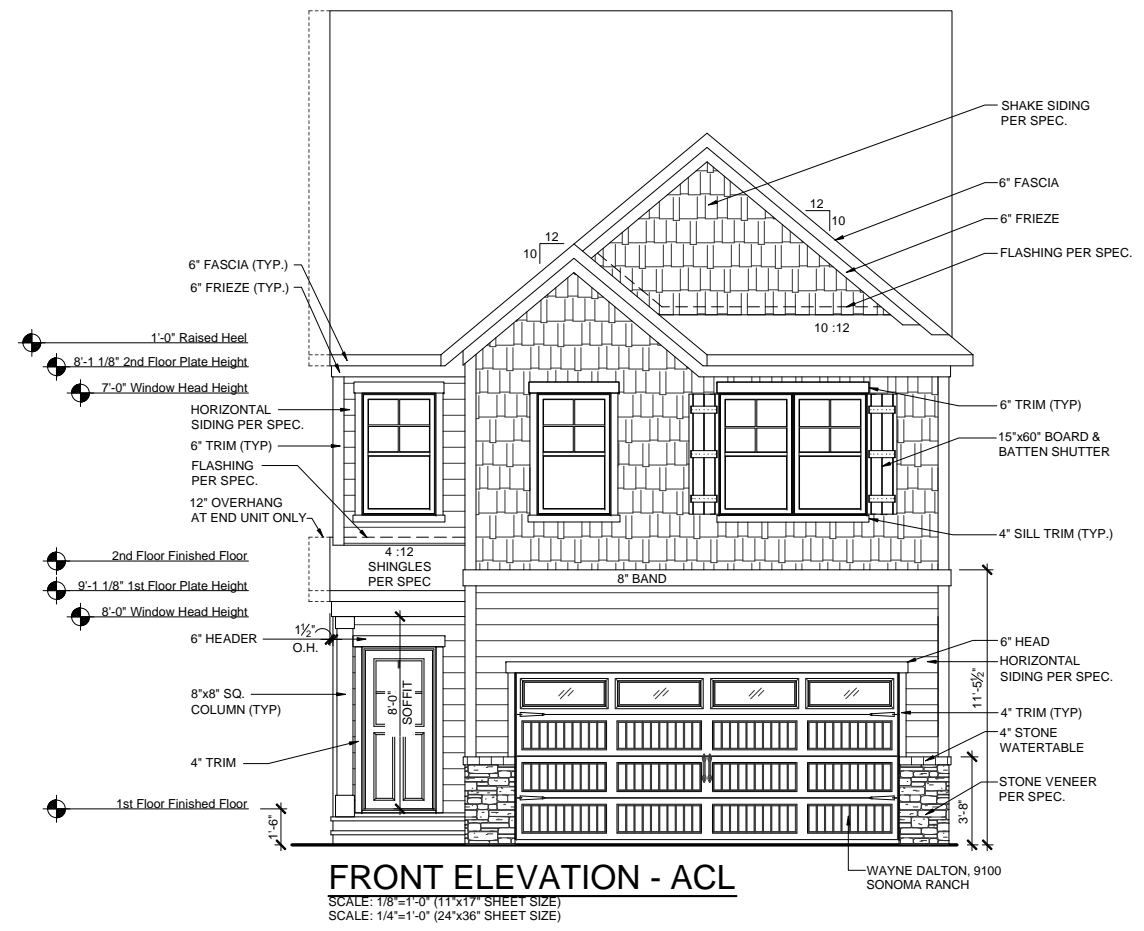
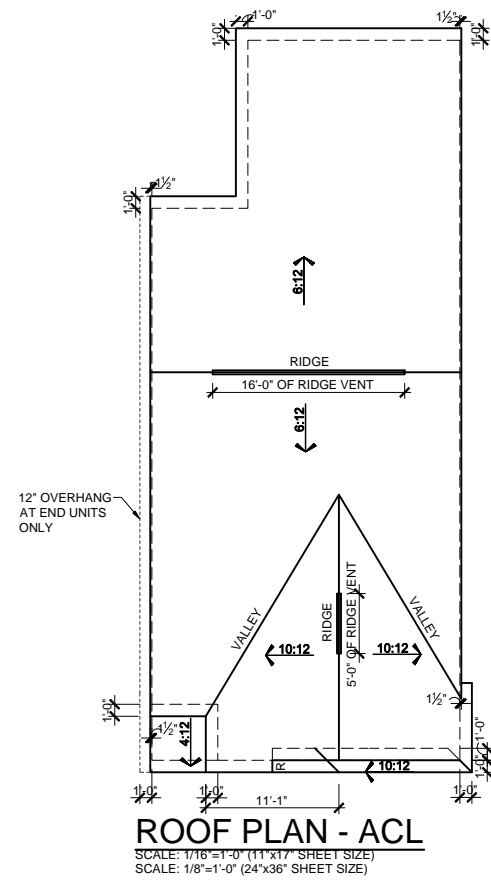


**RLH T4392.1**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.1**

ROBERT'S CROSSING



**MAIN ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1428 S.F.  
 VENTING =  
 1428 S.F. / 150 = 9.52 S.F. REQUIRED  
 1428 S.F. / 300 = 4.76 S.F. REQUIRED

Ridge Vents: 21 lin ft  
 Soffit Vents: 50 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE/PORCH ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 91 S.F.  
 VENTING =  
 91 S.F. / 150 = 0.61 S.F. REQUIRED  
 91 S.F. / 300 = 0.31 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 28 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

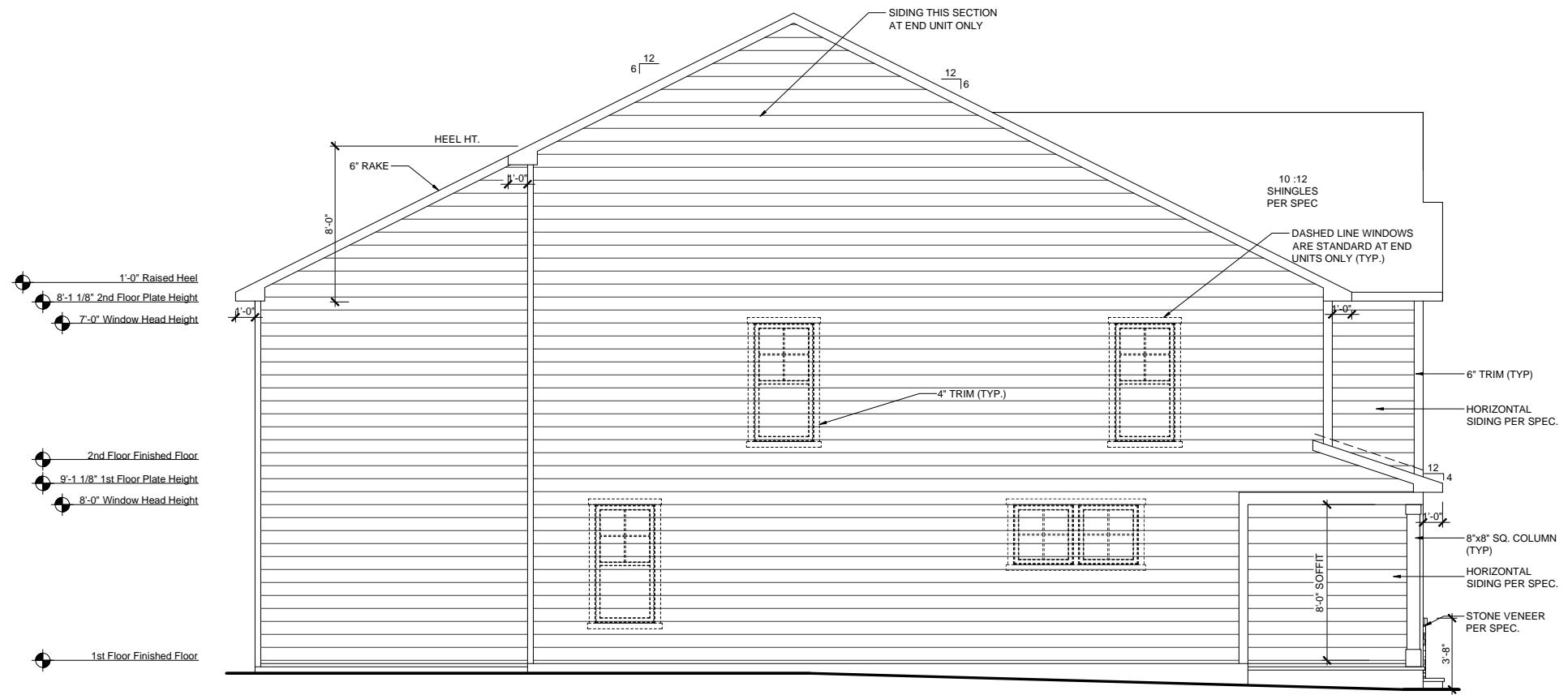
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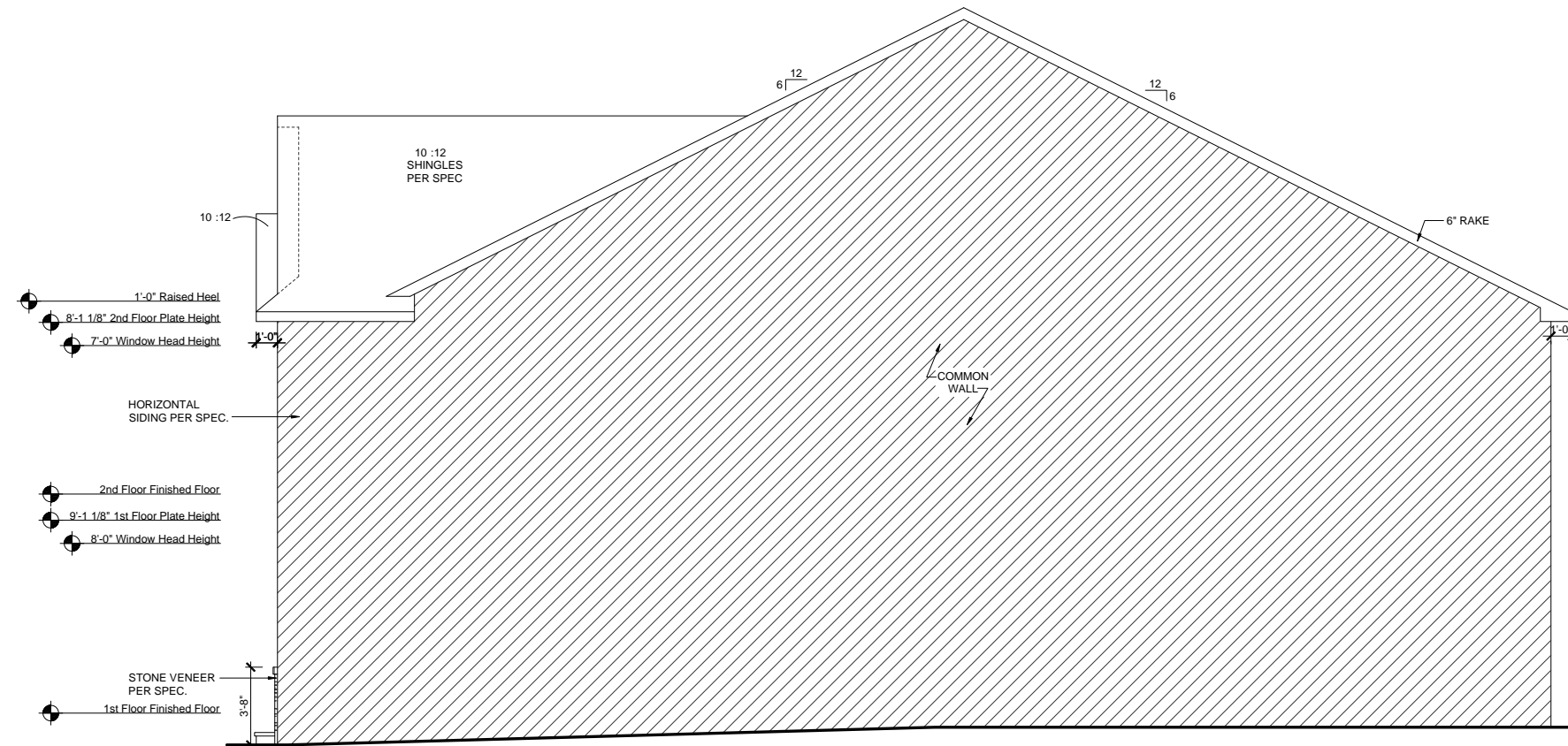
**RLH T4392.1**  
**Elevation Plans**  
**Front Elevation ACL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:  
**A-3.2**



**LEFT ELEVATION - ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
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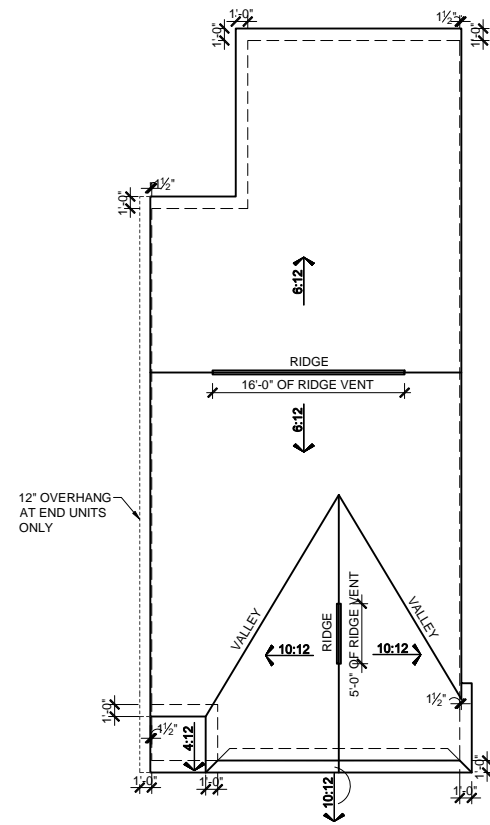


**RLH T4392.1**  
**Elevation Plans**  
**Side Elevations ACL**

drawn by: XSI  
checked by: BZH  
date: 09/20/19  
sheet number:

**A-3.3**

ROBERT'S CROSSING



**ROOF PLAN - FHL**  
 SCALE: 1/16"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)

**MAIN ROOF  
 ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1428 S.F.  
 VENTING =  
 1428 S.F. / 150 = 9.52 S.F. REQUIRED  
 1428 S.F. / 300 = 4.76 S.F. REQUIRED

Ridge Vents: 21 lin ft  
 Soffit Vents: 50 lin ft

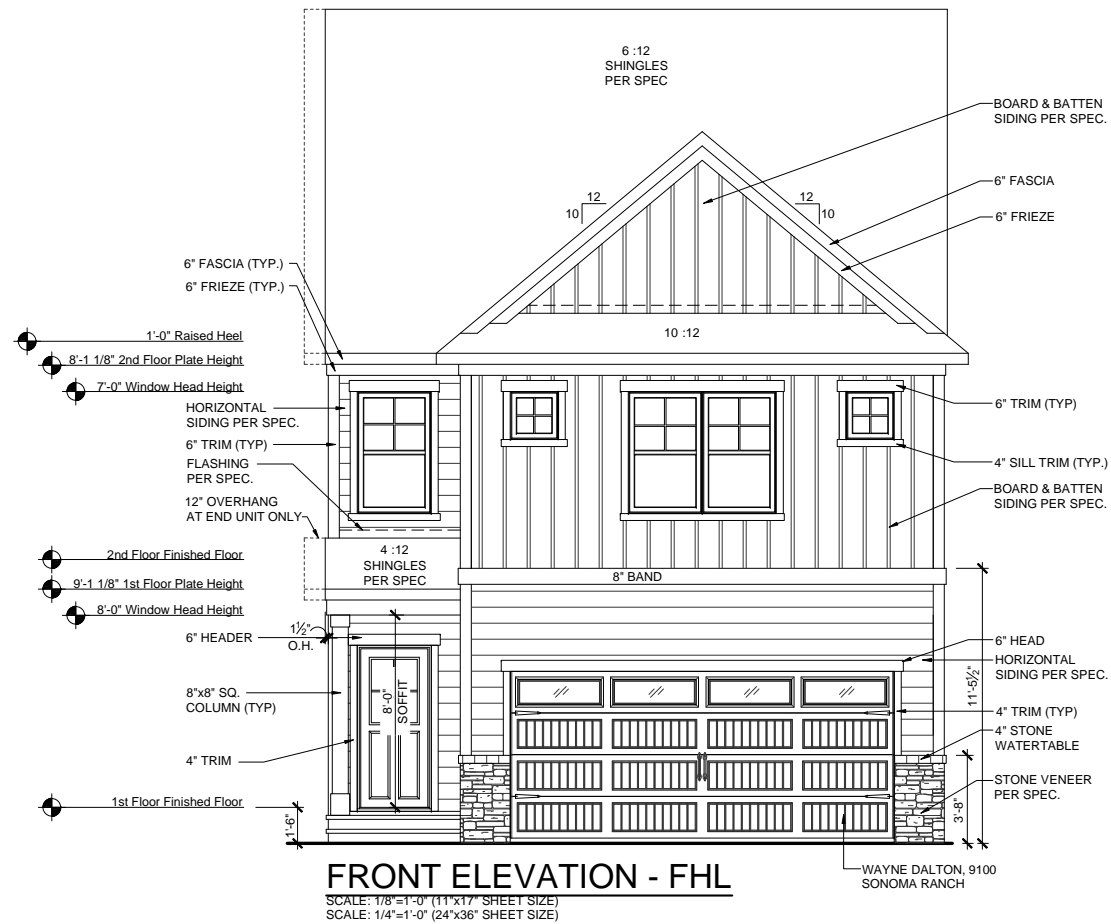
NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE/PORCH ROOF  
 ATTIC VENT CALCULATIONS**

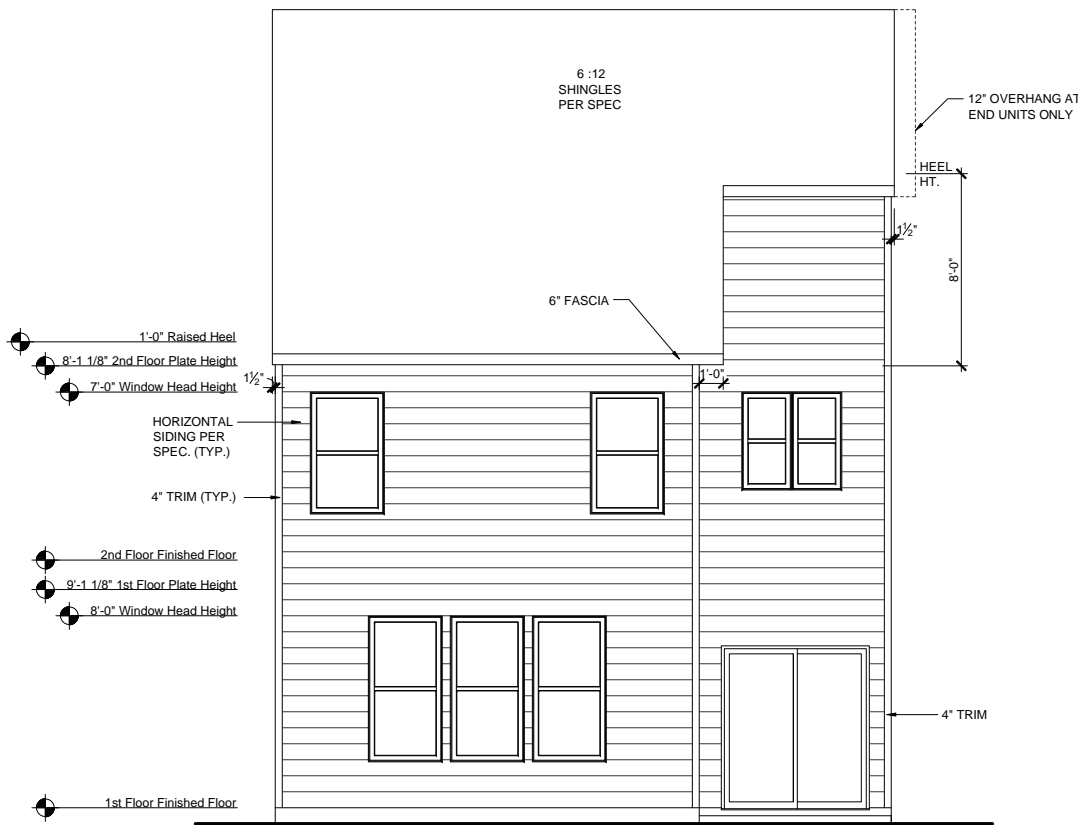
ROOF SQUARE FOOTAGE = 91 S.F.  
 VENTING =  
 91 S.F. / 150 = 0.61 S.F. REQUIRED  
 91 S.F. / 300 = 0.31 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 28 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



**FRONT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

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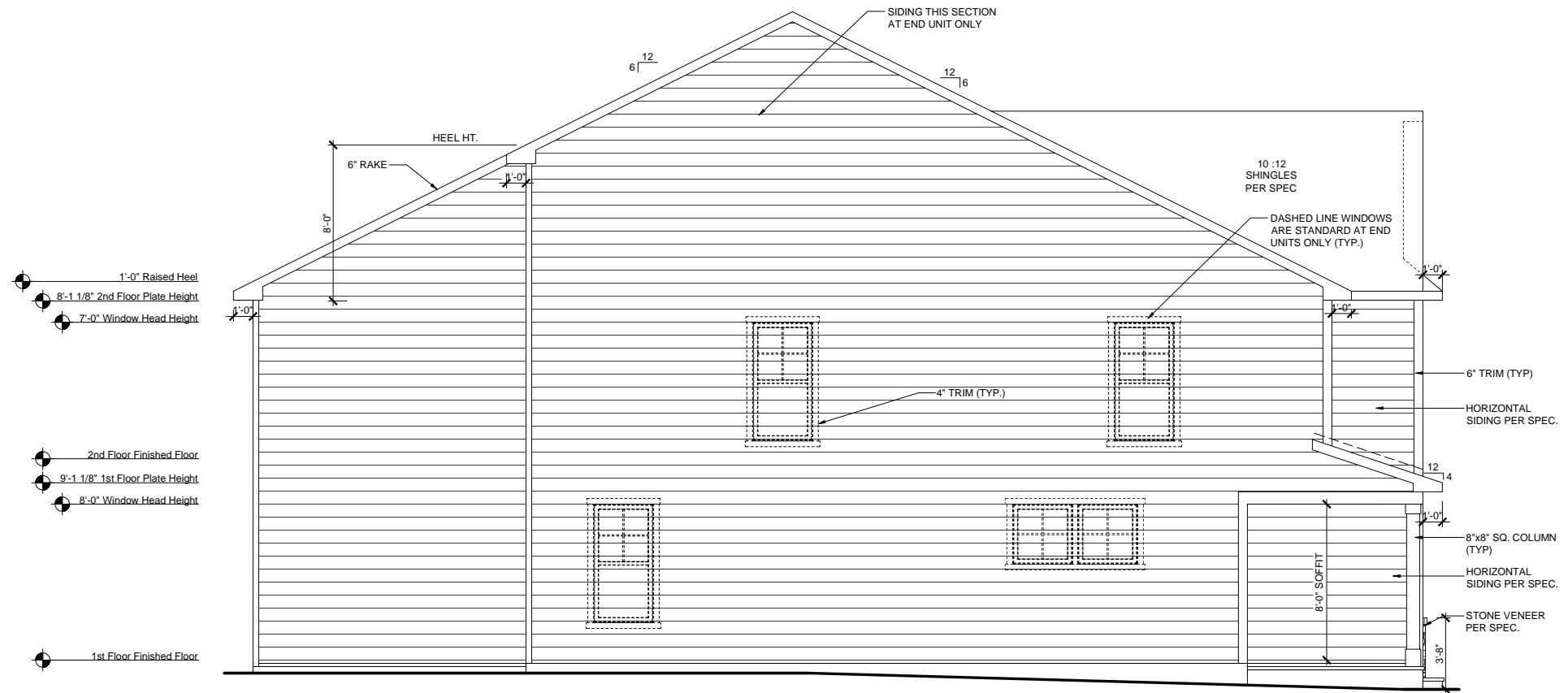


**RLH T4392.1**  
**Elevation Plans**  
**Front Elevation FHL**

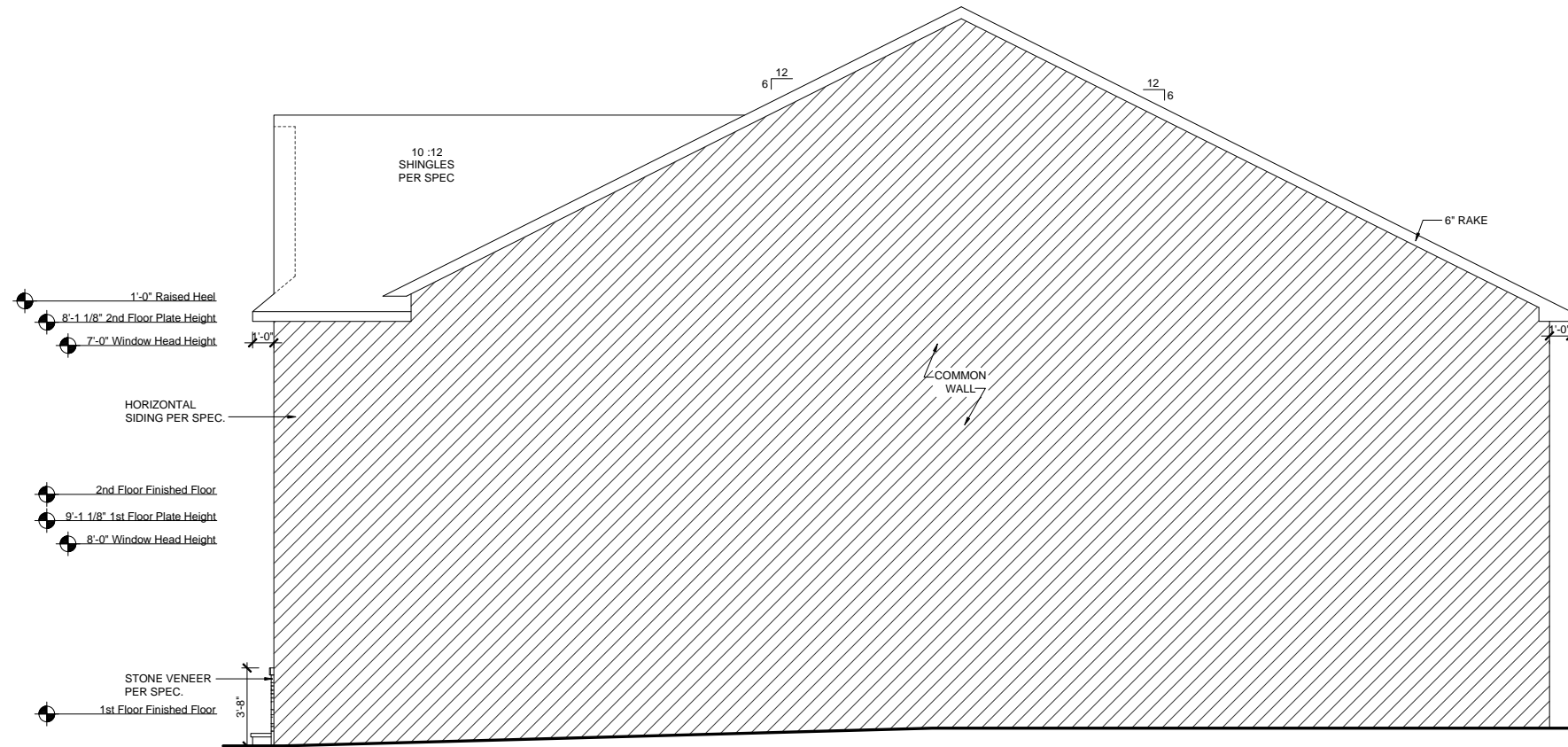
drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.4**

ROBERT'S CROSSING



**LEFT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**RIGHT ELEVATION - FHL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

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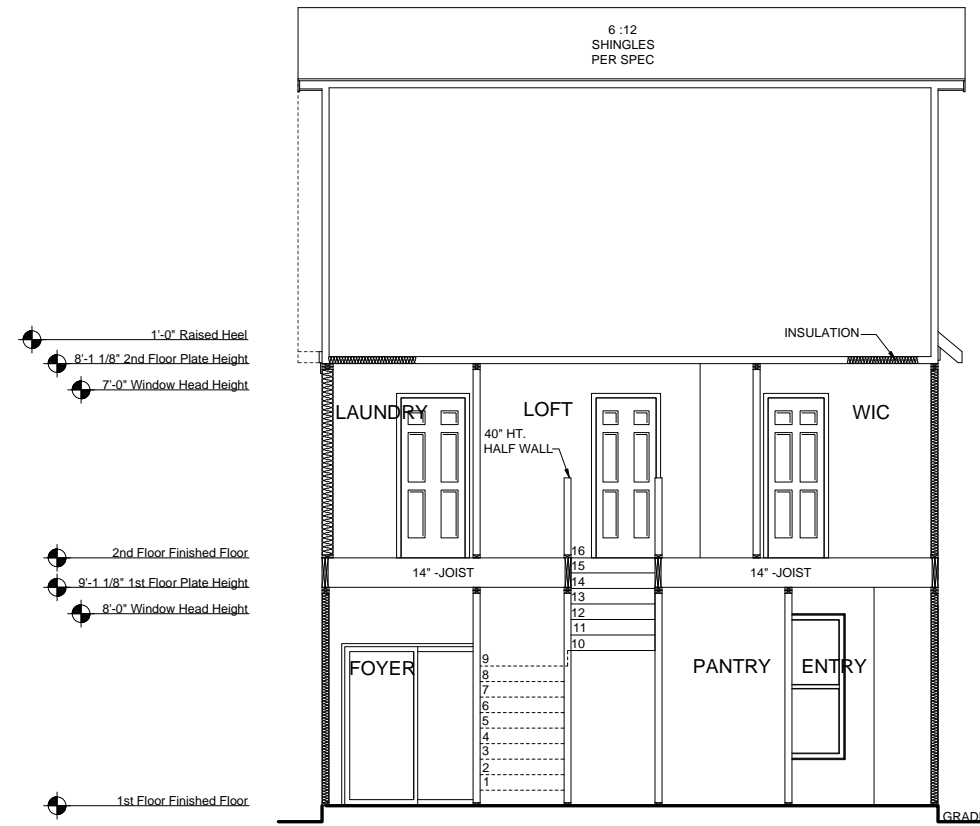


**RLH T4392.1**  
**Elevation Plans**  
**Side Elevations FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

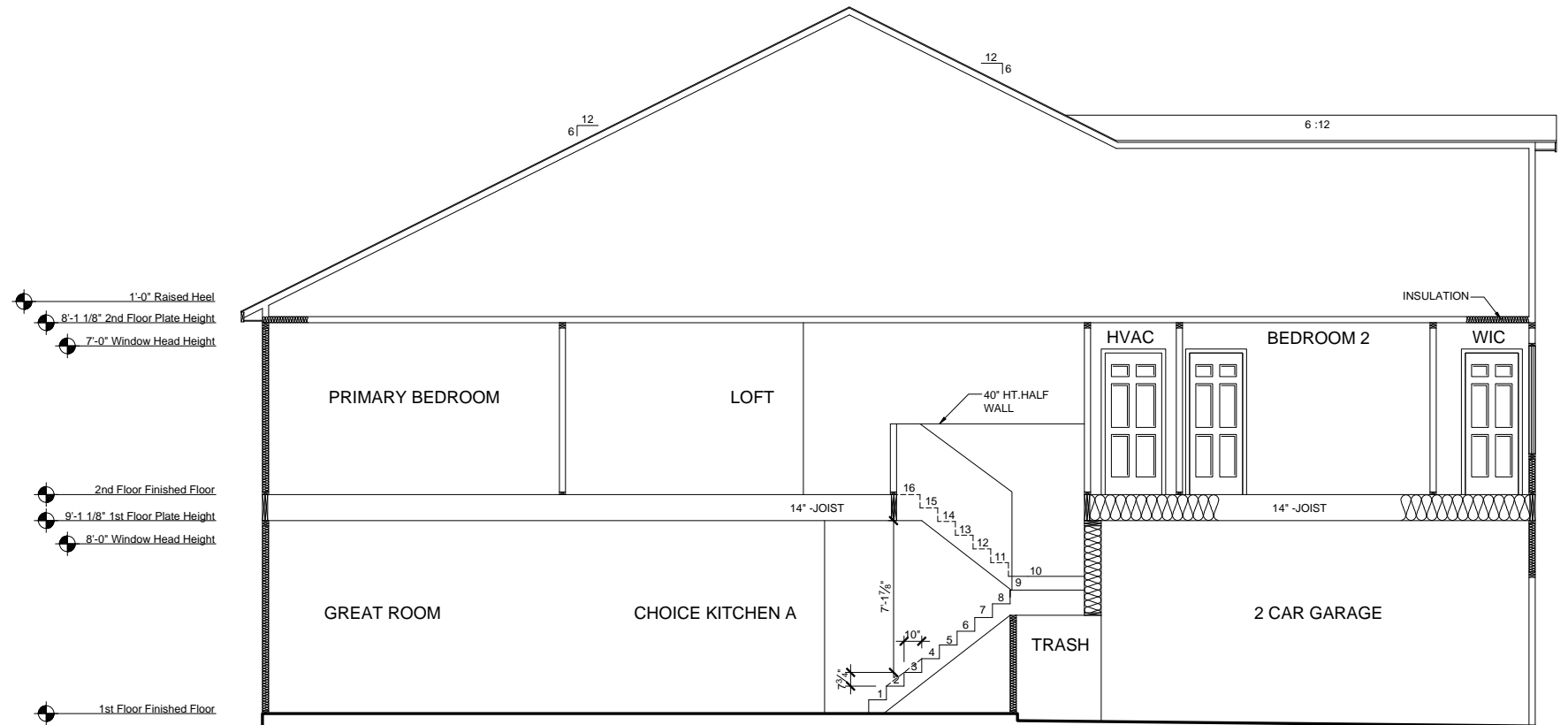
**A-3.5**

ROBERT'S CROSSING



**SECTION 1**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**SECTION 2**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
v1.2	04-21-2020
v1.3	06-30-2020
v2.0	10-27-2020
v2.1	02-23-2021

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**RLH T4392.1**  
**Typical Sections**  
**Sections**

drawn by: XSI  
checked by: BZH  
date: 09/20/19  
sheet number:

**A-4.0**

ROBERT'S CROSSING



# BEAZER HOMES PARKER RLH T477

CORPORATE CONTACTS	DIVISION CONTACTS	CONSULTANT CONTACTS
<b>BEAZER HOMES</b> PLANNING AND DESIGN 1000 ABERNATHY ROAD SUITE 260 ATLANTA, GA 30328  PH: 770-392-2100	<b>BEAZER HOMES</b> RALEIGH DIVISION 5400 TRINITY ROAD SUITE 313 RALEIGH, NC 27607  PH: 919-881-9350	<b>MULHERN &amp; KULP ENGINEERING</b> CONSULTANT 20 S. MAPLE ST, STE 150 AMBLER, PA. 19002 &  PH: 770-777-0074

NOTE:  
 AS PER SECTION R312 OF THE 2018 NCSBC IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW OS LOCATED.

NOTE:  
 ALL BEAZER HOMES HOUSES WILL COMPLY WITH ALL PERTINENT ASPECTS OF SECTION 302 & 309 OF THE 2018 NCSBC, RESIDENTIAL CODE, SPECIFICALLY:  
 - GARAGE SLABS WILL SLOPE FROM BACK TO FRONT  
 - ALL GARAGE CEILINGS WITH ATTIC ABOVE AND WALLS ADJACENT TO RESIDENCES WILL BE COVERED WITH AT LEAST 1/2" DRYWALL  
 - GARAGE CEILINGS WILL BE COVERED WITH 5/8" TYPE "X" GYPSUM BOARD ONLY WHEN THERE ARE HABITABLE ROOMS ABOVE GARAGE.  
 - DOOR BETWEEN THE RESIDENCE AND THE GARAGE WILL BE SOLID WOOD DOORS OF AT LEAST 1 3/8" THICK, SOLID OR HONEY-COMB CORED METAL CLAD DOORS OR 20 MINUTE RATED DOORS.

### ABBREVIATION LEGEND

A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE FINISH FLOOR
CLG	CEILING
DH	DOUBLE HUNG
DN	DOWN
DW	DISH WASHER
F.A.U.	FORCED AIR UNIT
H.B.	HOSE BIBB
MC	MEDICINE CABINET
OPT.	OPTION
PDR	POWDER
P.E.	PER ELEVATION
R	RADIUS
R & S	ROD & SHELF
REF.	REFRIGERATOR
SH	SINGLE HUNG
SHF	SHELF
SHWR	SHOWER
STD.	STANDARD
SWL	SOFT WATER LOOP
WH	WATER HEATER

Sheet List	
Sheet #	Description
CS-1.0	Cover Sheet
F-1.0	Slab Plan Elev TRL
F-1.1	Slab Plan Elev ACL
F-1.2	Slab Plan Elev FHL
F-1.3	Slab Options
A-1.0	First Floor Plan
A-1.1	First Floor Partial
A-1.2	Opt. Covered Patio
A-2.0	Second Floor Plan
A-2.1	Second Floor Partial
A-2.2	Third Floor Plan
A-3.0	Front Elevation TRL
A-3.1	Side Elevations TRL
A-3.2	Front Elevation ACL
A-3.3	Side Elevations ACL
A-3.4	Front Elevation FHL
A-3.5	Side Elevations FHL
A-4.0	Typical Section
E-1.0	1st Floor Electrical Plan
E-2.0	2nd Floor Electrical Plan
E-3.0	3rd Floor Electrical Plan

REV.	DATE
1.0	10.30.2020
1.1	02.23.2021

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**RLH T477 1.1**  
**Cover Sheets**  
**Cover Sheet**

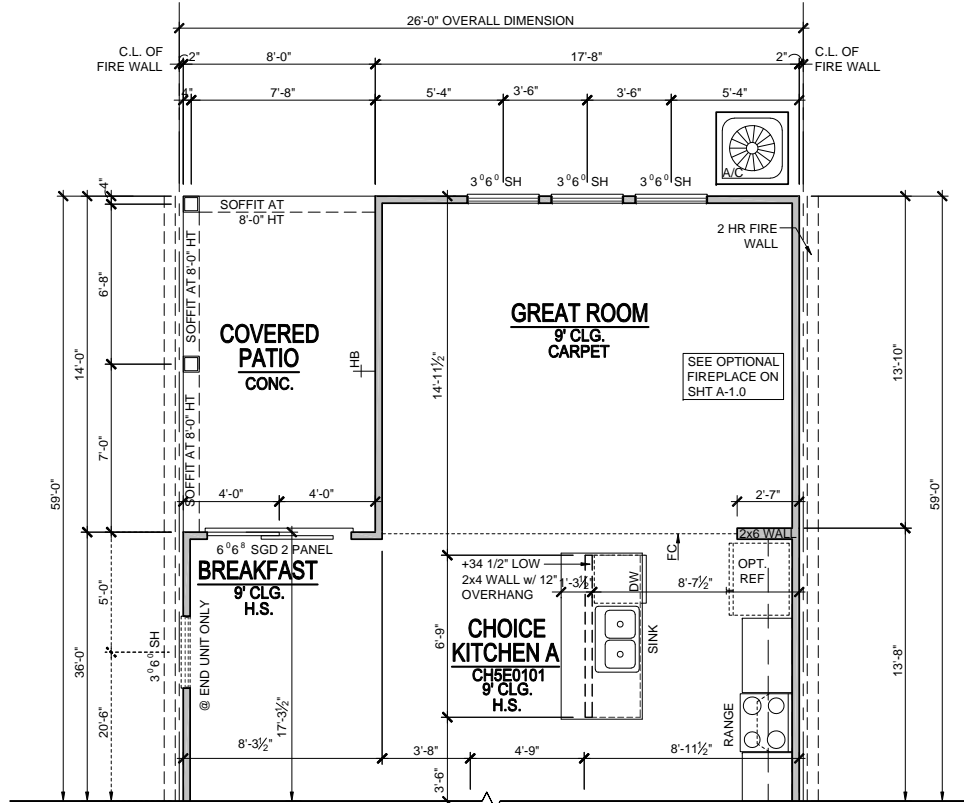
drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:  
**CS-1.0**

ROBERT'S CROSSING

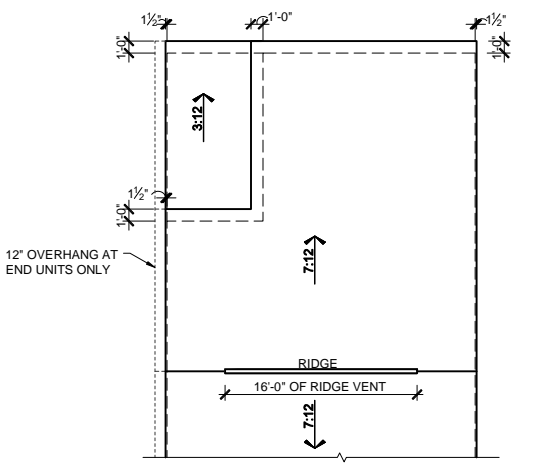


Square Footage Options	
Area	Square Footage
Opt. Covered Patio	112 SF
Opt. Bath 3/W.I.C./Finished Storage	125 SF

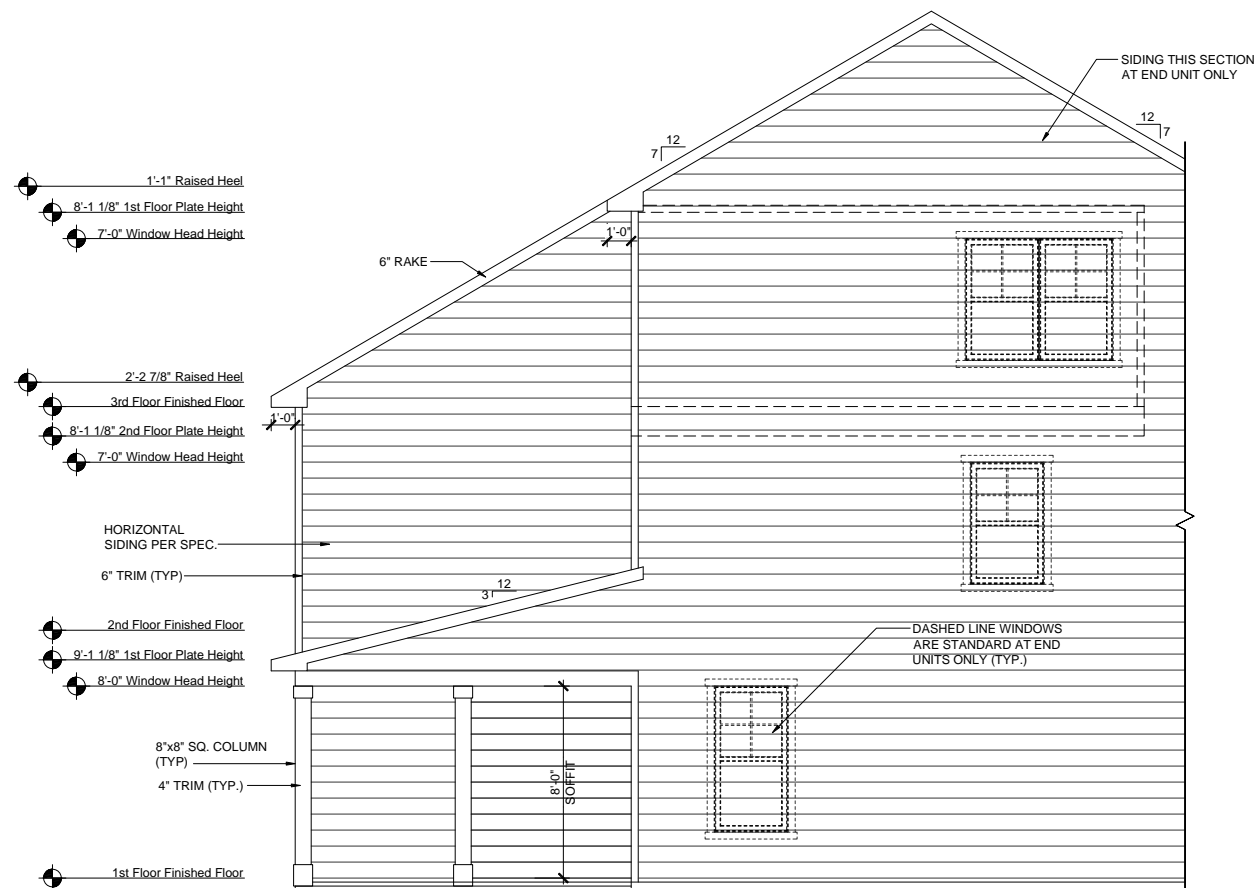
**NOTE:**  
 U 305 1 HOUR FIREWALL AT UNIT OFFSETS  
 U373 2 HOUR FIREWALL AS DESIGNATED



**Optional Covered Patio**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**ROOF PLAN W/OPT. COVERED PATIO**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/8"=1'-0" (24"x36" SHEET SIZE)



**LEFT ELEVATION W/OPT. COVERED PATIO**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION W/OPT. COVERED PATIO**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.0	10.30.2020
1.1	02.23.2021

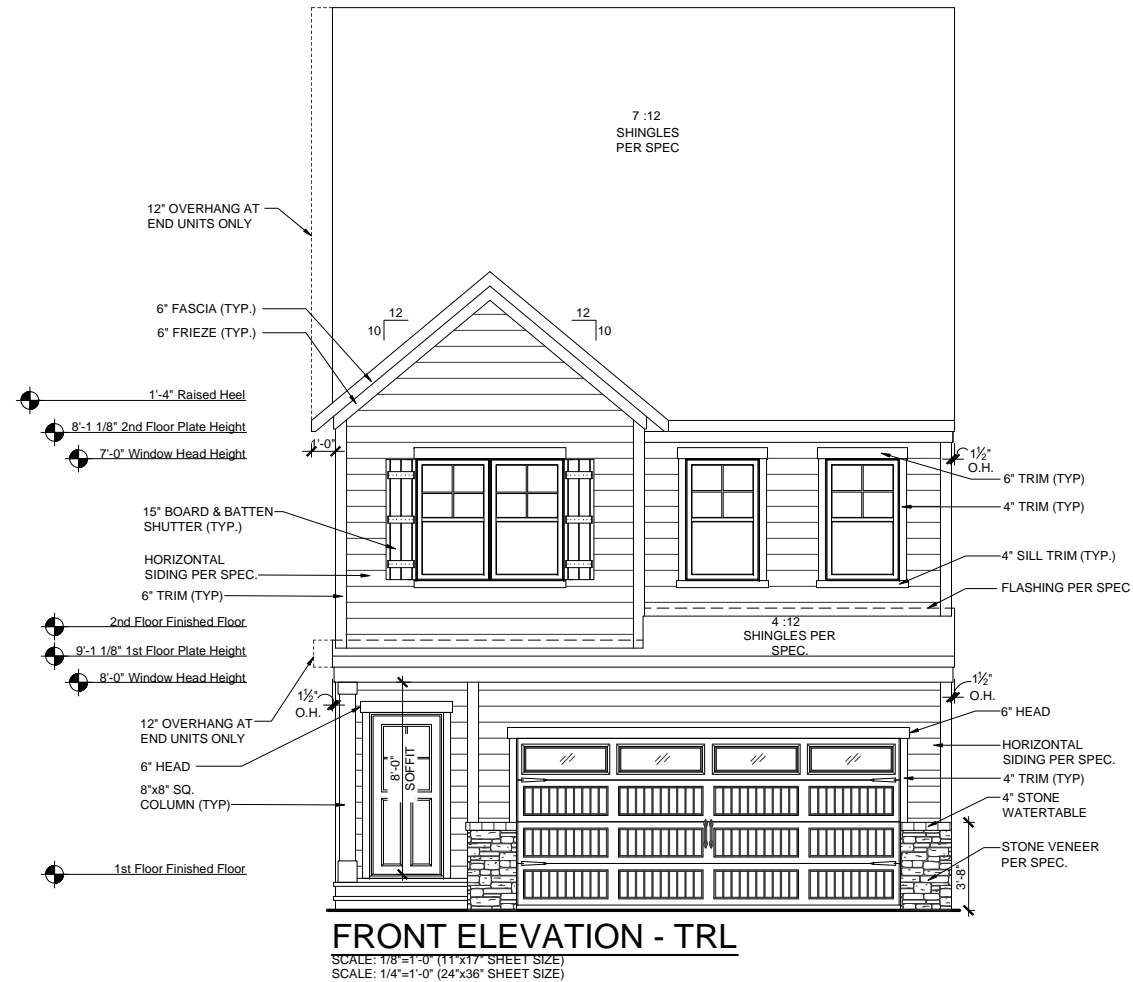
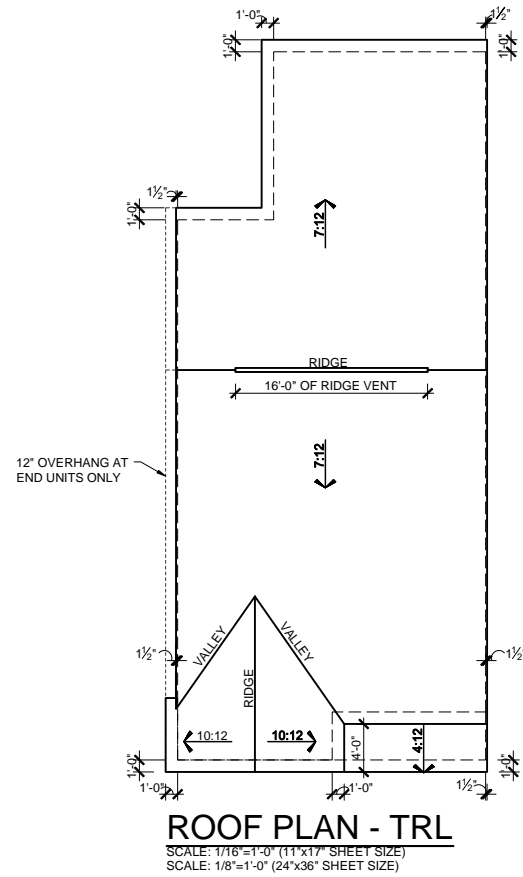
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**RLH T4771.1**  
**Structural Options**  
**Opt. Covered Patio**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-1.2**



**MAIN ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1351 S.F.  
 VENTING =  
 1351 S.F. / 150 = 9.00 S.F. REQUIRED  
 1351 S.F. / 300 = 4.50 S.F. REQUIRED

Ridge Vents: 16 lin ft  
 Soffit Vents: 45 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

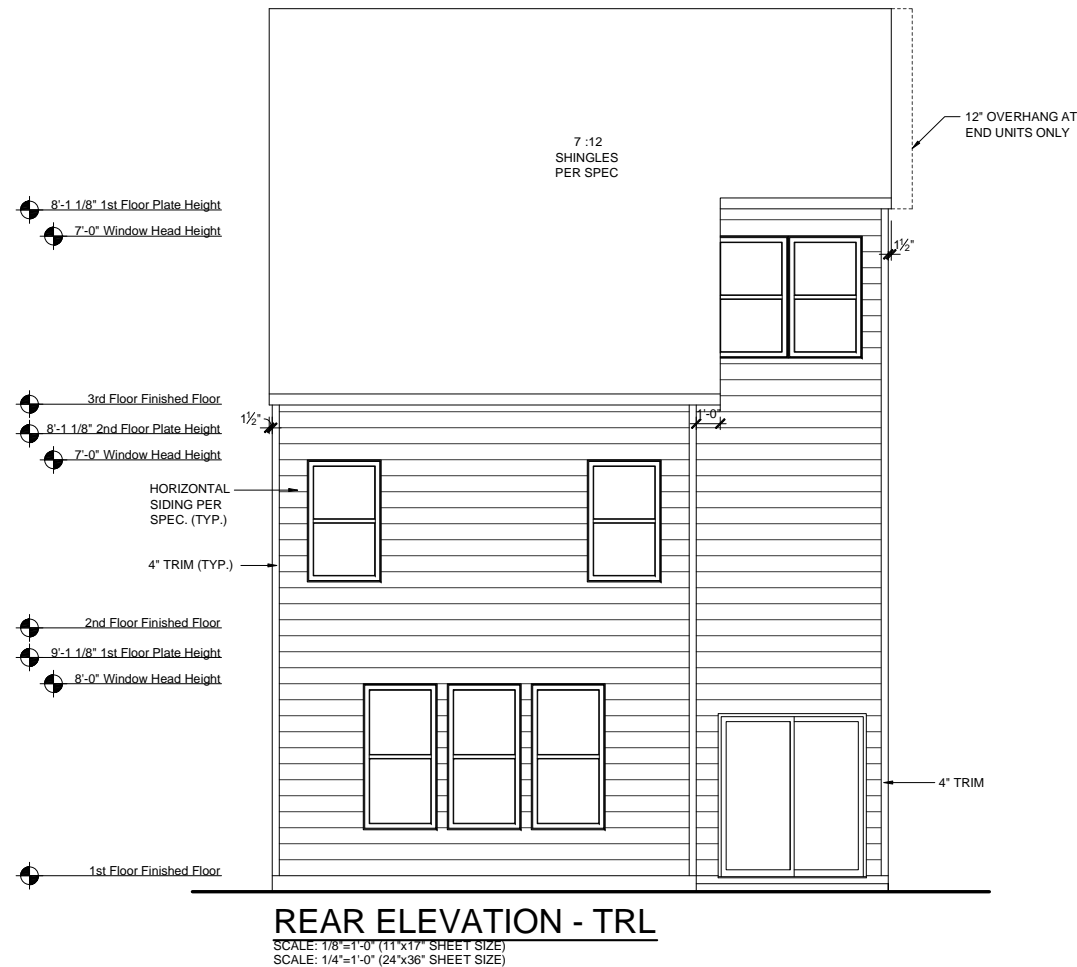
**GARAGE/PORCH ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 51 S.F.  
 VENTING =  
 51 S.F. / 150 = 0.34 S.F. REQUIRED  
 51 S.F. / 300 = 0.17 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 26 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.



REV.	DATE
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1.1	02.23.2021

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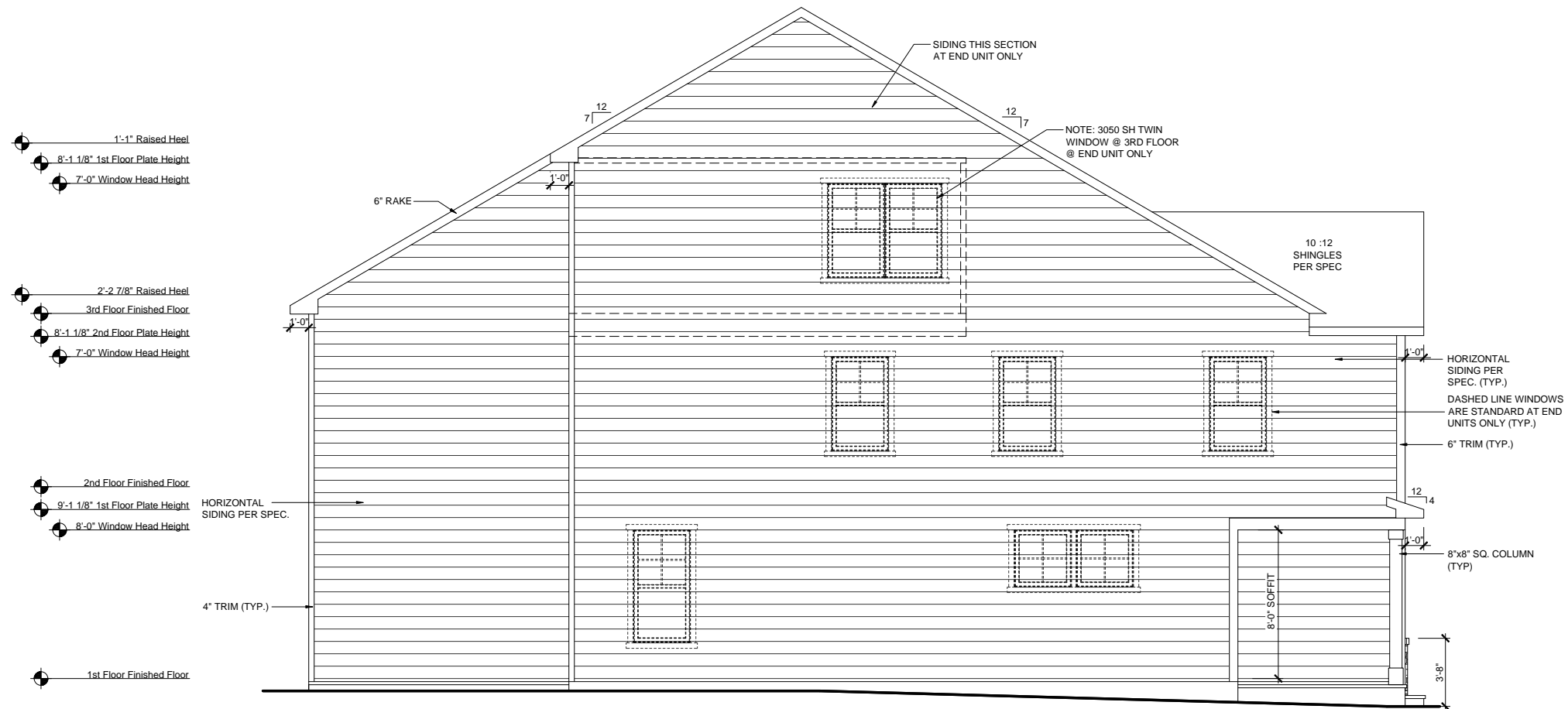
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**RLH T4771.1**  
**Elevation Plans**  
**Front Elevation TRL**

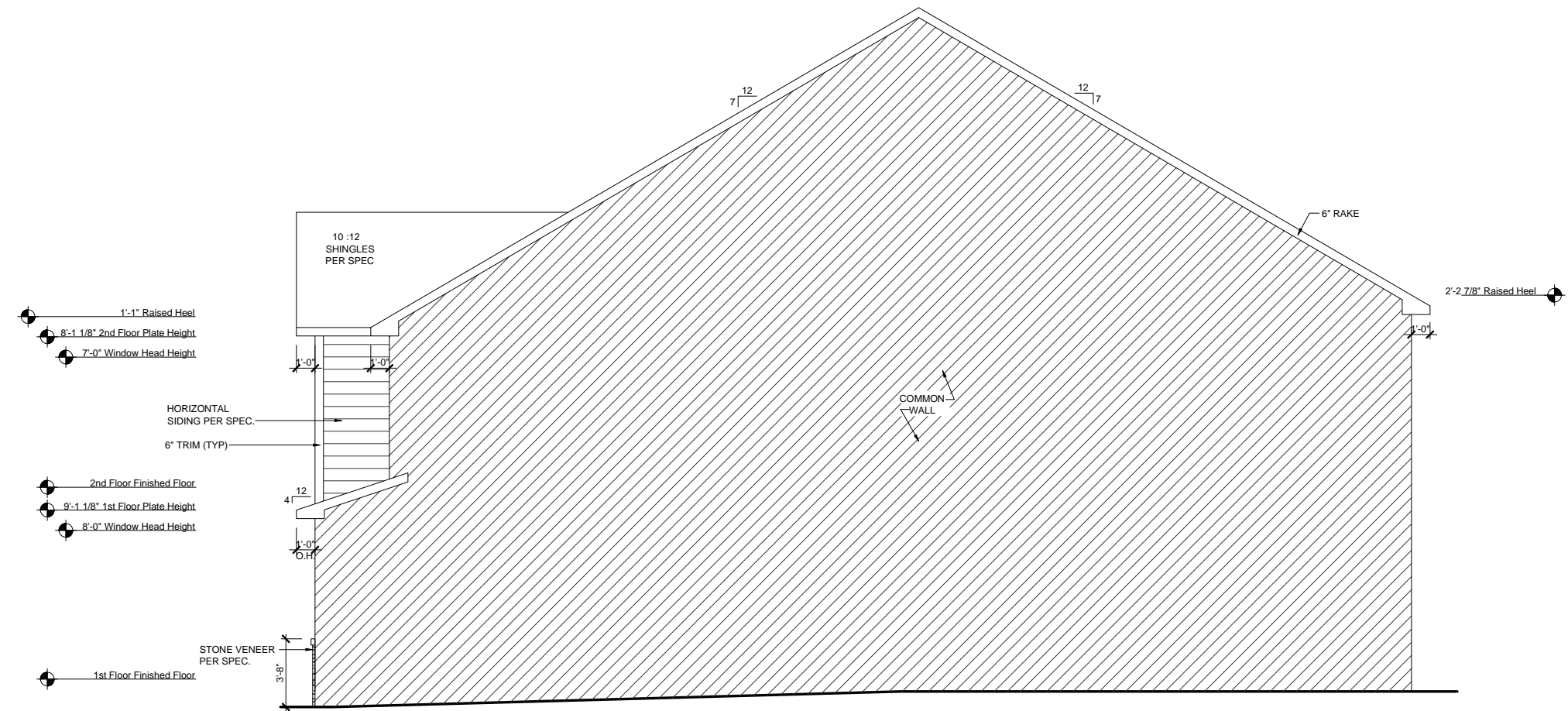
drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.0**



- 1'-1" Raised Heel
- 8'-1 1/8" 1st Floor Plate Height
- 7'-0" Window Head Height
- 2'-2 7/8" Raised Heel
- 3rd Floor Finished Floor
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- 1st Floor Finished Floor

**LEFT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



- 1'-1" Raised Heel
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- 1st Floor Finished Floor

**RIGHT ELEVATION - TRL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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1.1	02.23.2021

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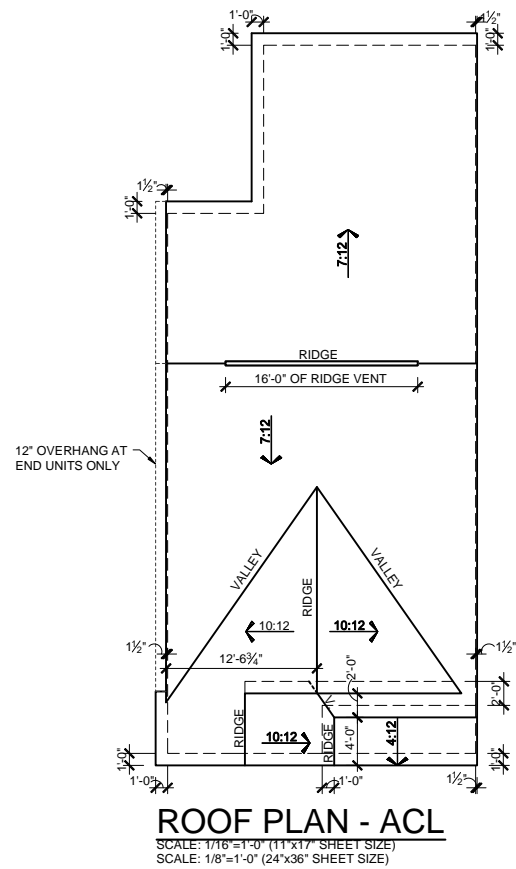
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**RLH T4771.1**  
**Elevation Plans**  
**Side Elevations TRL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.1**

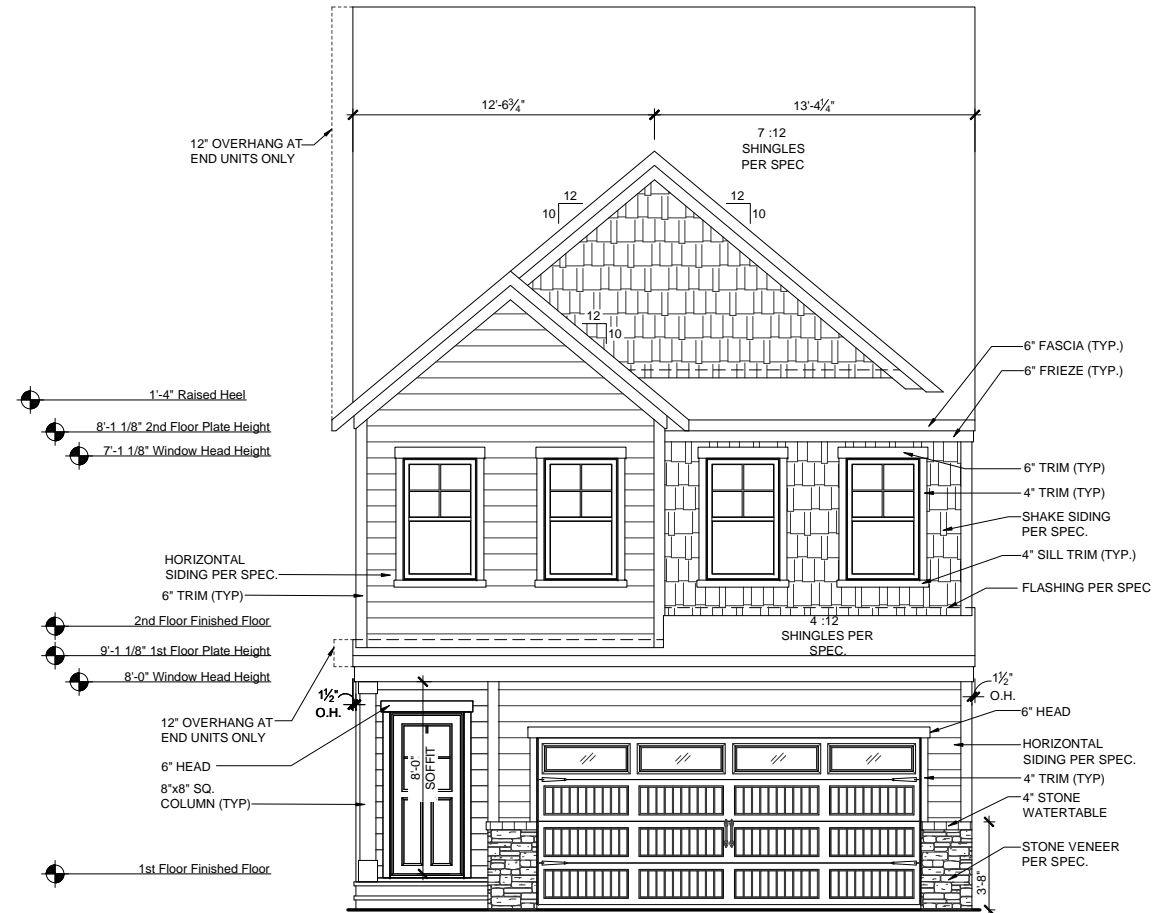


**MAIN ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 1351 S.F.	
VENTING =	
1351 S.F. / 150 =	9.00 S.F. REQUIRED
1351 S.F. / 300 =	4.50 S.F. REQUIRED
Ridge Vents:	16 lin ft
Soffit Vents:	45 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	

**GARAGE/PORCH ROOF**

ATTIC VENT CALCULATIONS	
ROOF SQUARE FOOTAGE = 51 S.F.	
VENTING =	
51 S.F. / 150 =	0.34 S.F. REQUIRED
51 S.F. / 300 =	0.17 S.F. REQUIRED
Ridge Vents:	0 lin ft
Soffit Vents:	26 lin ft
NOTE: 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.	



**FRONT ELEVATION - ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



**REAR ELEVATION - ACL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.0	10.30.2020
1.1	02.23.2021

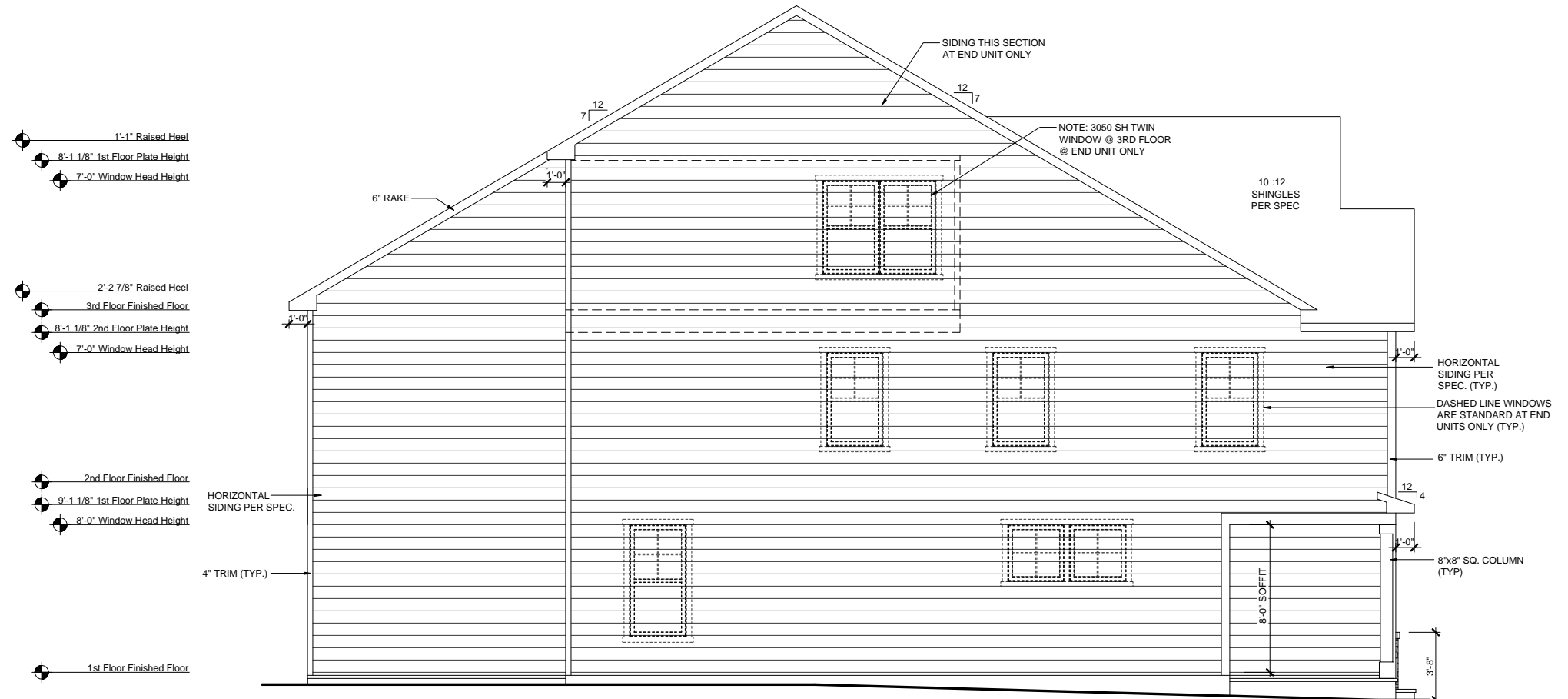
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**RLH T477 1.1**  
**Elevation Plans**  
**Front Elevation ACL**

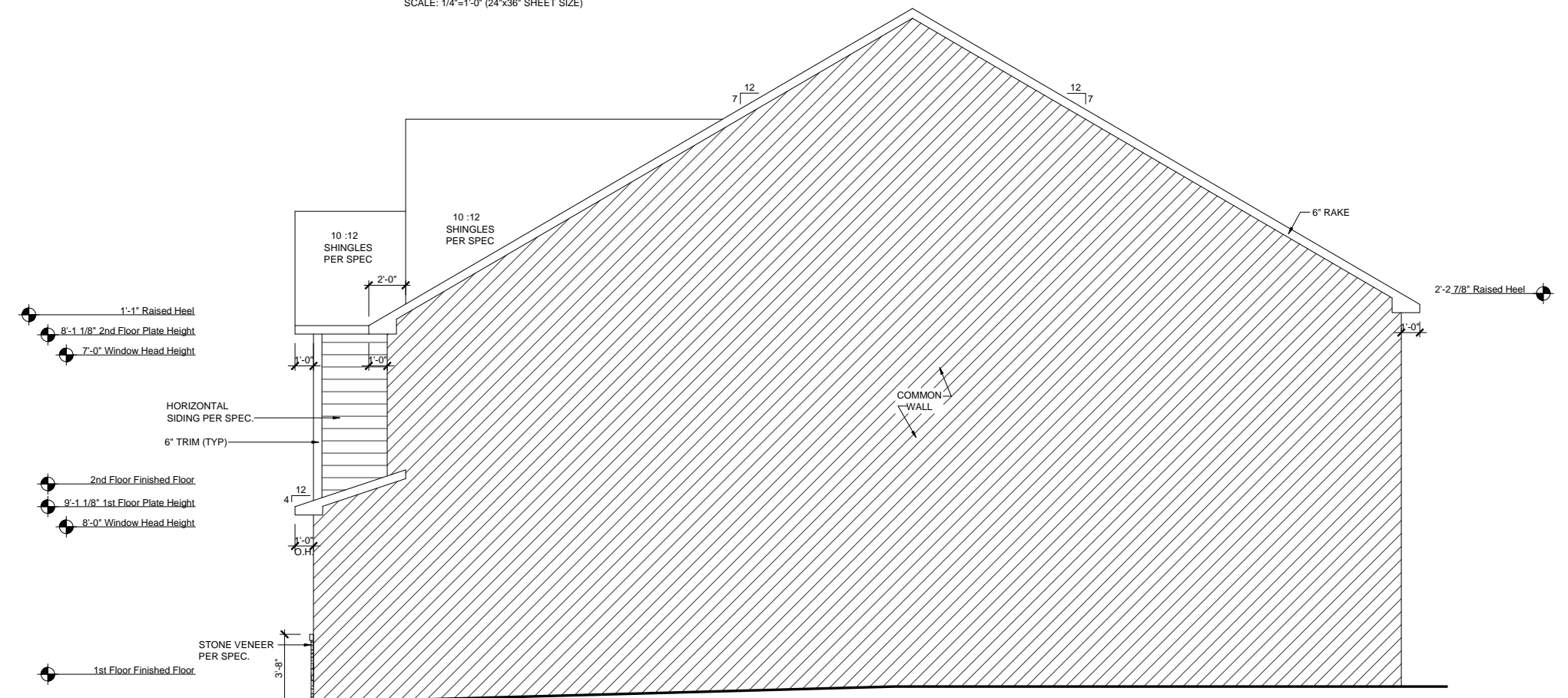
drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.2**



- 1'-1" Raised Heel
- 8'-1 1/8" 1st Floor Plate Height
- 7'-0" Window Head Height
- 2'-2 7/8" Raised Heel
- 3rd Floor Finished Floor
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- 1st Floor Finished Floor

**LEFT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



- 1'-1" Raised Heel
- 8'-1 1/8" 2nd Floor Plate Height
- 7'-0" Window Head Height
- 2nd Floor Finished Floor
- 9'-1 1/8" 1st Floor Plate Height
- 8'-0" Window Head Height
- 1st Floor Finished Floor

**RIGHT ELEVATION - ACL**  
 SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
1.0	10.30.2020
1.1	02.23.2021

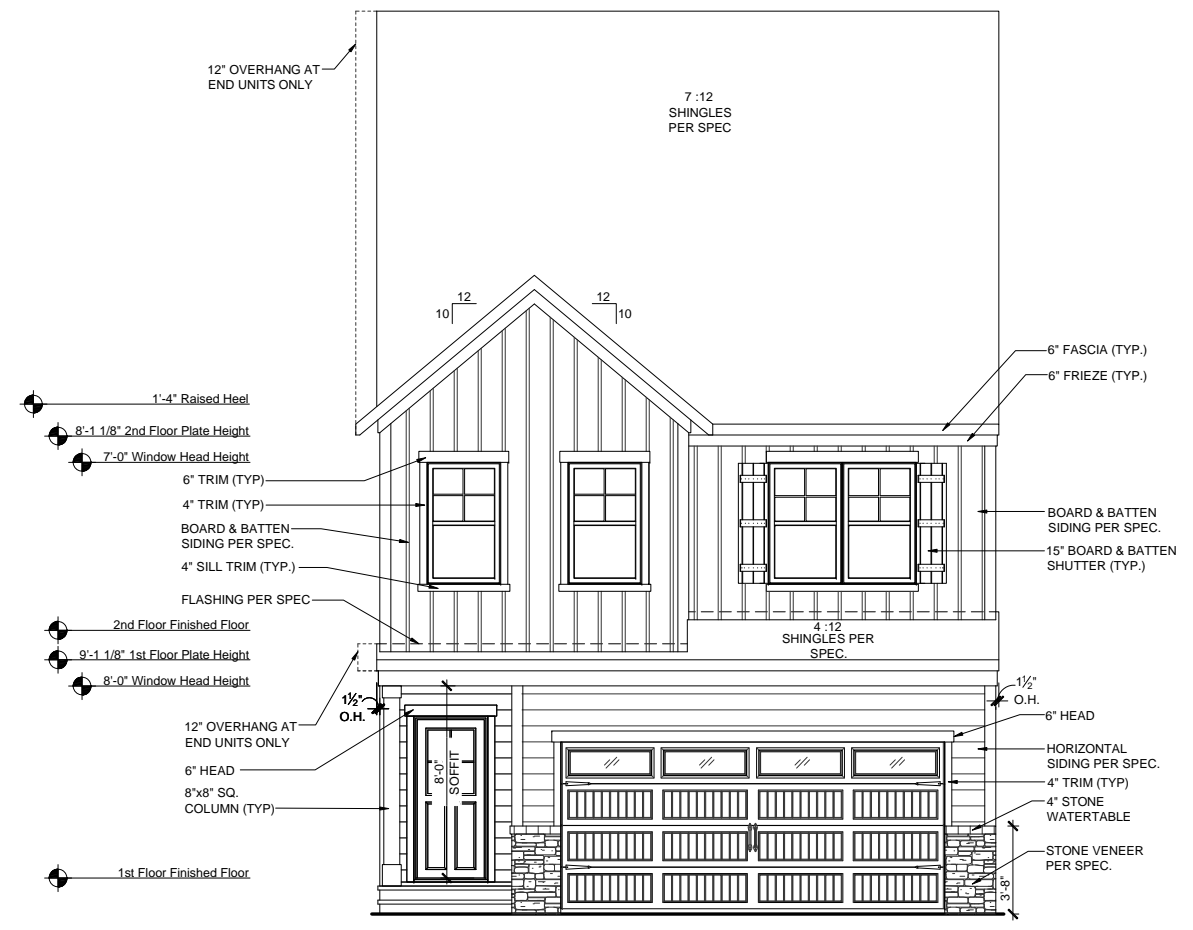
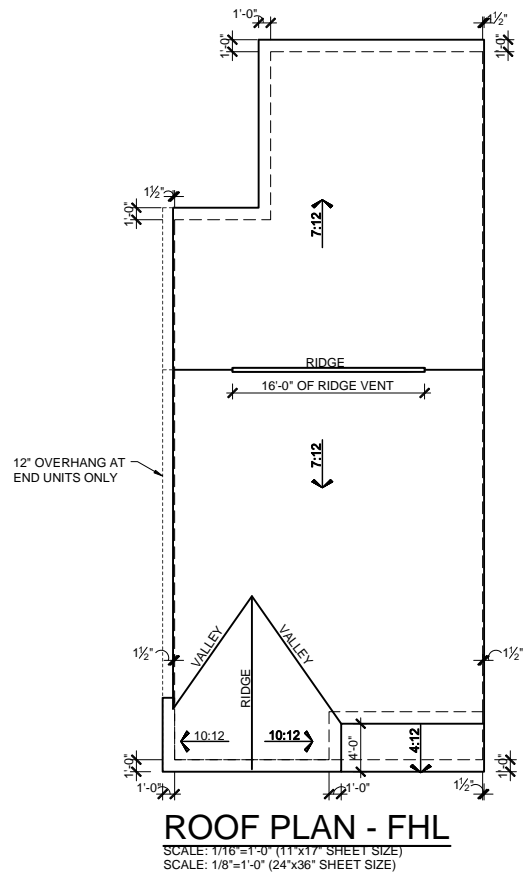
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**RLH T477 1.1**  
**Elevation Plans**  
**Side Elevations ACL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.3**



**MAIN ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 1351 S.F.

VENTING =

1351 S.F. / 150 = 9.00 S.F. REQUIRED  
 1351 S.F. / 300 = 4.50 S.F. REQUIRED

Ridge Vents: 16 lin ft  
 Soffit Vents: 45 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

**GARAGE/PORCH ROOF**

**ATTIC VENT CALCULATIONS**

ROOF SQUARE FOOTAGE = 51 S.F.

VENTING =

51 S.F. / 150 = 0.34 S.F. REQUIRED  
 51 S.F. / 300 = 0.17 S.F. REQUIRED

Ridge Vents: 0 lin ft  
 Soffit Vents: 26 lin ft

NOTE:  
 1 TO 300 IS ALLOWED, PROVIDED THAT BETWEEN 60% AND 80% OF REQUIRED VENTING IS LOCATED AT LEAST 3 FEET ABOVE THE EAVE.

REV.	DATE
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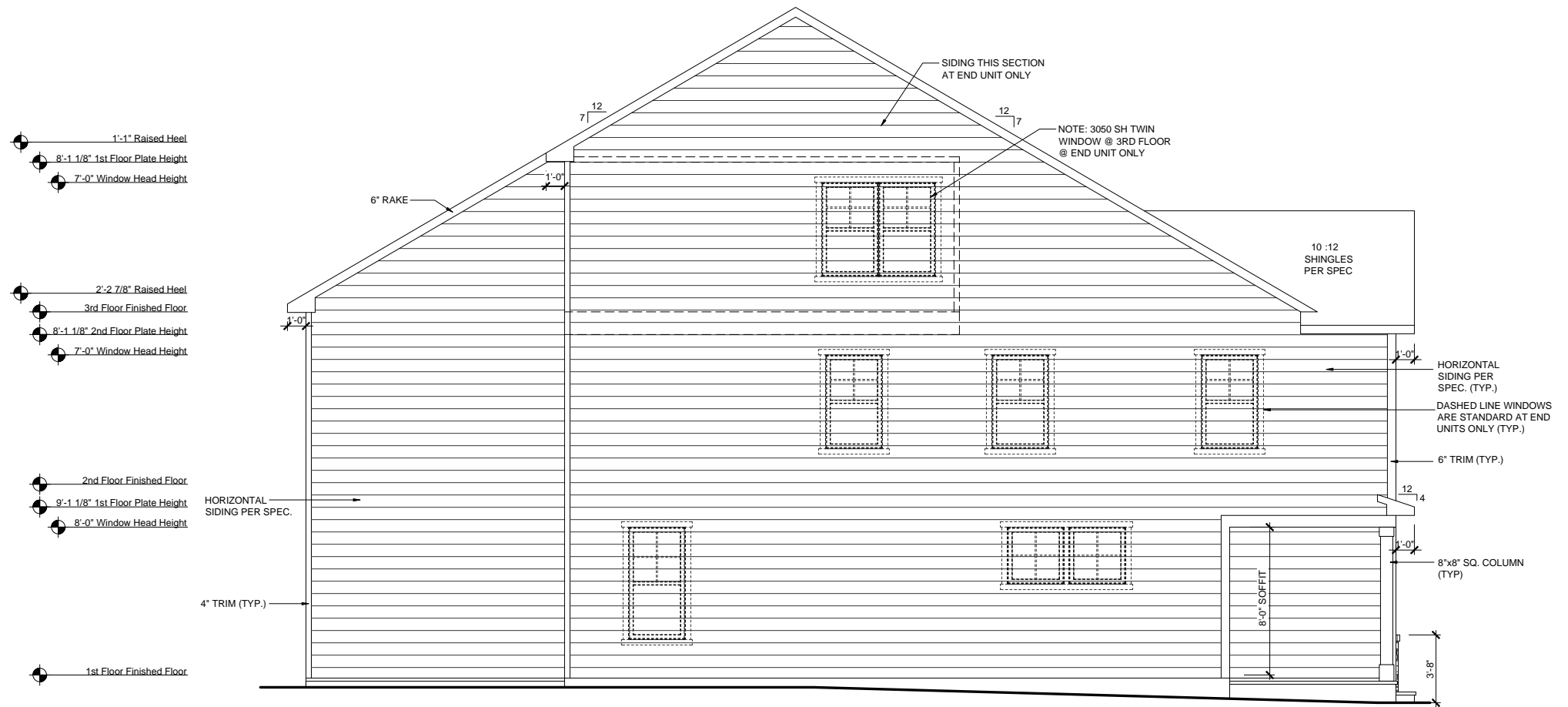
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**RLH T477 1.1**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

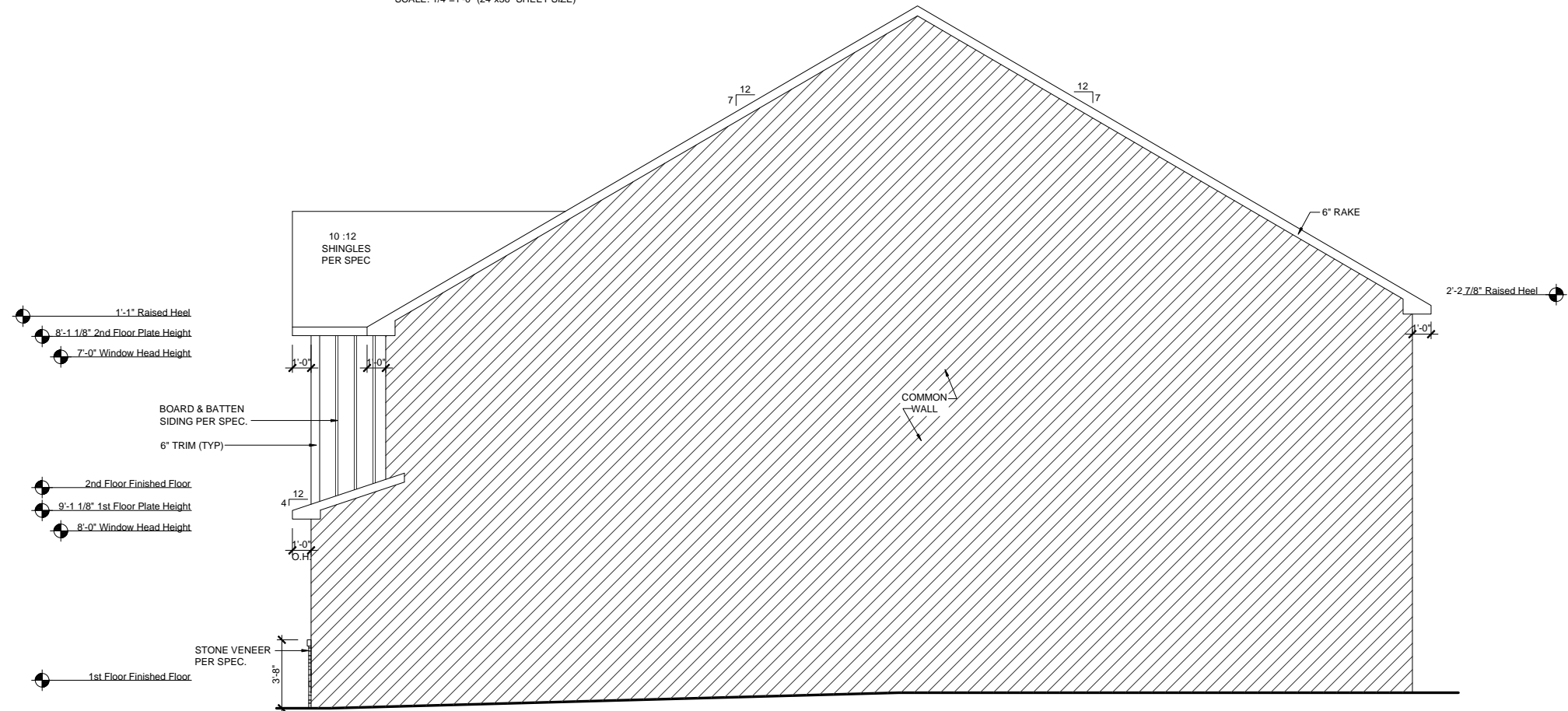
**A-3.4**



1'-1" Raised Heel  
 8'-1 1/8" 1st Floor Plate Height  
 7'-0" Window Head Height  
  
 2'-2 7/8" Raised Heel  
 3rd Floor Finished Floor  
 8'-1 1/8" 2nd Floor Plate Height  
 7'-0" Window Head Height  
  
 2nd Floor Finished Floor  
 9'-1 1/8" 1st Floor Plate Height  
 8'-0" Window Head Height  
  
 1st Floor Finished Floor

**LEFT ELEVATION - FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)



1'-1" Raised Heel  
 8'-1 1/8" 2nd Floor Plate Height  
 7'-0" Window Head Height  
  
 BOARD & BATTEN SIDING PER SPEC.  
 6" TRIM (TYP.)  
  
 2nd Floor Finished Floor  
 9'-1 1/8" 1st Floor Plate Height  
 8'-0" Window Head Height  
  
 1st Floor Finished Floor  
 STONE VENEER PER SPEC.

**RIGHT ELEVATION - FHL**

SCALE: 1/8"=1'-0" (11"x17" SHEET SIZE)  
 SCALE: 1/4"=1'-0" (24"x36" SHEET SIZE)

REV.	DATE
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**RLH T477 1.1**  
**Elevation Plans**  
**Front Elevation FHL**

drawn by: XSI  
 checked by: BZH  
 date: 09/20/19  
 sheet number:

**A-3.5**

ROBERT'S CROSSING