

## Attachment "A"

Beginning at a P.K. Nail located in the centerline of Olive Chapel Road (60' Public R/W), thence with the centerline of Olive Chapel Road South  $70^{\circ}48'44''$  West a distance of 189.41 feet to a P.K. Nail in the eastern right of way intersection of Olive Chapel Road and Pricewood Lane (Private R/W), thence leaving the right of way of Olive Chapel Road with the right of way of Pricewood Lane the following three (3) calls North  $19^{\circ}13'22''$  West a distance of 251.28 feet to an existing iron pipe, thence along a curve to the right having an arc length of 89.83 feet, a radius of 264.67 feet, a chord bearing and distance of North  $09^{\circ}29'58''$  West 89.40 feet to an existing iron pipe, thence North  $00^{\circ}13'27''$  East a distance of 529.95 feet to an existing iron pipe in the line of lands now or formerly owned by Crescent Apex, LLC as recorded in Deed Book 17044, Page 910 of the Wake County Registry, thence leaving the right of way of Pricewood Lane with the common line of Crescent Apex, LLC South  $89^{\circ}44'26''$  East a distance of 277.54 feet to an existing iron pipe, thence South  $00^{\circ}14'03''$  West a distance of 791.89 feet to the point of beginning containing 217,662 square feet or 4.997 acres more or less.

# LINDEN LOT 22 PUD

PD PLAN

APEX, NORTH CAROLINA

Submitted: May 1, 2019

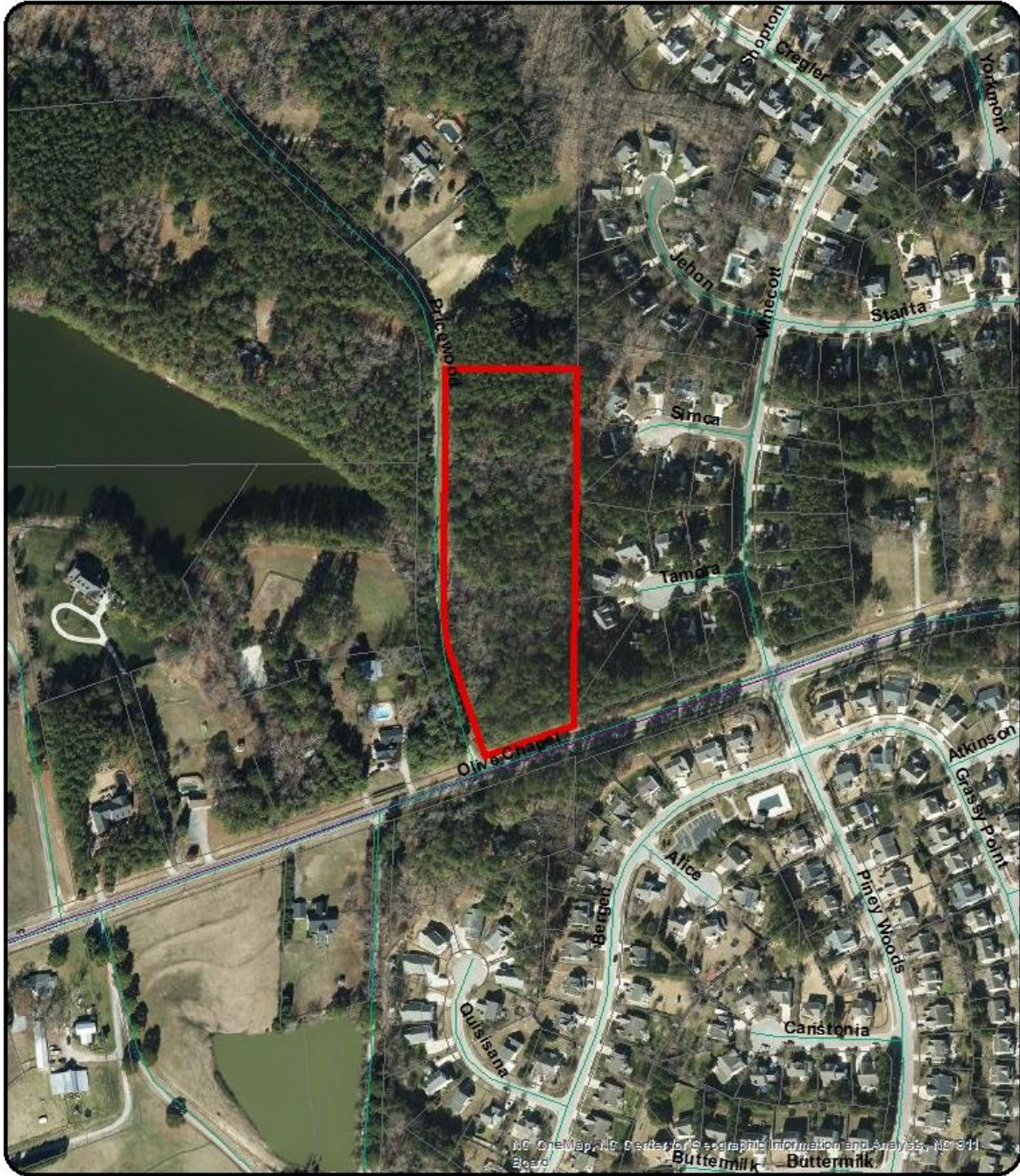
PREPARED BY:



## **Section 1: Table of Contents – PUD Text**


- Section 1: Table of Contents
- Section 2: Vicinity Map
- Section 3: Project Data
- Section 4: Purpose Statement
- Section 5: Permitted Uses
- Section 6: Design Controls
- Section 7: Architectural Controls
- Section 8: Parking and Loading
- Section 9: Signage
- Section 10: Natural Resource and Environmental Data
- Section 11: Stormwater Management
- Section 12: Parks and Recreation
- Section 13: Public Facilities
- Section 14: Phasing Plan
- Section 15: Consistency with Land Use Plan
- Section 16: Compliance with UDO
- Section 17: Additional Zoning Conditions

## Section 2: Vicinity Map



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**LINDEN LOT 22 PUD  
VICINITY MAP**



MCADAMS



### Section 3: Project Data

**A. Name of Project:**

Linden Lot 22 PUD

**B. Applicant**

**Owner/Developer:**

Dan Ryan Builders  
3000 RDU Center Drive Suite 202  
Morrisville NC 27560

**Prepared By:**

Charlie Yokley, AICP  
McAdams  
2905 Meridian Parkway  
Durham, NC 27713

**C. Current Zoning Designation:**

Rural Residential (RR)

**D. Proposed Zoning Designation:**

PUD-CZ

**D. Current 2045 Land Use Map Designation:**

Medium Density Residential (single-family homes, duplexes, and townhomes up to 7 units per acre).

**E. Proposed 2045 Land Use Map Designation:**

No change requested. The proposed zoning is consistent with the current designation.

**F. Proposed Use:**

11 single-family detached lots and associated open space and infrastructure.

**G. Size of Project**

Total Acreage within PUD: 4.52 Acres

Property Identification Number (PIN) and Acreage:

0722-60-2549

## Section 4: Purpose Statement

The Linden Lot 22 PUD will consist of single-family detached lots averaging 7,300 square feet. The proposed development will set aside required resource conservation areas. The development concept is consistent with the Town's stated PUD goal to provide site specific, high quality neighborhoods that exhibit natural feature preservation as well as compatibility with, and connectivity to, surrounding land uses. This development will comply with the PUD Development Parameters outlined in §2.3.4.F.1.a.i-vii of the Town of Apex Unified Development Ordinance. The Linden Lot 22 PUD is in compliance with the Development Parameters as follows:

- *The uses to be developed in the PD Plan for the PUD-CZ are those uses permitted in Section 4.2.2, Use Table.*
  - **The uses permitted within the Linden Lot 22 PUD are permitted per §4.2.2 of the Town of Apex UDO.**
- *The uses proposed in the PD Plan for the PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of the non-residential land area is included in certain mixed-use areas as specified on the 2045 Land Use Map. The location of uses proposed by the PUD-C must be shown on the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.*
  - **The Linden Lot 22 PUD is an 11-lot single-family residential development, which is in compliance with the 2045 Land Use Map.**
- *The dimensional standards in §5.1.3 Table of Intensity and Dimensional Standards, Planned Development Districts, may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.*
  - **The proposed dimensional standards are in compliance with the Town of Apex UDO. Development of the parcel will be in compliance with all other requirements of the UDO, North Carolina Building Code, and North Carolina Fire Code.**
- *The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways, and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Apex Transportation Plan and the Town of Apex Standard Specifications and Details, and greenway improvements as required by the Town of Apex Parks, Recreation, and Open Space Plan and the Apex Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.*
  - **Public sidewalks will be constructed along the both sides of all streets, as required by the Town of Apex UDO. Required improvements, per the Town of Apex**

Transportation Plan, will be made to Olive Chapel Road. Subject to Town of Apex and NCDOT approval, off-site public sidewalk on Olive Chapel Road will be extended to the property boundary and a mid-block crossing and associated sidewalk improvements will be installed to connect to the existing public sidewalk on the south side of Olive Chapel Road.

- The design of development in the PD Plan for the PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing proposed or proposed street system in the surrounding area indicated that a through street is not essential in the location of the proposed cul-de-sacs, or where sensitive environmental features such as streams, floodplains, or wetlands would be substantially disturbed by making road connections.
  - Linden Grove Lane is located to the west of the Linden Lot 22 PUD. The properties to the east have been development for single-family residential uses; there is no opportunity to connect a public street to adjacent properties. Public sidewalks will be constructed as required by the Town of Apex along Linden Grove Lane and Olive Chapel Road. Subject to Town of Apex and NCDOT approval, off-site public sidewalk on Olive Chapel Road will be extended to the property boundary and a mid-block crossing and associated sidewalk improvements will be installed to connect to the existing public sidewalk on the south side of Olive Chapel Road.
- The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
  - The Linden Lot 22 PUD is an 11-lot single-family residential development. The uses of this parcel will be compatible with the character of surrounding land uses and will not have a negative impact on the value of surrounding properties.
- The development proposed in the PD Plan for the PUD-CZ has architectural and design standards that are exceptional and provide a higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.
  - The single-family residential structures in the Linden Lot 22 PUD will be high-quality construction that is a higher quality than the typical single-family residential development. Architectural elevations illustrating the high-quality development are included with the PUD-CZ application.

All site-specific standards and conditions of this PD Plan shall be consistent with all Conditional Zoning (CZ) District standards set forth in the UDO Section 2.3.3, *Conditional Zoning Districts*. The proposed PUD, with a maximum density of 2.44 units per acre, will provide a development density that is consistent with the 2045 Land Use Plan designation of Medium Density Residential. The Advance Apex The 2045 Plan describes medium density residential use as “single-family and townhomes up to 6 units per acre...providing a transition from the more

urbanized areas of Apex to the low density neighborhoods in the western part of the study area”.

## Section 5: Permitted Uses

The development will only include residential and supporting uses. Specifically, the permitted uses include:

- Single-family
- Greenway
- Recreation Facility, Private
- Park, Active
- Park, Passive
- Utility, minor
- Accessory Apartments

## Section 6: Proposed Design Controls

### A. Maximum Non-Residential Densities (SF per non-residential use)

This PUD does not provide for any non-residential land uses (see Section 5, *Permitted Uses*).

### B. Residential Densities and Design Controls

**Density** - The overall gross density shall not exceed 2.44 units per acre.

**Design Controls** – Dimensional standards below shall apply to all residential uses, and at a minimum, will comply with Section 2.3.4 (F) of the UDO.

Maximum Density:	2.44 Units/Acre (includes RCA and rights-of-way)
Maximum Number of lots:	11
Maximum Built-Upon Area:	70%
Minimum Lot Size:	6,000 square feet
Average Lot Size:	7,300 square feet
Minimum Lot Width:	60 feet
Maximum Building Height:	36 feet

#### Building Setbacks

Front:	10 feet (house); 18 feet (garage)
Side:	5 feet
Rear:	15 feet
Corner:	10 feet

*Note: Porches, patios, decks and other accessory structures may encroach into building setbacks as allowed by the Town of Apex UDO.*

## C. Buffers

### Perimeter Buffers

East Property line: 20-foot Type B

Northern Property line: 10' Type B

*Note: Where perimeter buffers coincide with stream buffers or 100-year floodplain, existing vegetation will be used to meet the buffer width and opacity.*

### Streetscape Buffers

A 30' Type B Buffer will be provided along Olive Chapel Road.

## Section 7: Proposed Architectural Controls

The proposed development offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. The elevations included are a condition of approval. Elevations included are limited examples of multiple options available. Changes to the exterior materials, roof, windows, doors, process, trim, etc. are allowable with administrative approval at the staff level. Further details shall be provided at the time of Residential Master Subdivision Plan submittal.

### A. Single-family residential:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. Garage doors must have windows, decorative details or carriage-style adornments on them.
3. The garage cannot protrude more than 1' out from the front façade or front porch.
4. Garages on the front façade of a home that faces the street shall not exceed 40% of the total width of the house and garage together.
5. The roof shall be pitched at 5:12 or greater.
6. The visible side of a home on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:
  - Windows
  - Bay window
  - Recessed window
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick/stone
  - Decorative trim
  - Decorative shake
  - Decorative air vents on gable
  - Decorative gable
  - Decorative cornice



- Column
- Portico
- Balcony
- Dormer

7. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
8. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.

**B. Proposed Materials**

Proposed materials will be of a similar palette to provide consistency of character along with visual interest. Exterior material may include:

- Cementitious siding
- Wood siding
- Stone or synthetic stone
- Brick

Please refer to sample building elevations that were included with this PUD application. Additional building materials may be included with administrative staff approval.

**Section 8: Parking and Loading**

All parking standards within the PUD will comply with Section 8.3, *Parking and Loading*, of the Town of Apex’s UDO. Sidewalks will be provided on both sides of all roads within the project.

**Section 9: Signage**

All signage for this PUD shall comply with Section 8.7, *Signs*, of the Town of Apex UDO.

**Section 10: Natural Resource and Environmental Data**

**A. River Basins and Watershed Protection Overlay Districts**

The project is located within the Beaver Creek drainage basin, which is within the Cape Fear River Basin. The project site is located within the Primary Watershed Protection Overlay District as shown on the Town of Apex watershed map. Given this overlay district, this PUD will comply with all built upon area, vegetated conveyances, structural BMP’s and riparian stream buffer requirements of Section 6.1.7 (B)(1)-(4).

**B. Resource Conservation Areas (RCA) – Required and Provided**

This PUD will be subject to, and meet the requirements of, Section 8.1.2 of the UDO, *Resource Conservation Area* and Section 2.3.4, *Planned Development Districts*.

The PUD will preserve a minimum of 25% of the gross project area as a Resource Conservation Area (RCA). Designated RCA areas will be consistent with the items listed in Section 8.1.2(B) of the Town's UDO. Preserved streams, wetlands, and associated riparian buffers provide the primary RCA's throughout the site. Additional RCA area provided as stormwater management areas, and greenway trails will contribute to a more walkable community.

**C. Any historic structures present**

As confirmed by the North Carolina State Historic Preservation Office and Capital Areas Preservation, Inc. there are no historic structures present within the project boundary.

## **Section 11: Stormwater Management**

This PUD shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO, such that:

- Post development peak runoff shall not exceed pre-development peak runoff conditions for the 1 year, 10 year, and 24-hour storm events.
- Treatment for the first 1 inch of runoff will provide for 85% removal of total suspended solids.

Acceptable stormwater structures shall include detention ponds, constructed wetlands, bio-retention areas, or other approved devices consistent with the NC DWQ Stormwater BMP Manual and the Town of Apex UDO.

## **Section 12: Parks and Recreation**

The Linden Lot 22 PUD does not require play lawns due to the small scale of the development.

## **Section 13: Public Facilities**

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4(F)(1)(f) and be designed according to sound engineering standards.

Specifically, road and utility infrastructure shall be as follows:

- **General Roadway Infrastructure**  
All proposed roadway infrastructure will be consistent with the Town of Apex UDO and Transportation Plan (updated in 2019).

Please refer to the concept plan of the PUD plan for proposed access points, stub roads and planned connectivity. All access and circulation is conceptual and will be finalized at the time of site plan.

- **Right-of-Way Dedication**

The project will dedicate additional right-of-way for Olive Chapel Road along the property frontage as required by the Apex Transportation Plan. ½ of the right-of-way needed to get to the required 110' of right-of-way will be dedicated.

- **Water and Sanitary Sewer**

All lots within the project will be served by with Town of Apex for water and sanitary. The utility design will be finalized at the time of master subdivision and be based on available facilities adjacent to the site at that time. A conceptual utility plan is included in the PUD plan for reference.

- **Other Utilities:** Electricity will be provided by Apex Electric. Phone, cable and gas will be provided by the developer and shall meet the Town of Apex standards as outlined in the UDO.

### **Section 14: Phasing Plan**

This PUD will be completed in a single phase.

### **Section 15: Consistency with the Land Use Plan**

The proposed land use is consistent with *the Advance Apex 2045: The Apex Comprehensive Plan*, adopted in February 2019.

### **Section 16: Compliance with the UDO**

The development standards adopted for this PUD are in compliance with those set forth in the current version of the Town's Unified Development Ordinance (UDO). Any deviations from UDO requirements have been specifically defined within this document.

### **Section 17: Additional Zoning Conditions**

As part of the approval of the Linden Lot 22 PUD, the applicant commits to the following zoning conditions:

1. Subject to Town of Apex and NCDOT approval, off-site public sidewalk on Olive Chapel Road will be extended to the property boundary and a mid-block crossing and associated sidewalk improvements will be installed to connect to the existing public sidewalk on the south side of Olive Chapel Road.
2. All homes within the Linden Lot 22 development will be pre-wired for solar power.

3. A solar PV system, with a minimum capacity of at least 4 kW, shall be installed on at least one (1) home within the development. All solar installation required by this condition shall be completed or under construction prior to 90% of the building permits being issued for the development.
4. LED lights shall be used throughout the development.
5. A heating system of at least 95% efficiency will be installed on each home within the Linden Lot 22 development.
6. All HVAC units installed in the homes in the Linden Lot 22 development will have a minimum SEER value of 16.
7. If mass graded, an additional 5% RCA shall be provided along Olive Chapel Road and Woodridge buffers.





**McAdams**

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**CONTACT**

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PHONE: 919.287.0761

**CLIENT**

KRISTI DILLARD  
3000 RDU CENTER DRIVE SUITE 202  
MORRISVILLE, NC 27560  
PHONE: 919.492.4610

**PROJECT DIRECTORY**

DEVELOPER  
KRISTI DILLARD  
3000 RDU CENTER DRIVE SUITE 202  
MORRISVILLE, NC 27560  
PHONE: 919.492.4610

# LINDEN LOT 22

OLIVE CHAPEL ROAD & LINDEN GROVE LANE  
APEX, NORTH CAROLINA, 27502

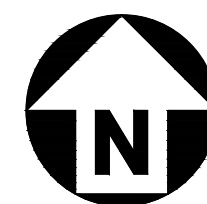
## PLANNED DEVELOPMENT PLAN FOR PUD-CZ 3RD PUD-REZONING APPLICATION SUBMITTAL

PROJECT NUMBER: DRB-19010

DATE: AUGUST 05, 2019



**AERIAL AND VICINITY MAP**  
1"=200' SCALE



**SHEET INDEX**

- C1.01 EXISTING CONDITIONS PLAN
- C2.01 LAYOUT/PHASING/UTILITY PLAN

**OWNERS**

- 1. CRESCENT APEX LLC  
PIN: 0722-60-2549  
ZONING: RR  
USE: VACANT  
AREA: 4.52 AC

**TRANSPORTATION CONDITIONS**

- 1. DEDICATION OF ADDITIONAL RIGHT-OF-WAY FOR OLIVE CHAPEL ROAD ALONG THE PROPERTY FRONTAGE, AS REQUIRED BY THE APEX TRANSPORTATION PLAN.

**REQUIRED FRONTAGE IMPROVEMENTS**

- 1. 6' WIDE PAVED SHOULDER BIKE LANE ALONG OLIVE CHAPEL ROAD, AS REQUIRED BY THE ADVANCE APEX/BIKE APEX PLANS.

**ZONING CONDITIONS**

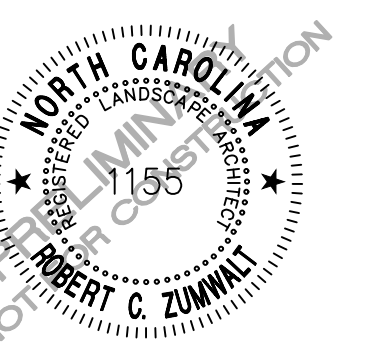
- 1. SUBJECT TO TOWN OF APEX AND NCDOT APPROVAL, OFF-SITE PUBLIC SIDEWALK ON OLIVE CHAPEL ROAD WILL BE EXTENDED TO THE PROPERTY BOUNDARY AND A MID-BLOCK CROSSING AND ASSOCIATED SIDEWALK IMPROVEMENTS WILL BE INSTALLED TO CONNECT TO THE EXISTING PUBLIC SIDEWALK ON THE SOUTH SIDE OF OLIVE CHAPEL ROAD.
- 2. ALL HOMES WITHIN THE LINDEN LOT 22 DEVELOPMENT WILL BE PRE-WIRED FOR SOLAR POWER.
- 3. A SOLAR PV SYSTEM, WITH A MINIMUM CAPACITY OF AT LEAST 4 KW, SHALL BE INSTALLED ON AT LEAST ONE (1) HOME WITHIN THE DEVELOPMENT. ALL SOLAR INSTALLATION REQUIRED BY THIS CONDITION SHALL BE COMPLETED OR UNDER CONSTRUCTION PRIOR TO 90% OF THE BUILDING PERMITS BEING ISSUED FOR THE DEVELOPMENT.
- 4. LED LIGHTS SHALL BE USED THROUGHOUT THE DEVELOPMENT.
- 5. A HEATING SYSTEM OF AT LEAST 95% EFFICIENCY WILL BE INSTALLED ON EACH HOME WITHIN THE LINDEN LOT 22 DEVELOPMENT.
- 6. ALL HVAC UNITS INSTALLED IN THE HOMES IN THE LINDEN LOT 22 DEVELOPMENT WILL HAVE A MINIMUM SEER VALUE OF 16.
- 7. IF MASS GRADED, AN ADDITIONAL 5% RCA SHALL BE PROVIDED ALONG OLIVE CHAPEL ROAD AND WOODRIDGE BUFFERS.

**GENERAL NOTES**

- 1. PROPERTY WILL HAVE TO BE ANNEXED PRIOR TO CD APPROVAL.

**SITE DATA**

DEVELOPER	KRISTI DILLARD 3000 RDU CENTER DRIVE SUITE 202 MORRISVILLE, NC 27560	
PARCELS	0722-60-2549 (SEE TABLE ON COVER SHEET FOR OWNER INFORMATION)	
SITE AREA	GROSS AREA: 4.52 AC	
EXISTING ZONING	RR	
PROPOSED ZONING	PUD-CZ	
RIVER BASIN	CAPE FEAR	
WATERSHED OVERLAY	PRIMARY WATERSHED OVERLAY DISTRICT	
MAX BUILT UPON AREA (IMPERVIOUS)	70%	
2045 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL	
EXISTING USE	VACANT	
PROPOSED USE	11 SINGLE FAMILY LOTS	
DENSITY	11 LOTS / 4.52 AC = 2.44 UNITS/AC	
		SINGLE FAMILY
LOT WIDTH	MINIMUM	60'
LOT SIZE	MINIMUM	6,000 SF*
	AVERAGE	7,300 SF
	MAXIMUM NUMBER OF LOTS BETWEEN 6,000 SF - 7,000 SF: 15% OF TOTAL LOTS	
SETBACKS	SIDE	5'
	FRONT	10' (HOUSE) 18' (GARAGE)
	CORNER SIDE	10'
	REAR	15'
BUILDING HEIGHT	MAXIMUM	36'
FEMA FIRM PANEL	3720072200J	
RESOURCE CONSERVATION AREA (RCA)	THE PUD WILL PRESERVE A MINIMUM OF 25% OF THE GROSS PROJECT AREA AS RCA.	



**REVISIONS**

NO.	DATE
1	
2	

**PLANNED DEVELOPMENT PLAN FOR PUD-CZ DRAWINGS FOR:**

LINDEN LOT 22  
PHASE 1  
APEX, NC 27502  
PROJECT NUMBER: DRB-19010



**ADJACENT PROPERTY OWNERS:**

- |  |   |
|--|---|
| 1. CRESCENT APEX LLC<br>0 CHAPEL HILL RD<br>APEX NC ZIP<br>PIN: 0722-51-5962               | 7. O'NEILL, JOHN C<br>1008 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-4431   |
| 2. THORNE, LEIGH B<br>2412 OLIVE CHAPEL RD<br>APEX NC 27502-8514<br>PIN: 0722-50-7497      | 8. GEISS, MARIA ANGELICA<br>1007 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-4531                                   |
| 3. THORNE, LEIGH B<br>2412 OLIVE CHAPEL RD<br>APEX NC 27502-8514<br>PIN: 0722-50-9118      | 9. DAMBORSKY, KYLE<br>CAMERON DAMBORSKY,<br>JOANNE CRYSTAL<br>1005 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-4579 |
| 4. SEARS, BARBARA OBLER<br>2409 OLIVE CHAPEL RD<br>APEX NC 27502-8514<br>PIN: 0721-69-1901 | 10. LIU, JOE YEN LIU, AMY<br>HUEY<br>856 RIVER SONG PL<br>2008 SIMCA CT<br>APEX NC 27502-4012<br>PIN: 0722-60-4792      |
| 5. FALLON, KEITH E<br>108 BERGEN AVE<br>APEX NC 27502-4846<br>PIN: 0722-60-4053            | 11. KIGER, DANIEL E, HOLLY A<br>2006 SIMCA CT<br>APEX NC 27502-4012<br>PIN: 0722-60-4728                                |
| 6. FISHER, ANNETTE S<br>1006 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-5315          | 12. GABRIEL, RONALD<br>2007 SIMCA CT<br>APEX NC 27502-4012  |

**GENERAL NOTES:**

1. TOPOGRAPHIC INFORMATION TAKEN FROM A COMBINATION OF LIDAR AND DESIGN TOPOGRAPHY FROM LINDEN PROJECT UNDER CONSTRUCTION.
2. SURROUNDING PARCEL INFORMATION TAKEN FROM WAKE COUNTY GIS.
3. THERE ARE NO HISTORIC STRUCTURES ON THE SUBJECT PROPERTY.
4. THERE ARE NO STEEP SLOPES.
5. THIS SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
6. PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.



**McADAMS**

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**CLIENT**

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PHONE: 919.492.4610

**LINDEN LOT 22**  
PUD-REZONING APPLICATION  
2236 OLIVE CHAPEL ROAD  
APEX, NORTH CAROLINA, 27502



**REVISIONS**

NO.	DATE	REVISION
1	06.07.2019	REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS
2	07.05.2019	2ND REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS
3	08.02.2019	3RD REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS

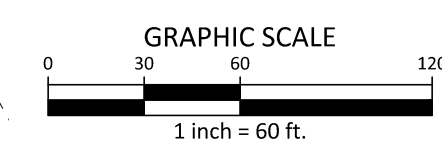
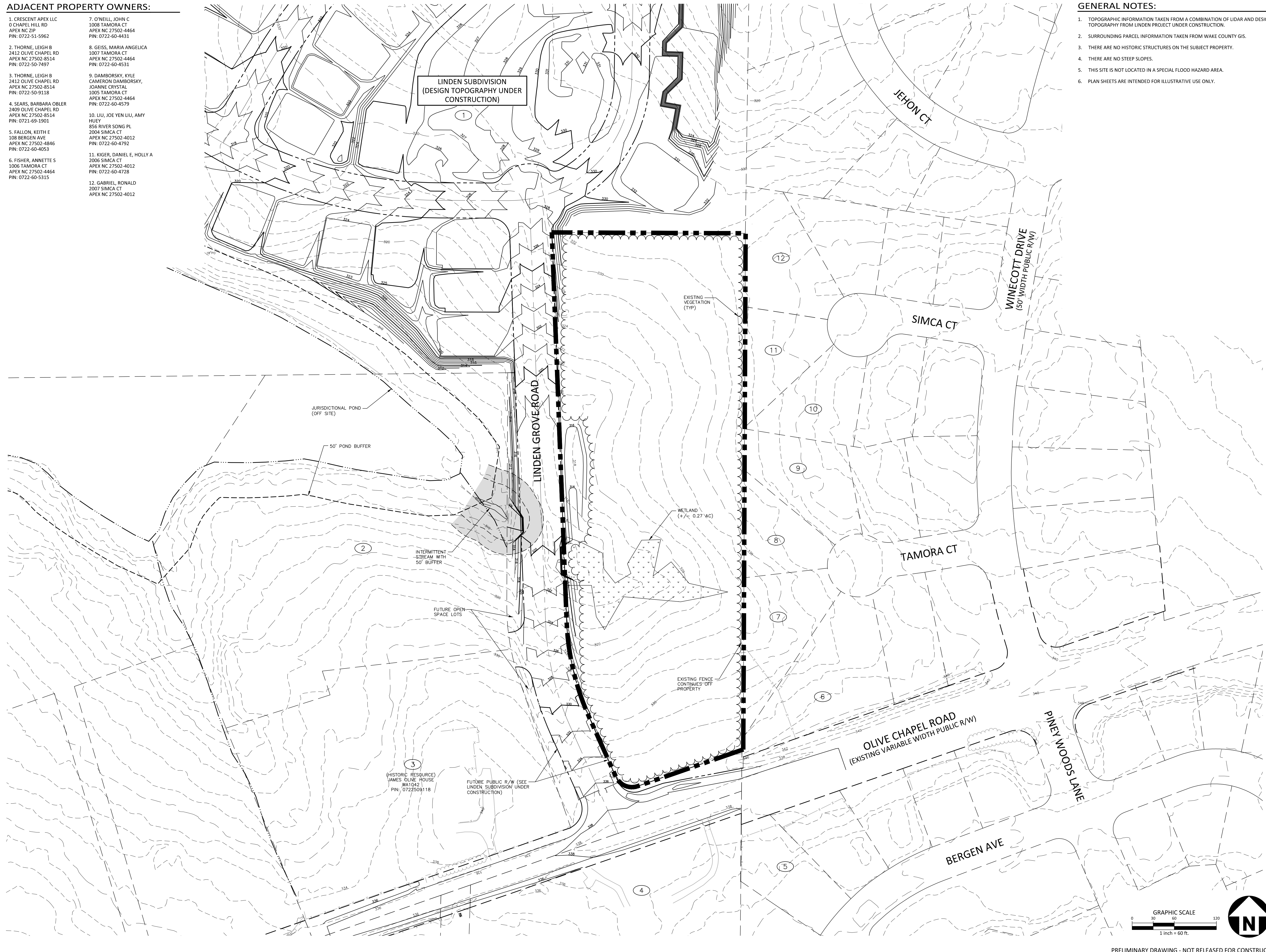
**PLAN INFORMATION**

PROJECT NO. DRB-19010  
FILENAME DRB19010-XC1  
CHECKED BY RCZ  
DRAWN BY SMV  
SCALE 1"=60'  
DATE 08.02.2019

**SHEET**

**EXISTING CONDITIONS PLAN**

**C1.01**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**ADJACENT PROPERTY OWNERS:**

- |  |   |
|--|---|
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| 3. THORNE, LEIGH B<br>2412 OLIVE CHAPEL RD<br>APEX NC 27502-8514<br>PIN: 0722-50-9118      | 9. DAMBORSKY, KYLE<br>CAMERON DAMBORSKY,<br>JOANNE CRYSTAL<br>1005 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-4579 |
| 4. SEARS, BARBARA OBLER<br>2409 OLIVE CHAPEL RD<br>APEX NC 27502-8514<br>PIN: 0721-69-1901 | 10. LIU, JOE YEN LIU, AMY<br>HUEY<br>856 RIVER SONG PL<br>2008 SIMCA CT<br>APEX NC 27502-4012<br>PIN: 0722-60-4792      |
| 5. FALLON, KEITH E<br>108 BERGEN AVE<br>APEX NC 27502-4846<br>PIN: 0722-60-4053            | 11. KIGER, DANIEL E, HOLLY A<br>2006 SIMCA CT<br>APEX NC 27502-4012<br>PIN: 0722-60-4728                                |
| 6. FISHER, ANNETTE S<br>1006 TAMORA CT<br>APEX NC 27502-4464<br>PIN: 0722-60-5315          | 12. GABRIEL, RONALD<br>2007 SIMCA CT<br>APEX NC 27502-4012  |

**LEGEND:**

- RESIDENTIAL USE
- APPROXIMATE LOCATION OF RESOURCE CONSERVATION AREAS OR PLANTED BUFFERS
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- VEHICULAR SITE ACCESS POINTS
- APPROXIMATE LOCATION OF STORMWATER MANAGEMENT FACILITY

**GENERAL NOTES:**

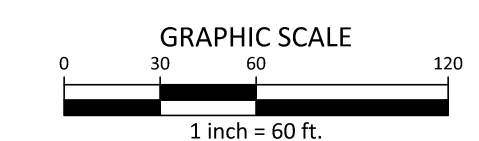
- ALL ITEMS IN LEGEND OTHER THAN VEHICULAR SITE ACCESS POINTS ARE SHOWN CONCEPTUALLY. FINAL LOCATION OF RCA & STORMWATER MANAGEMENT FACILITIES WILL BE DETERMINED AT THE TIME OF SITE PLAN.
- LINDEN GROVE ROAD MAY CONTAIN INDIVIDUAL DRIVEWAYS.
- PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.

**SITE NOTES:**

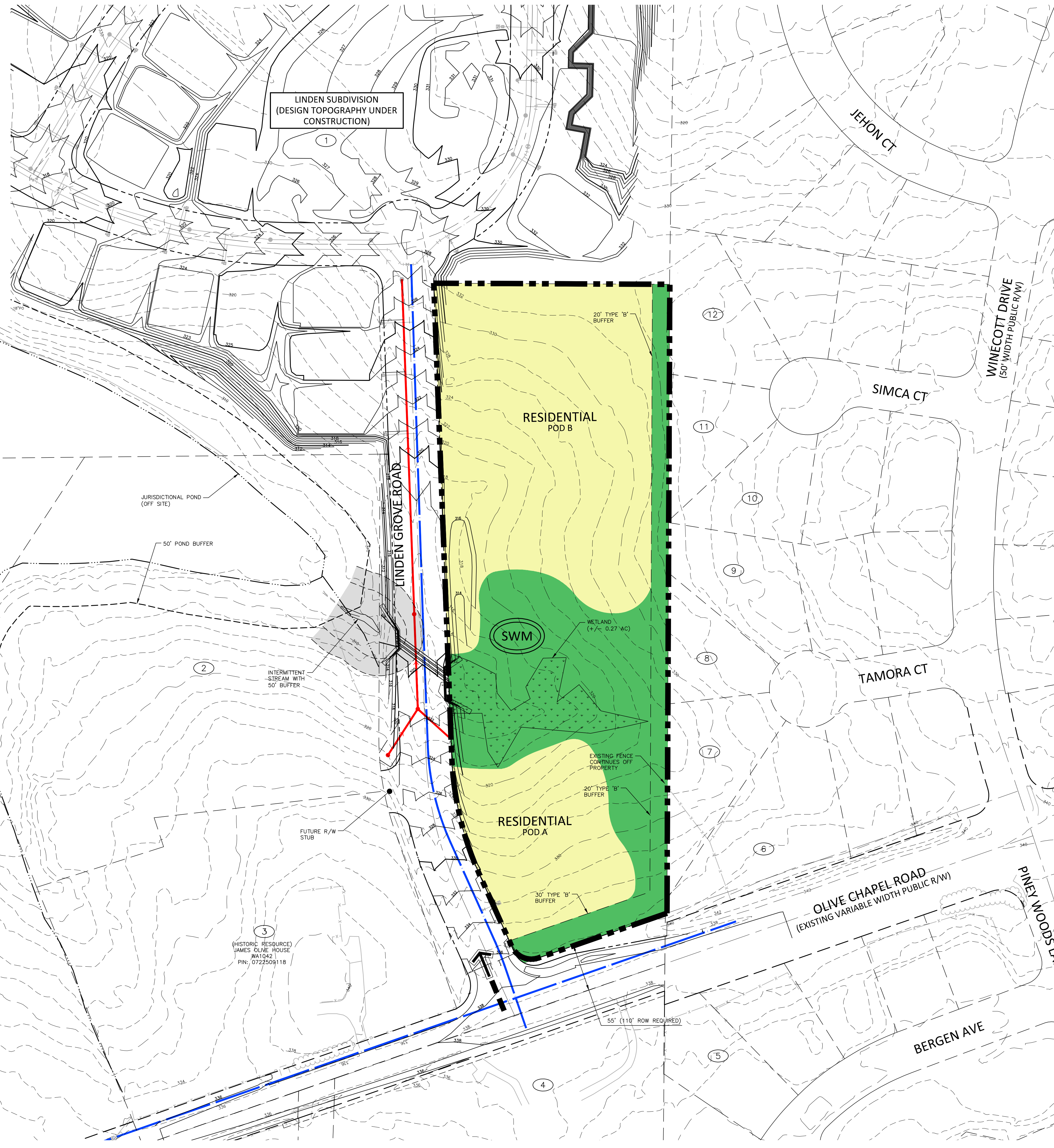
- REFER TO PUD DOCUMENT FOR A COMPLETE LIST OF ALLOWABLE USES FOR EACH TRACT OR DEVELOPMENT AREA.
- NO SITE DEVELOPMENT ACTIVITY INCLUDING BUT NOT LIMITED TO TESTING, CLEARING, INSTALLATION OF S&E MEASURES, OR GRADING, SHALL OCCUR UNTIL REQUIRED PROTECTION FENCING HAS BEEN INSTALLED AND INSPECTED. A PROTECTION FENCING INSTALLATION PERMIT MAY BE OBTAINED AT THE PLANNING DEPARTMENT OR BY CALLING 919-249-3426.
- PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS, BUT NOT LIMITED TO, HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO, COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC).
- ALL GRADING AND SUPPORT STRUCTURES ASSOCIATED WITH ANY RETAINING STRUCTURE SHALL NOT ENCROACH INTO ANY REQUIRED BUFFER OR PROTECTED AREA (SUCH AS, BUT NOT LIMITED TO, RCA AND CRITICAL ROOT ZONES OF TREES, PUBLIC UTILITY EASEMENTS, AND RIGHTS-OF-WAY), AND SHALL BE CONTAINED ENTIRELY ON SITE.
- THE SCREENING OF TRASH CONTAINERS (INCLUDING DUMPSTERS AND ROLL-OUT CARTS), OUTDOOR STORAGE, MECHANICAL AND HVAC EQUIPMENT, AND SIMILAR FACILITIES ON THE ROOF, ON THE GROUND, OR ON BUILDINGS SHALL MEET THE REQUIREMENTS FOUND IN SECTION 8.2.8 OF THE UNIFIED DEVELOPMENT ORDINANCE; SPECIFICALLY SCREENING MUST BE DONE SO THAT:
  - IT IS INCORPORATED INTO THE OVERALL DESIGN THEME OF THE BUILDING AND LANDSCAPE.
  - SCREENING MATERIALS ARE NOT DIFFERENT FROM OR INFERIOR TO THE PRINCIPAL MATERIALS OF THE BUILDING OR LANDSCAPE, AND ARE SIMILAR IN MATERIALS AND COLOR.
  - SCREENED ITEMS ARE OUT OF VIEW FROM ADJACENT PROPERTIES AND PUBLIC STREETS, AND A TOTALLY OPAQUE SCREEN IS ACHIEVED.
  - ANY GROUND-MOUNTED HVAC OR OTHER MECHANICAL OR UTILITY EQUIPMENT SIX FEET TALL OR HIGHER MUST BE FENCED AND LANDSCAPED.
  - DUMPSTER ENCLOSURES MUST MEET THE ABOVE REQUIREMENTS PLUS THEY MUST BE AT LEAST EIGHT FEET TALL OR THE HEIGHT OF THE DUMPSTER, WHICHEVER IS TALLER, AND BE BUILT OF MASONRY MATERIAL.
- ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
- SITE ITEMS SUCH AS BUT NOT LIMITED TO, LIGHTING, LANDSCAPING (INCLUDING MULCH), SCREENING (I.E., DUMPSTERS/TRASH, MECHANICAL/HVAC, ETC.), SITE STABILIZATION (SEEDING), AND PARKING AND PAVEMENT MARKING MUST BE COMPLETED PRIOR TO SCHEDULING A FINAL SITE INSPECTION.
- NO SIGNS ARE APPROVED AS PART OF THE PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED. SIGNAGE WILL COMPLY WITH APEX'S UDO.
- EXACT ACCESS AND STUB LOCATIONS TO BE FINALIZED AT SUBDIVISION PLAN PHASE.
- EXACT LOCATION OF RESOURCE CONSERVATION AREA TO BE FINALIZED AT SUBDIVISION PLAN PHASE.
- INTERNAL STREETS SHALL BE DEDICATED TO THE TOWN OF APEX. ROAD STUB-OUTS SHALL BE PROVIDED PER TOWN OF APEX REQUIREMENTS.
- WHERE PERIMETER BUFFERS COINCIDE WITH STREAM BUFFERS OR 100-YEAR FLOODPLAIN, EXISTING VEGETATION WILL BE USED TO MEET THE BUFFER WIDTH AND OPACITY.

**PHASING NOTES:**

- THE PROPERTY WILL BE DEVELOPED IN 1 PHASE. THE TIMING WILL BE DEFINED AT THE TIME OF SITE PLAN REVIEW.
- PUBLIC UTILITIES SHALL BE PROVIDED.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

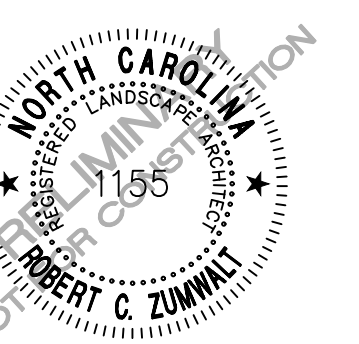


**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**

KRISTI DILLARD  
3000 RDU CENTER DRIVE SUITE 202  
MORRISVILLE, NORTH CAROLINA  
PHONE: 919.492.4610

**LINDEN LOT 22**  
PUD-REZONING APPLICATION  
2236 OLIVE CHAPEL ROAD  
APEX, NORTH CAROLINA, 27502



**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.07.2019	REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS
2	07.05.2019	2ND REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS
3	08.02.2019	3RD REZONING PLAN REVIEW COMMENT RESPONSE REVISIONS

**PLAN INFORMATION**

PROJECT NO. DRB-19010  
FILENAME DRB19010-XC1  
CHECKED BY RCZ  
DRAWN BY SMV  
SCALE 1"=60'  
DATE 08.02.2019

**SHEET**

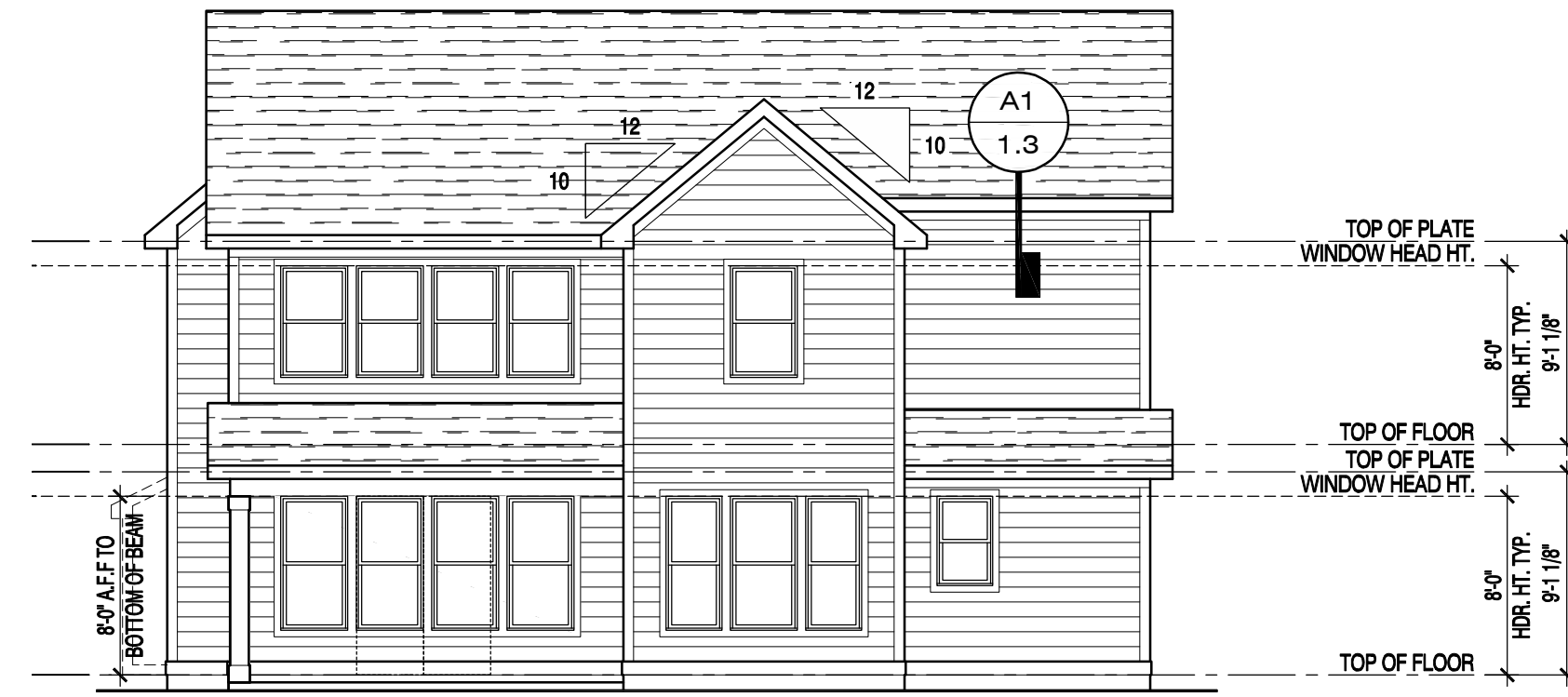
LAYOUT/PHASING/  
UTILITY PLAN

**C2.01**

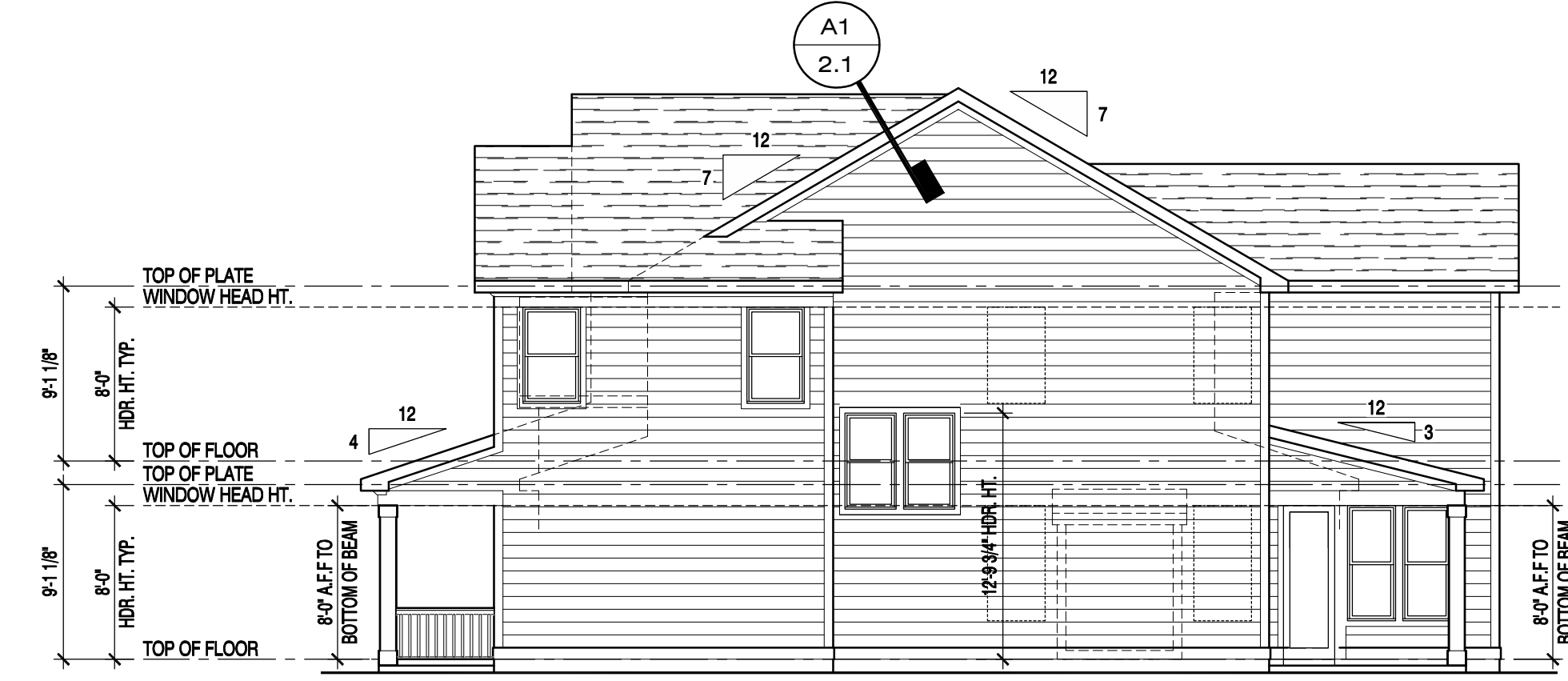


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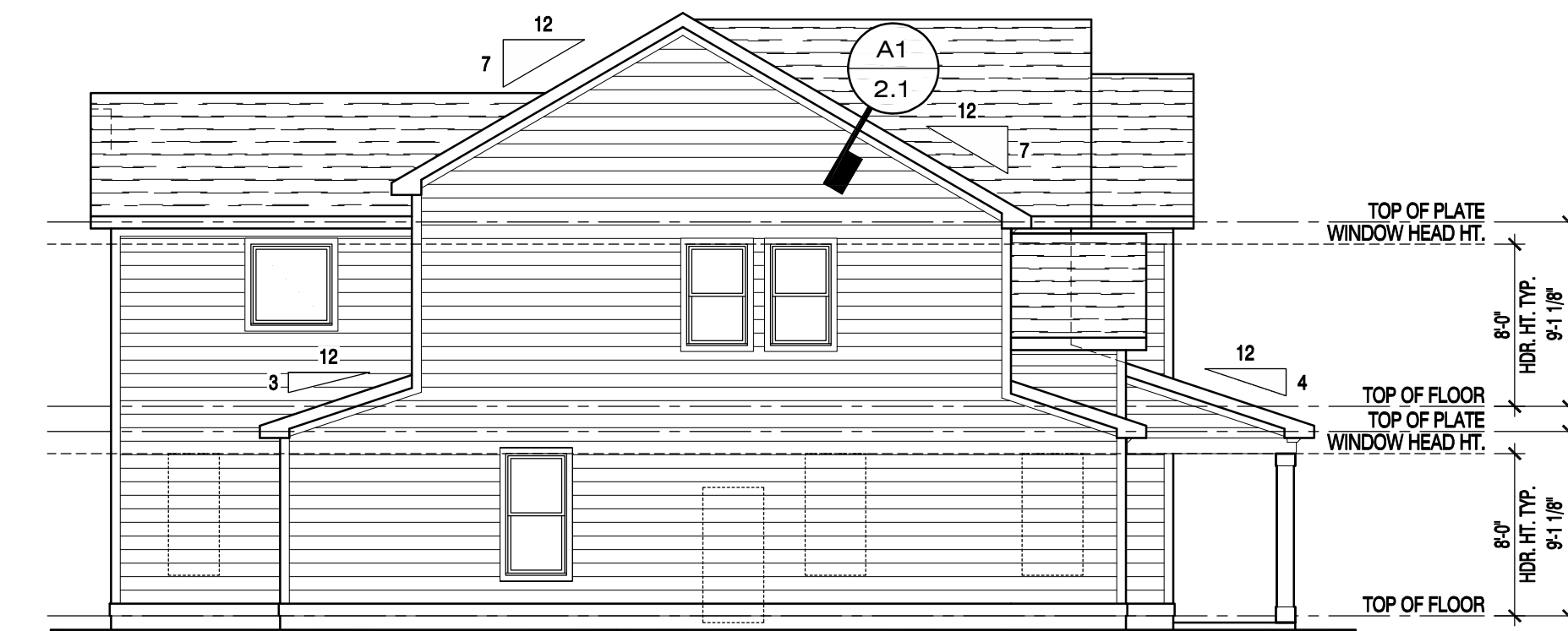
SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



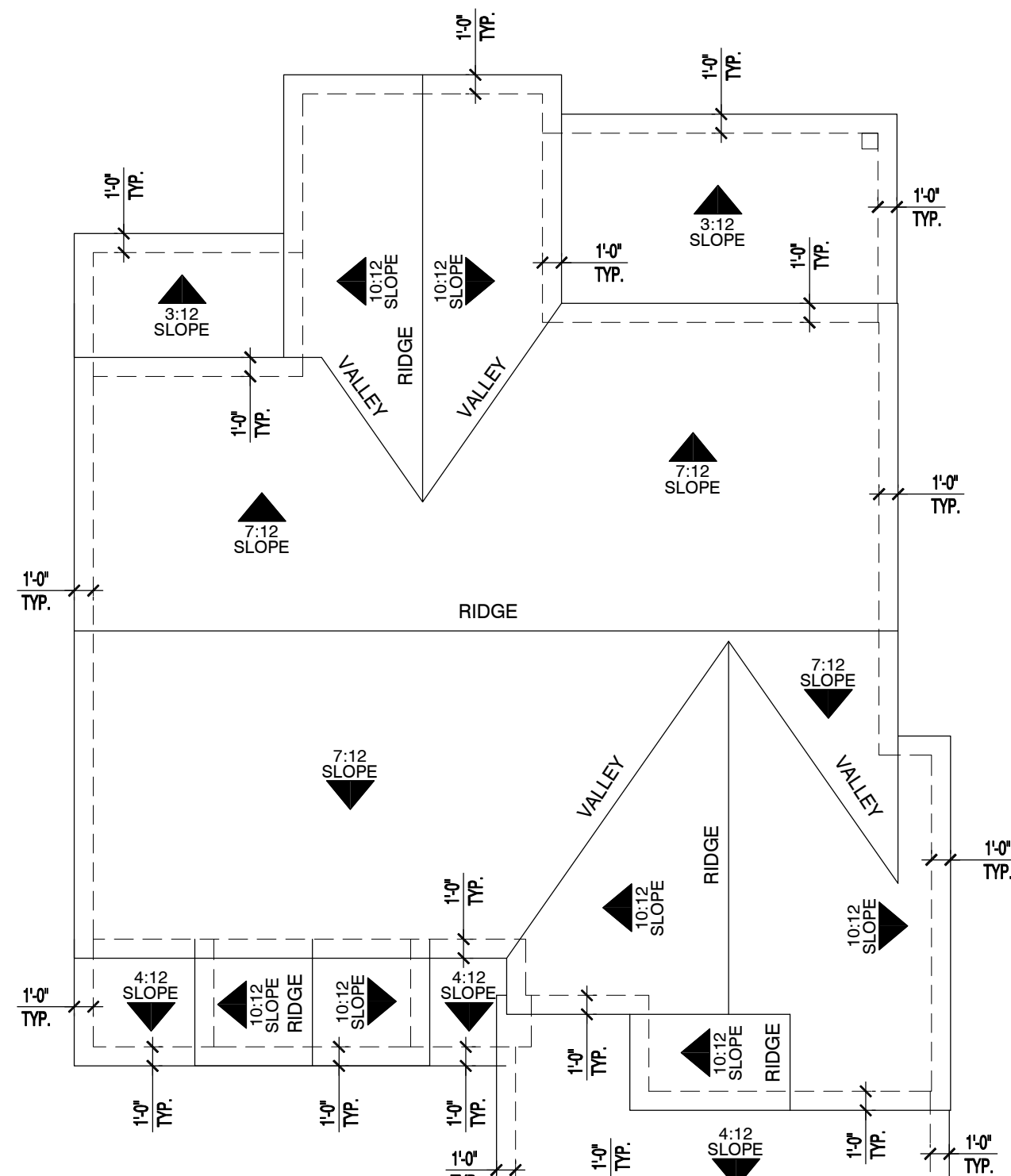
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 877-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION A -  
 UPCOUNTRY FARMHOUSE**

CONTROL	RELEASE DATE	09-09-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

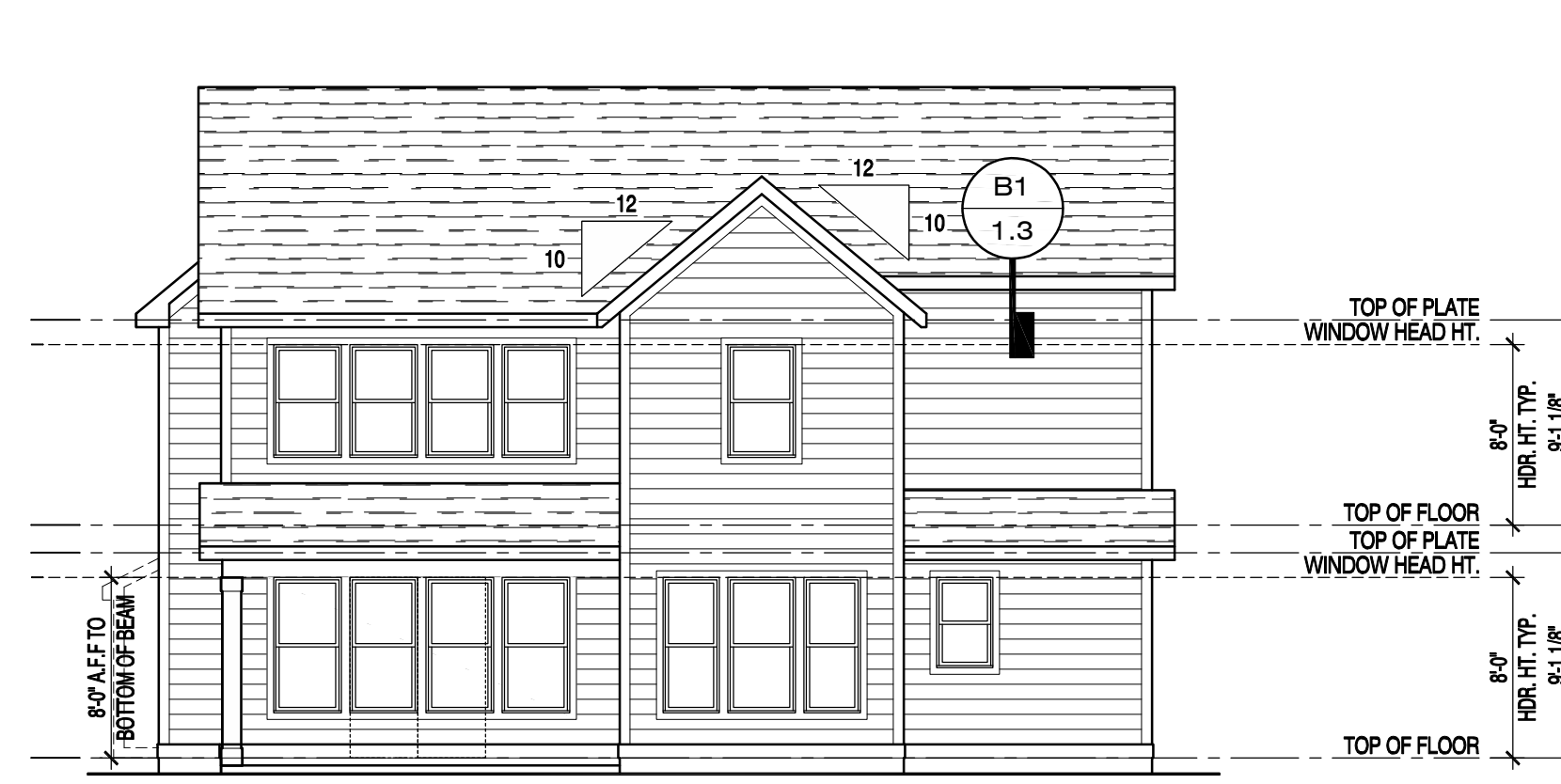
PLAN NUMBER  
**4401**

SHEET  
**A2.1A**

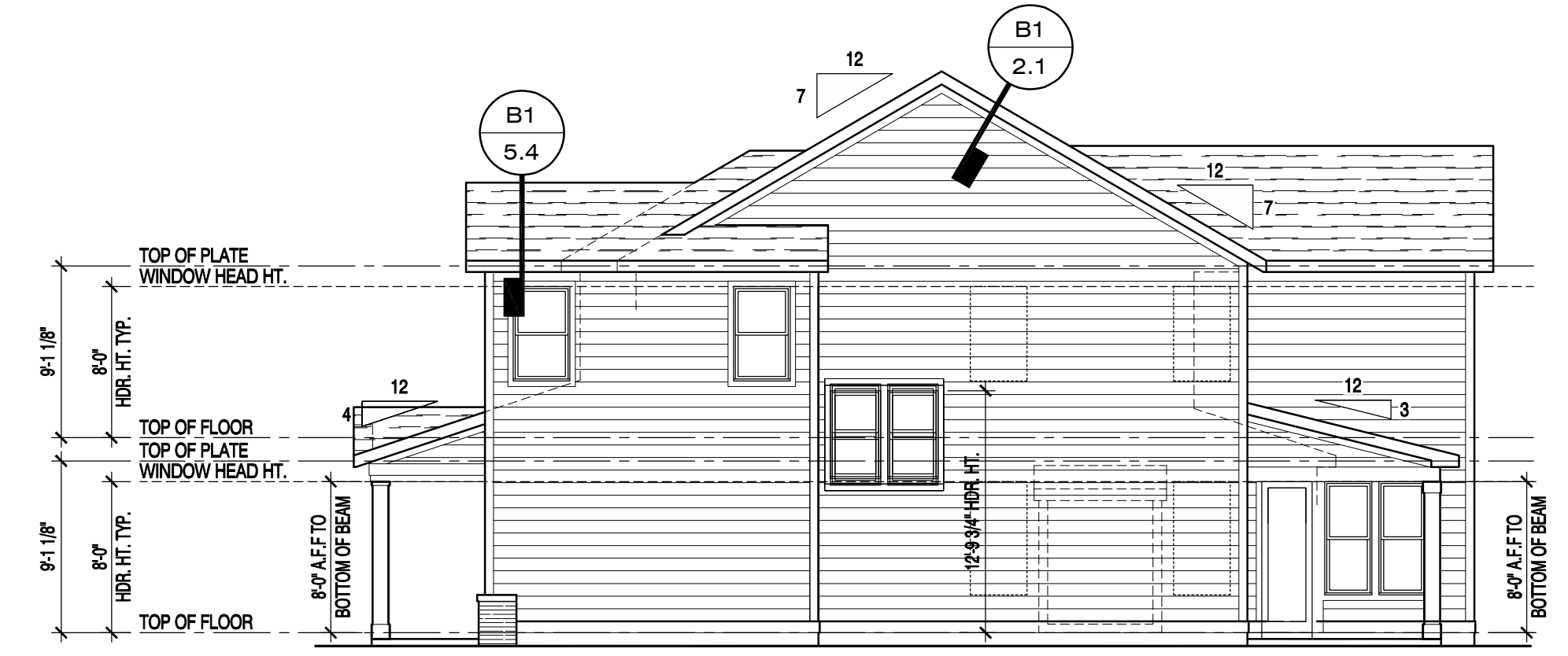
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

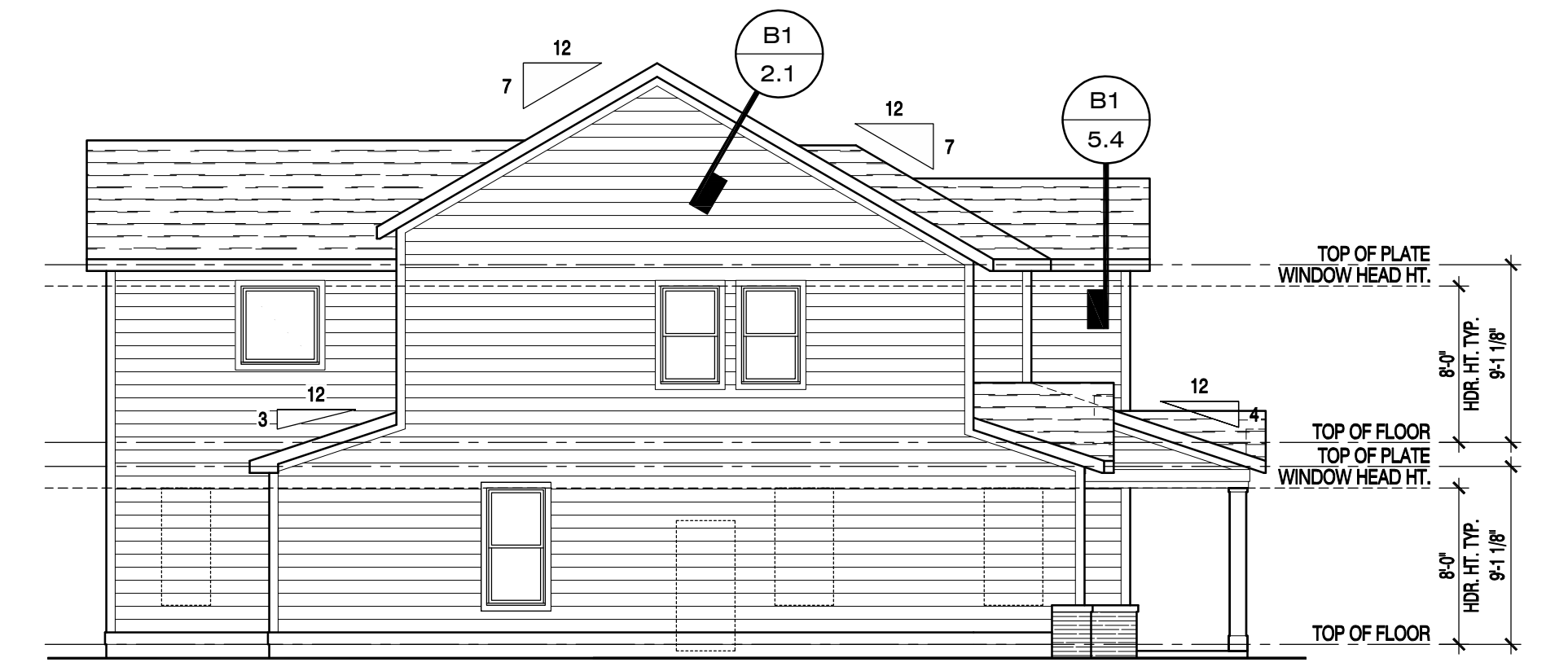
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



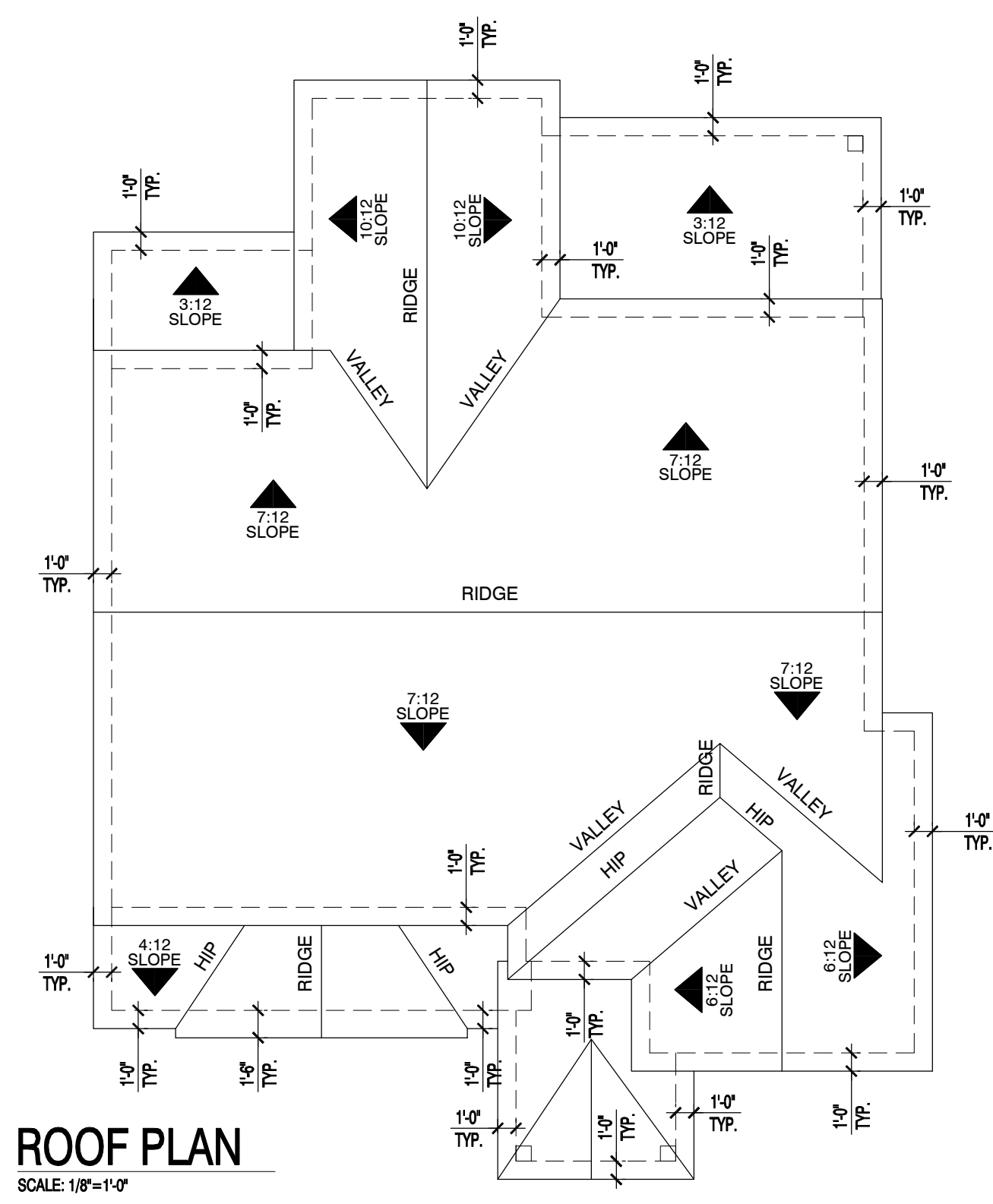
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



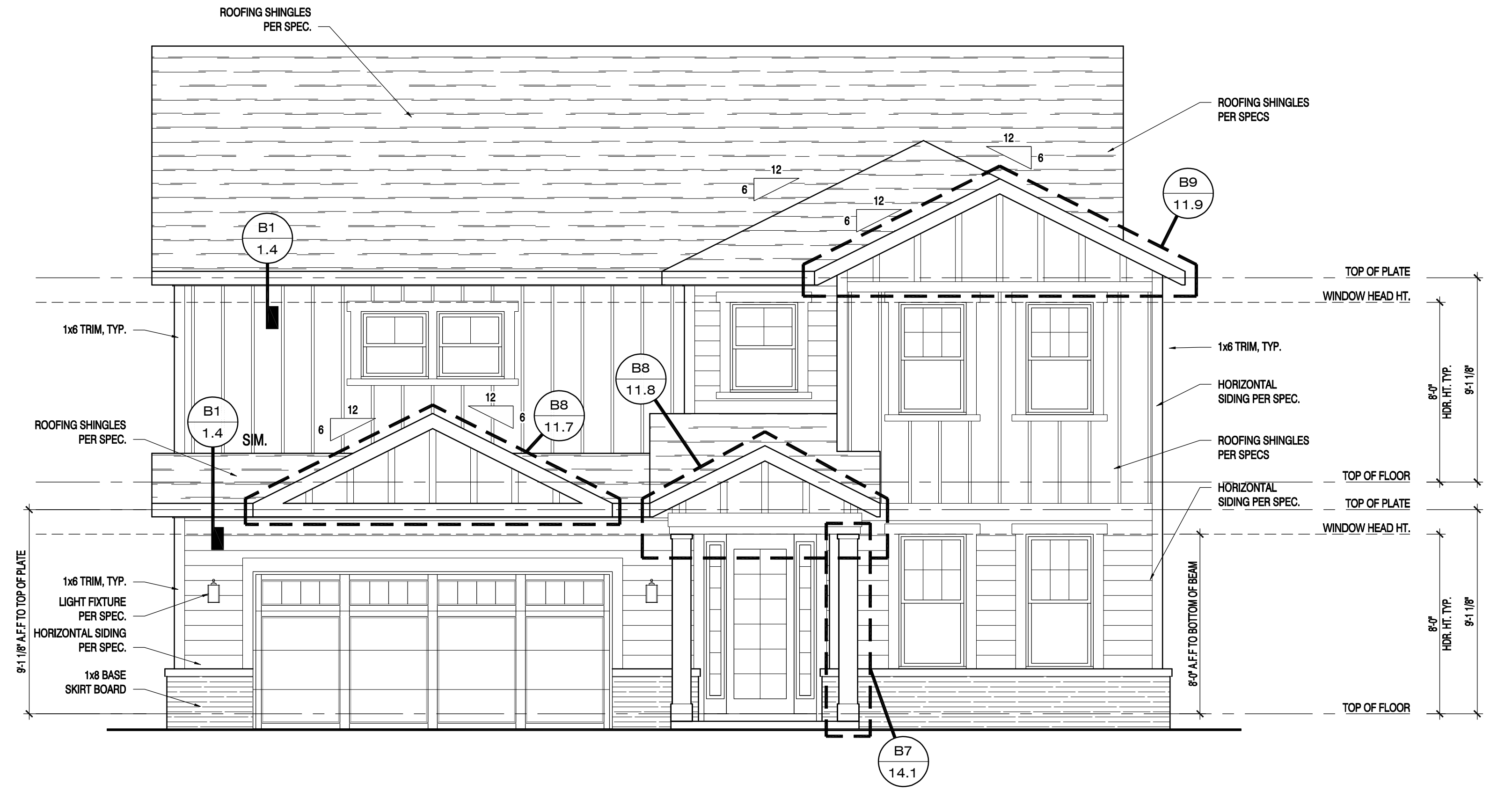
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 807-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-2010

**ELEVATION B - PLANK COTTAGE**

CONTROL	RELEASE DATE:	09-09-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

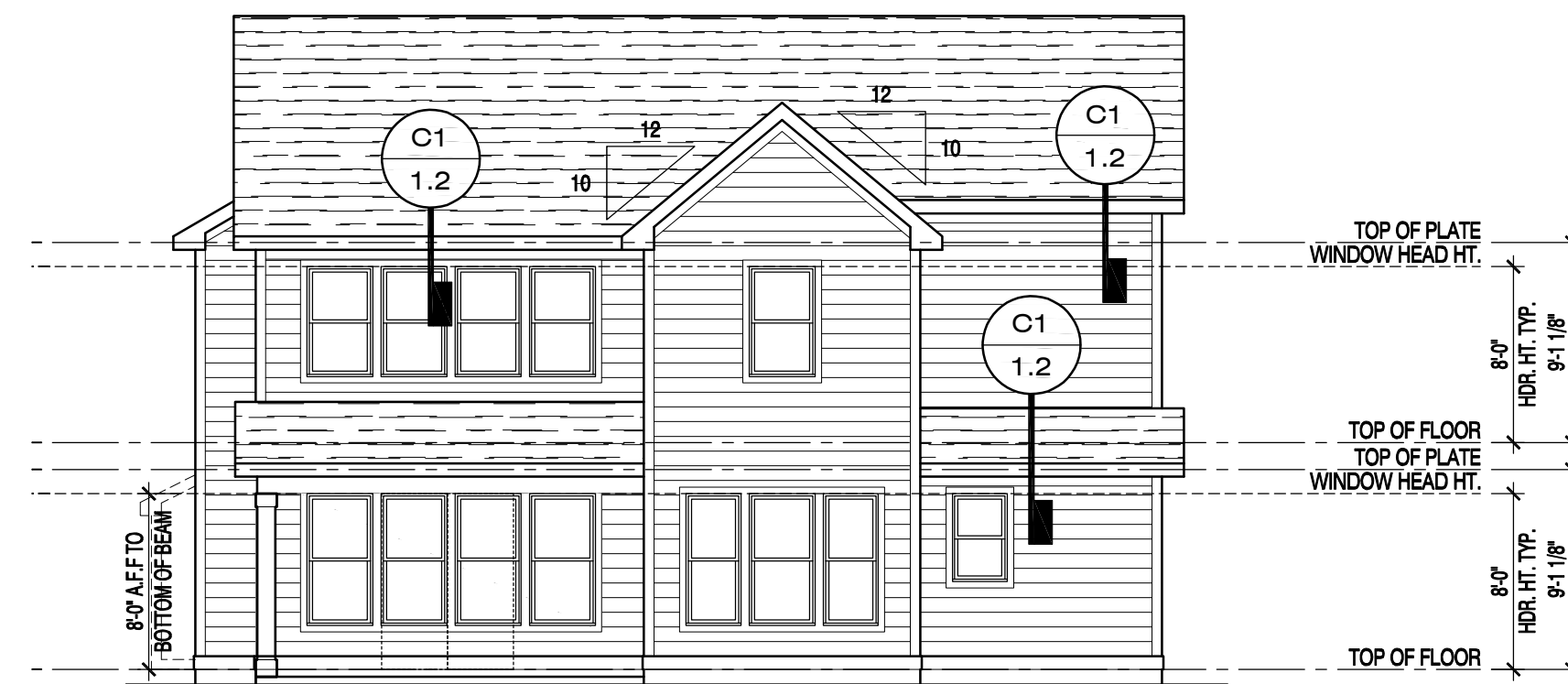
PLAN NUMBER  
**4401**

SHEET  
**A2.1B**

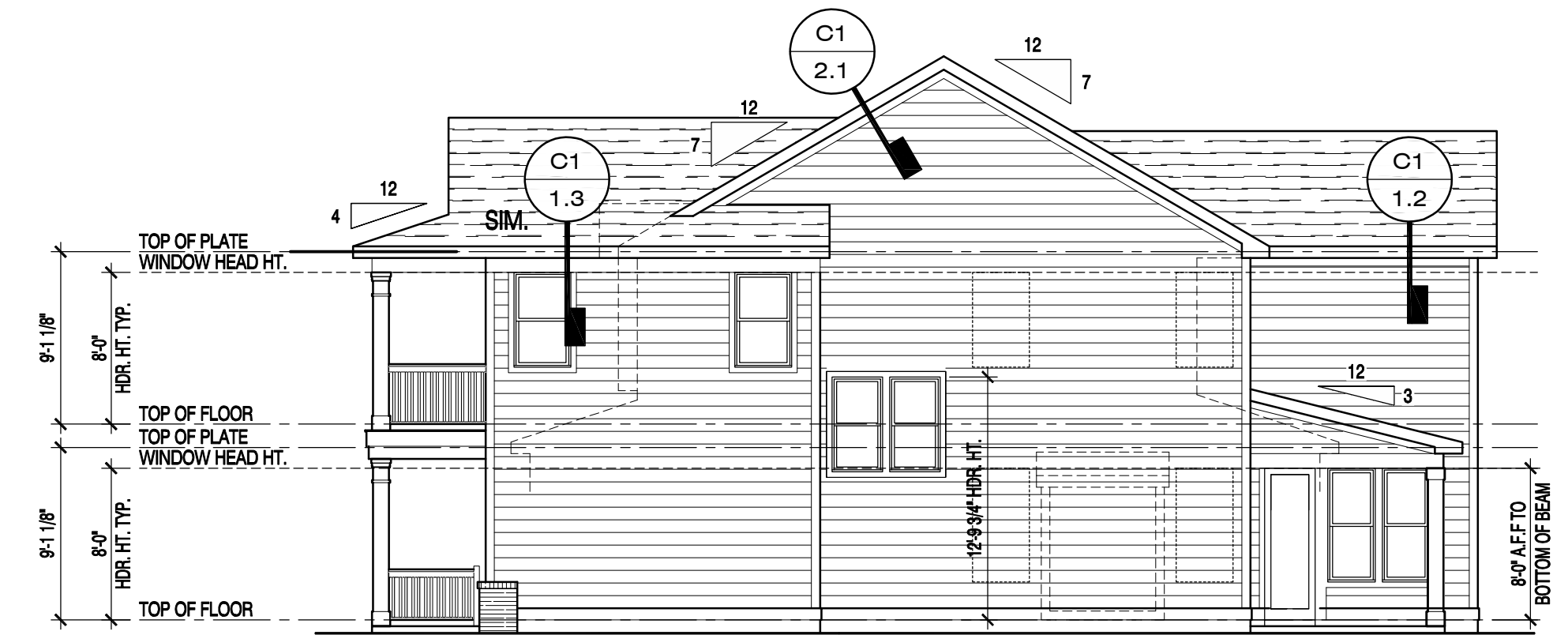
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

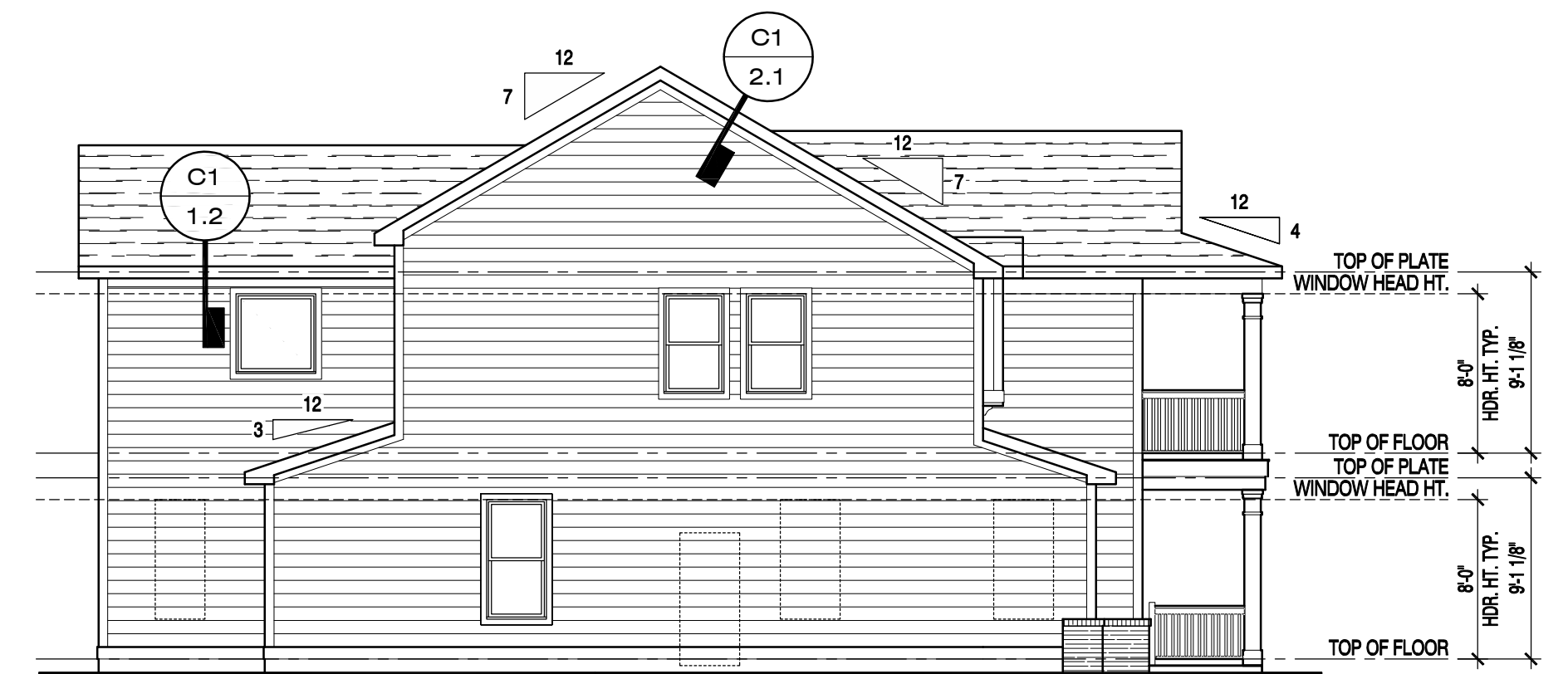
SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



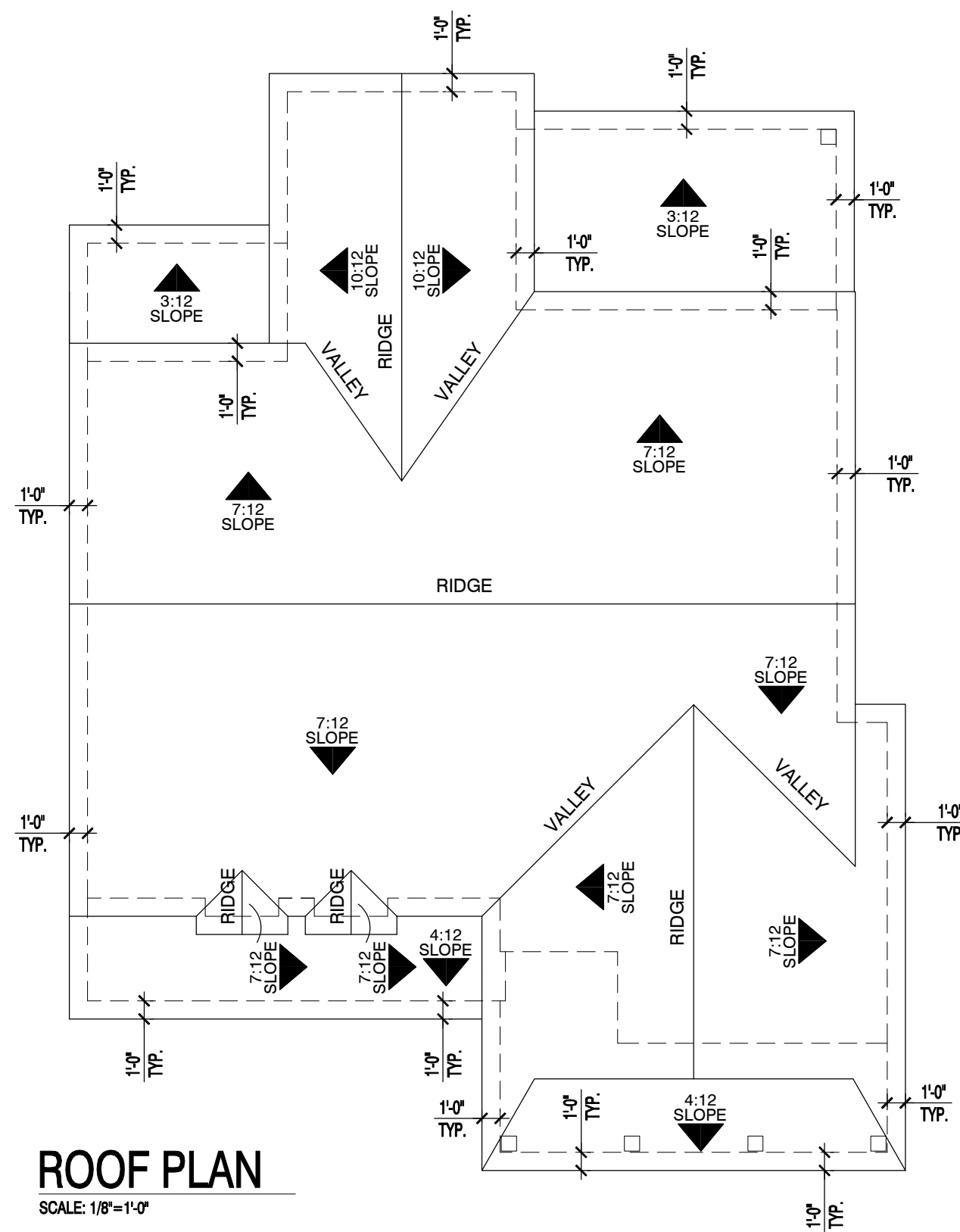
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
 SCALE: 1/4"=1'-0"

CONTROL RELEASE DATE: 09-09-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4401**

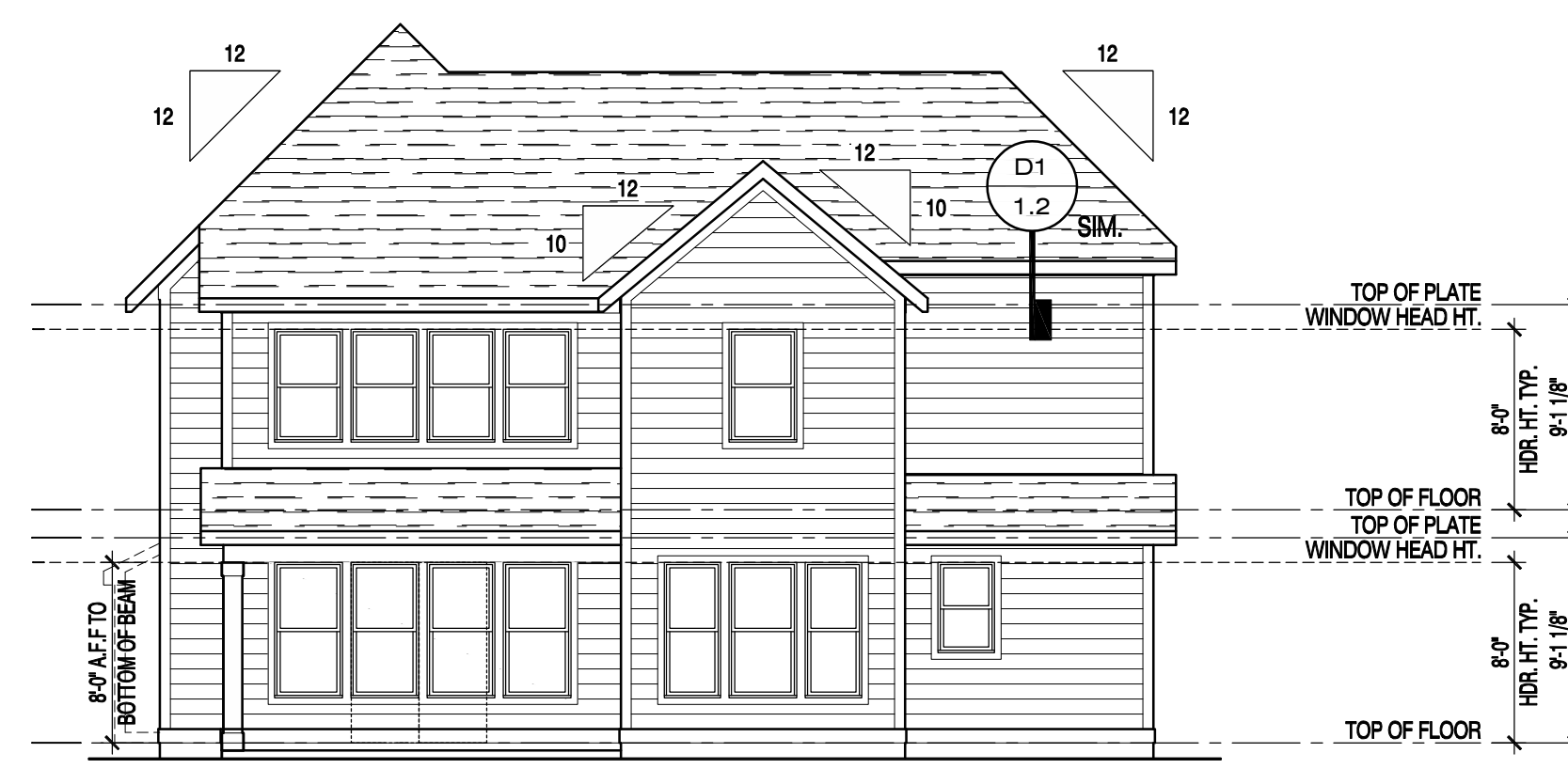
SHEET  
**A2.1C**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

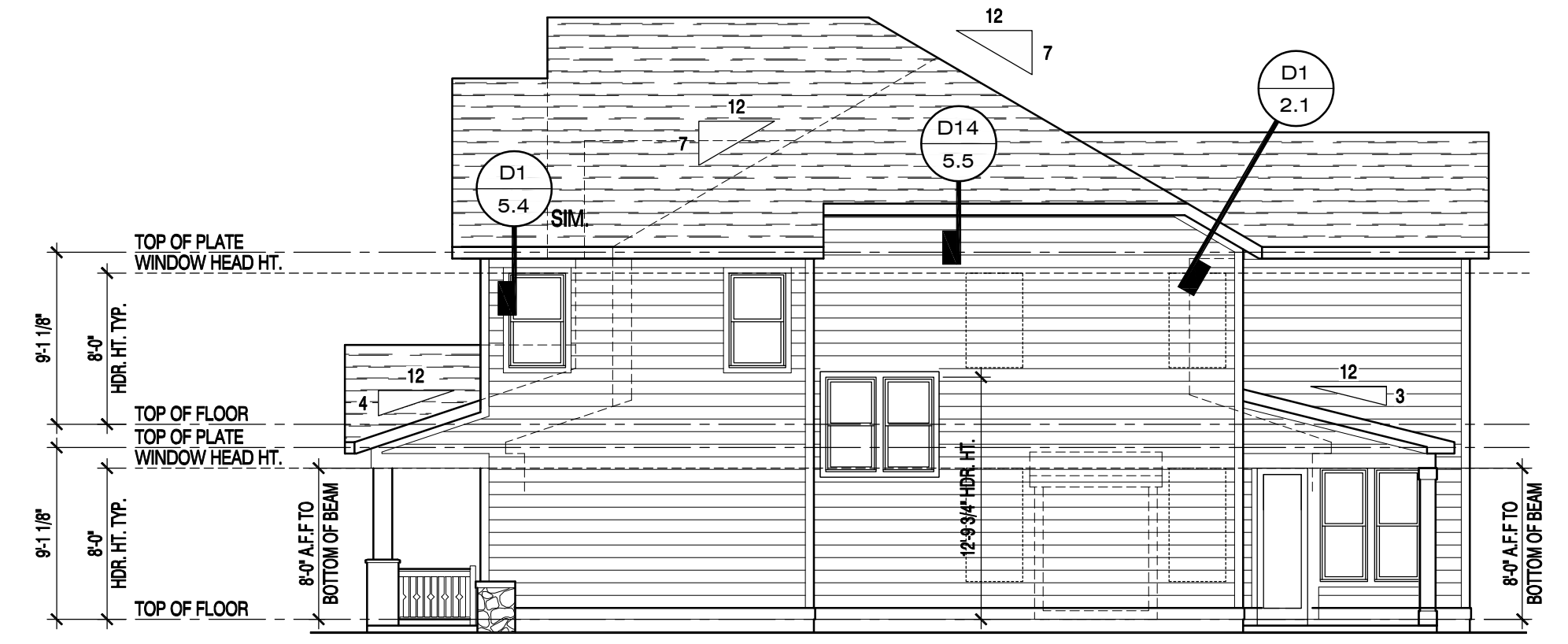


**NOTES:**

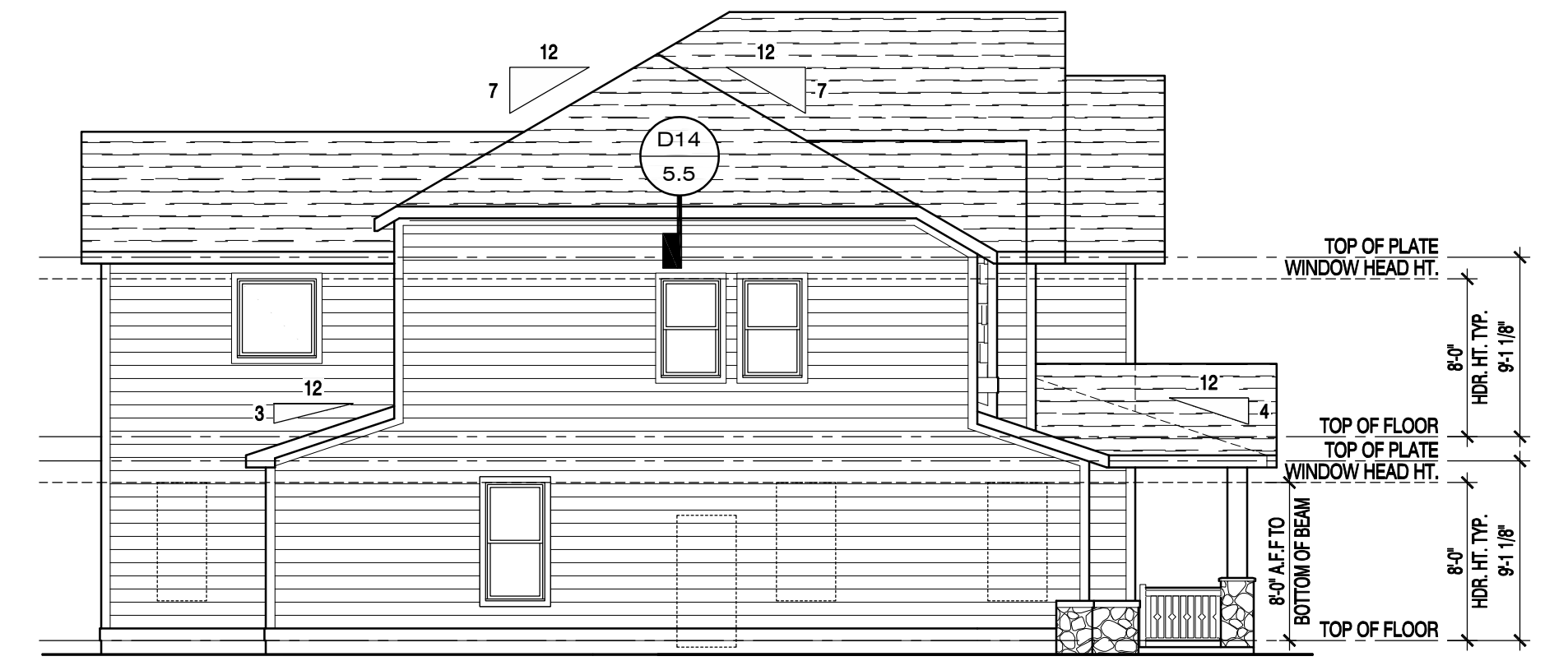
SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



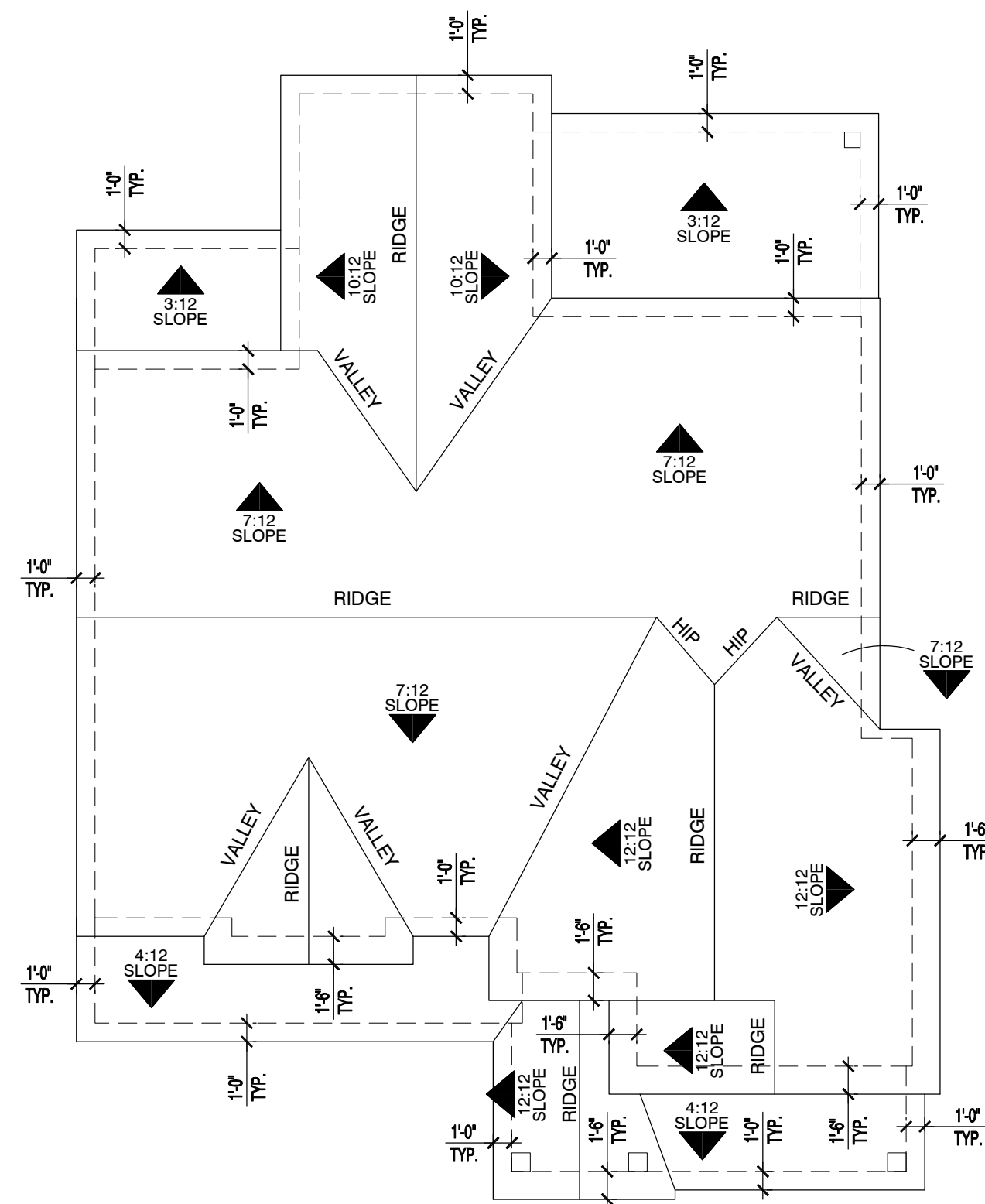
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



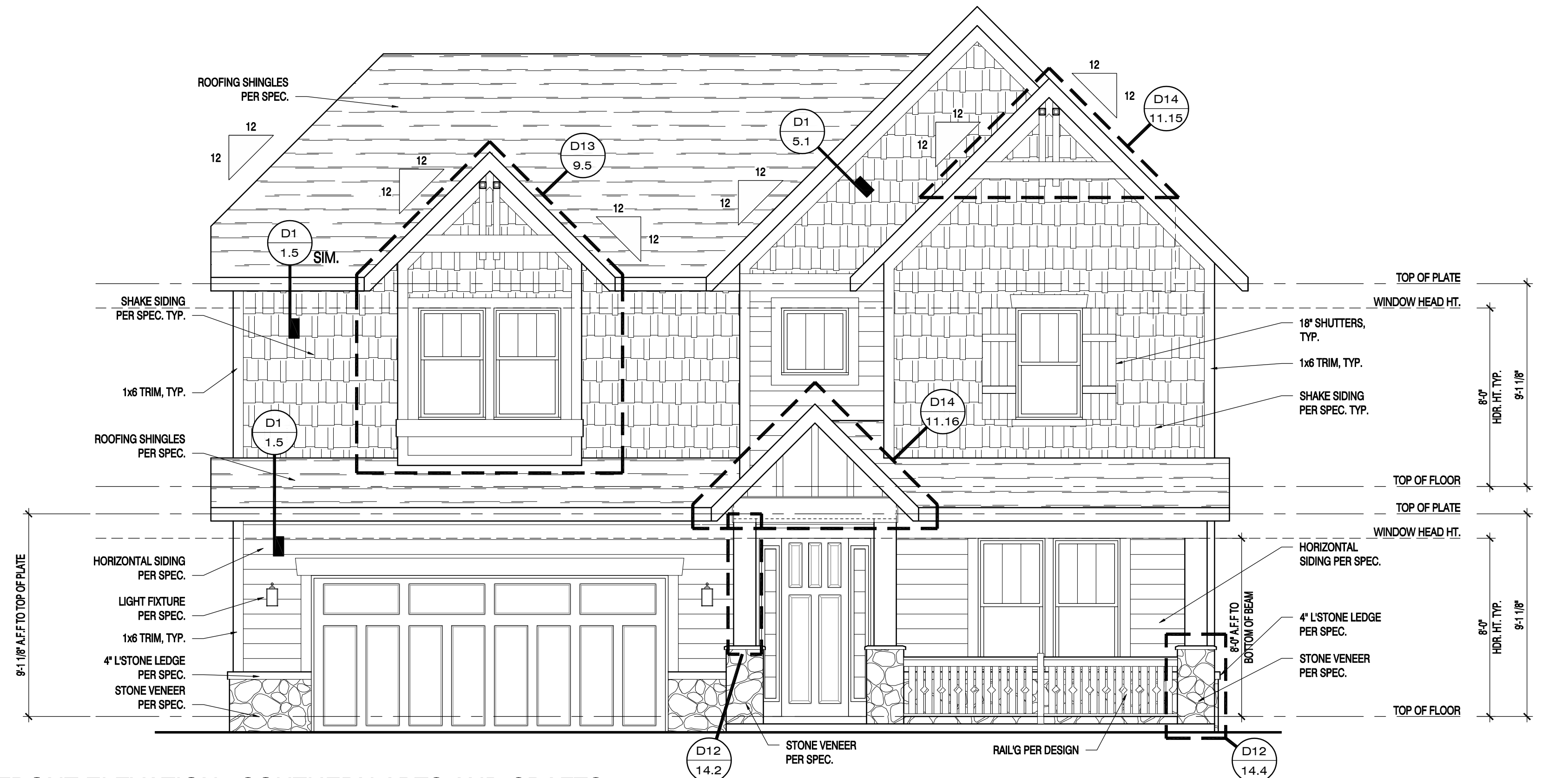
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS AND CRAFTS**  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	09-09-16
REV #	DATE / DESCRIPTION	

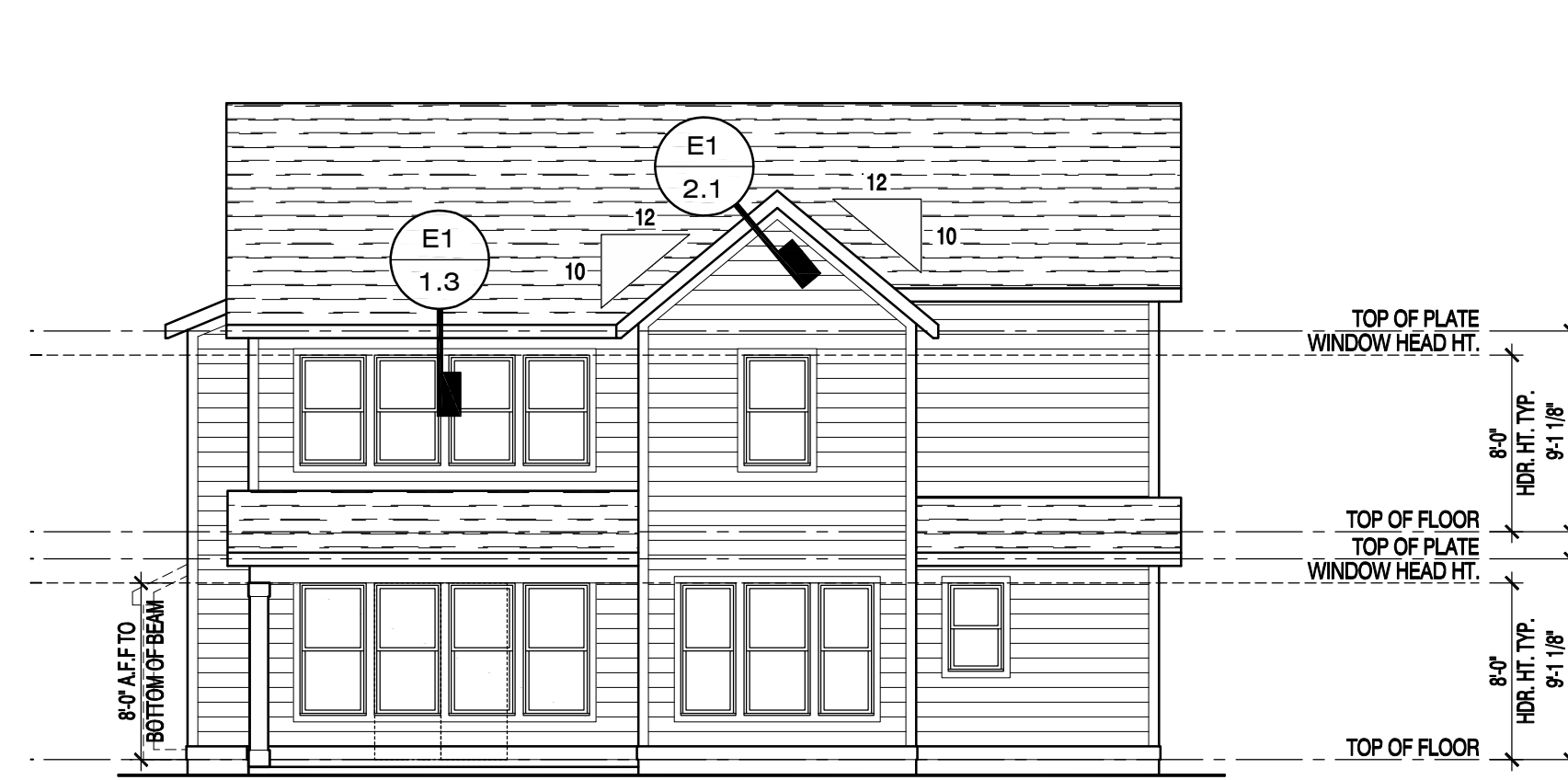
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4401**

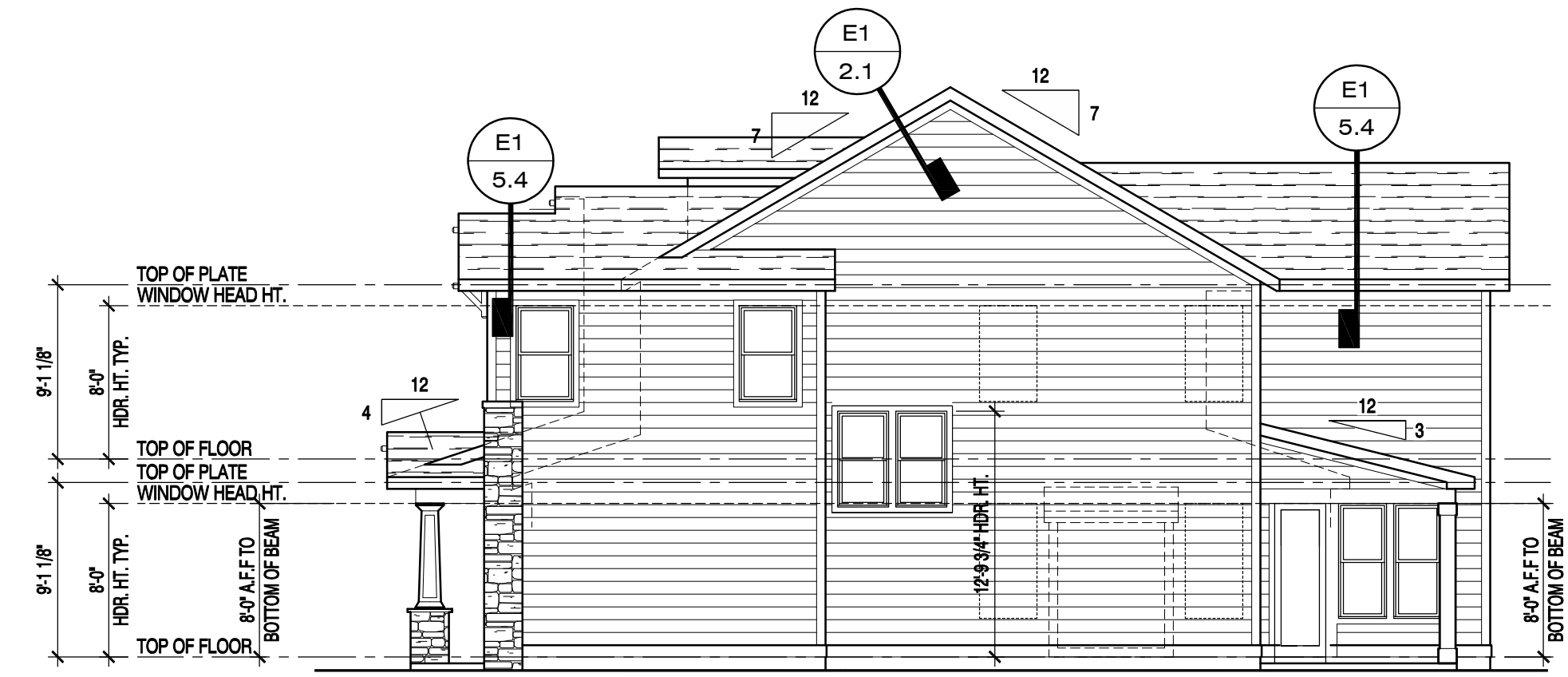
SHEET  
**A2.1D**

**NOTES:**

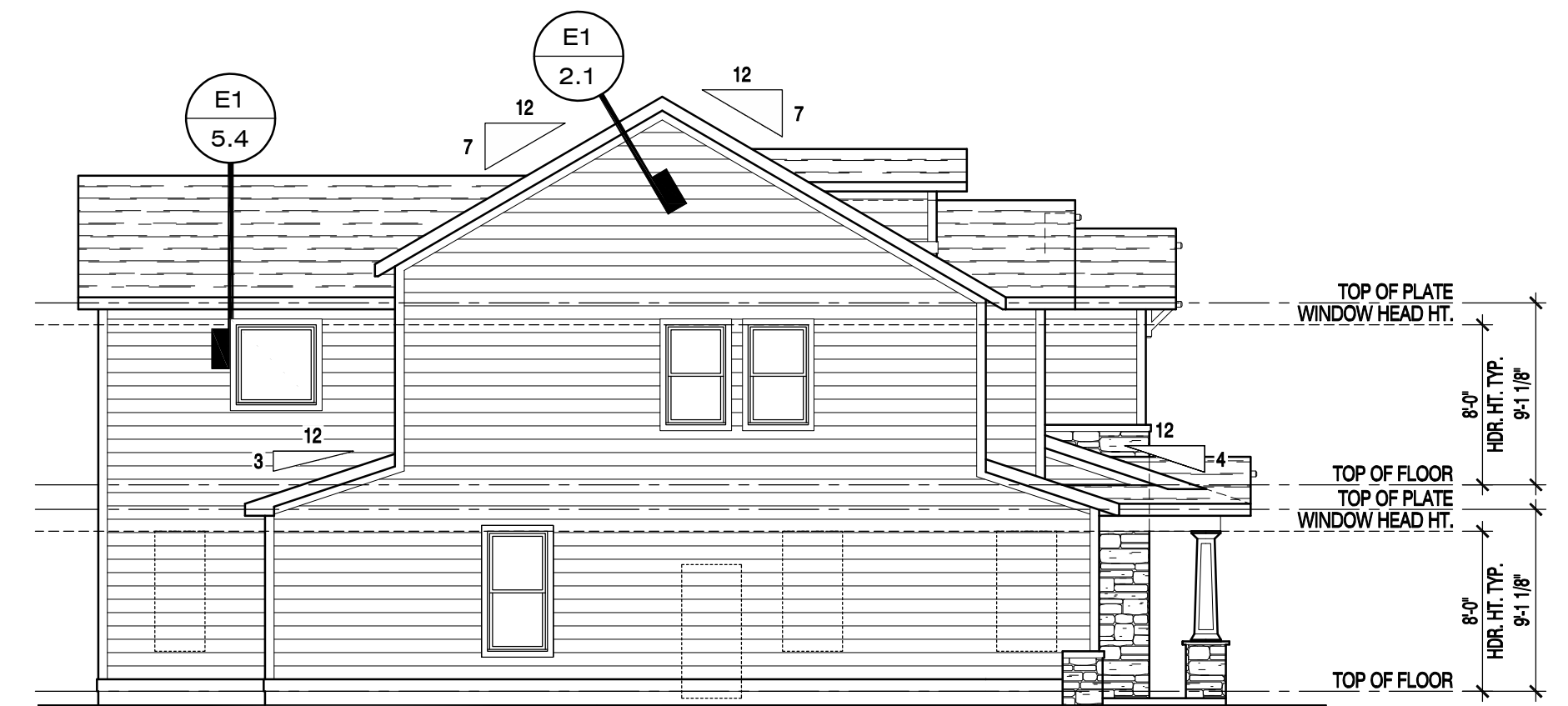
SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E5 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



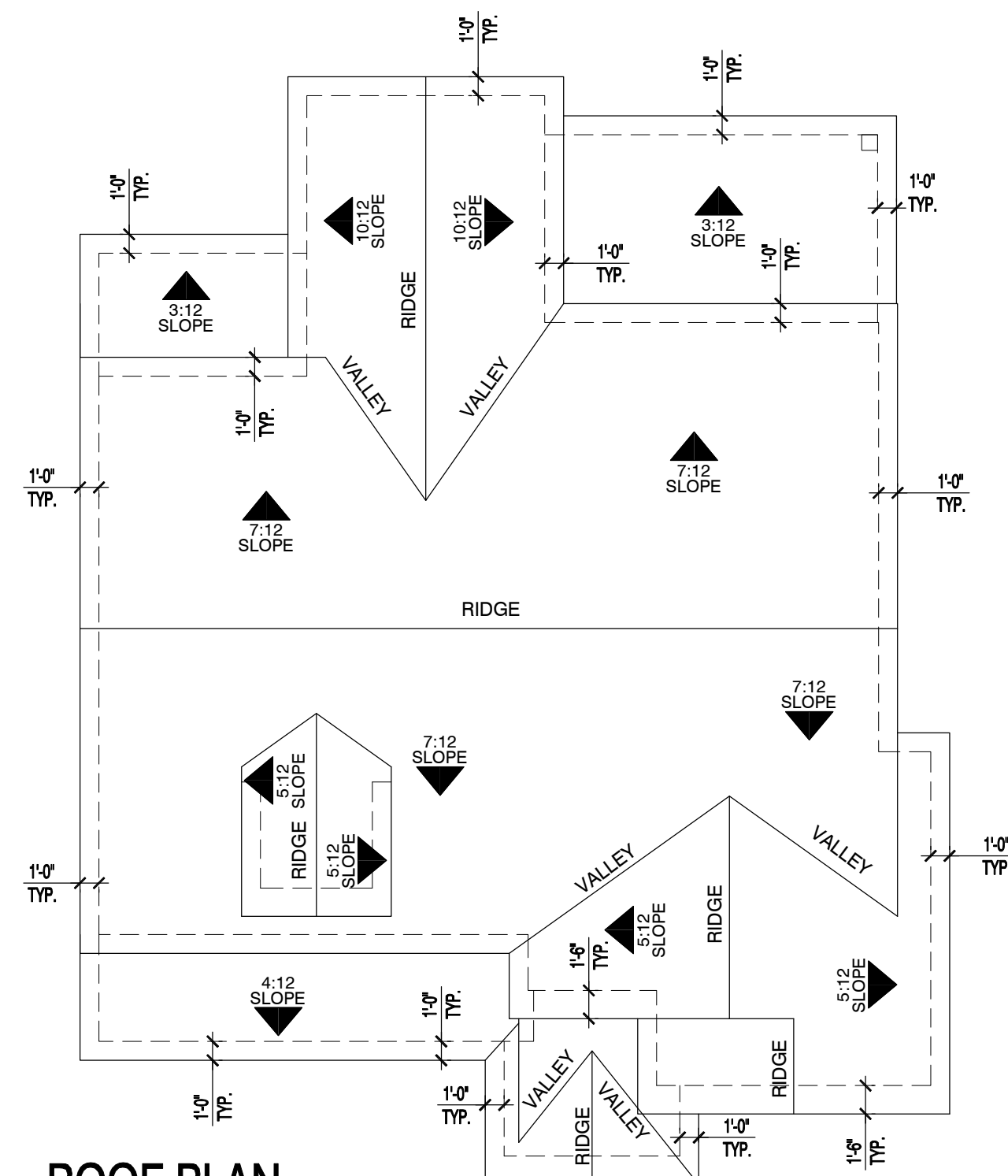
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



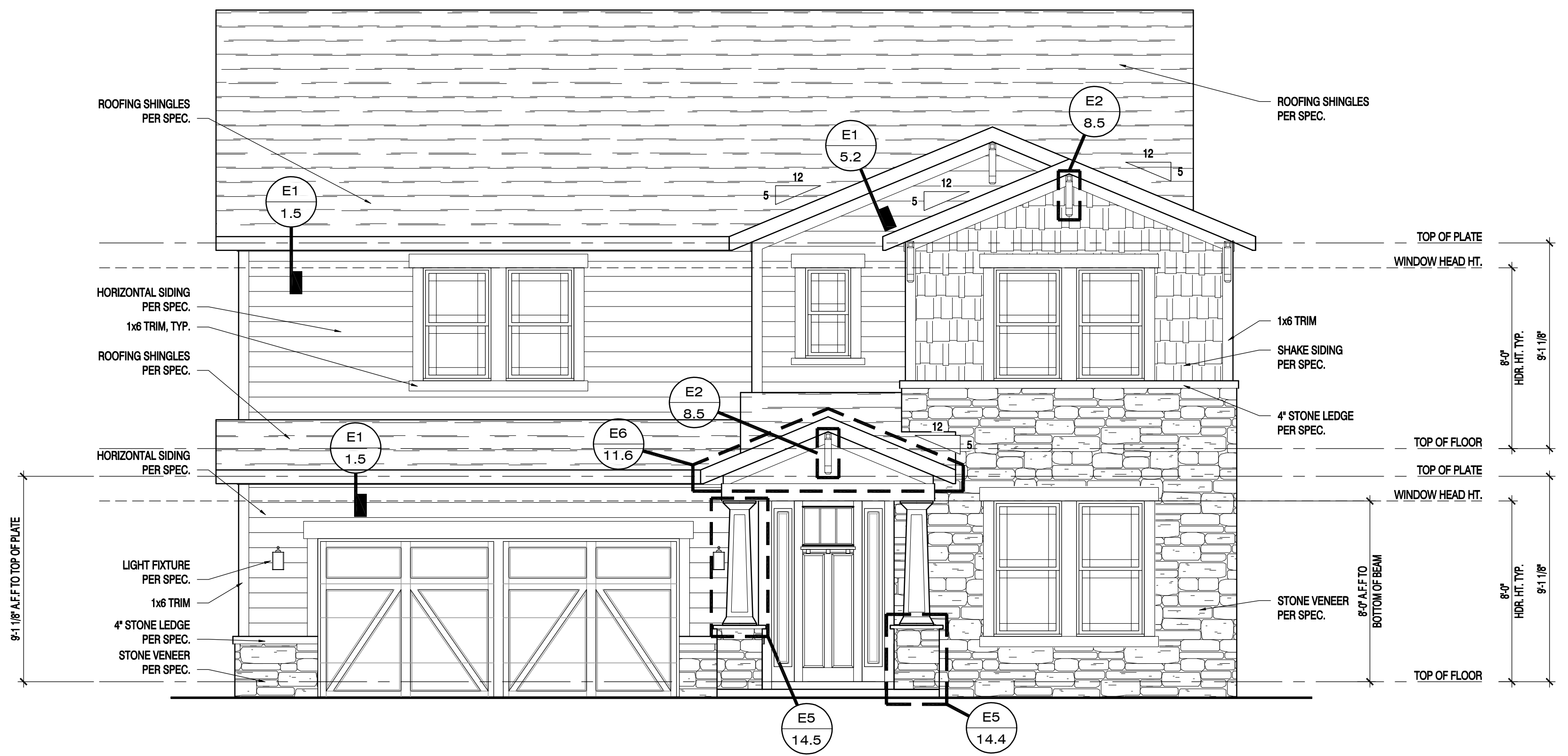
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"

CONTROL	RELEASE DATE:	09-09-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

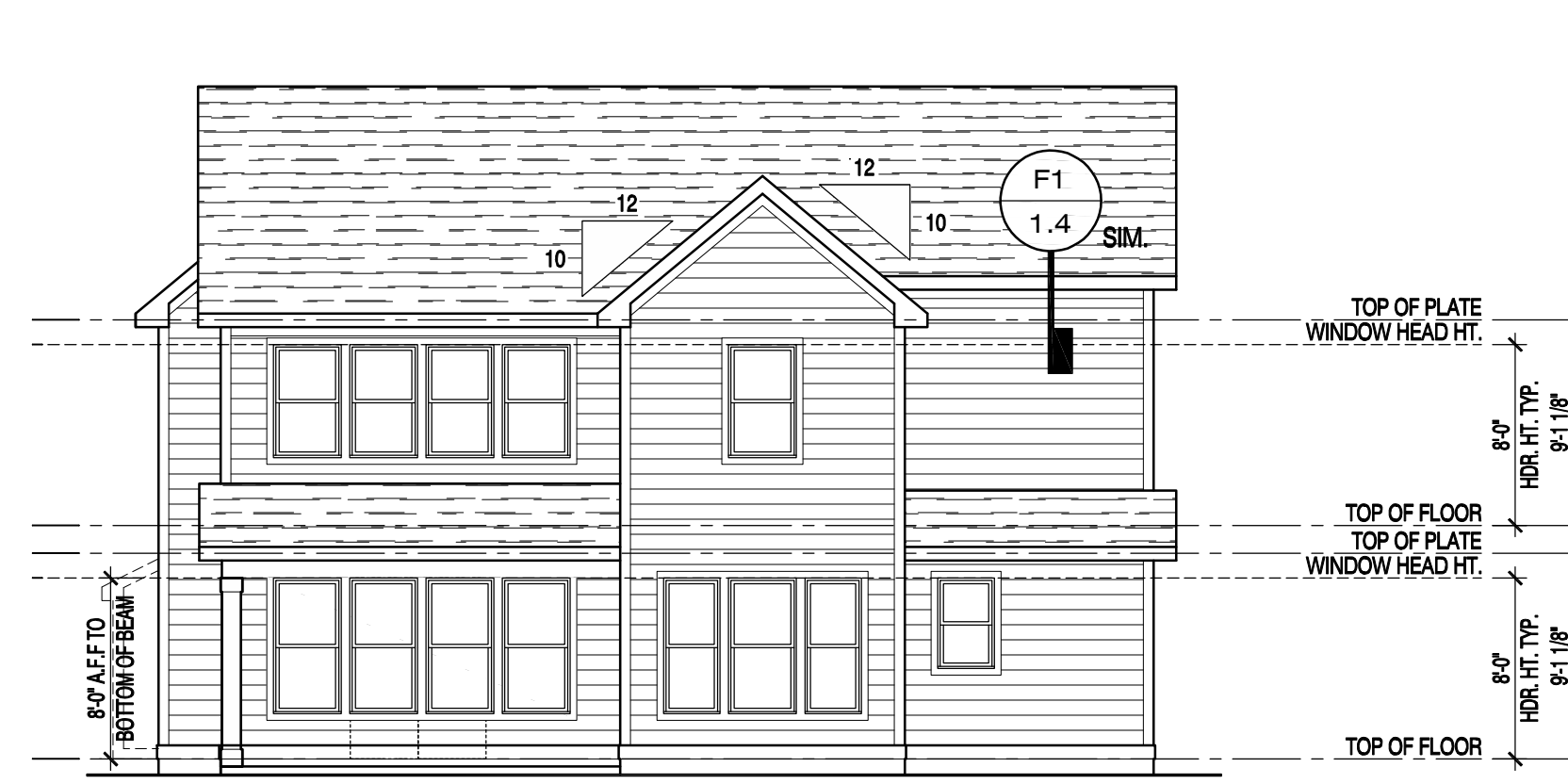
PLAN NUMBER  
**4401**

SHEET  
**A2.1E**

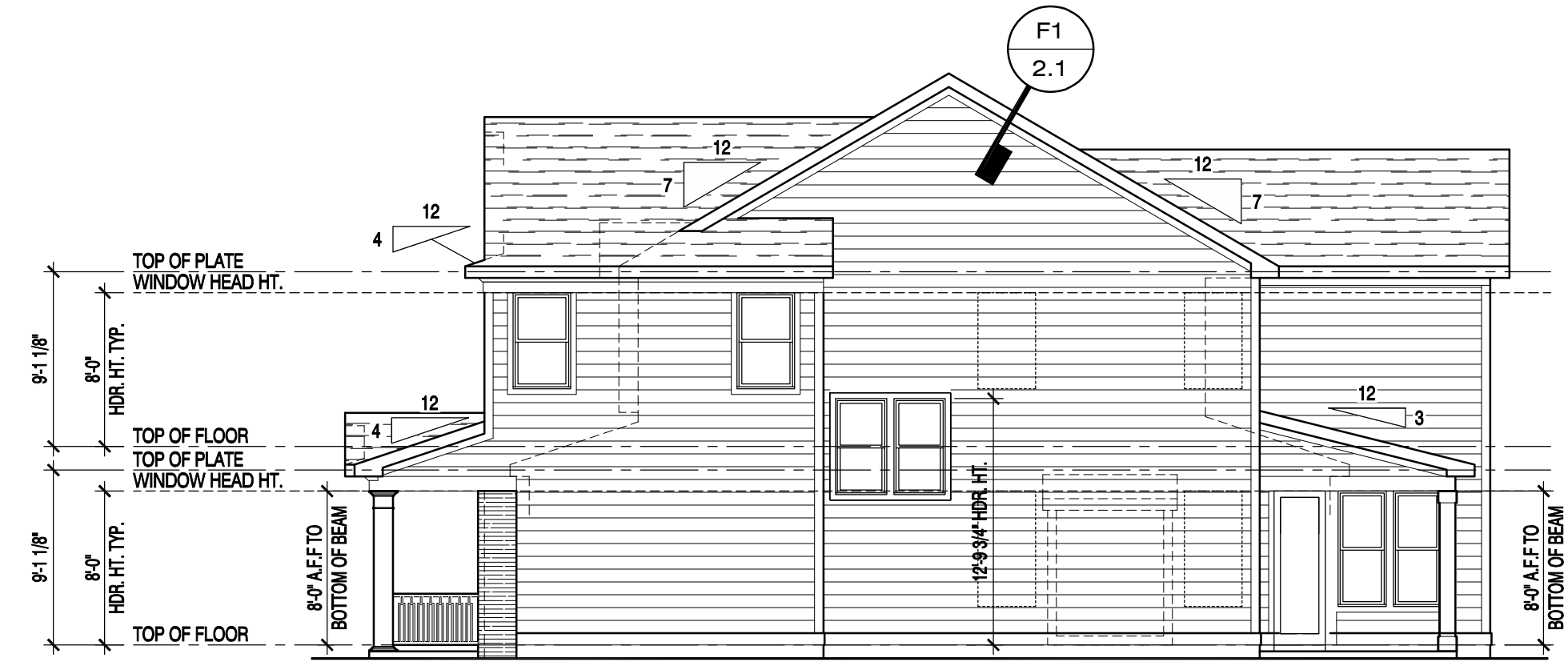
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

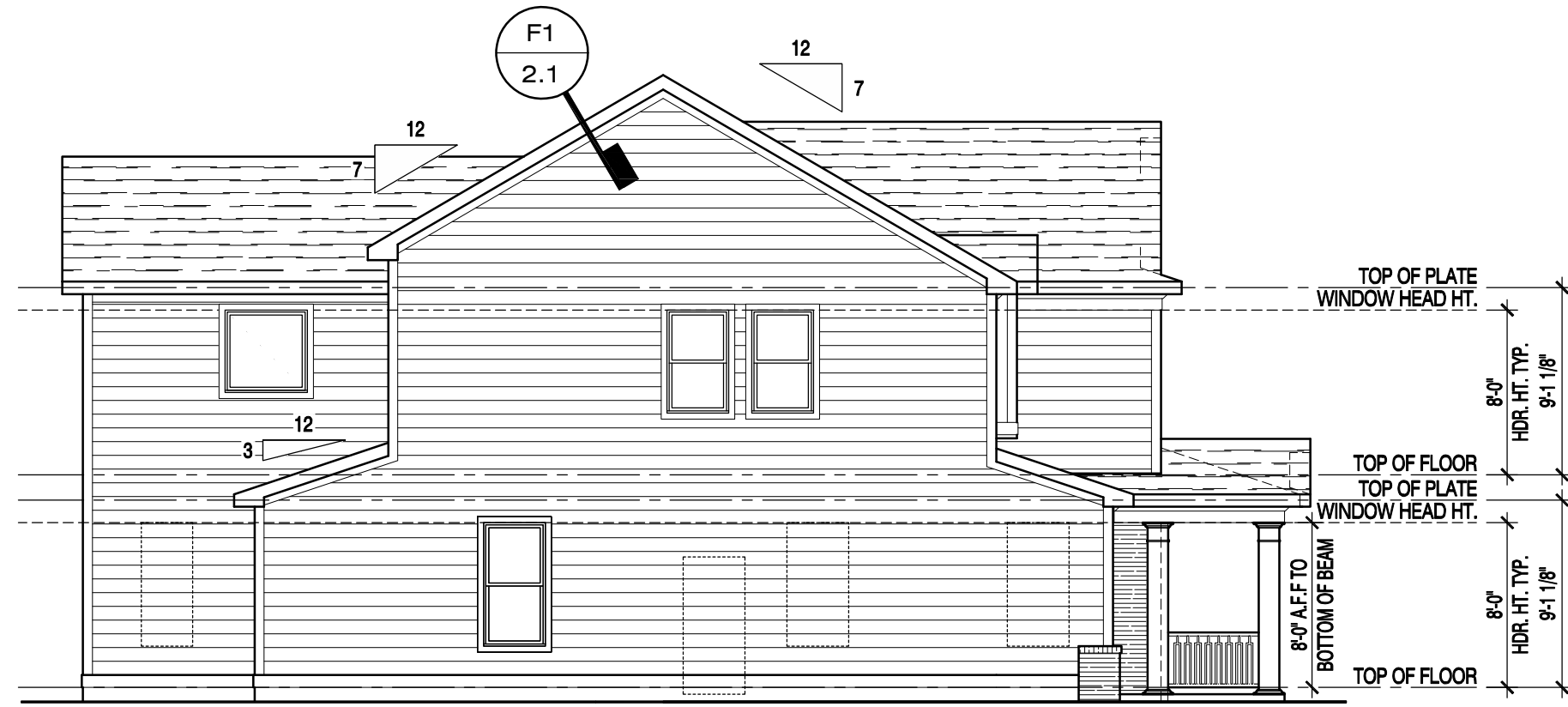
SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 WRAP FRONT DOOR WITH 1X6 TRIM, TYP.



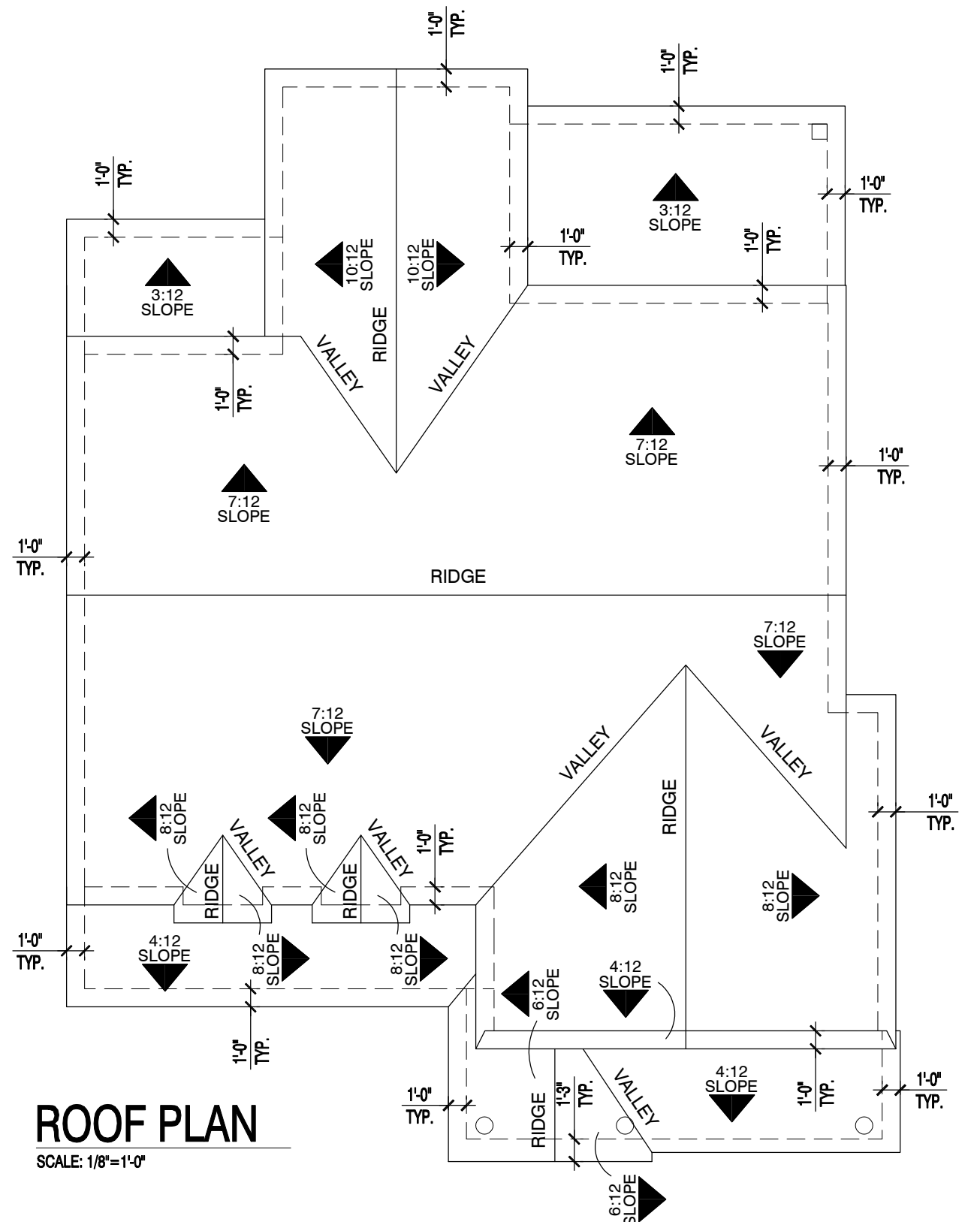
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - GEORGIAN**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 FLORIDA OFFICE: (813) 468-3310  
 MICHIGAN OFFICE: (248) 822-4035  
 MINNESOTA OFFICE: (612) 872-0115

**ELEVATION F - GEORGIAN**

REV #	DATE / DESCRIPTION

CONTROL RELEASE DATE: 09-09-16

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4401**

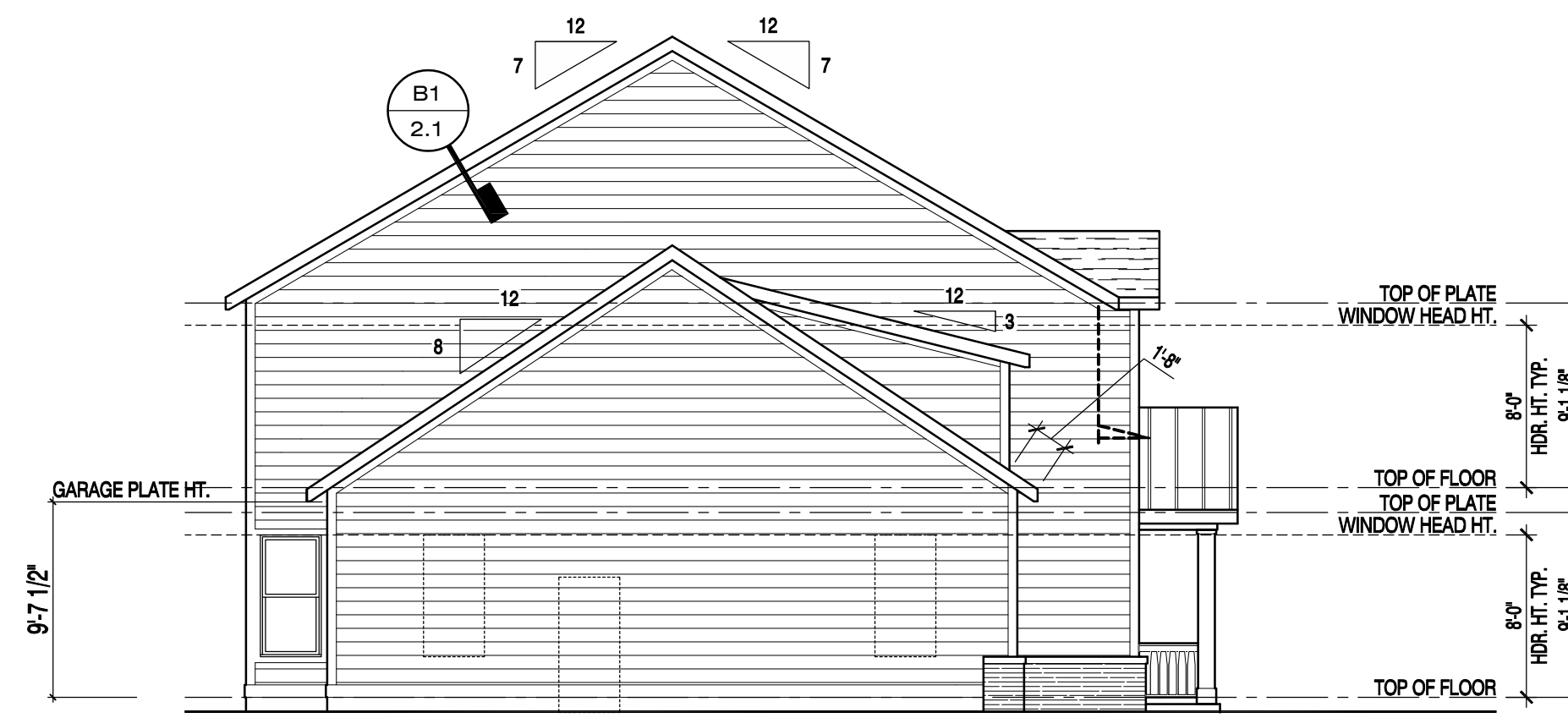
SHEET  
**A2.1F**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

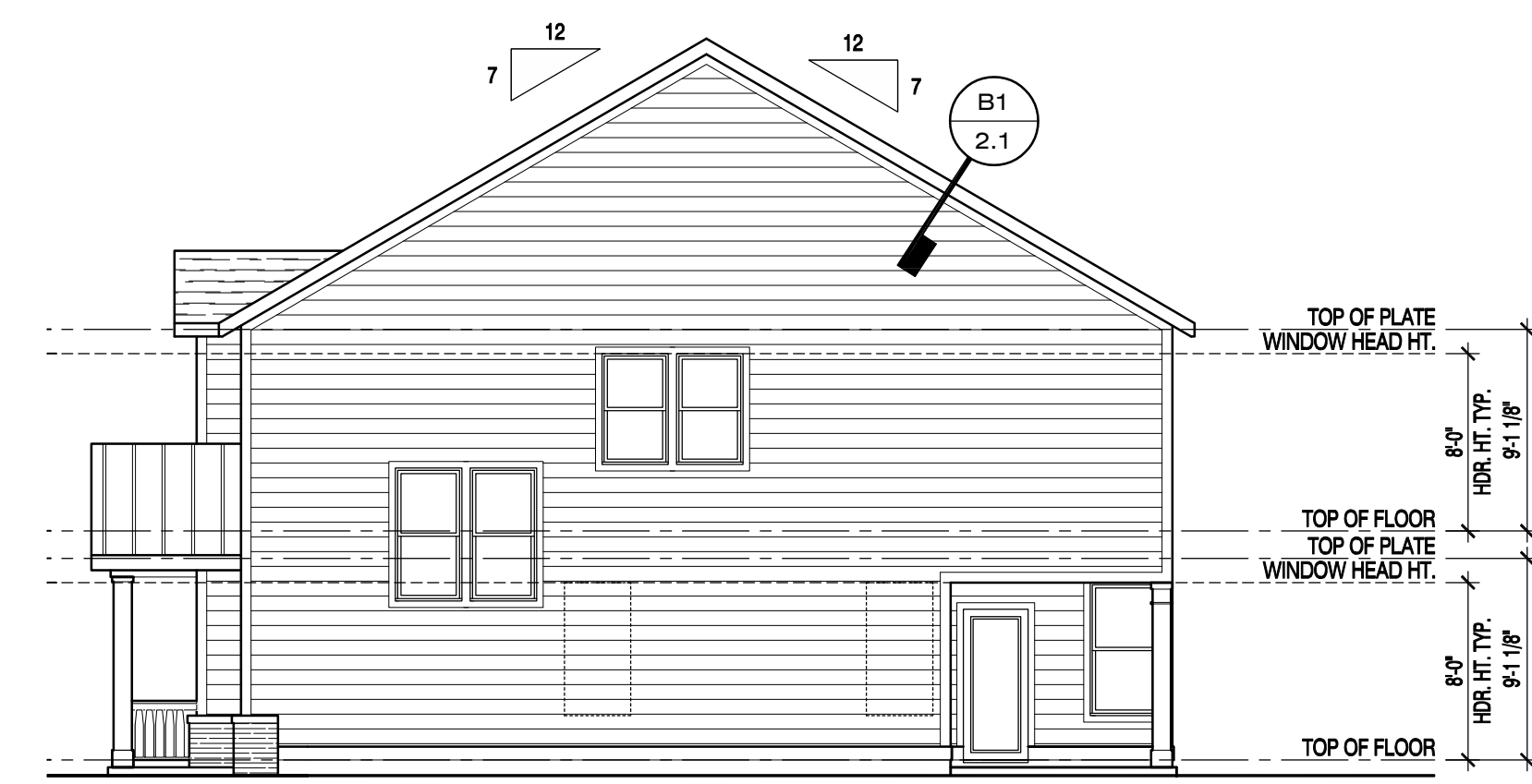
NOTES: SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



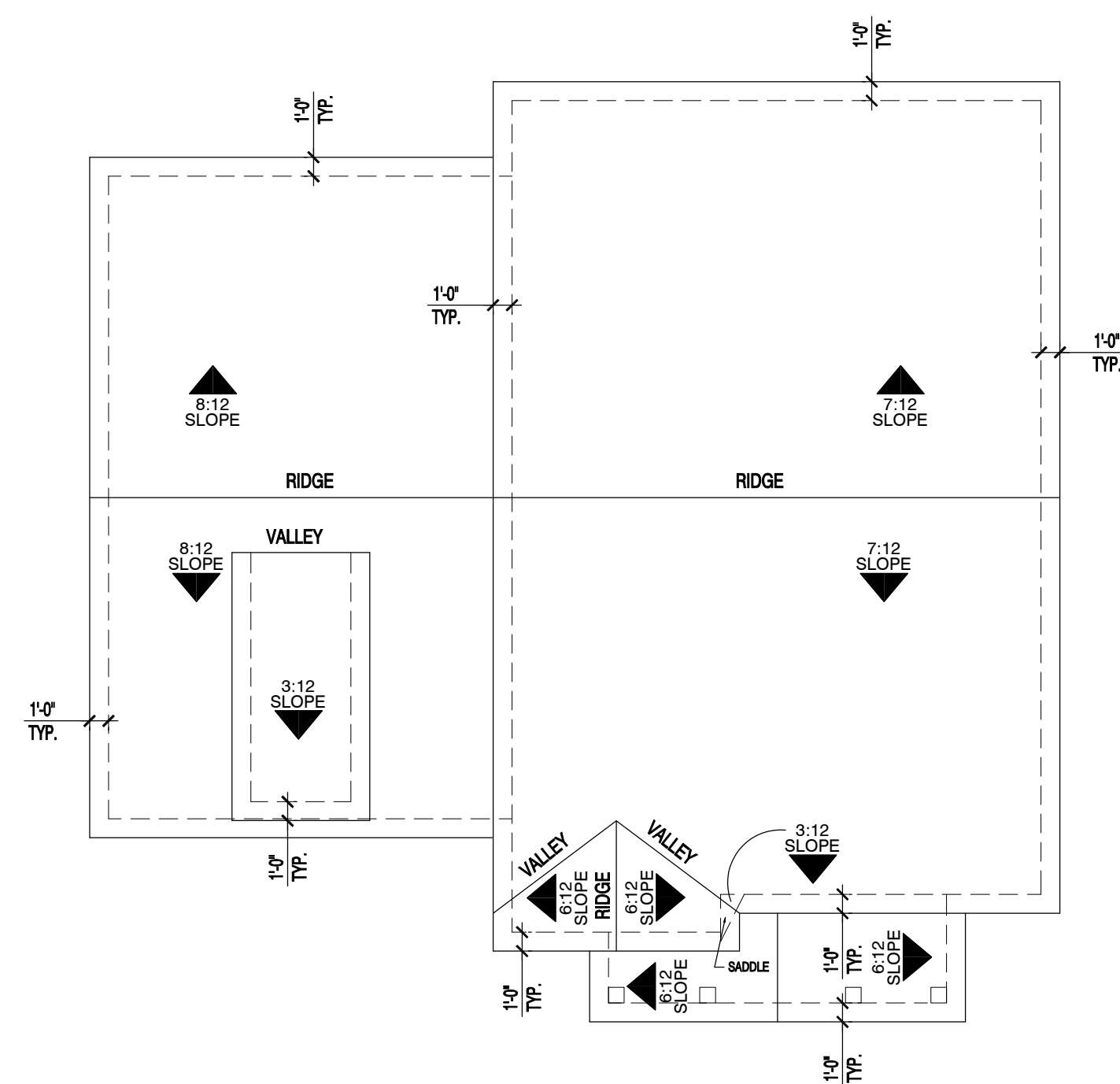
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SCALE: 1/8"=1'-0"



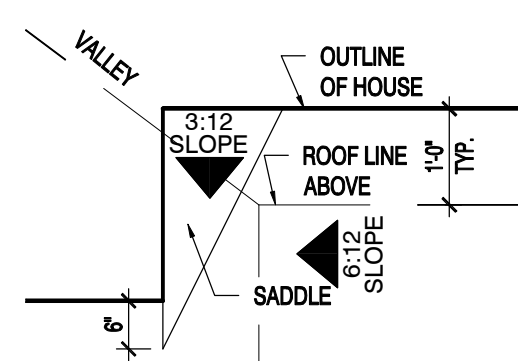
**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



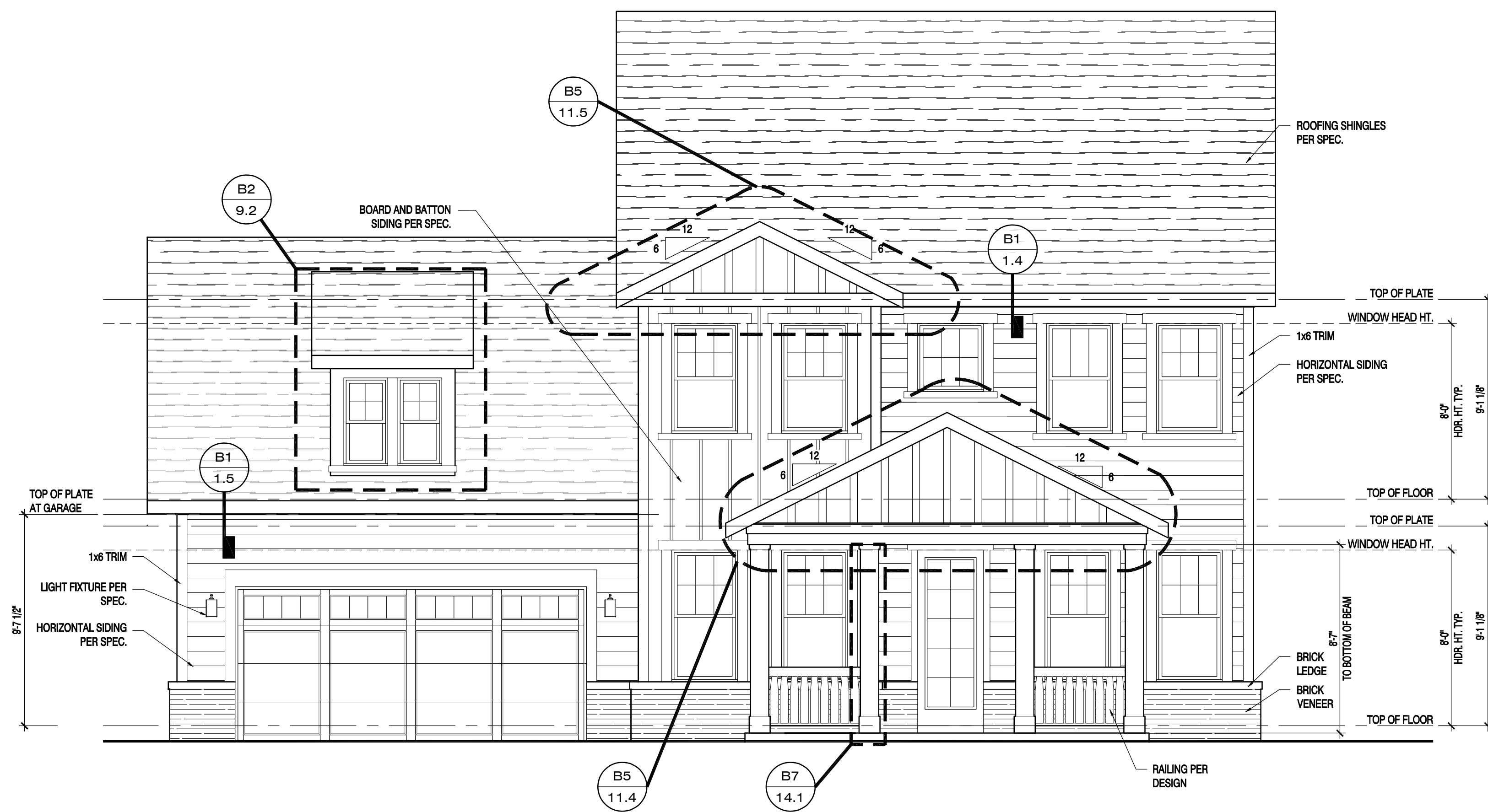
**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**SADDLE DETAIL**  
SCALE: 1/2"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
SCALE: 1/4"=1'-0"

CONTROL	RELEASE DATE:	7-1-18
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

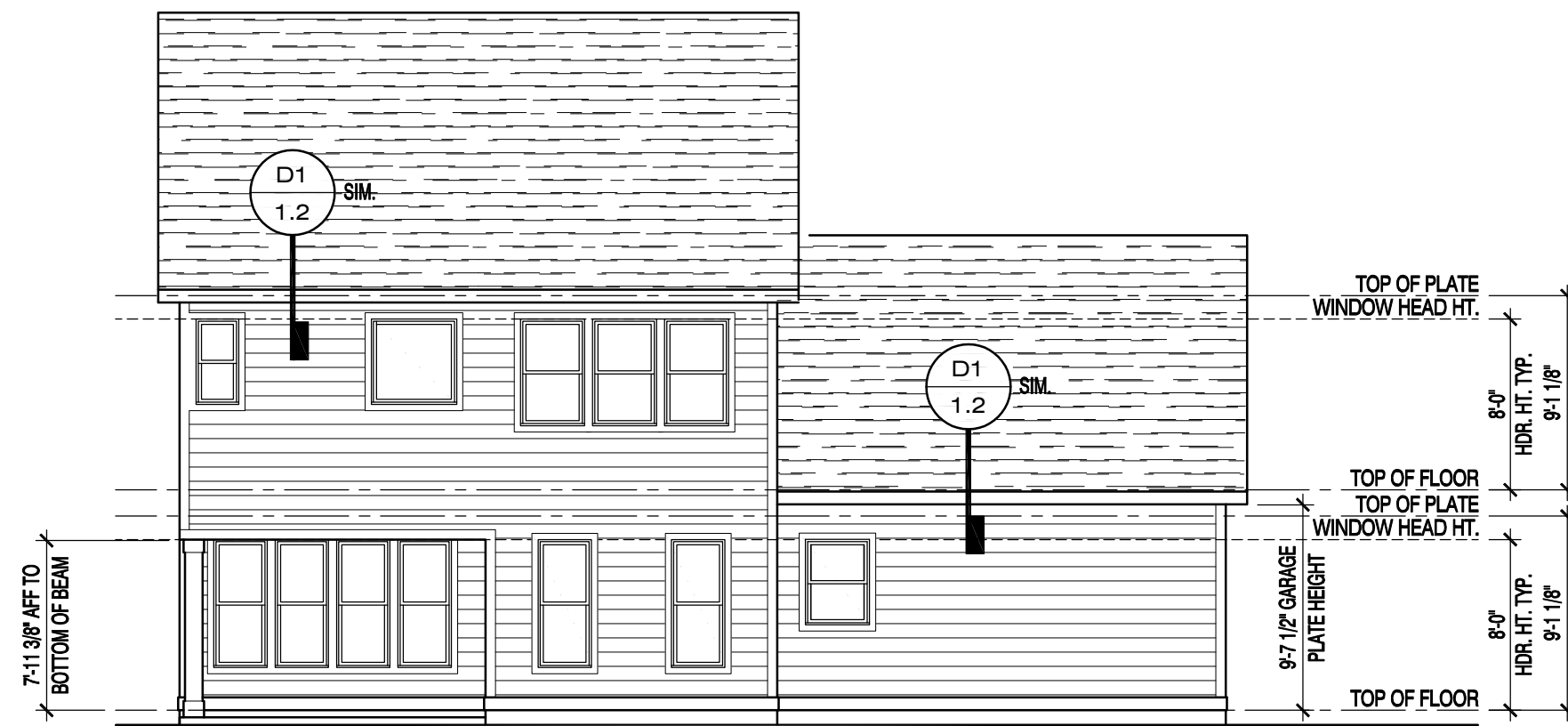
PLAN NUMBER  
**4902**

SHEET  
**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

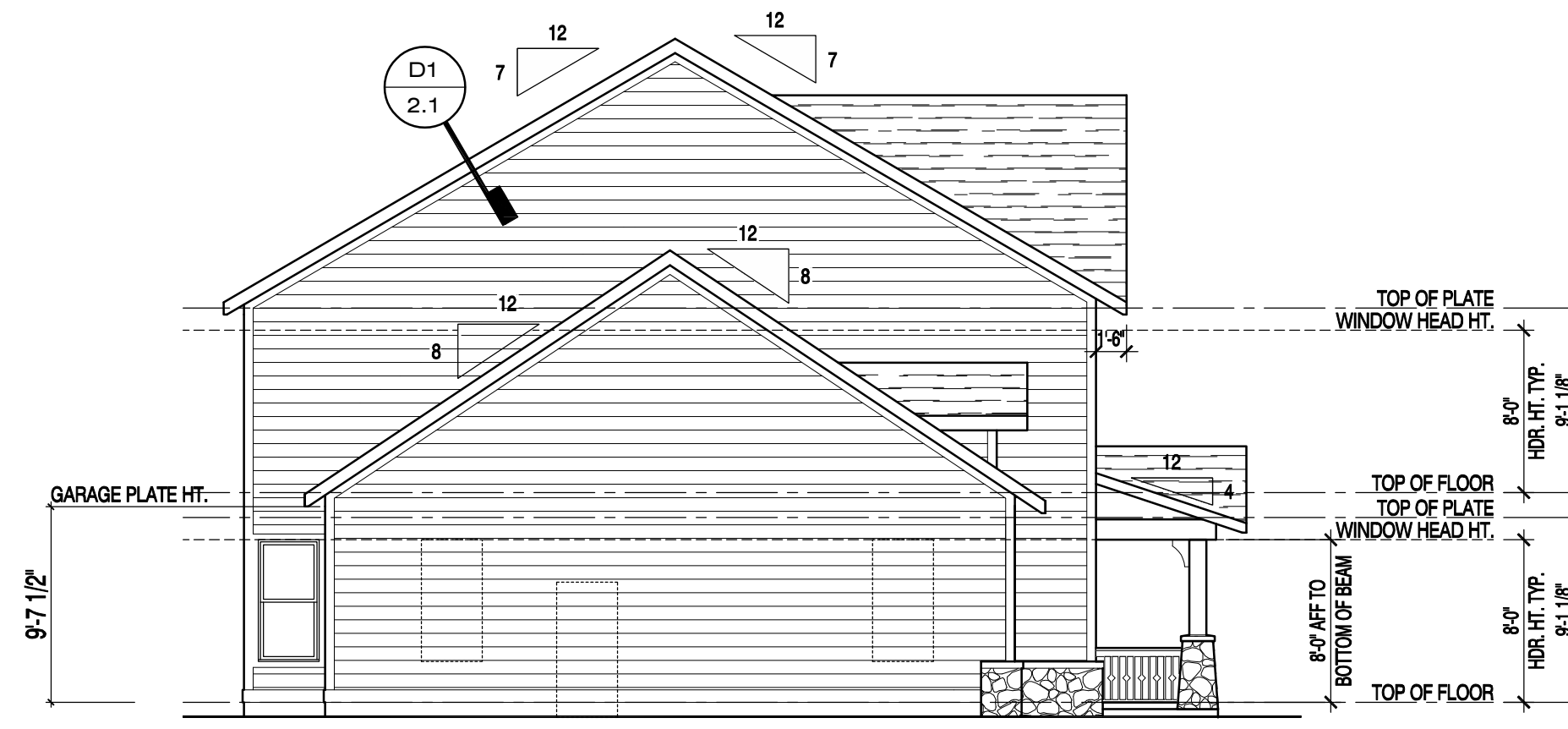
**NOTES:**

SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS



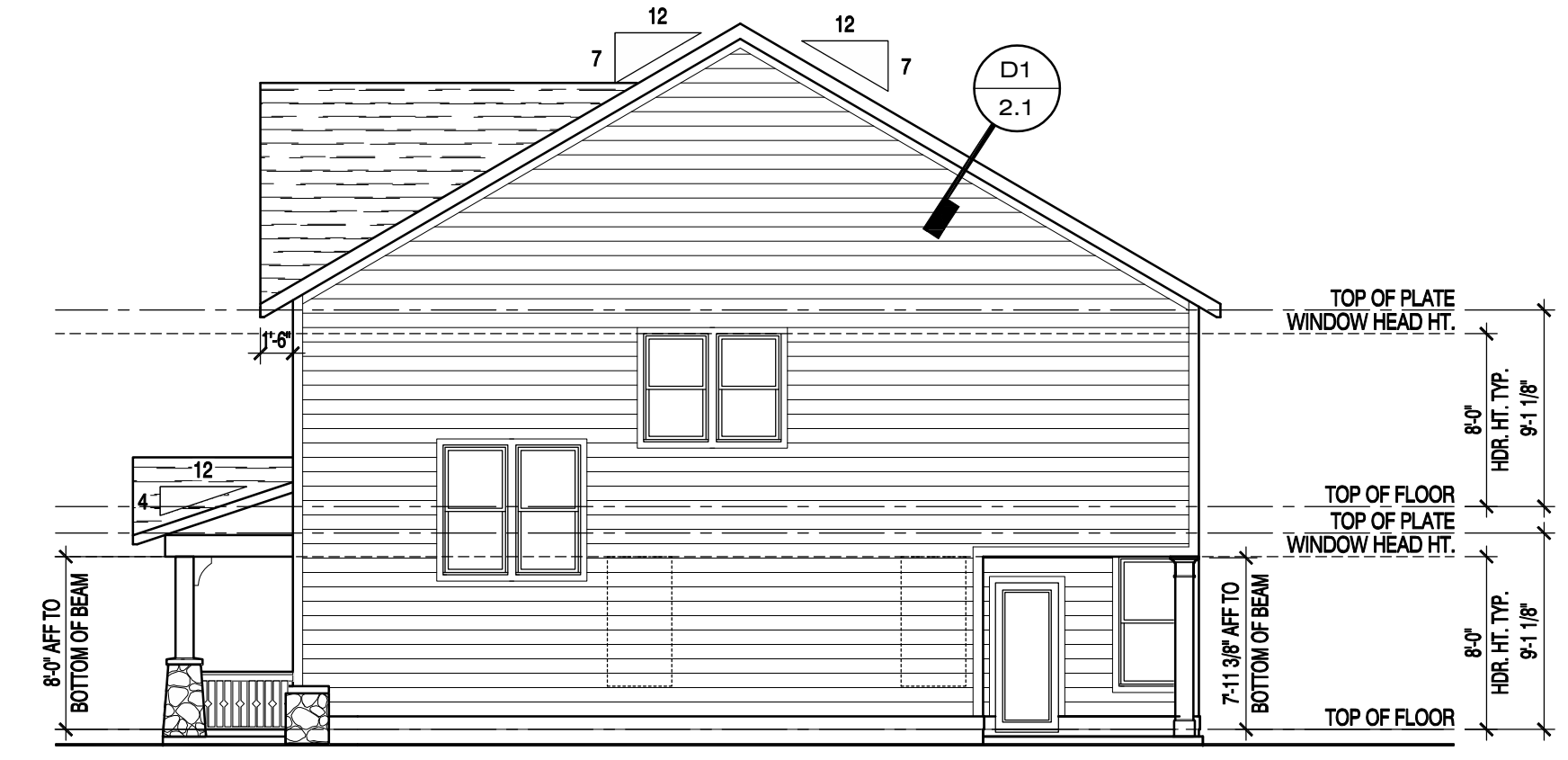
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



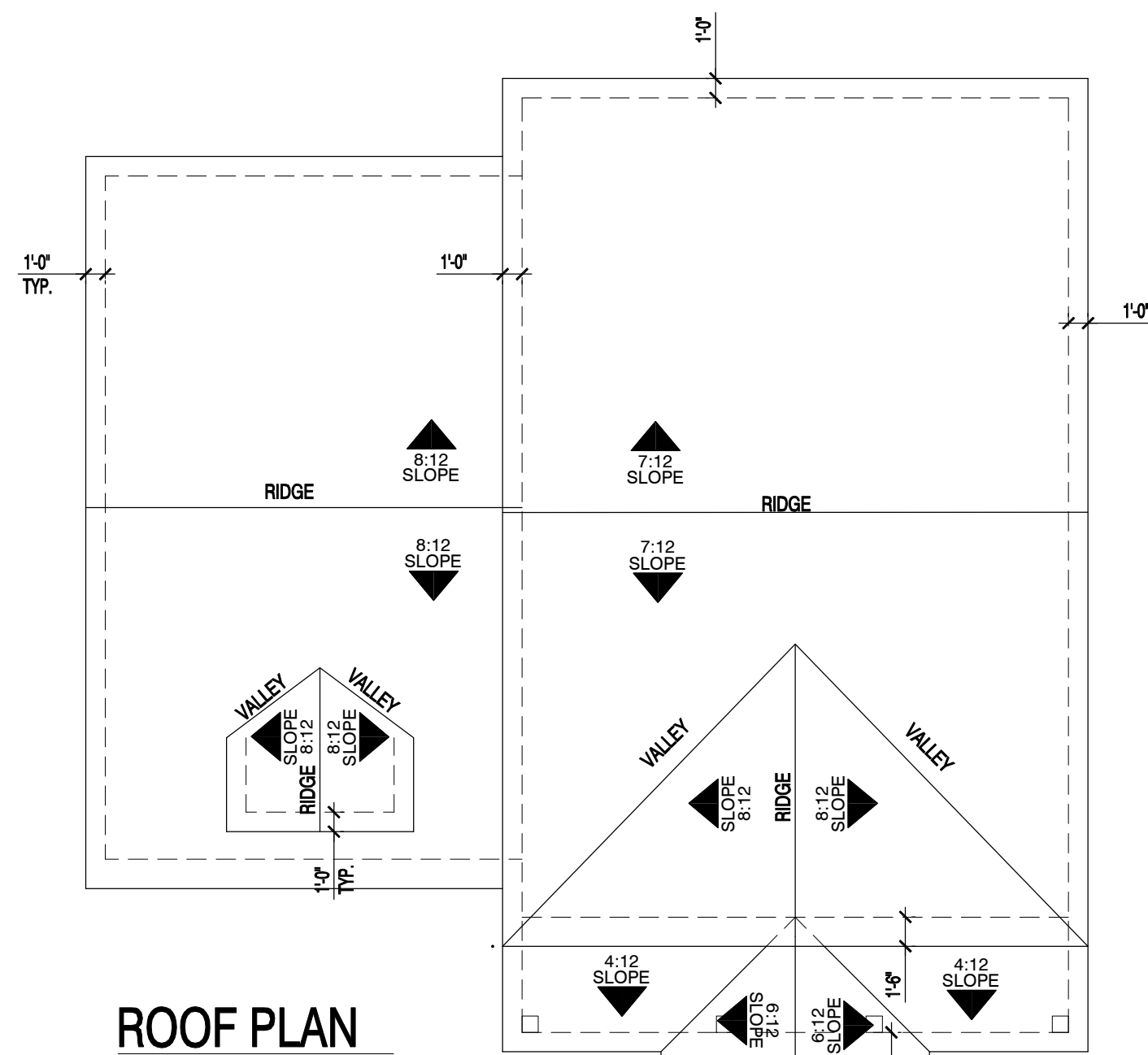
**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



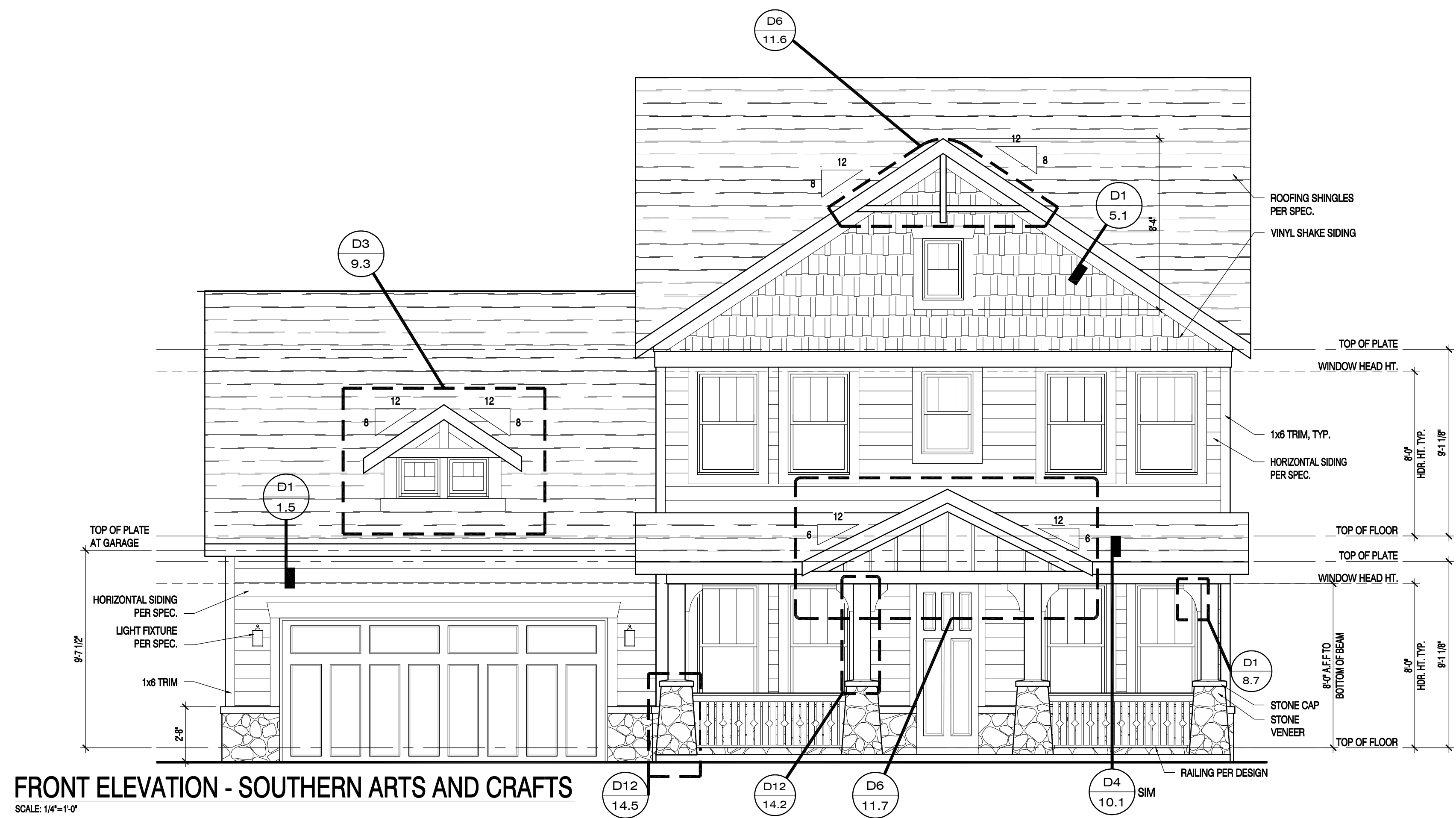
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS AND CRAFTS**

SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	7-1-18
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4902**

SHEET

**A2.1D**

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

**Fieldstone**  
 FLORIDA OFFICE: (813) 968-8310  
 MICHIGAN OFFICE: (616) 822-4035  
 MINNESOTA OFFICE: (612) 867-0115

**FIELDING HOMES**

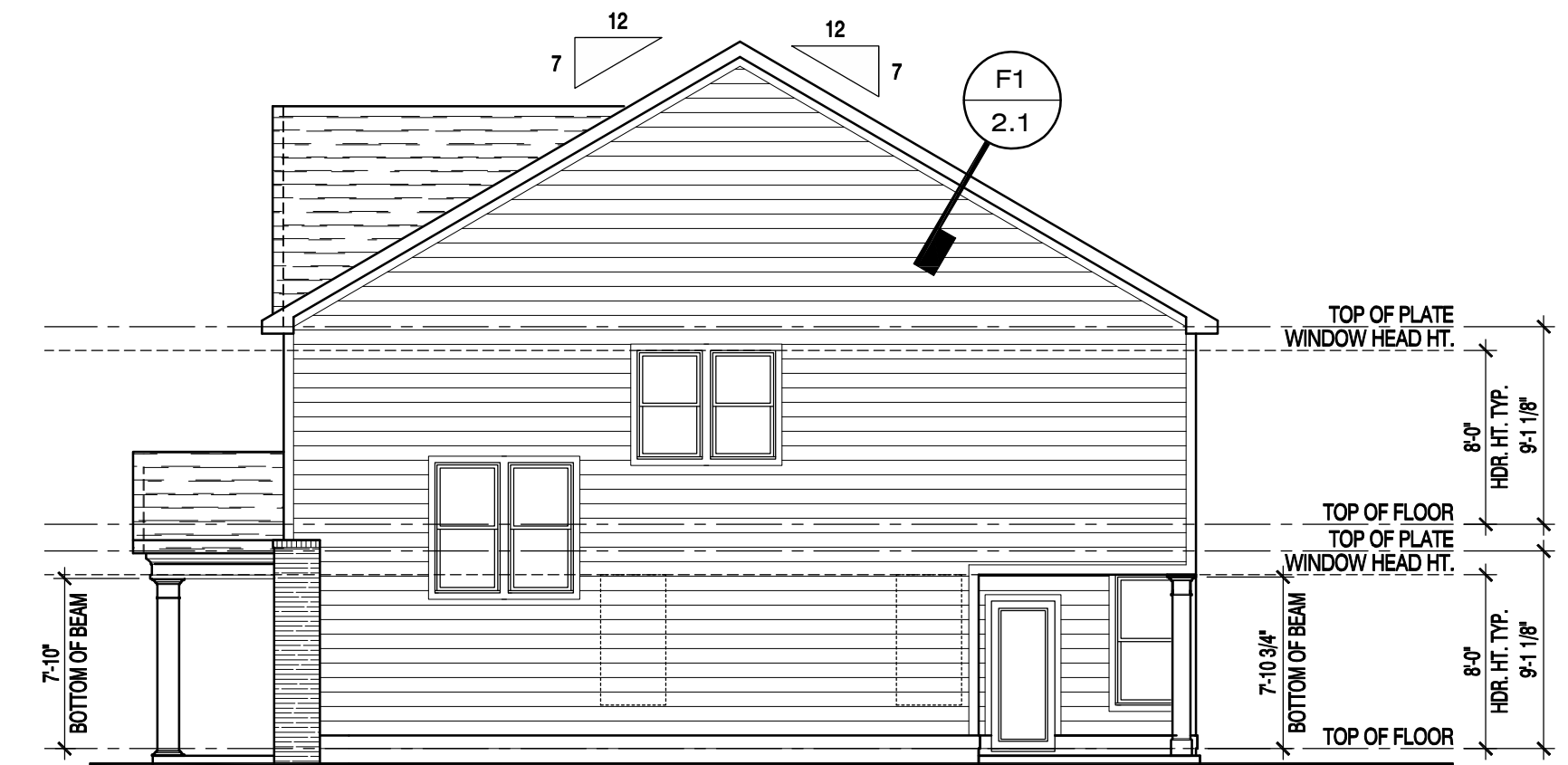


**NOTES:**

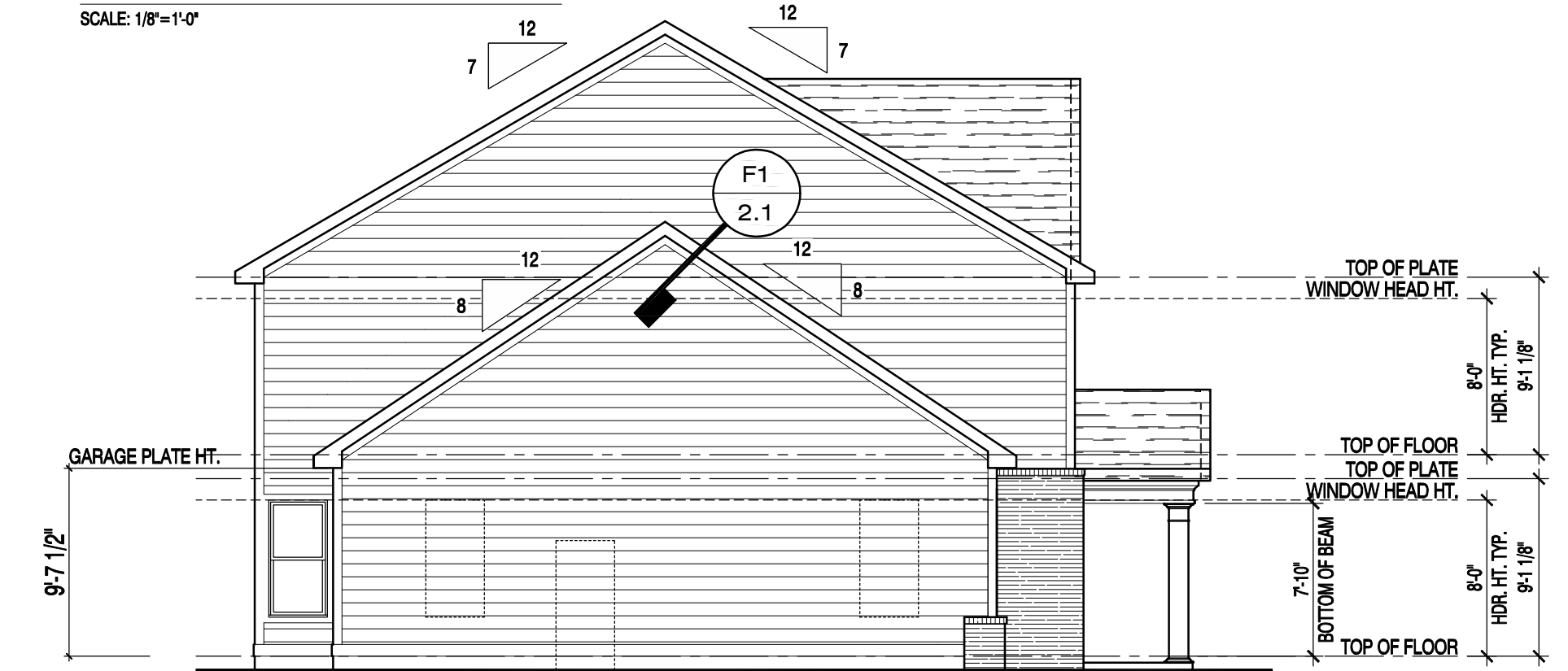
SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS



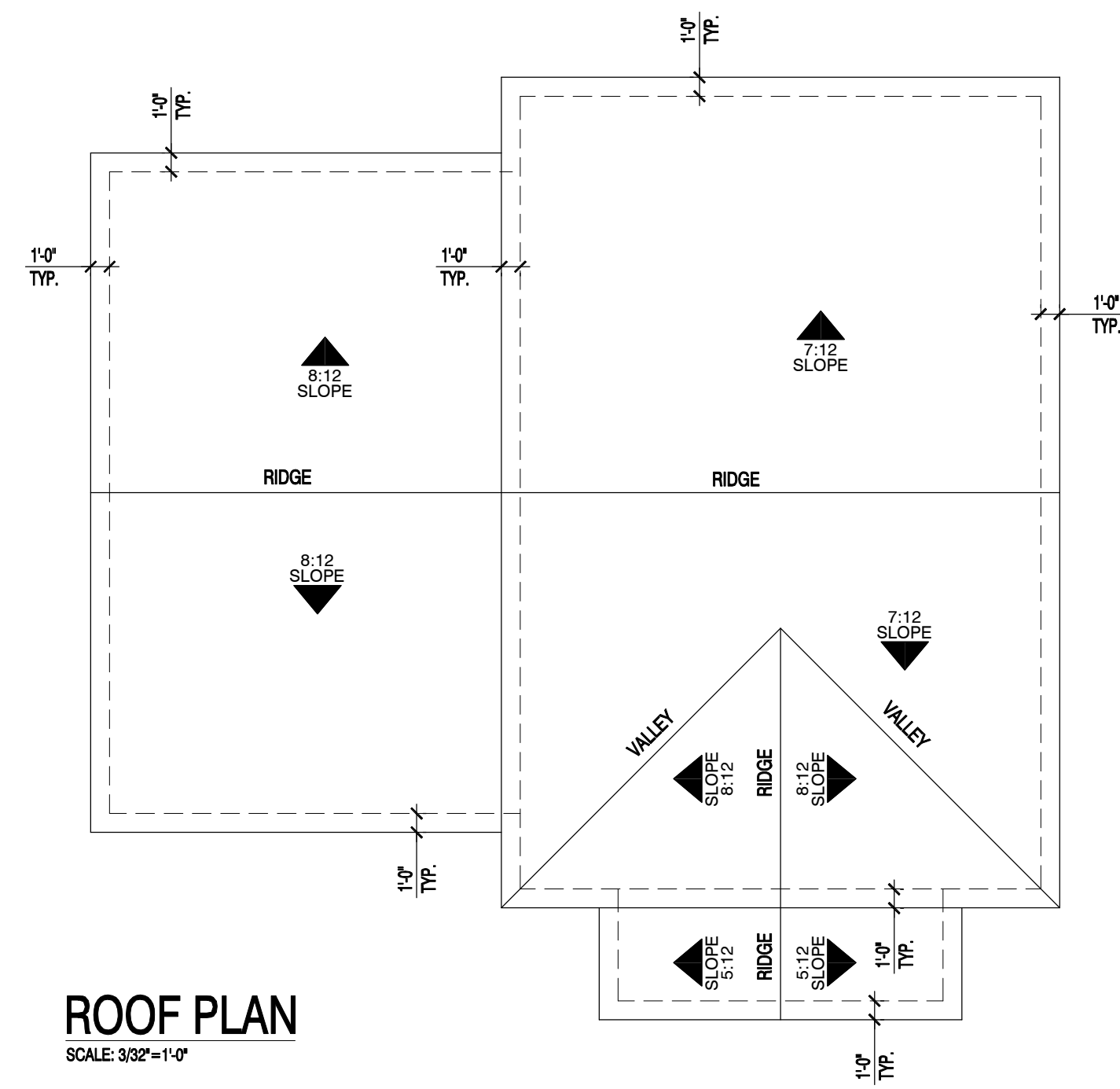
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



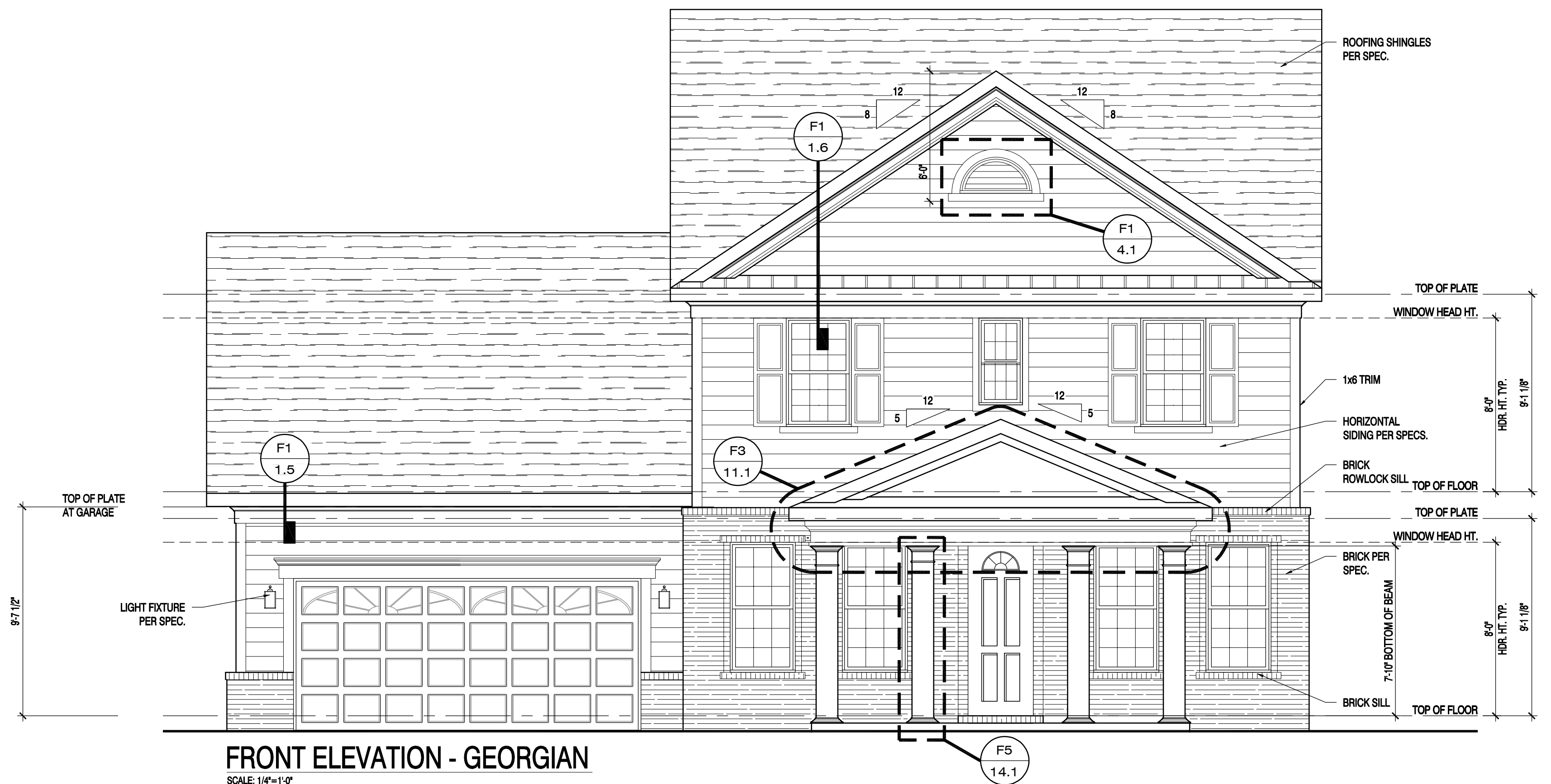
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 3/32"=1'-0"



**FRONT ELEVATION - GEORGIAN**  
 SCALE: 1/4"=1'-0"

REV #	DATE / DESCRIPTION

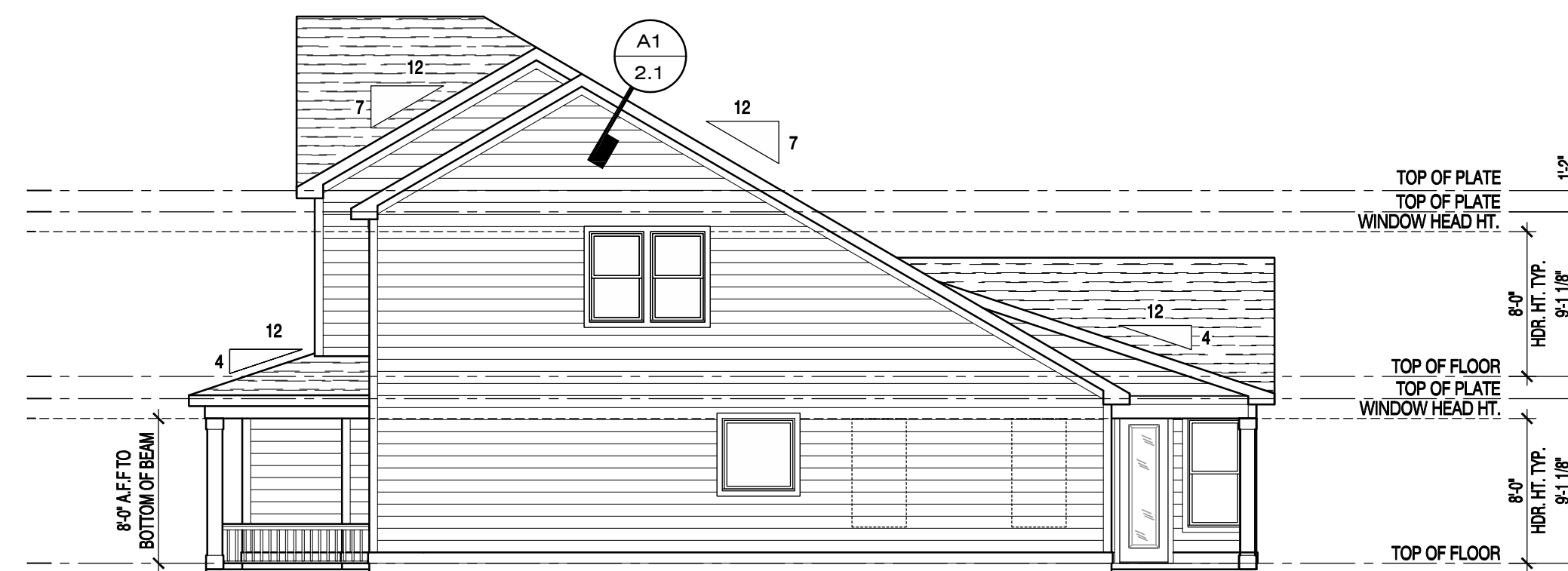
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4902**

SHEET  
**A2.1F**

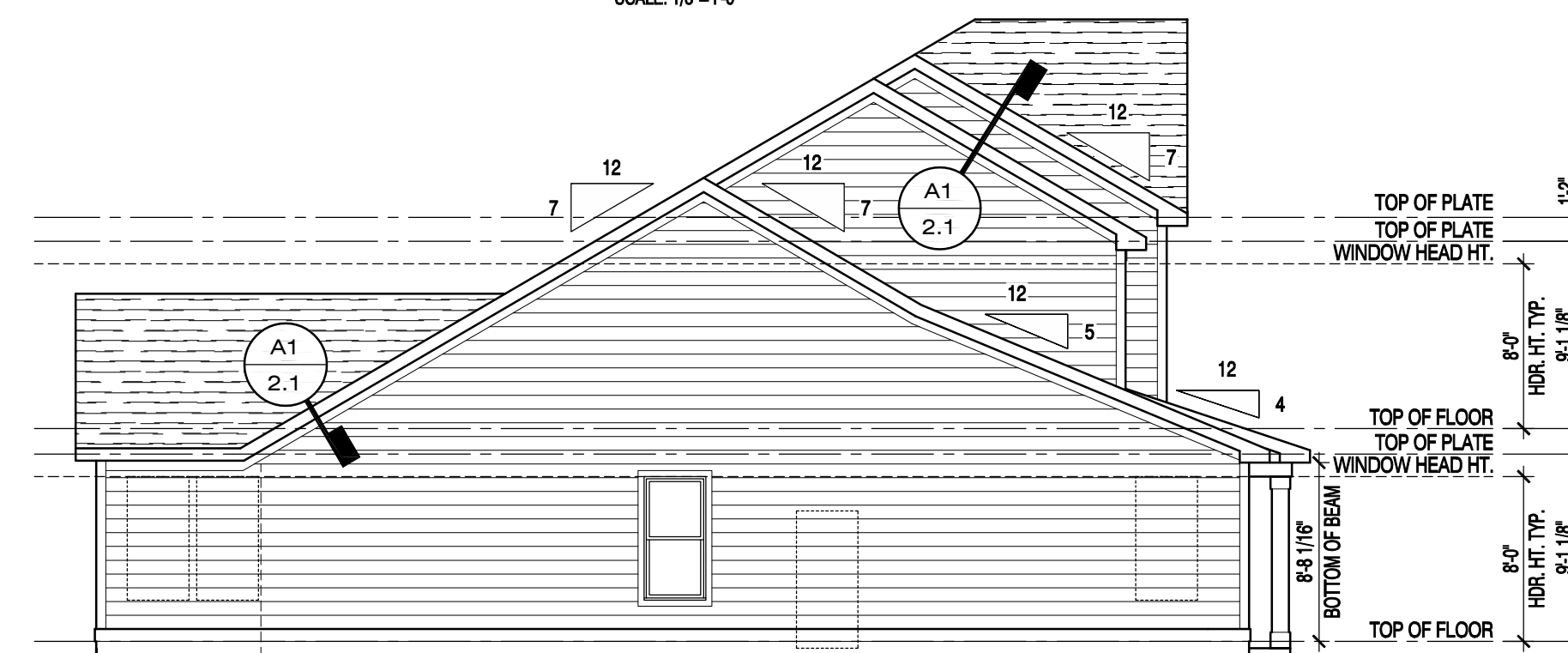
**NOTES:**

SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



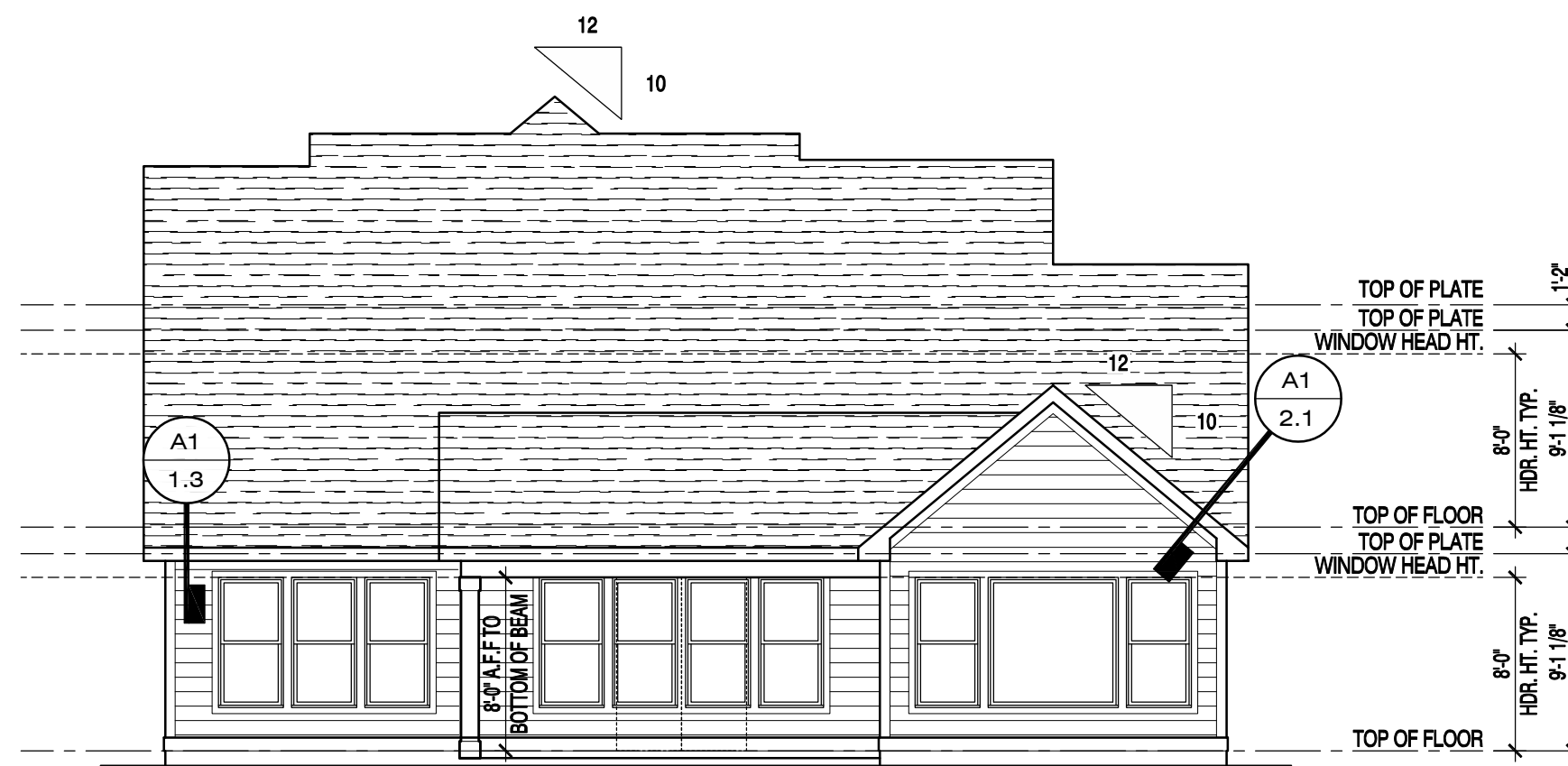
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



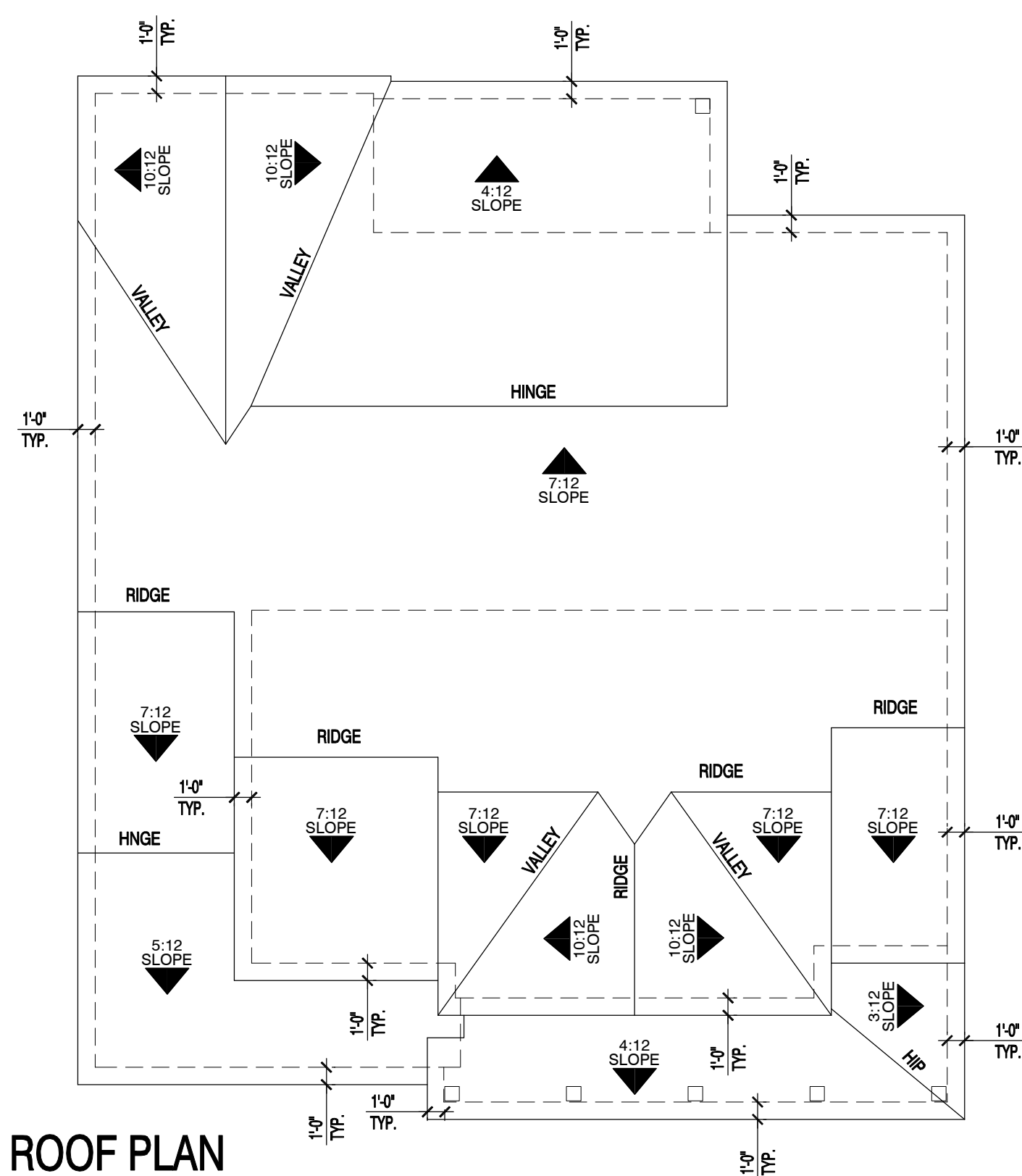
**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



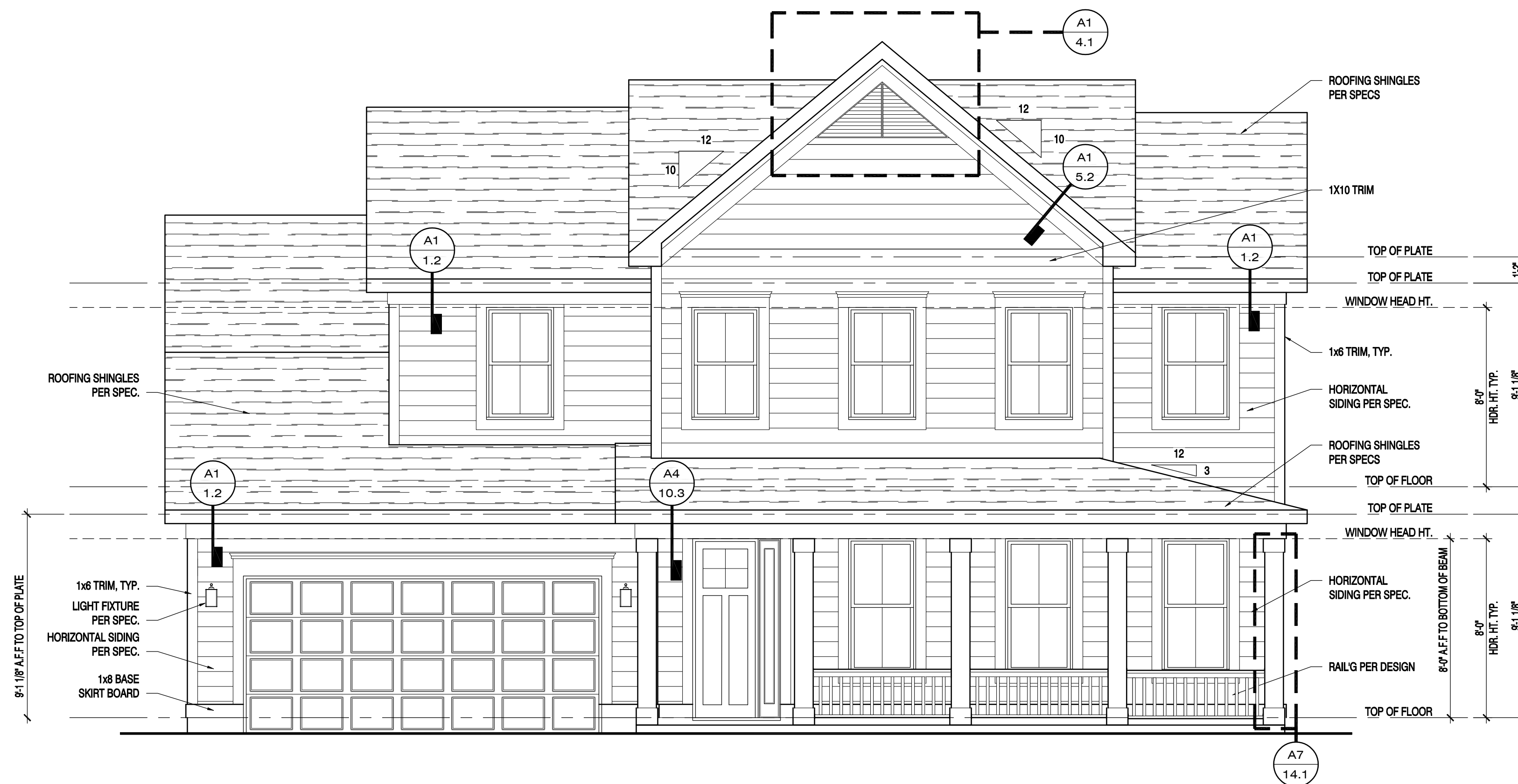
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**

SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE / DESCRIPTION

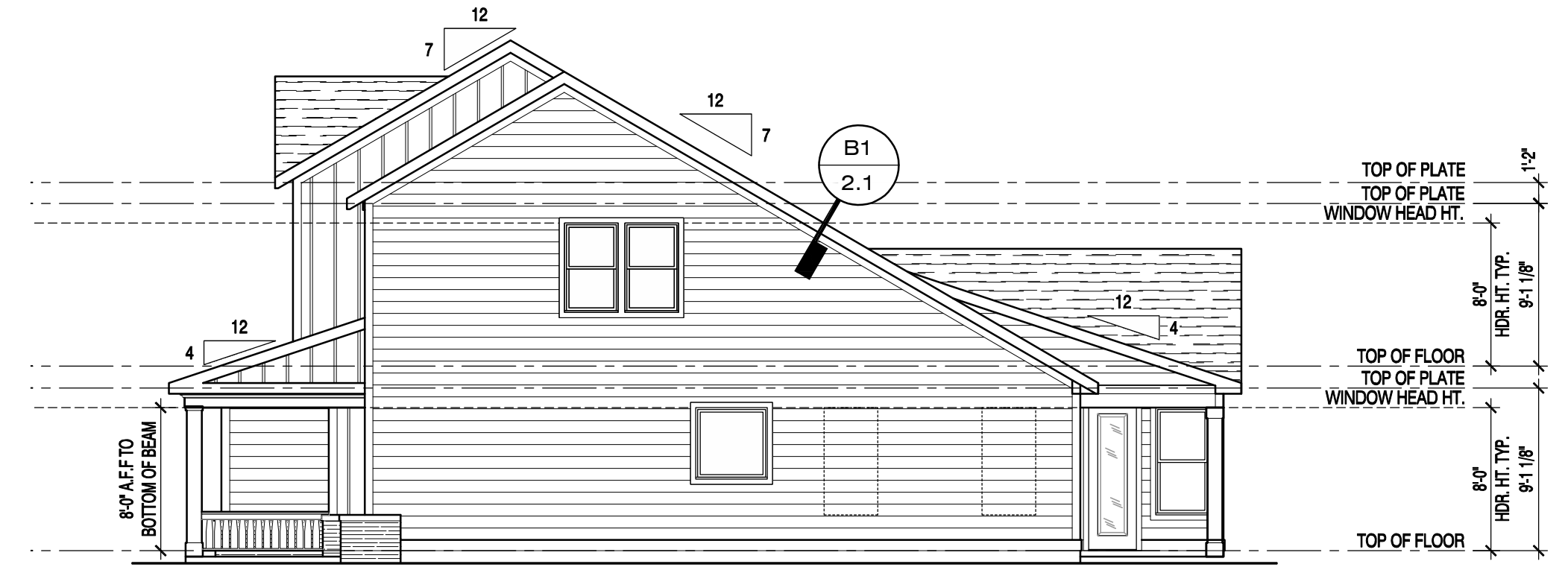
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4903**

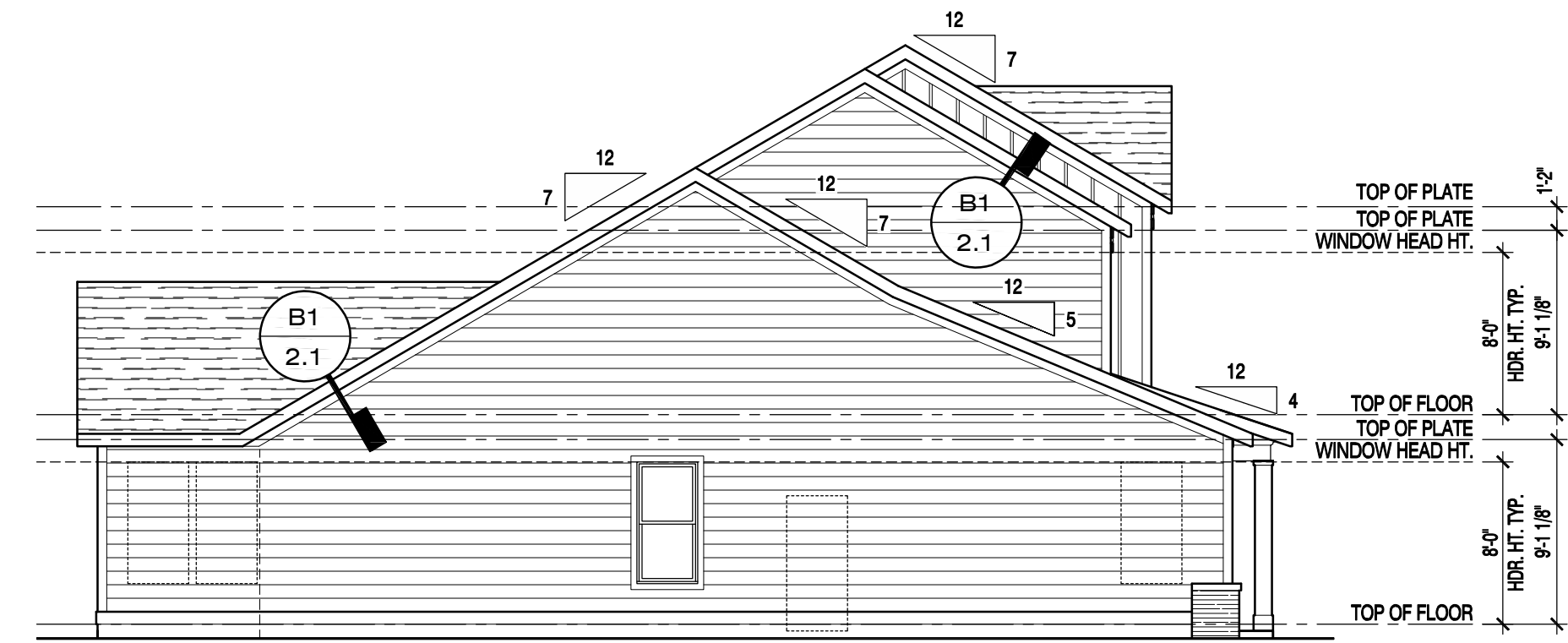
SHEET  
**A2.1A**

NOTES:

SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



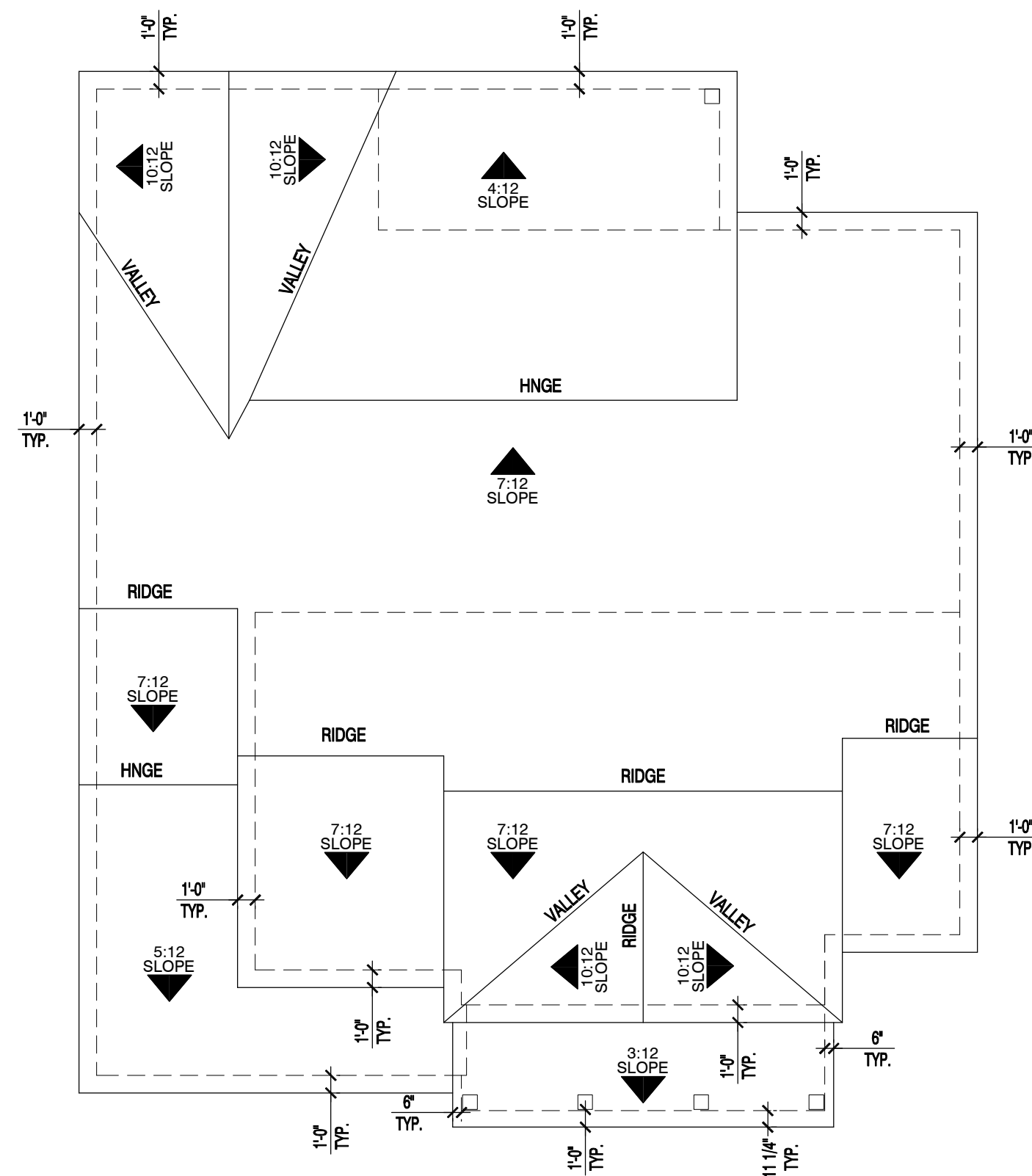
RIGHT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



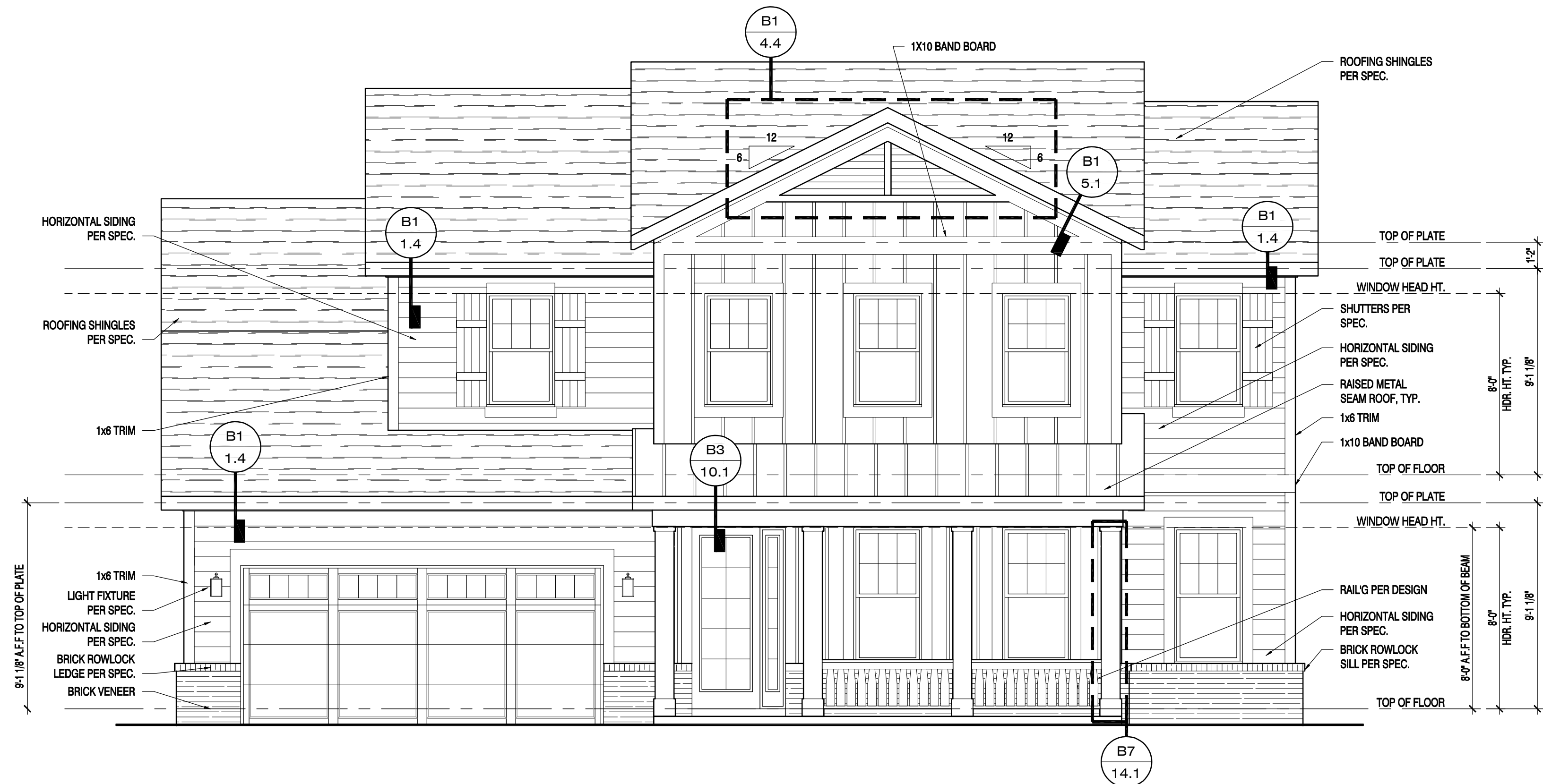
LEFT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



REAR ELEVATION  
 SCALE: 1/8"=1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"



FRONT ELEVATION - PLANK COTTAGE  
 SCALE: 1/4"=1'-0"

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

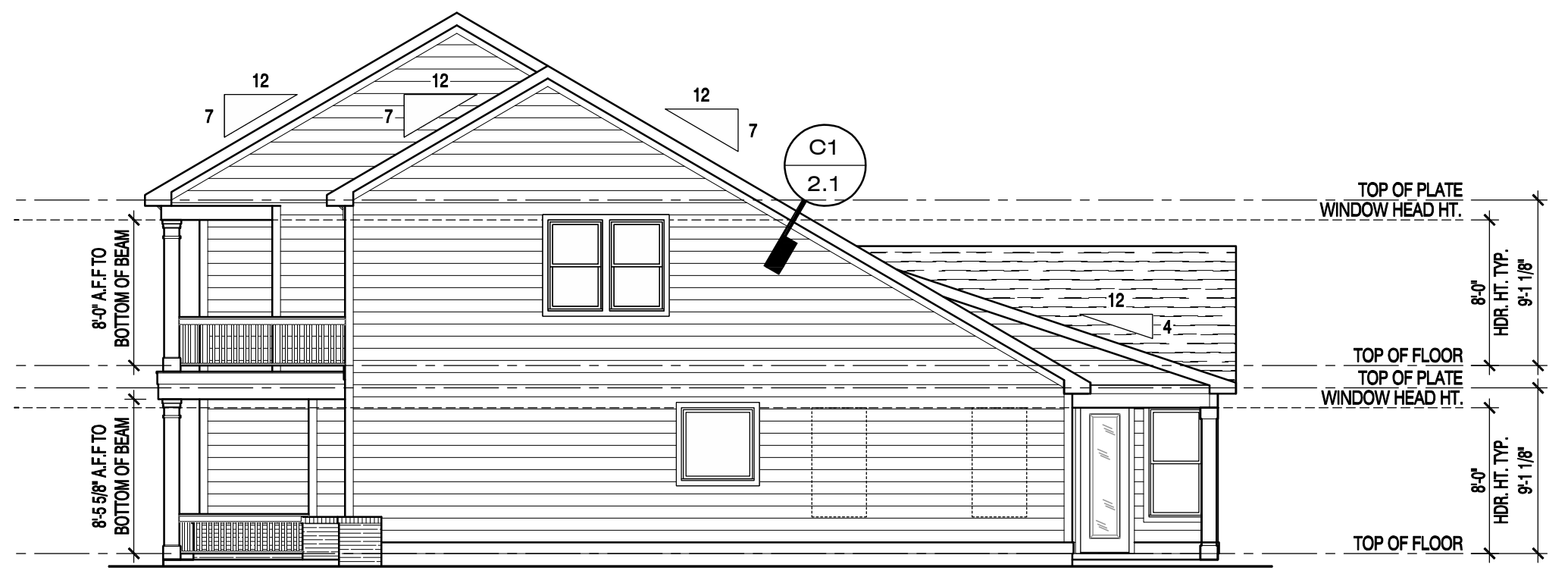
PLAN NUMBER  
**4903**

SHEET  
**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

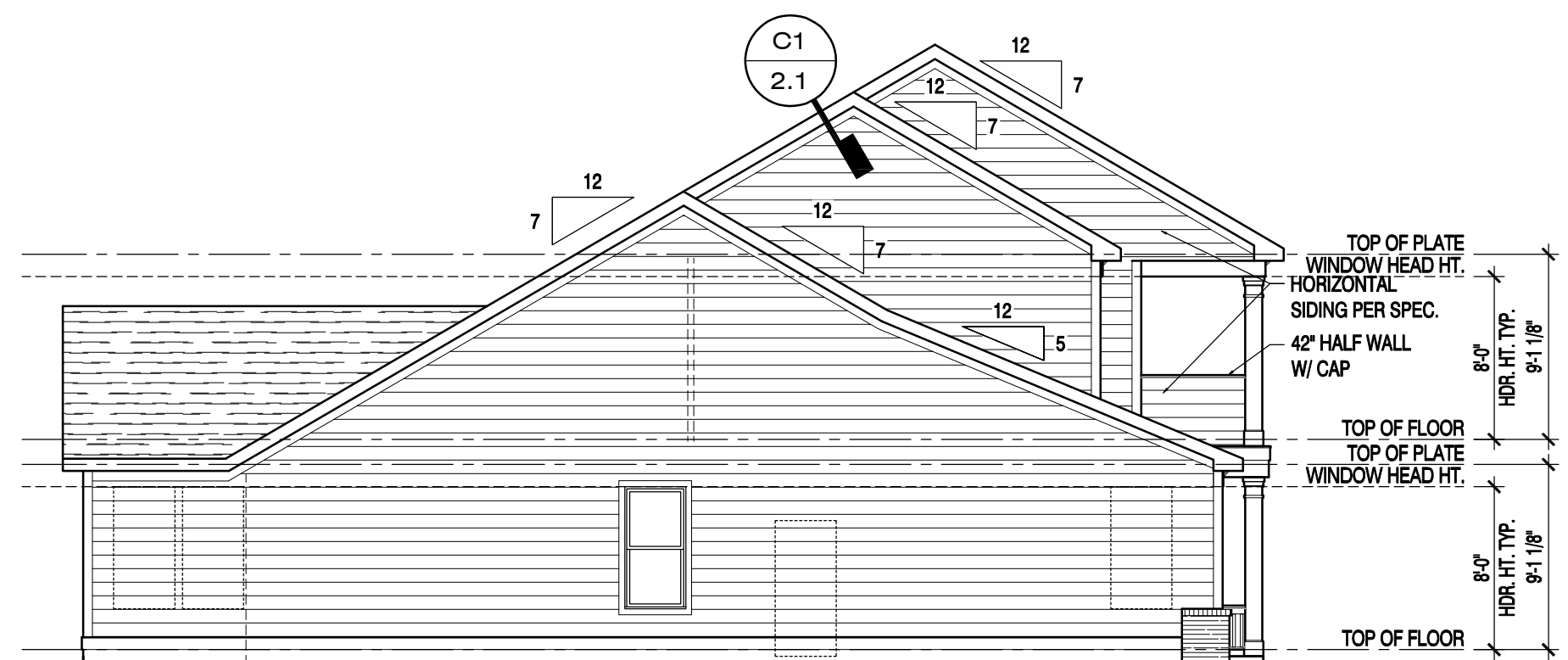
SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



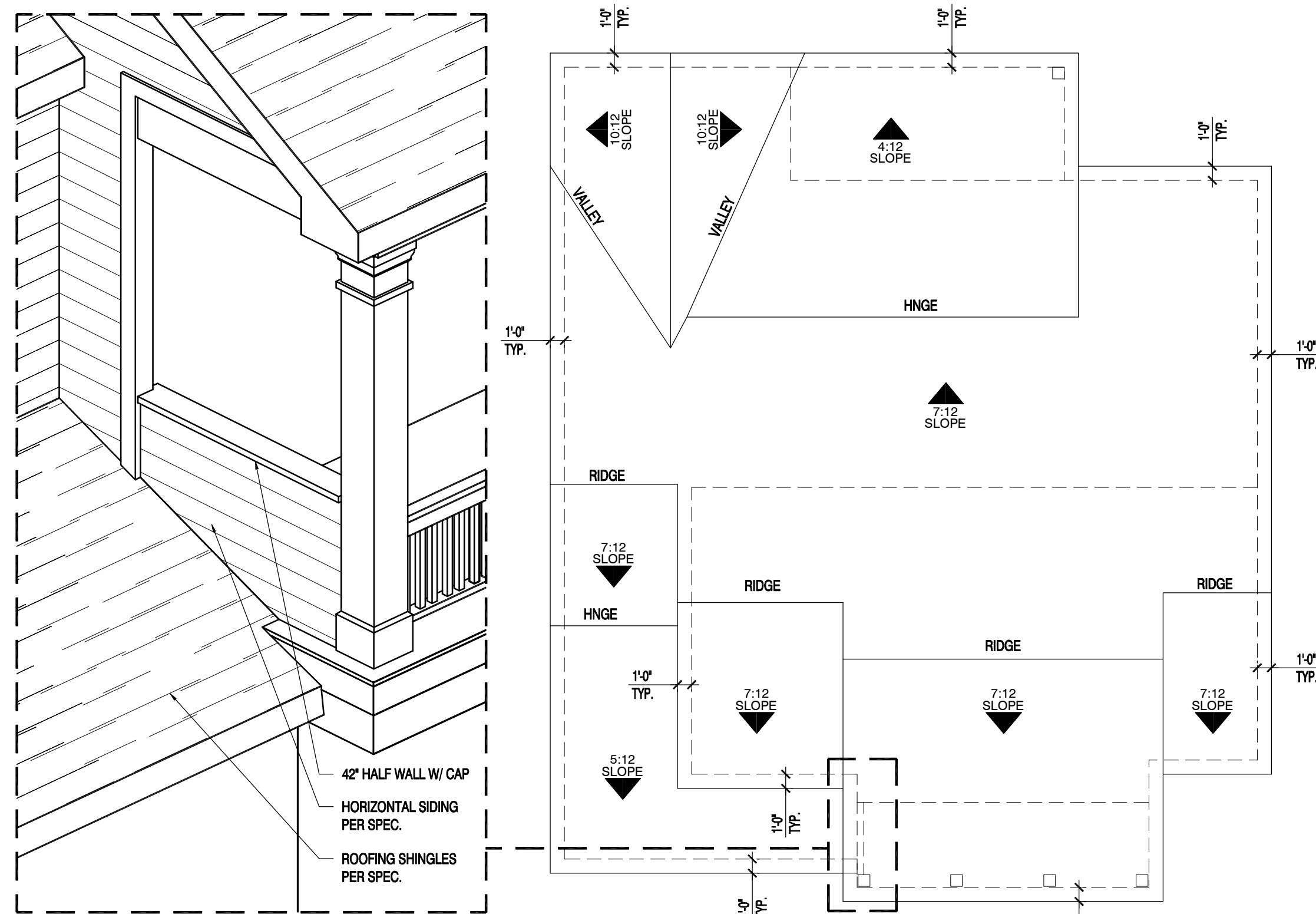
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**

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**Fieldstone**

MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 868-3310

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**ELEVATION C - COASTAL**

CONTROL	RELEASE DATE:	06-01-16
△	REV #	DATE / DESCRIPTION
△		
△		
△		
△		

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4903**

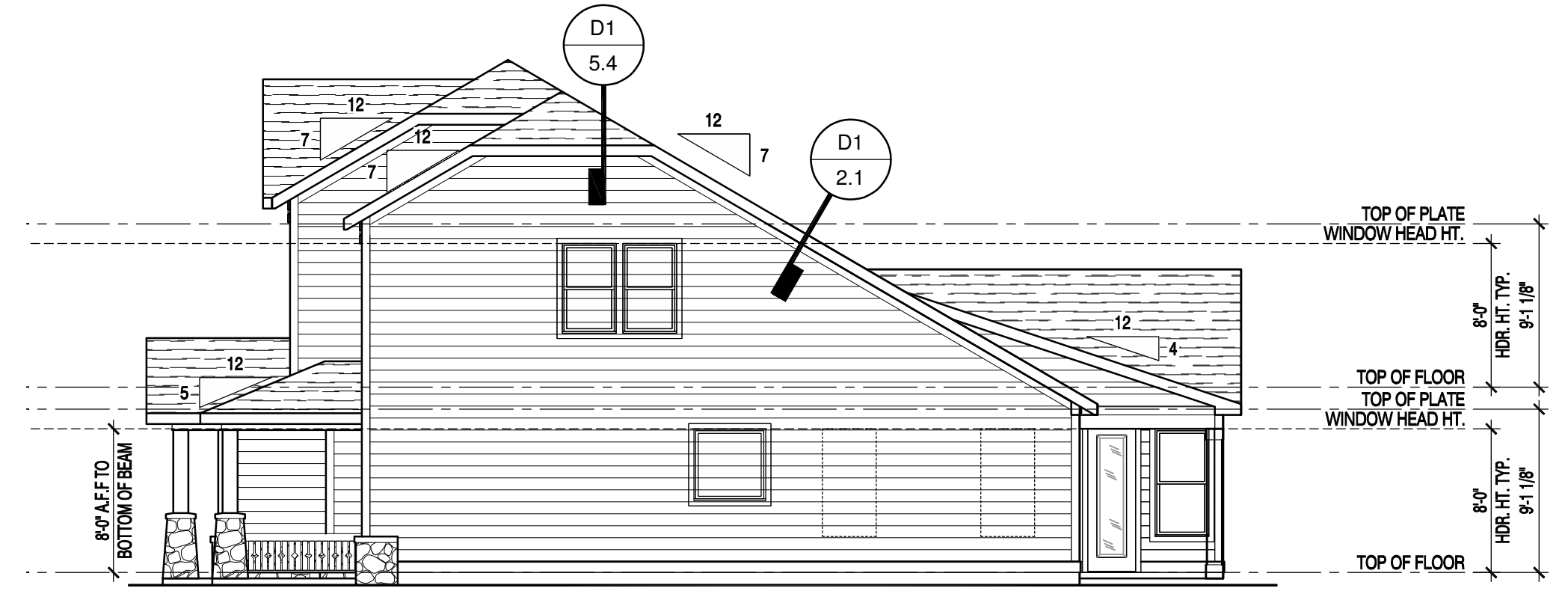
SHEET  
**A2.1C**

PLOTTED: June 30, 2016 / Eric Peterson / A2.1C ELEVATION - CDWG

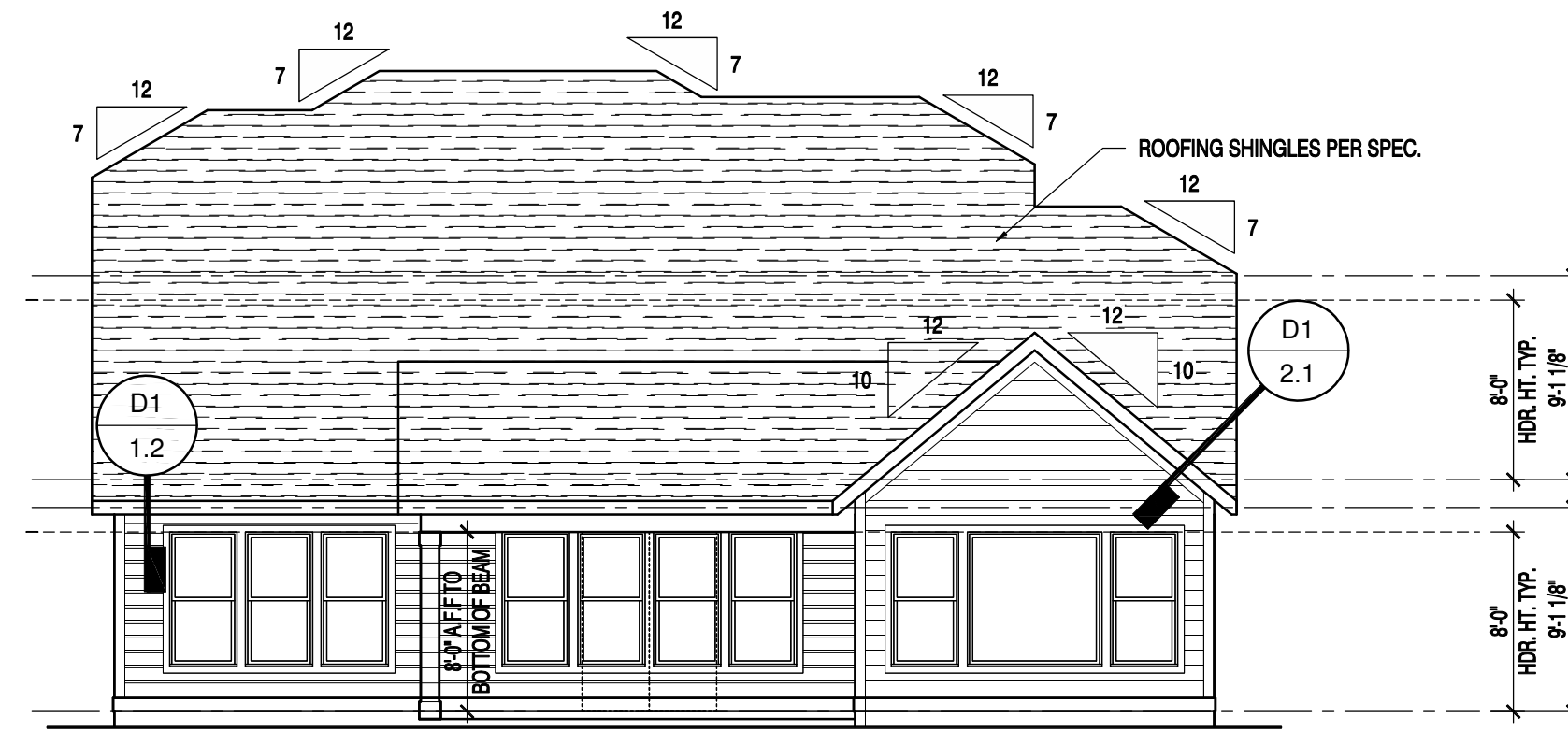
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTES:

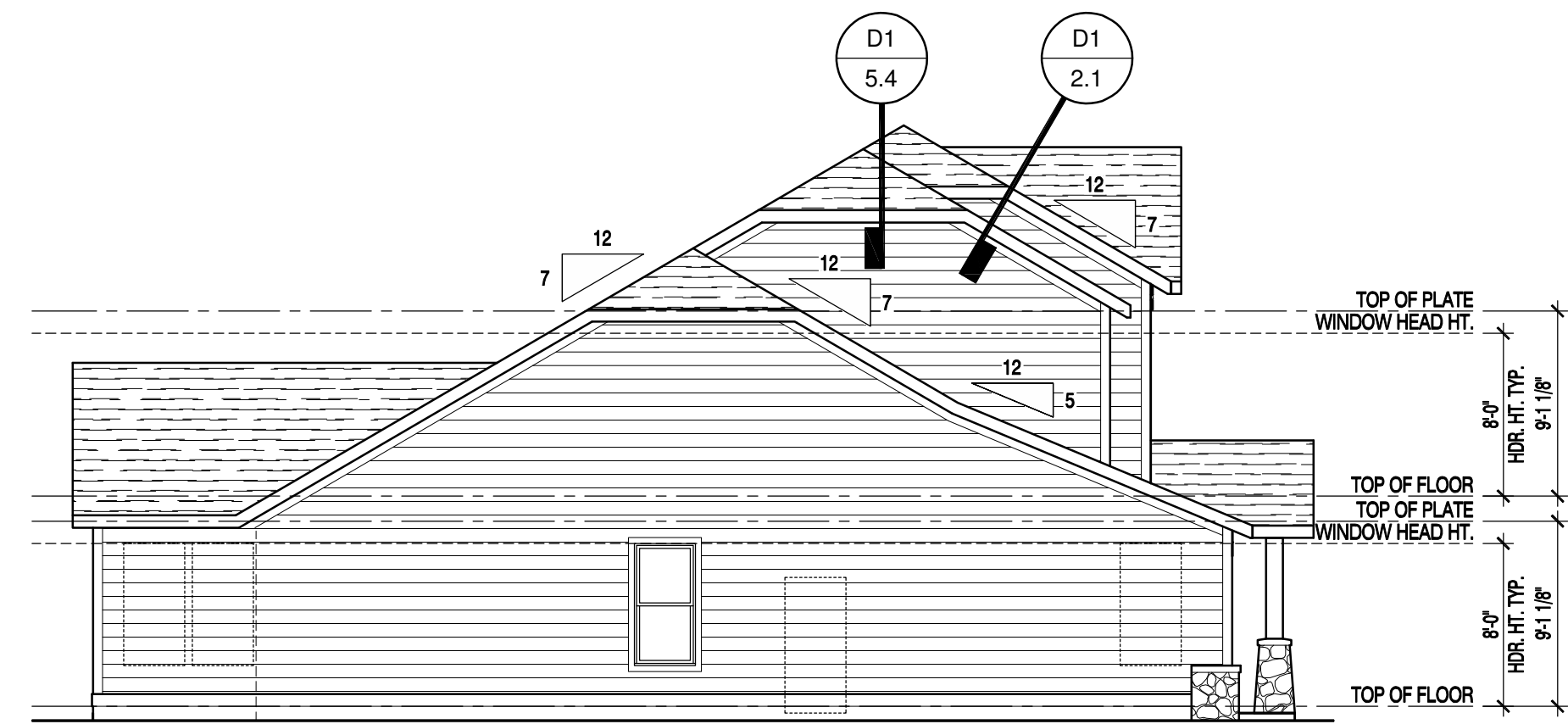
SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS



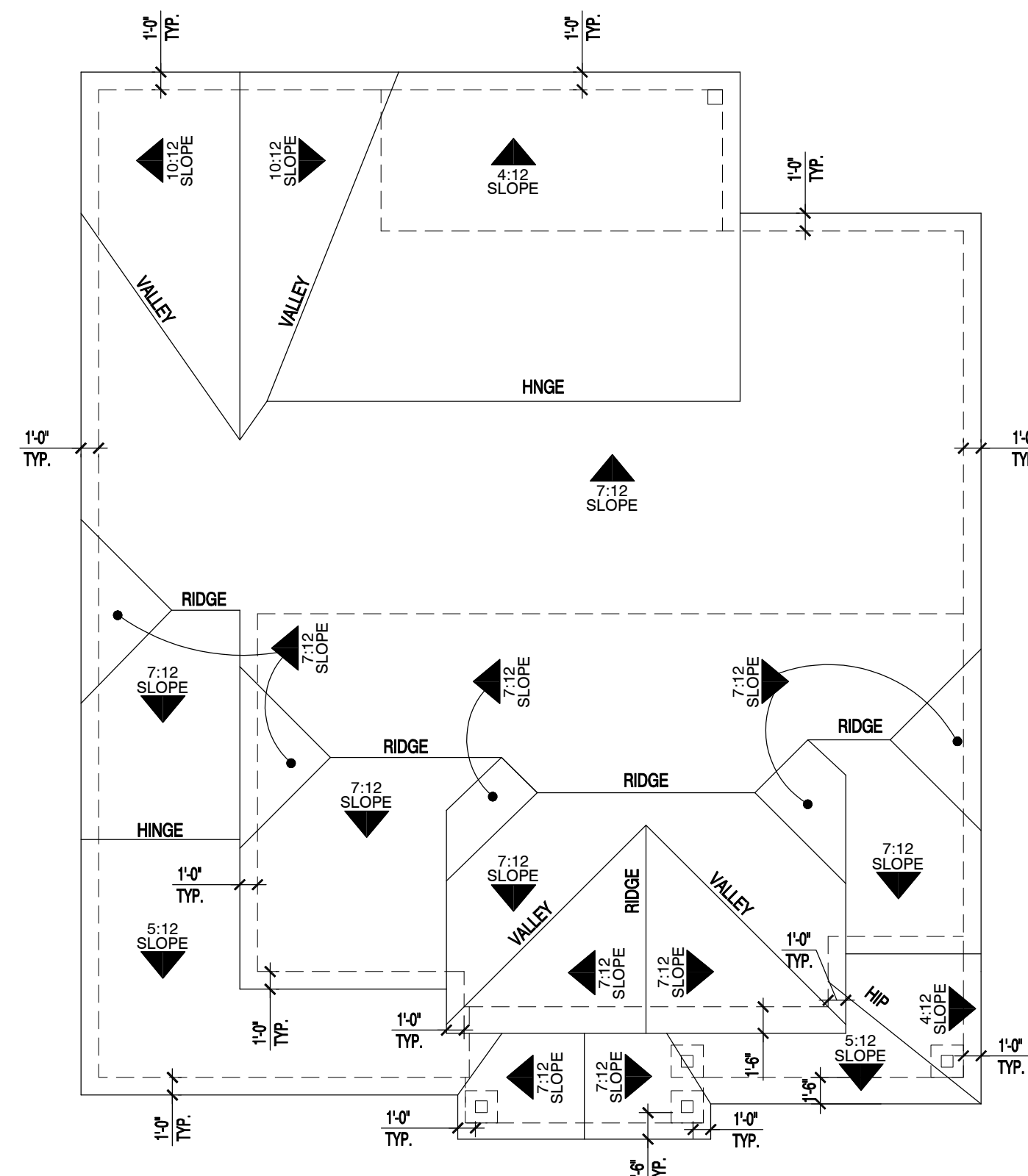
RIGHT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



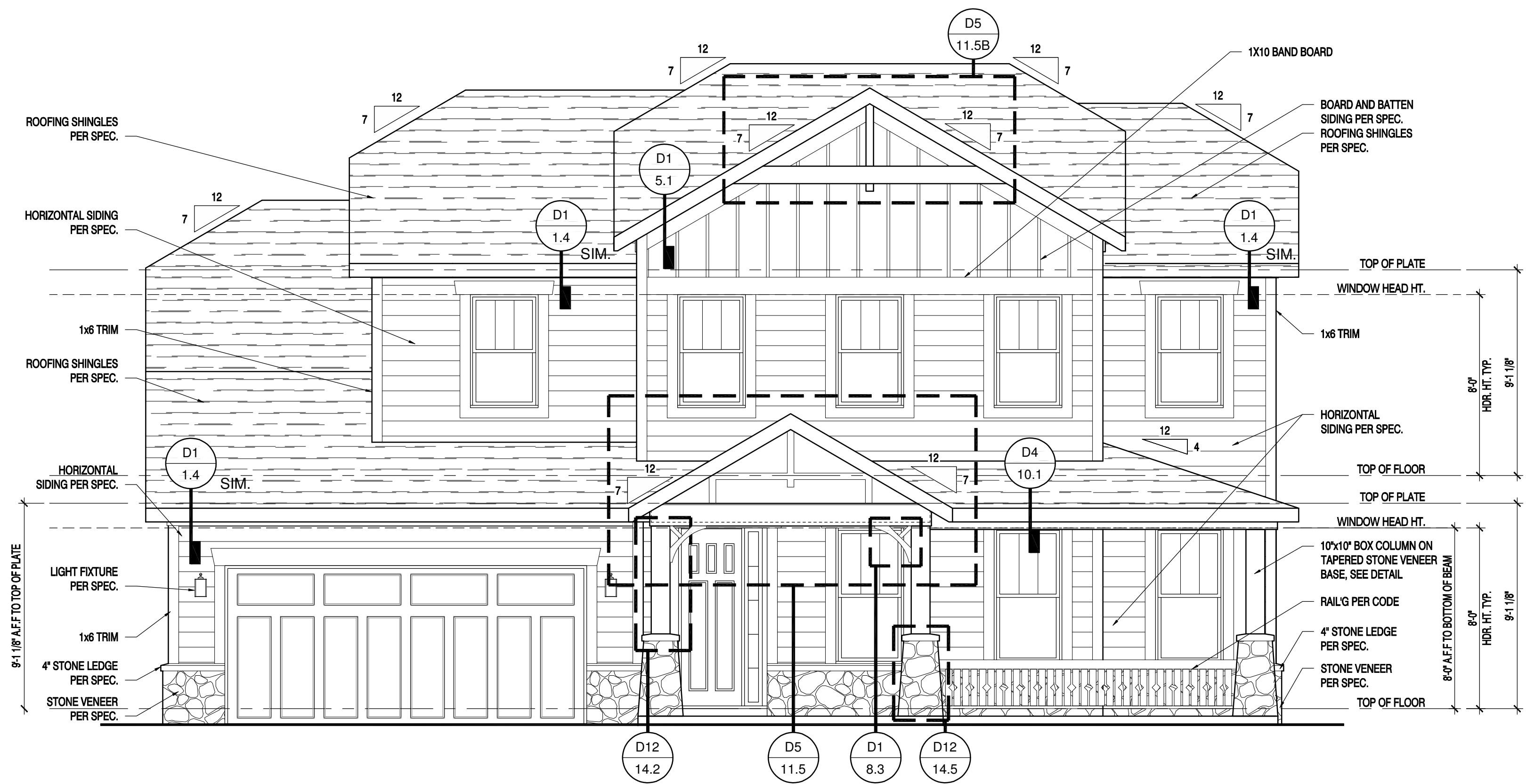
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"



FRONT ELEVATION - SOUTHERN ARTS & CRAFTS  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

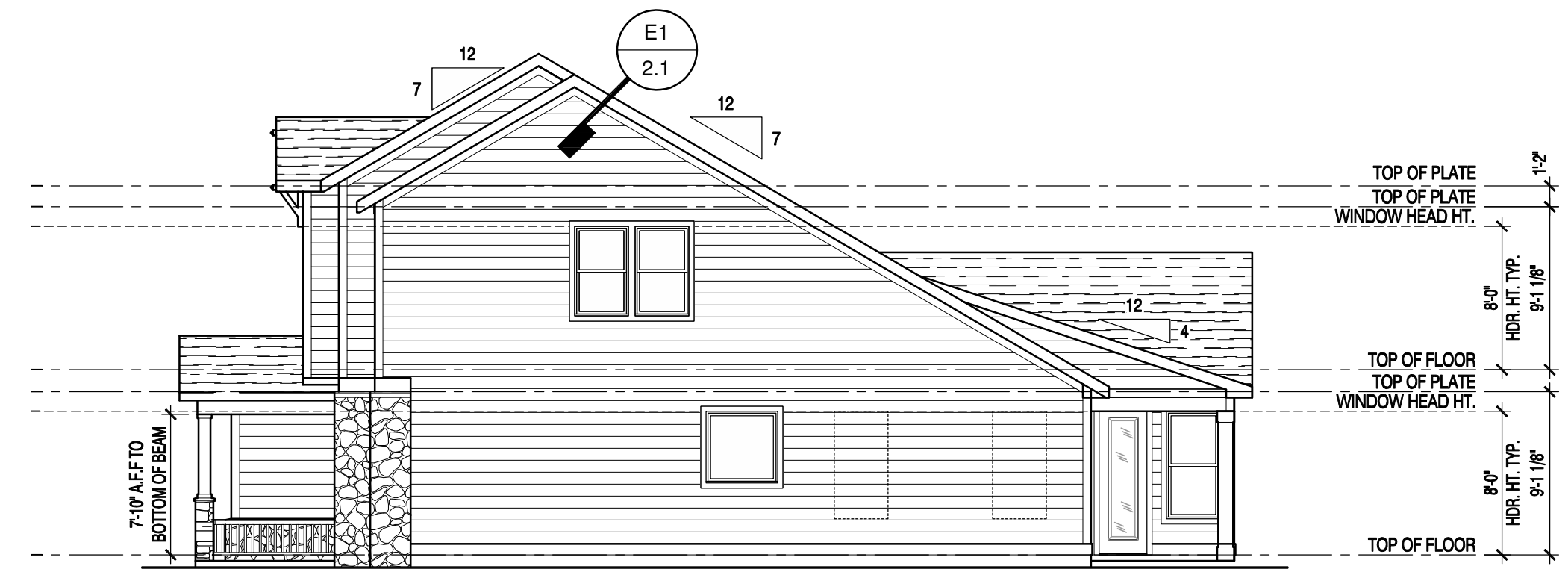
PLAN NUMBER  
**4903**

SHEET  
**A2.1D**



NOTES:

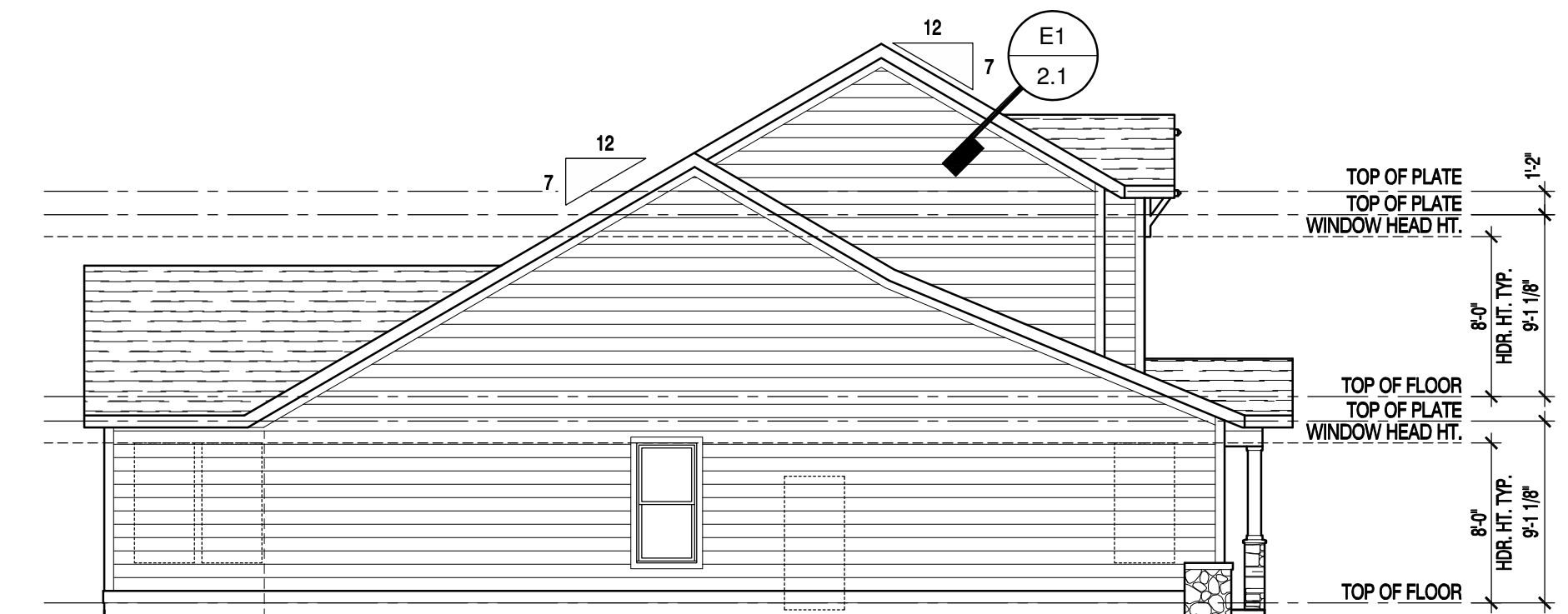
SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS



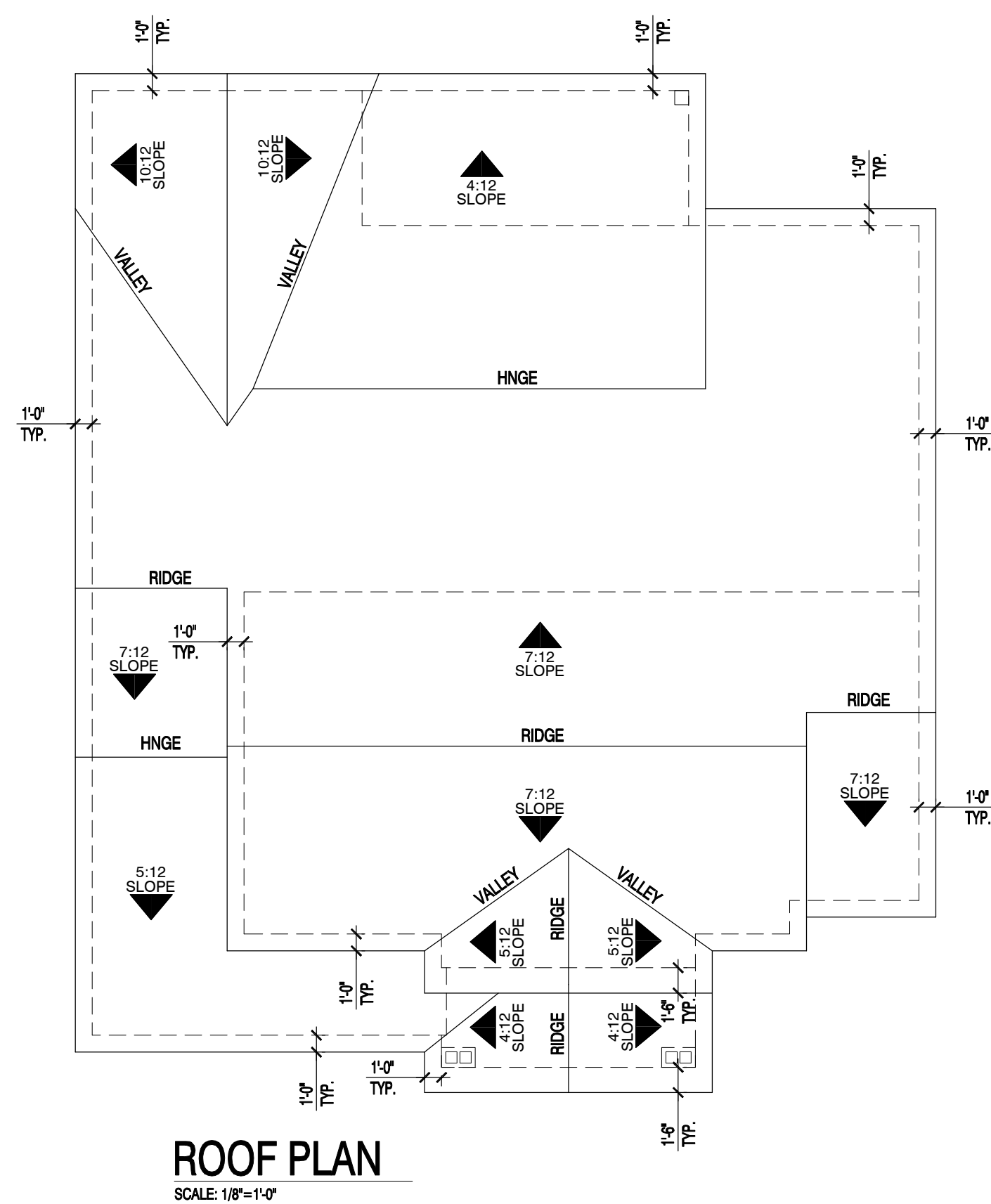
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



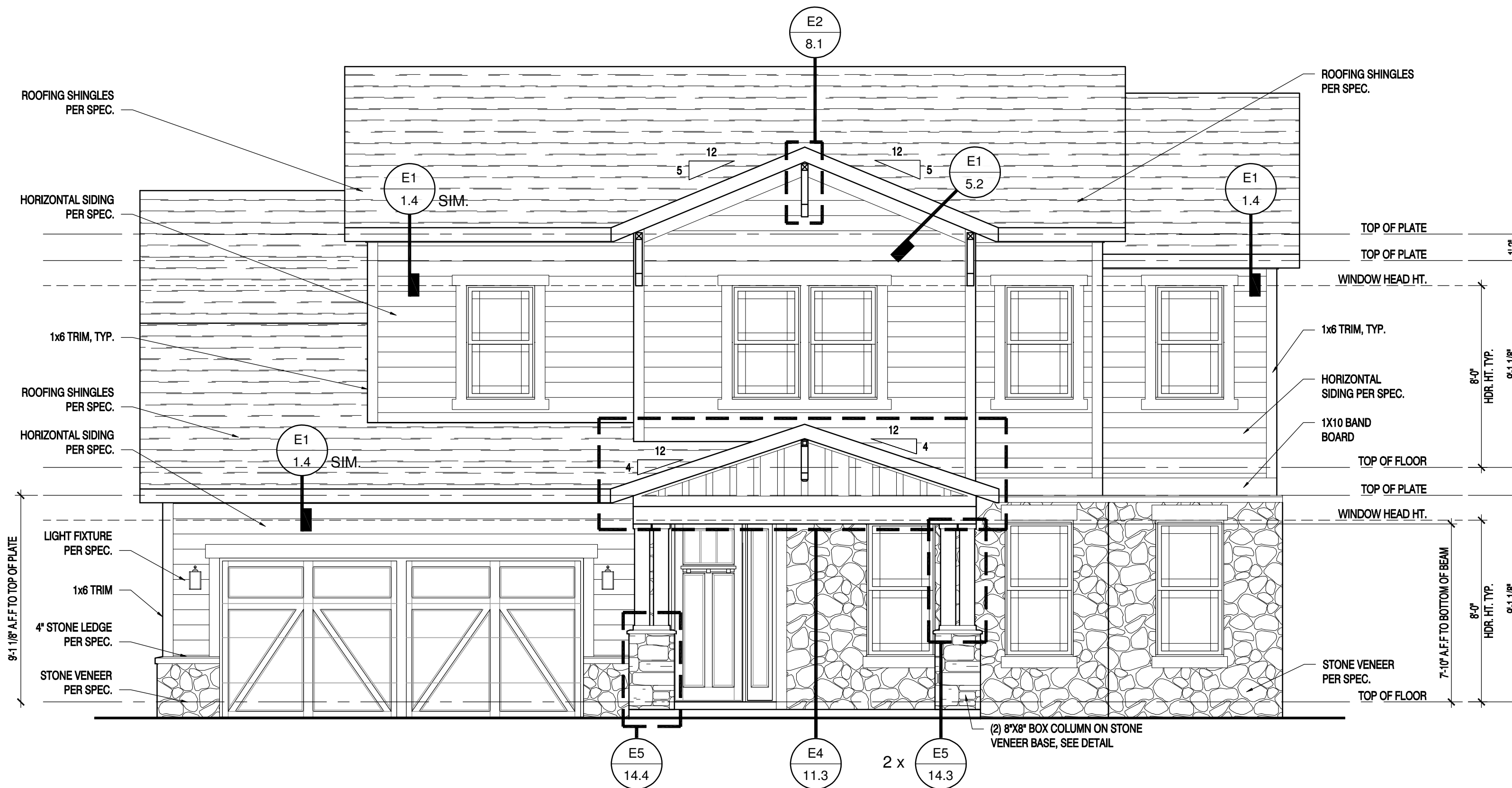
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"

CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

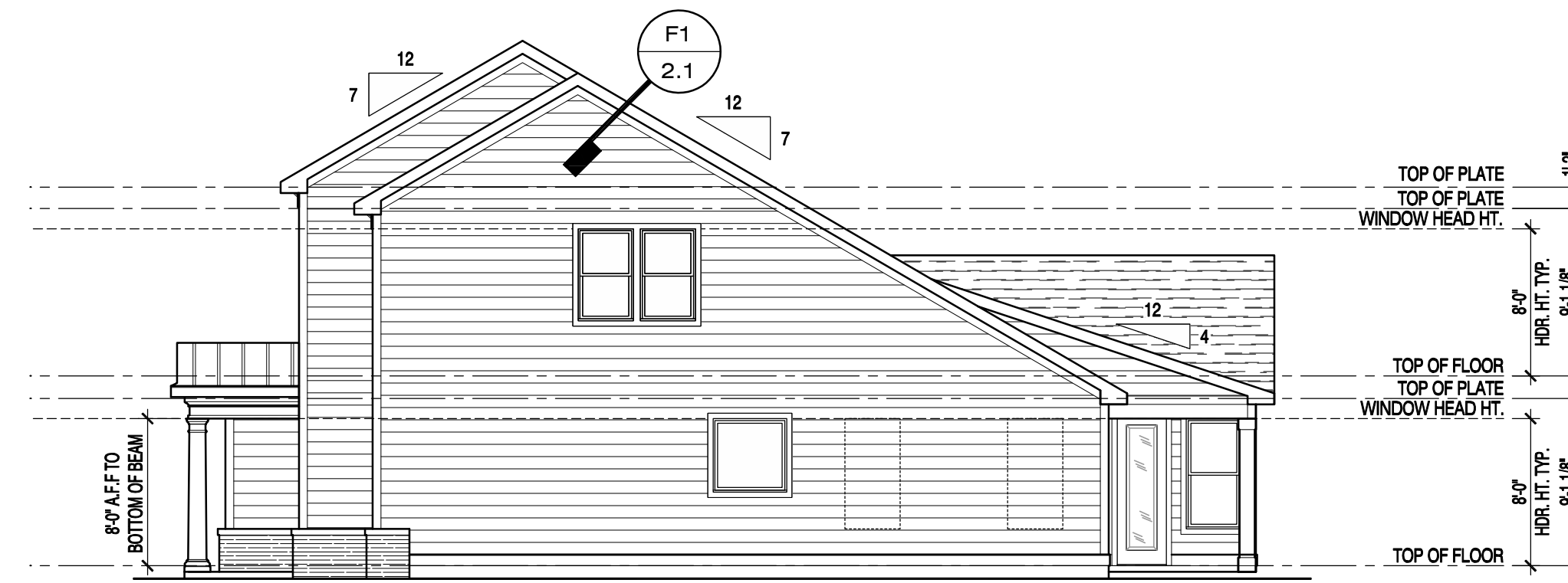
PLAN NUMBER  
**4903**

SHEET  
**A2.1E**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

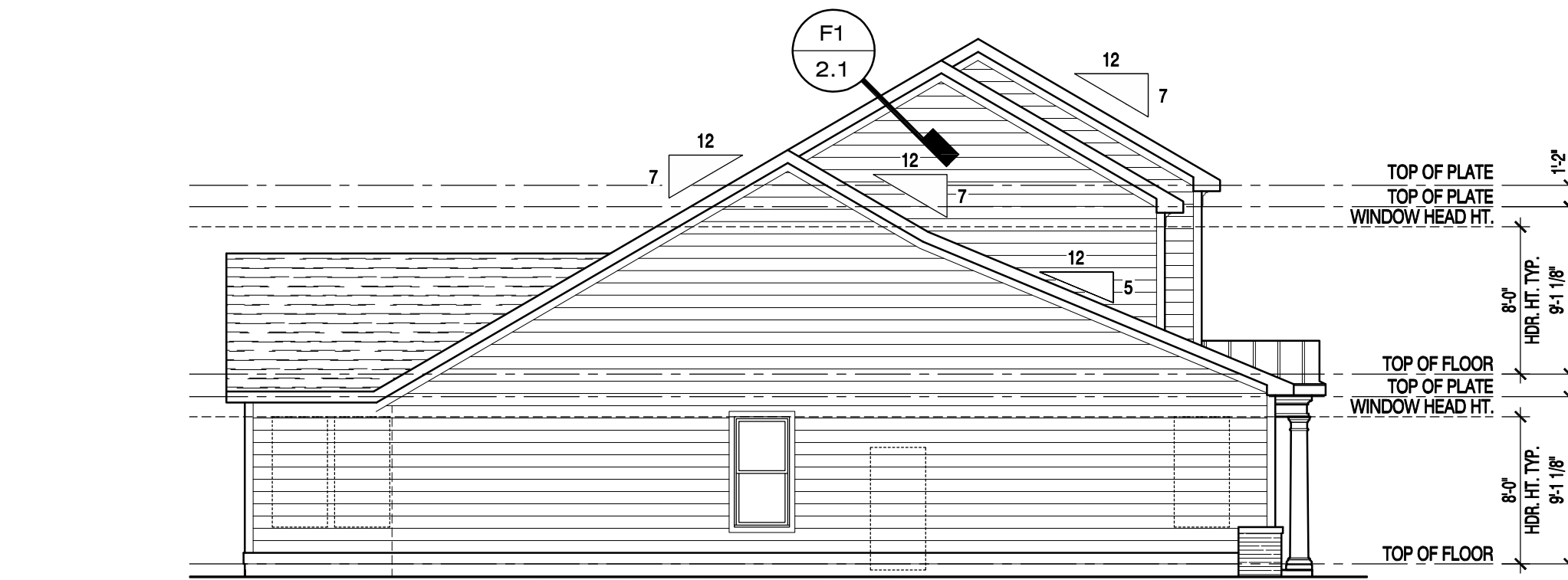
**NOTES:**

SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS



**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



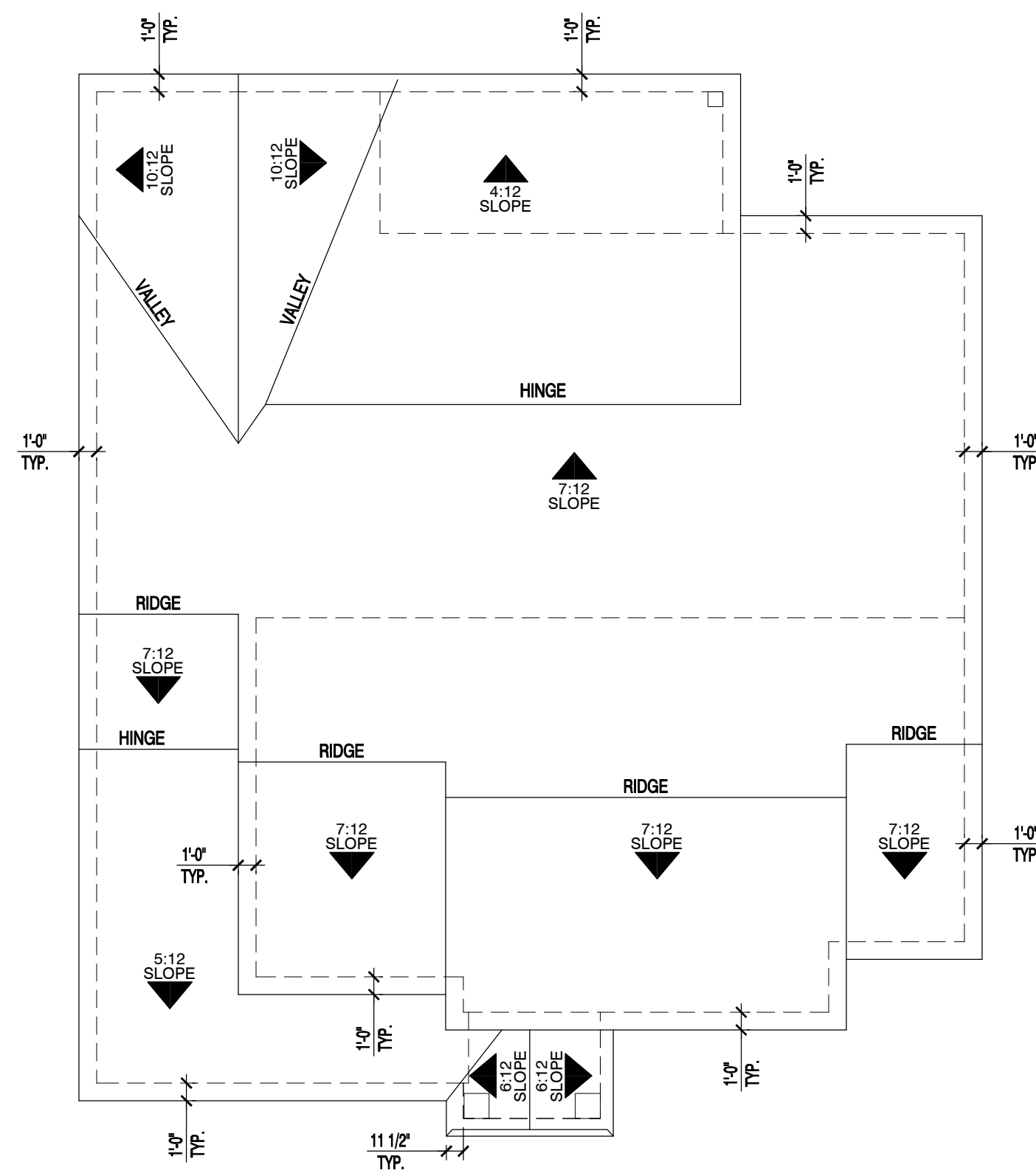
**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**REAR ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - GEORGIAN**

SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**Fieldstone**  
 MINNESOTA OFFICE: (612) 872-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 868-3310

**ELEVATION F - GEORGIAN**

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

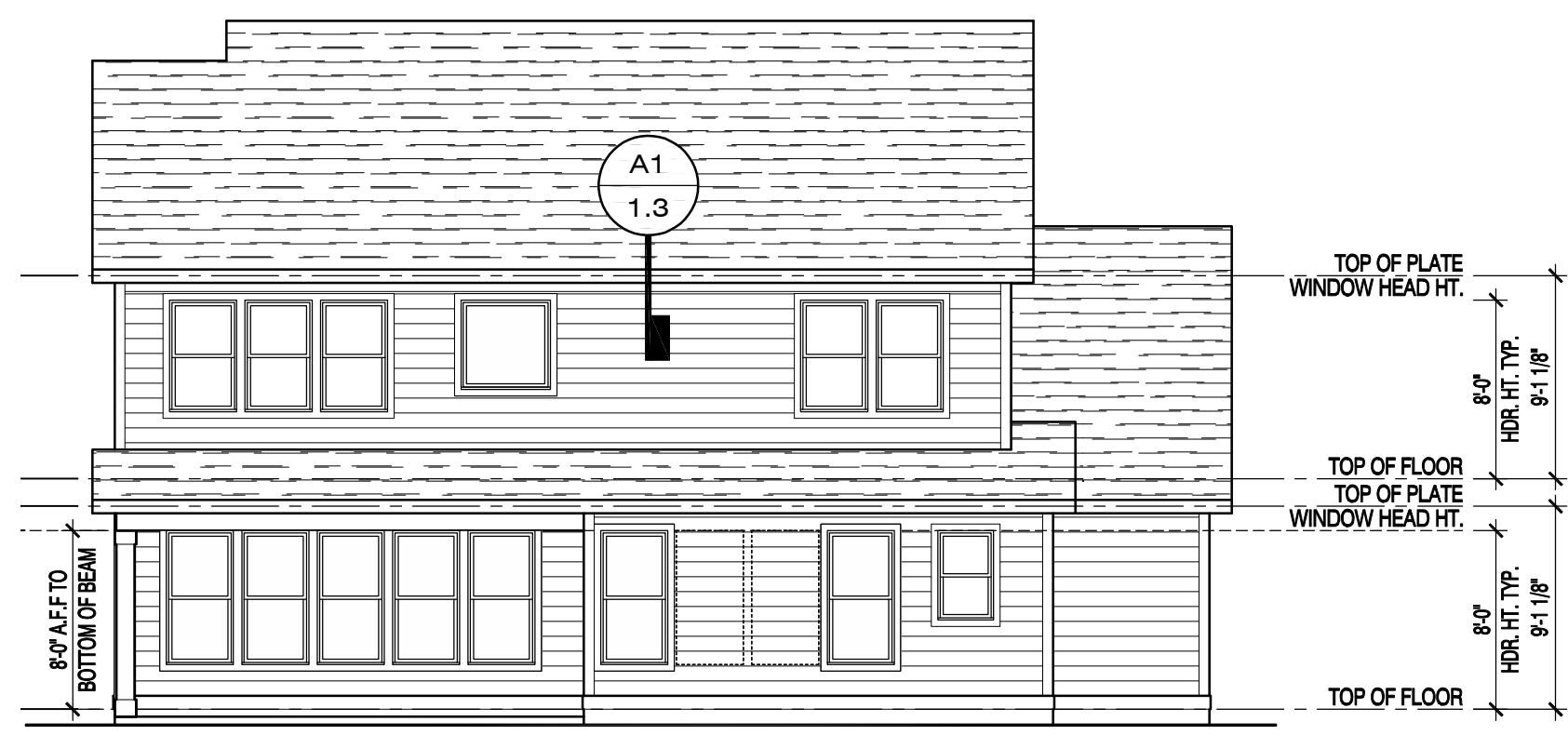
PLAN NUMBER  
**4903**

SHEET

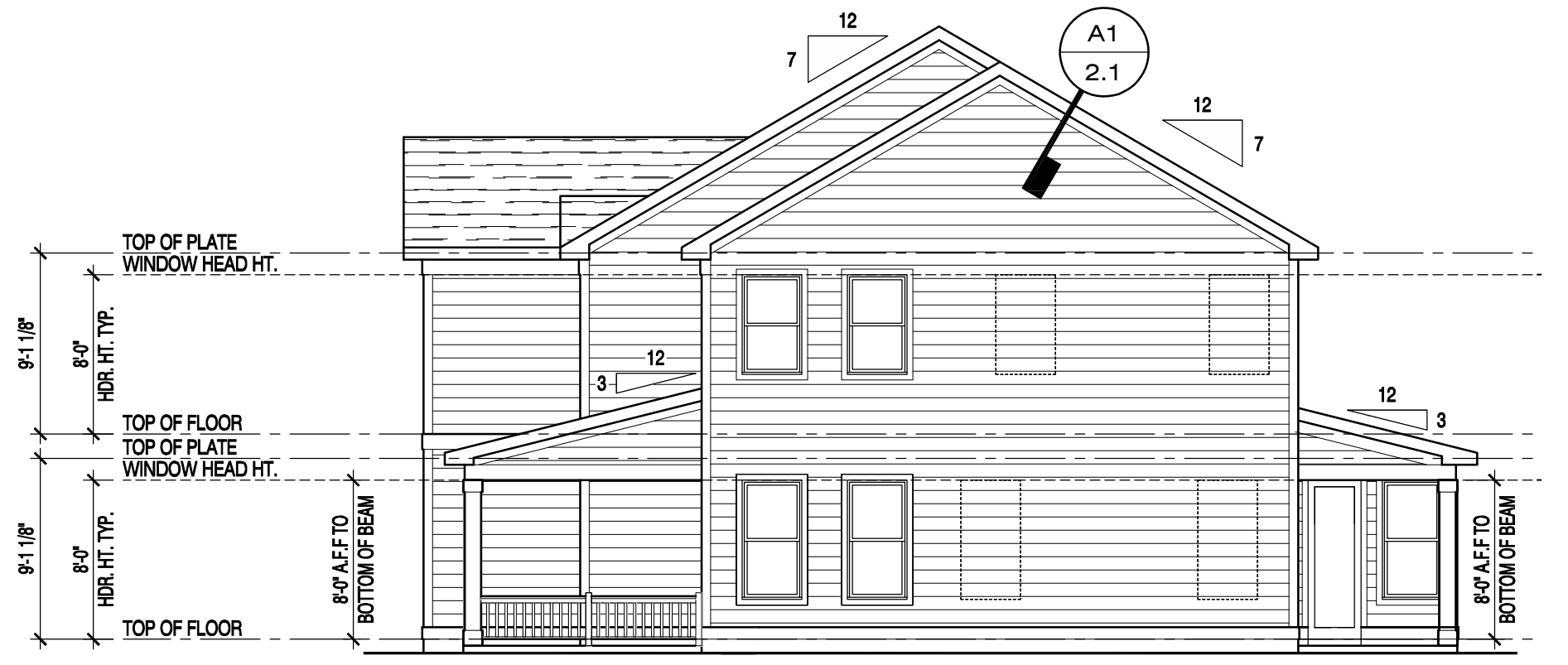
**A2.1F**



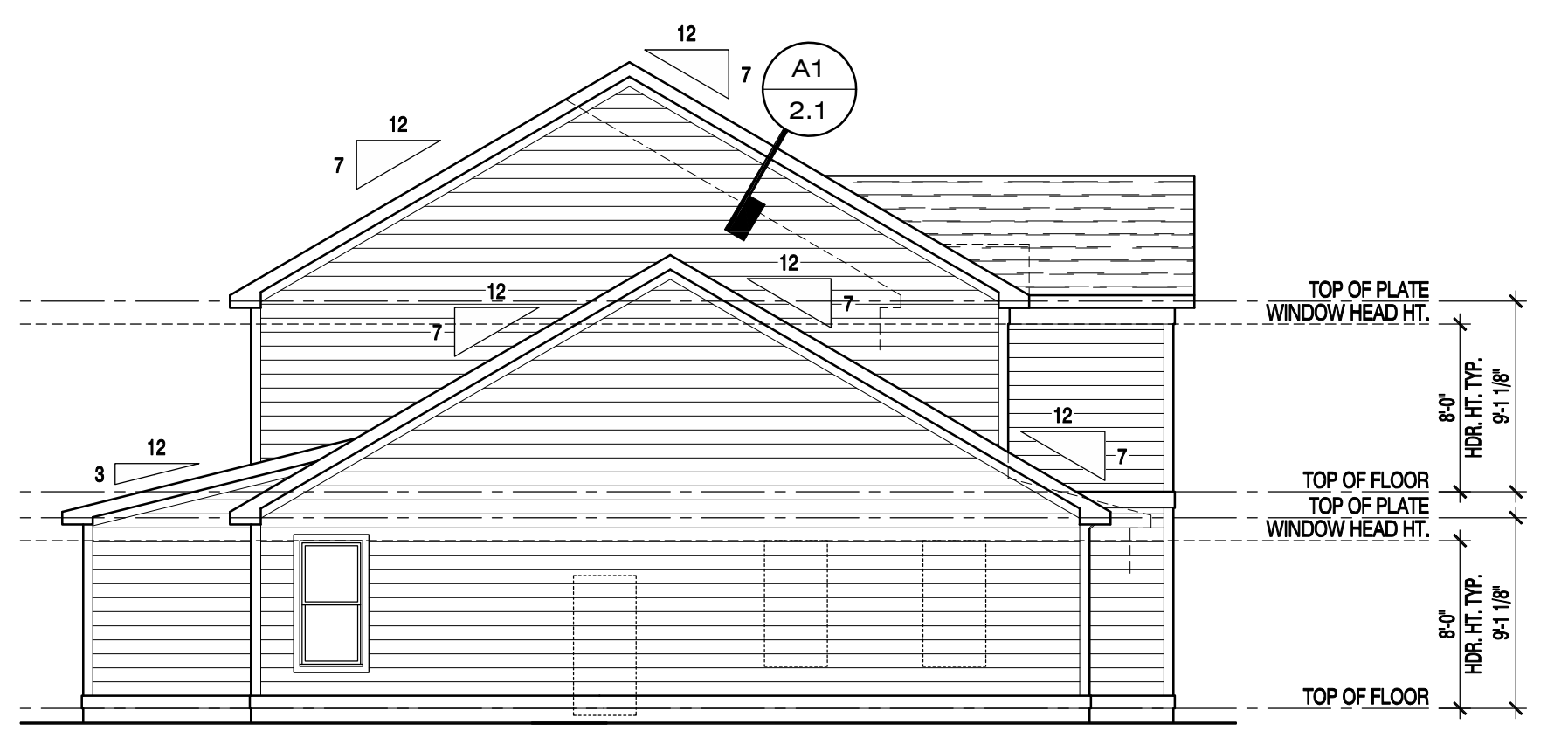
NOTES:  
 SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



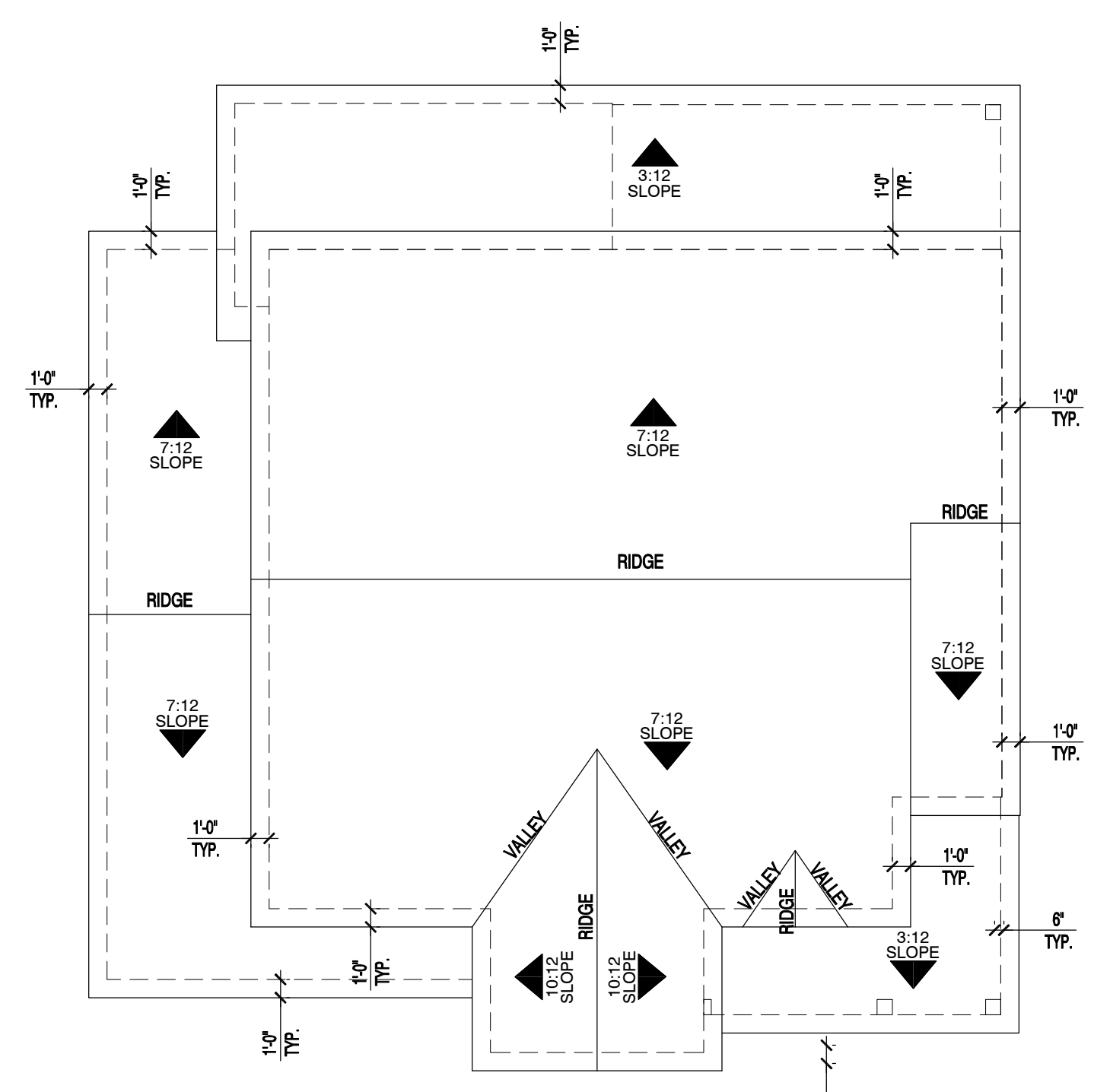
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



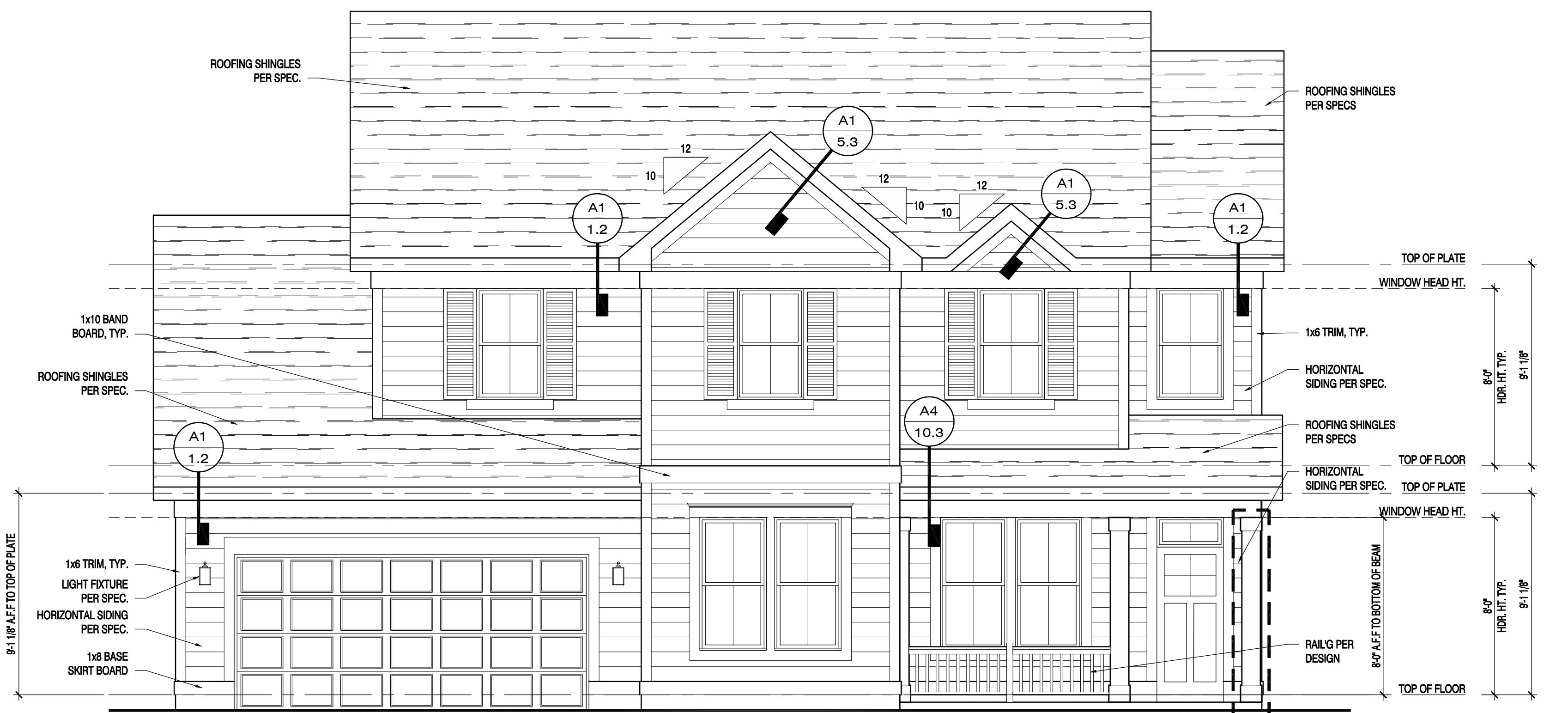
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 968-3010

**ELEVATION A -  
 UPCOUNTRY FARMHOUSE**

CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

**GARAGE HANDING**  
**LEFT**

**PLAN NUMBER**  
**4904**

**SHEET**  
**A2.1A**

PLOTTED: June 30, 2016 / Eric Peterson / A2.1A ELEVATION - ADWG

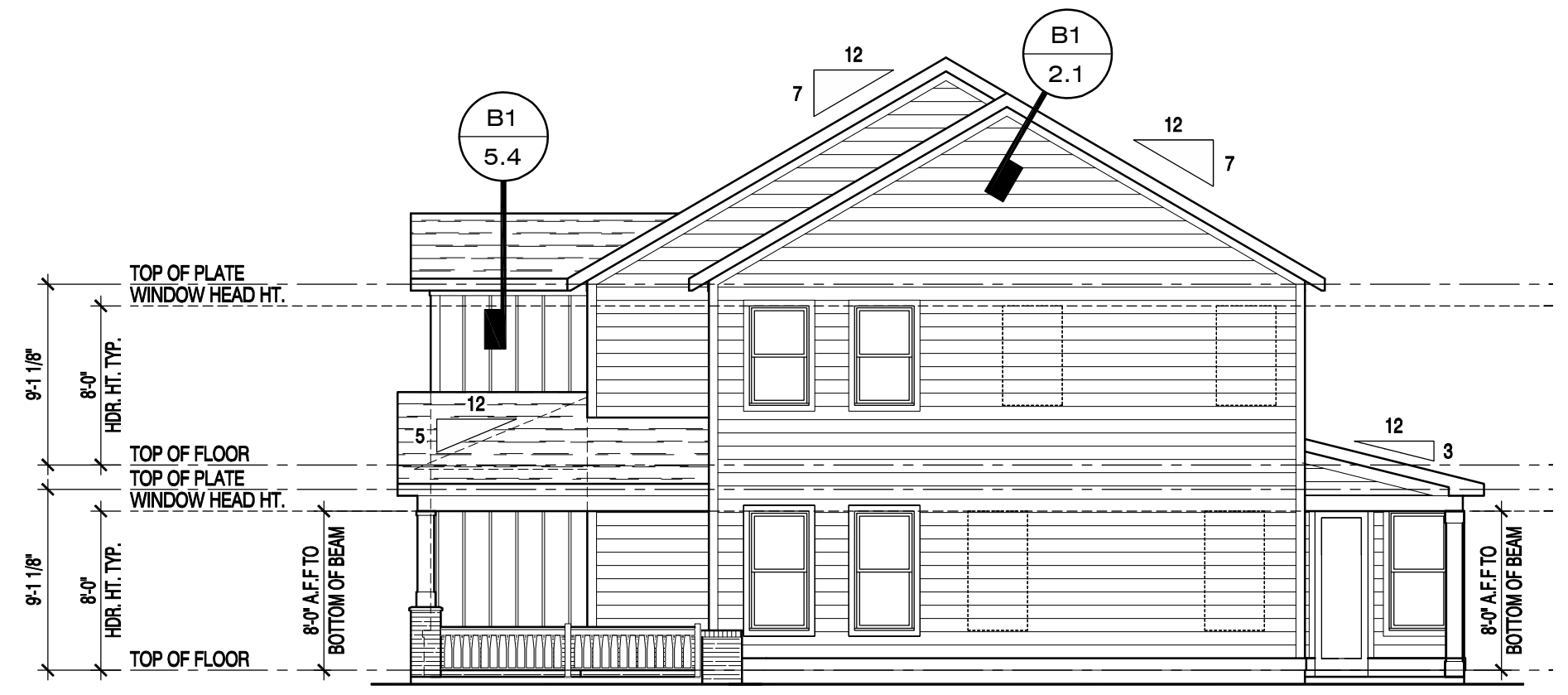
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

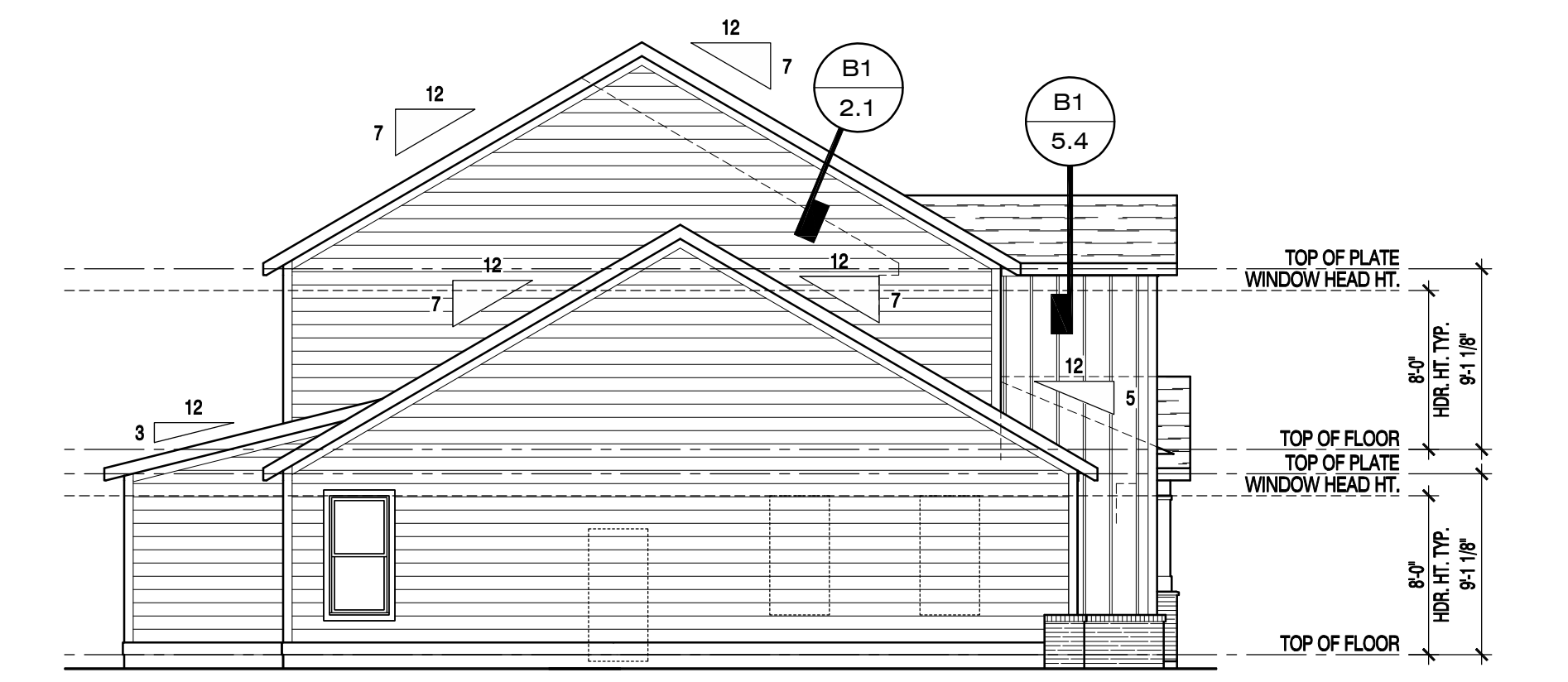
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



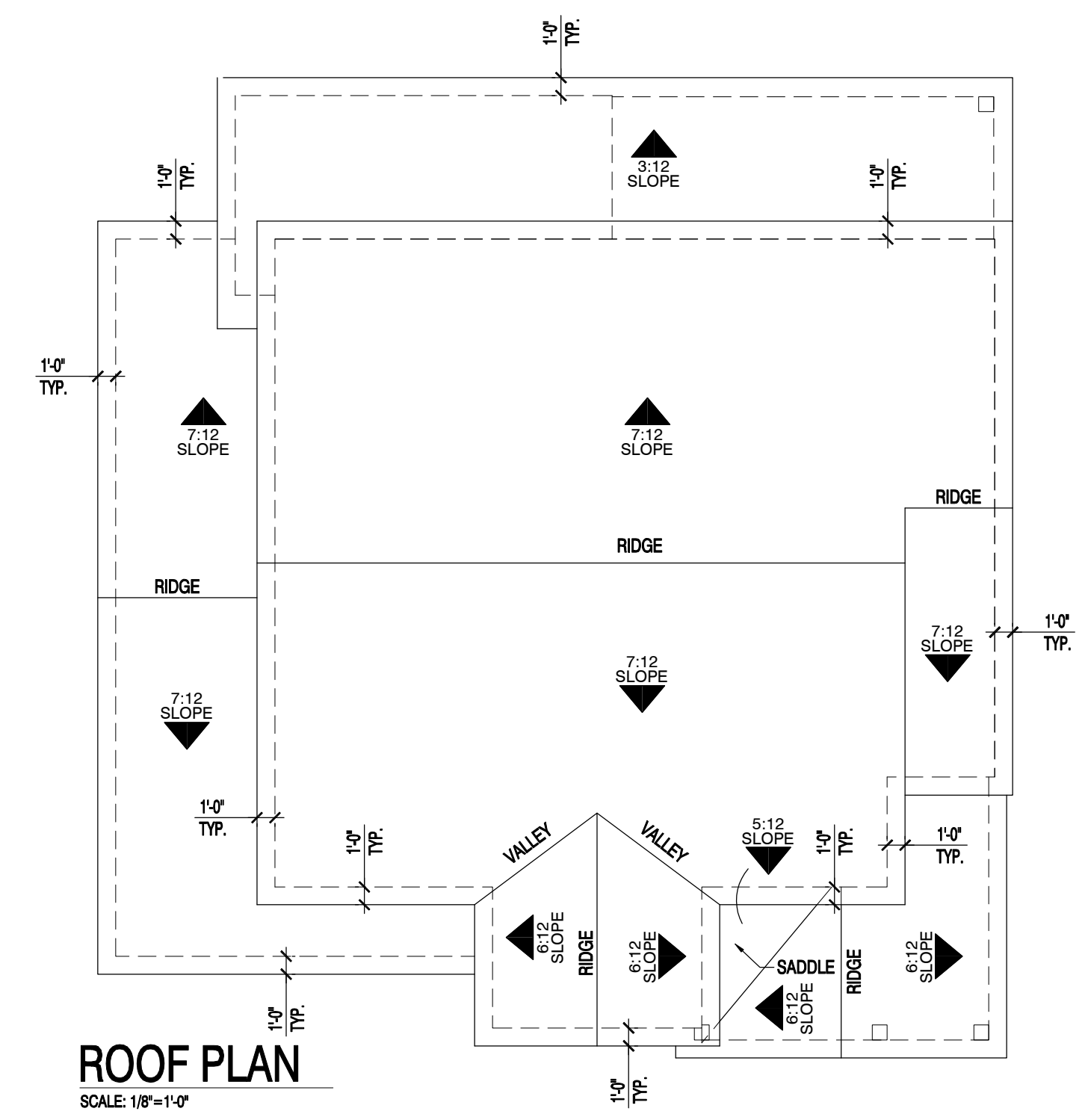
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



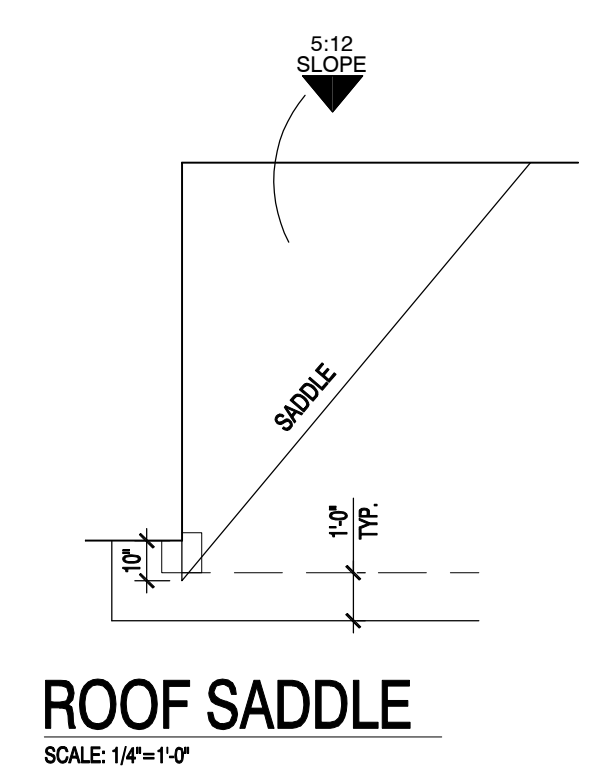
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



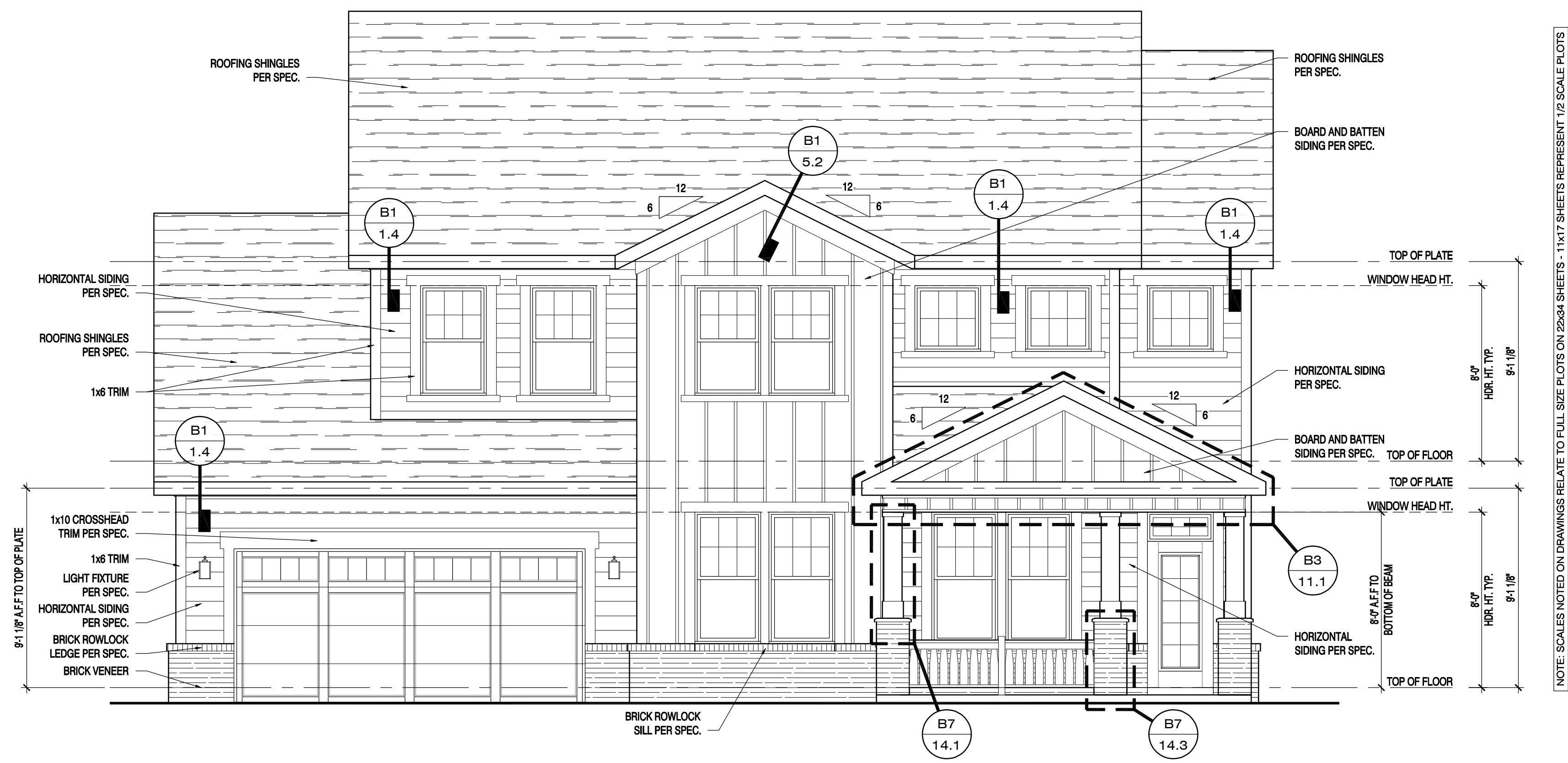
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**ROOF SADDLE**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**

**Fieldstone**

MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION B - PLANK COTTAGE**

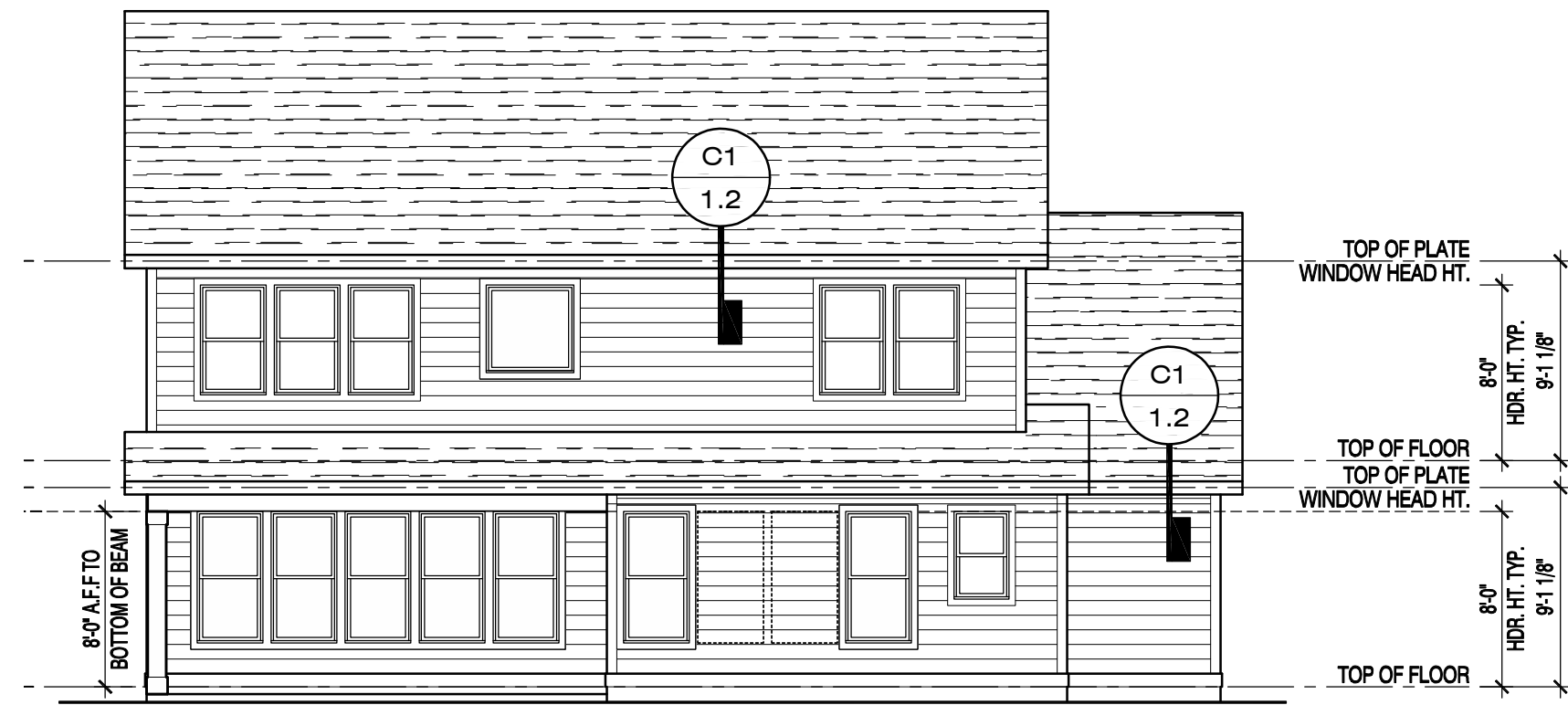
CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4904**

SHEET  
**A2.1B**

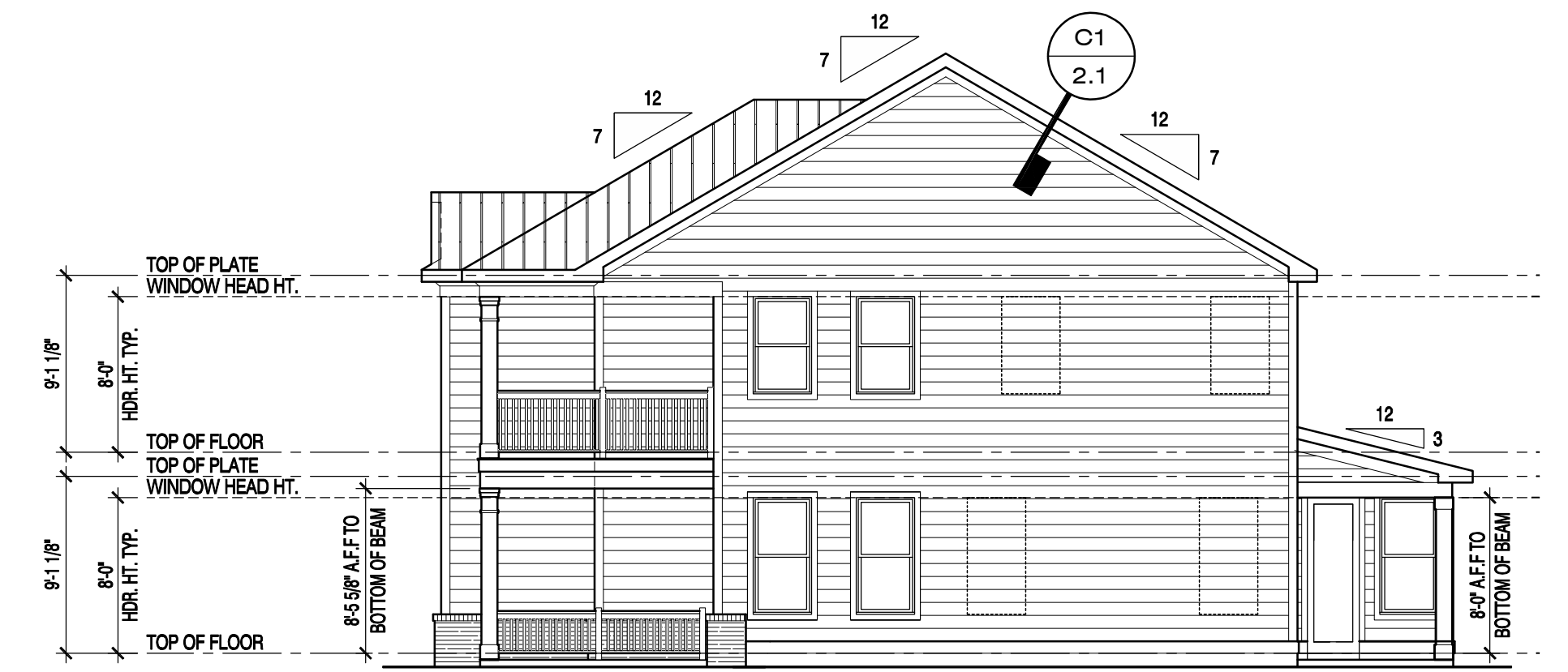
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



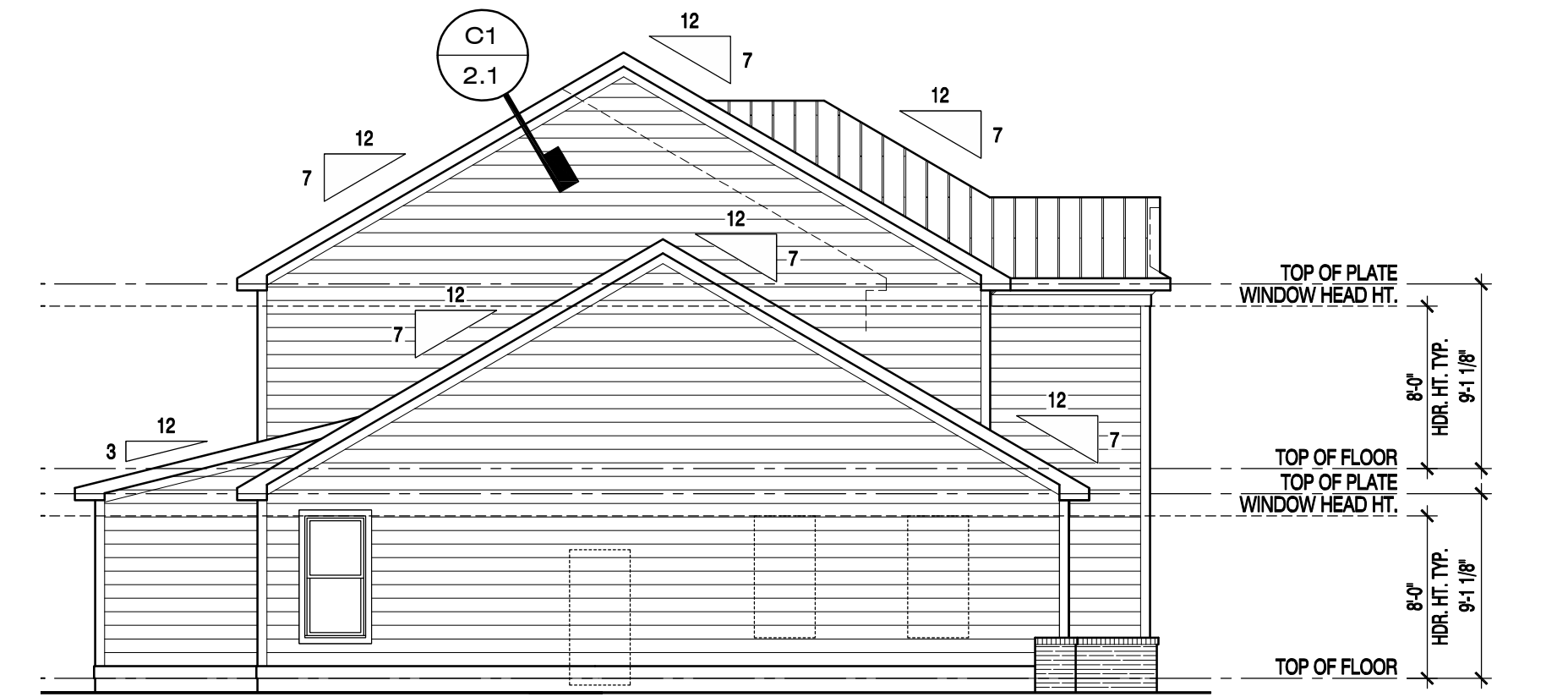
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"

**NOTES:**

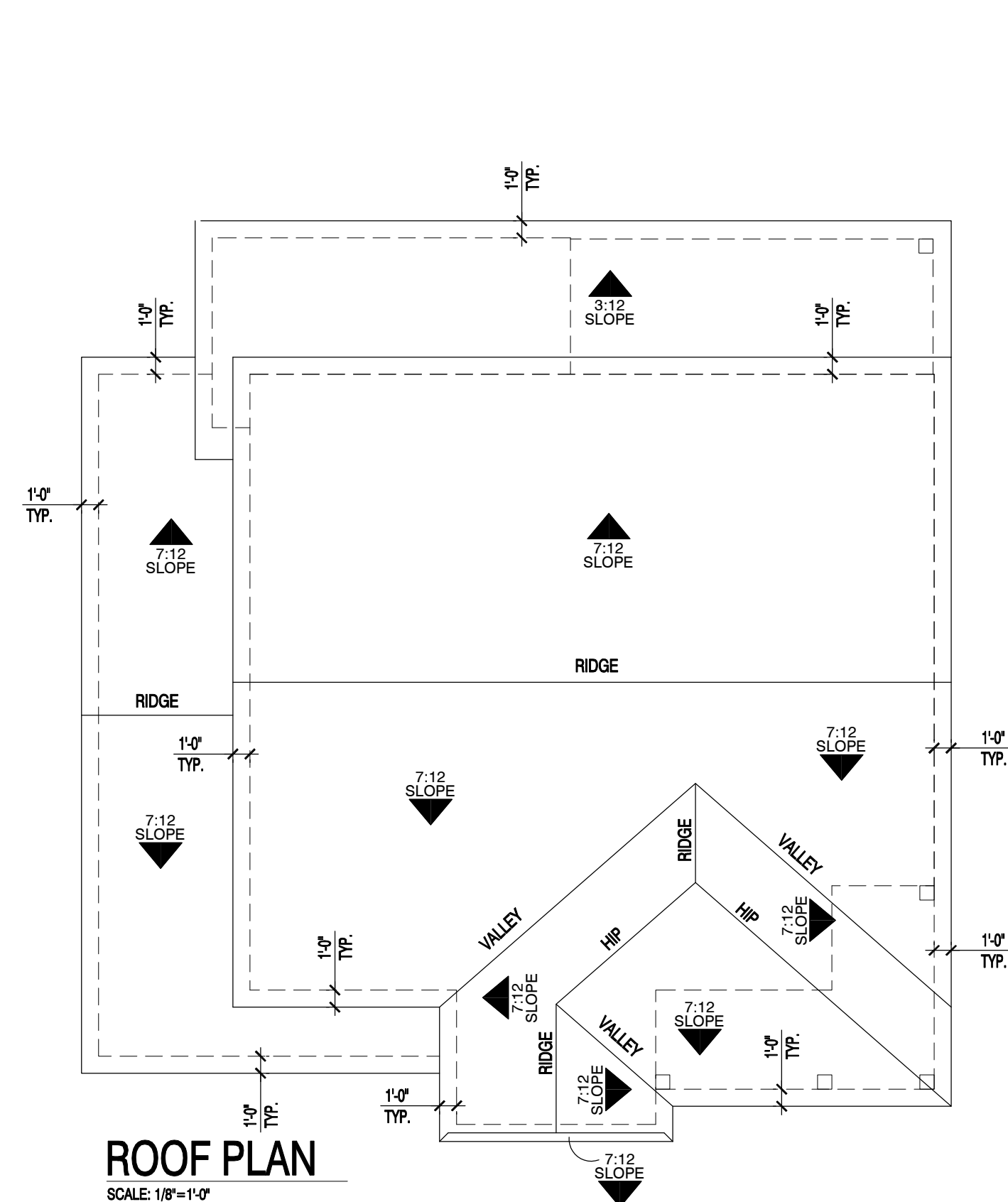
SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
AND GARAGE DOOR TRIM DETAILS



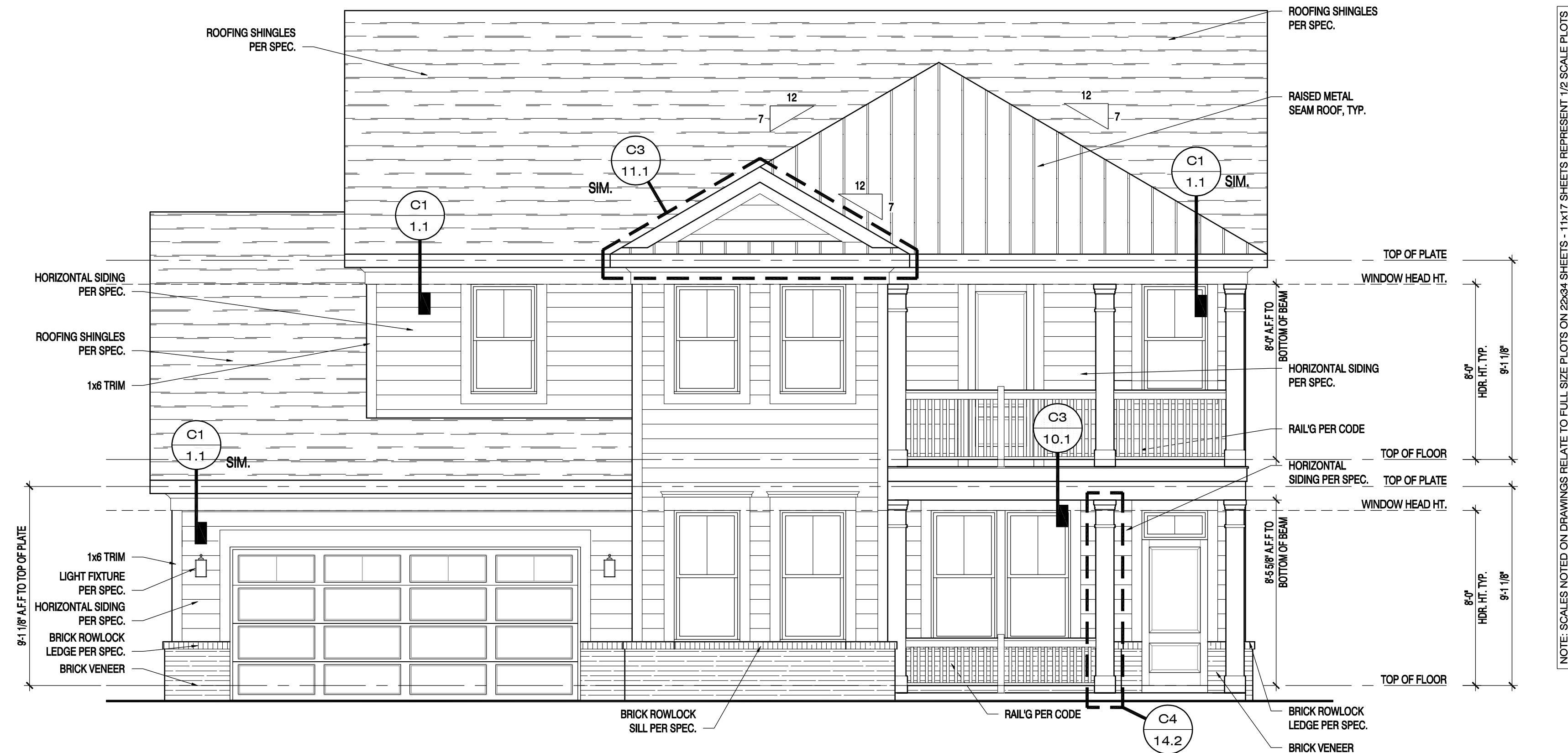
**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
SCALE: 1/4"=1'-0"

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

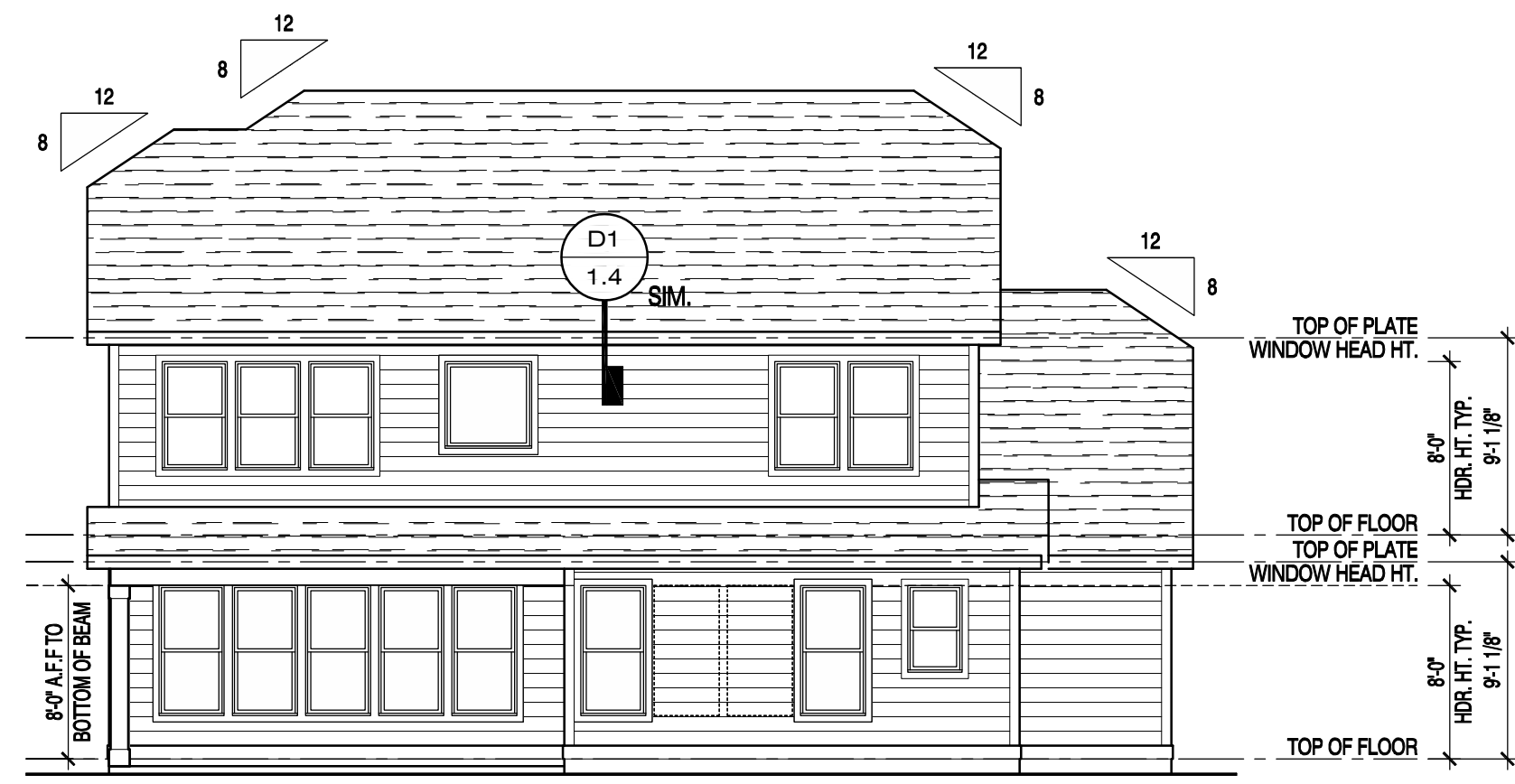
PLAN NUMBER  
**4904**

SHEET  
**A2.1C**

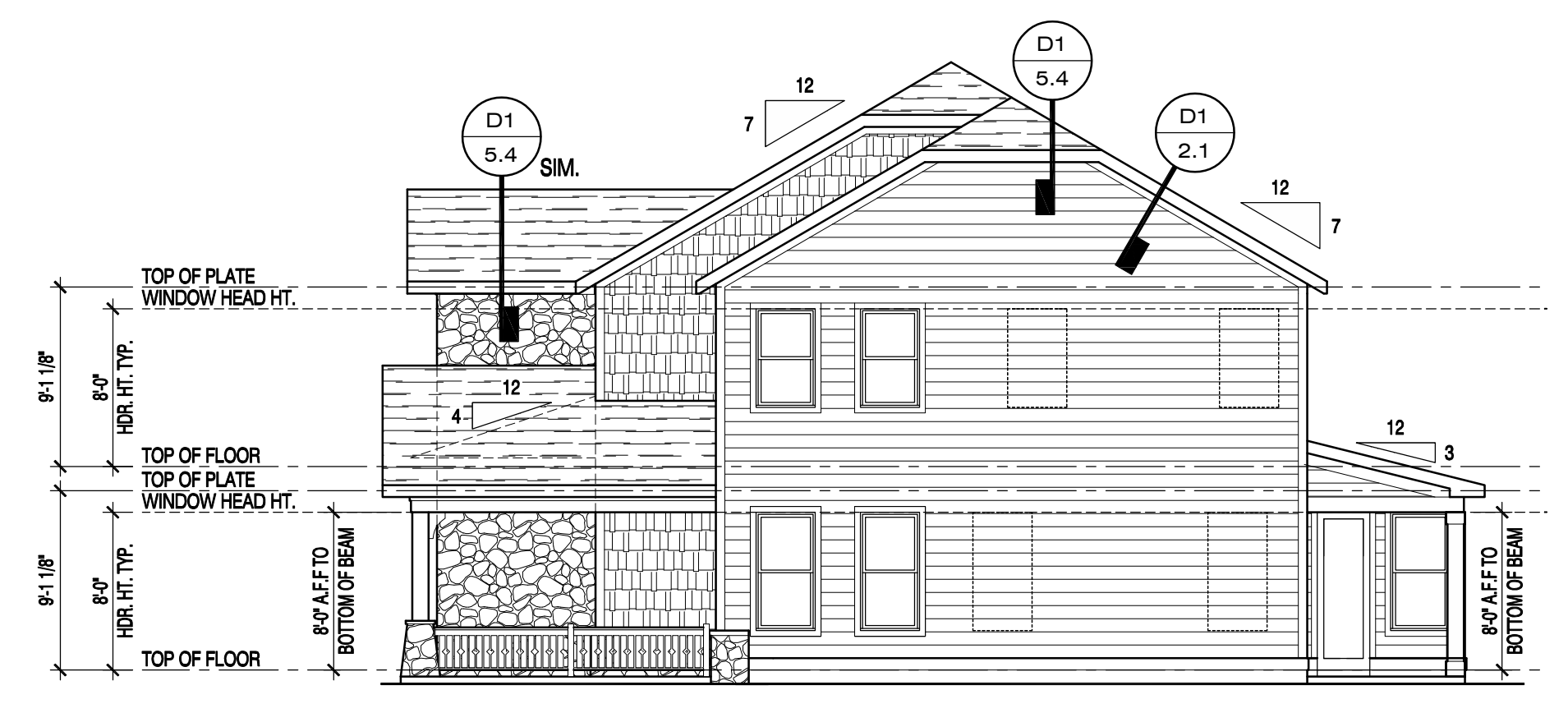
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



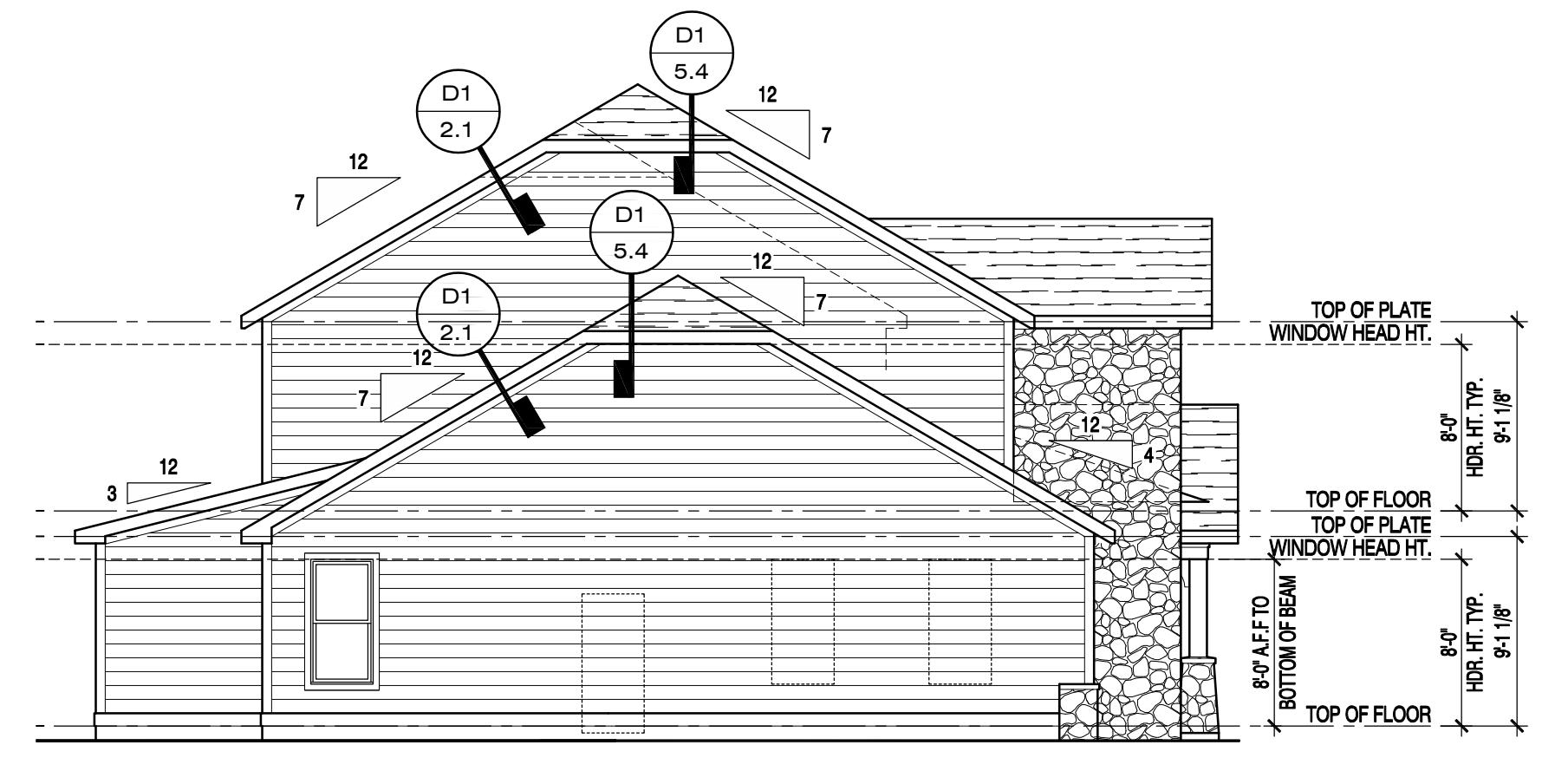
**NOTES:**  
 SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS



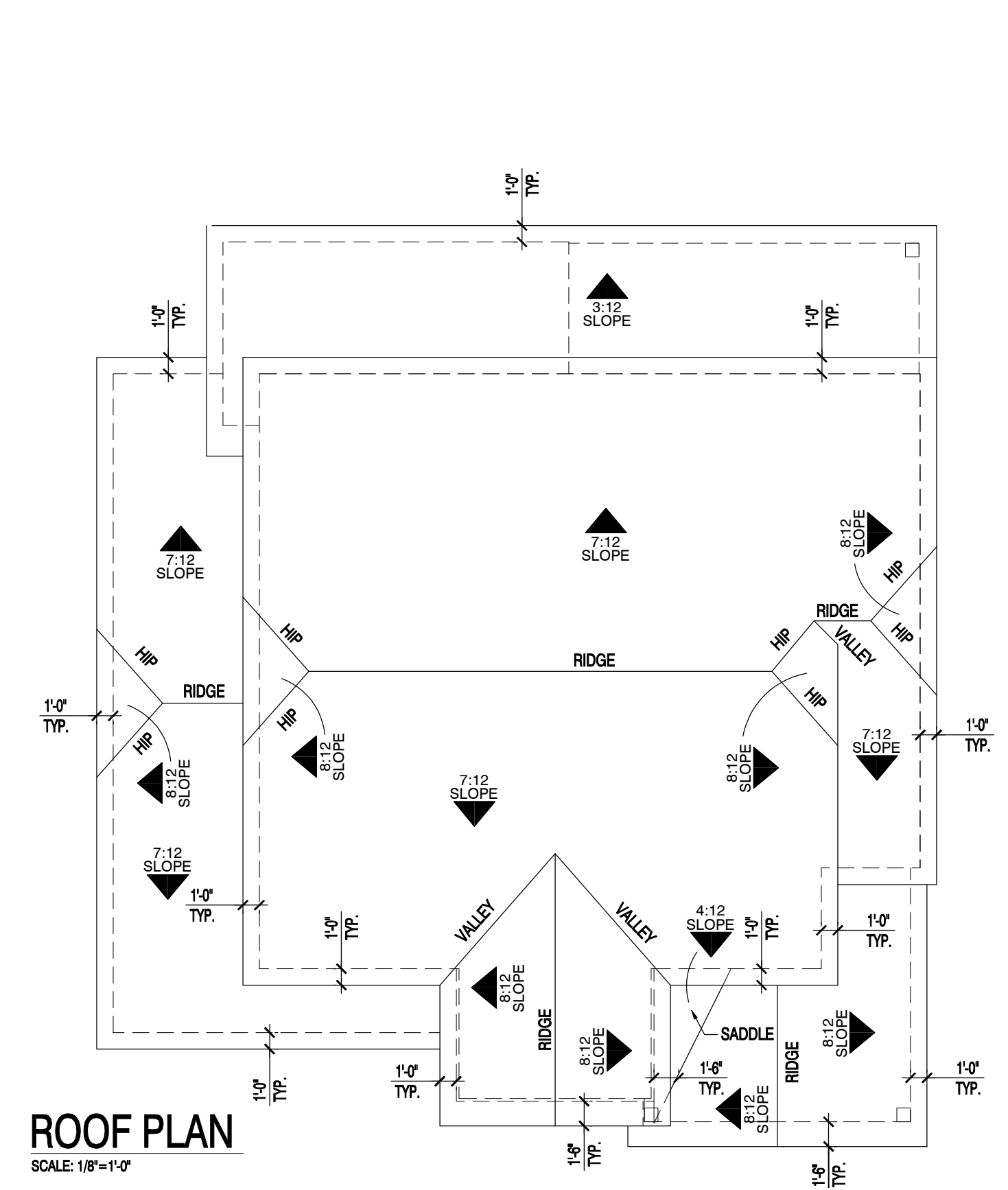
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



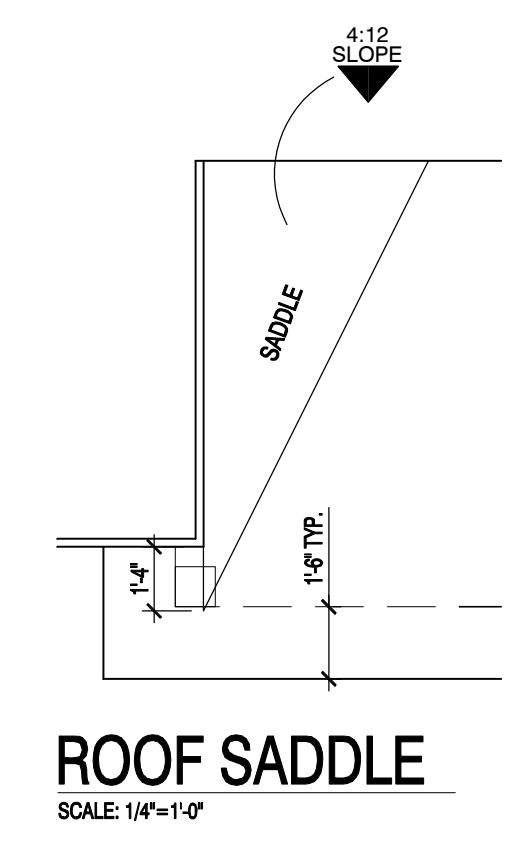
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



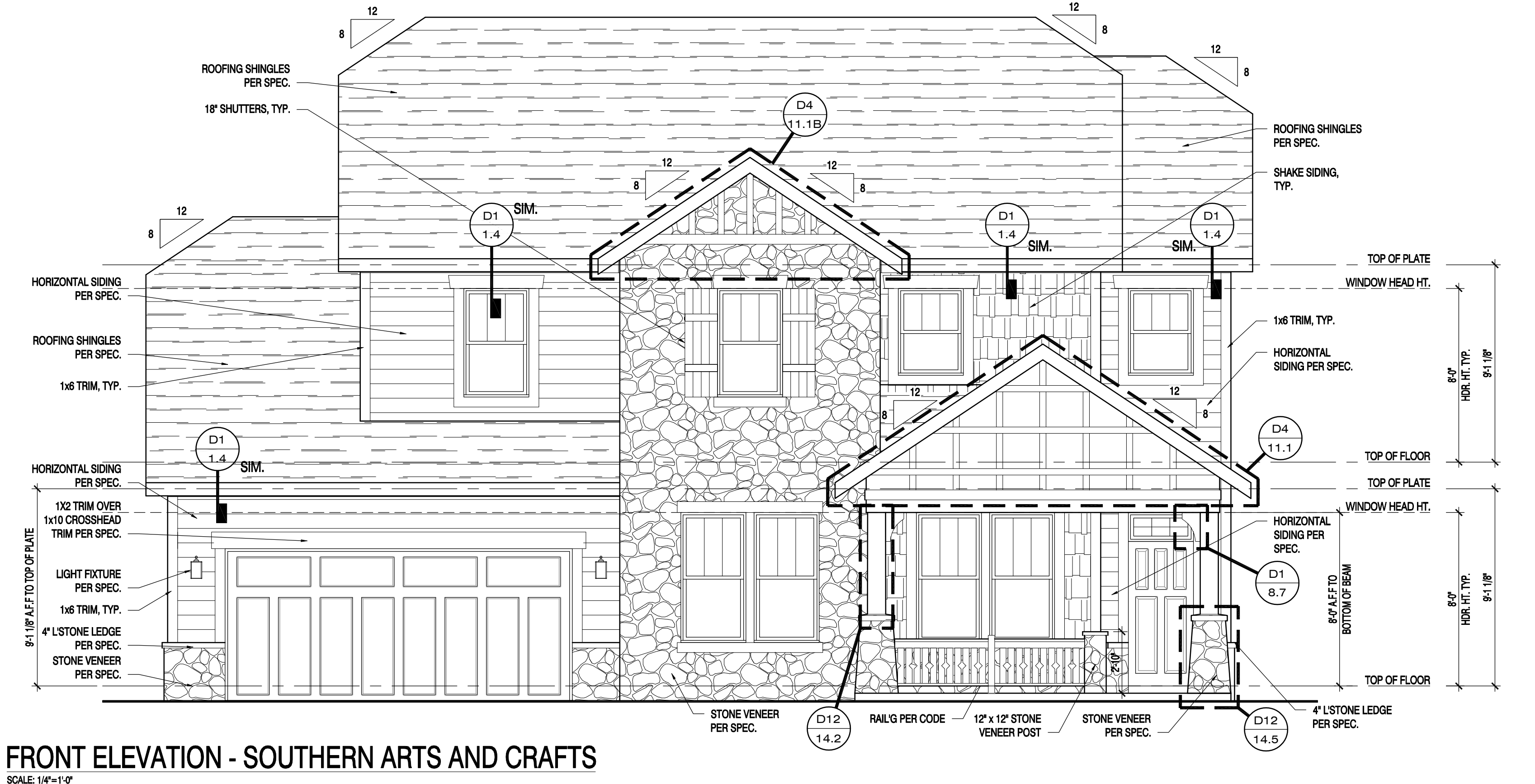
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**ROOF SADDLE**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS AND CRAFTS**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

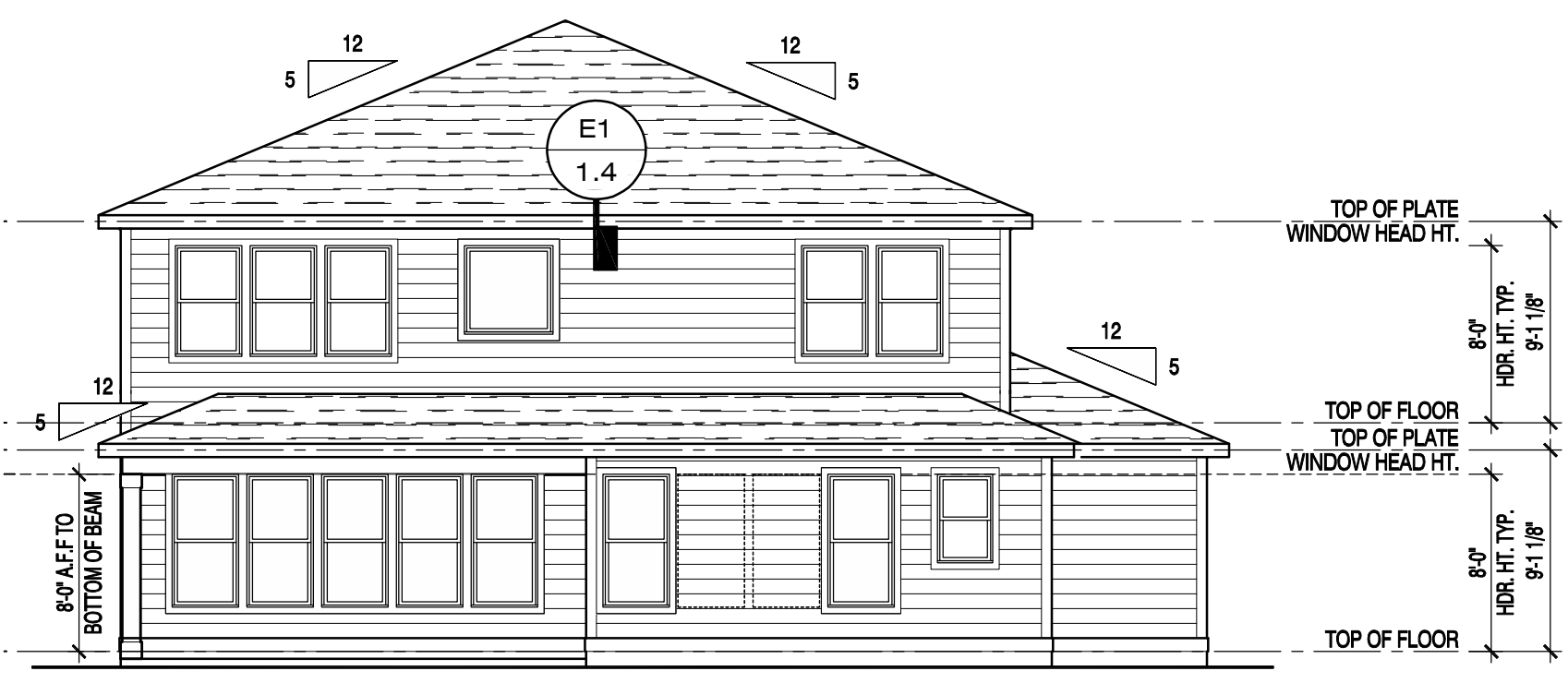
PLAN NUMBER  
**4904**

SHEET  
**A2.1D**

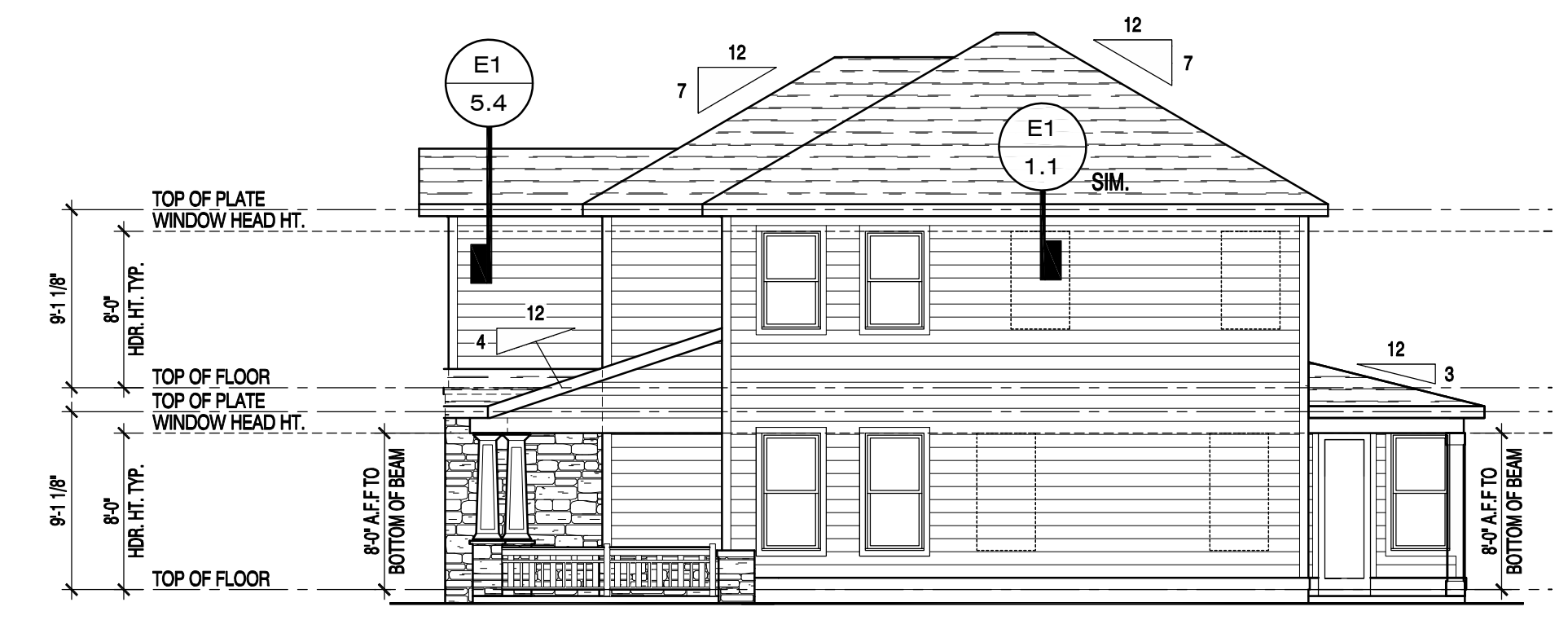
PLOTTED: June 30, 2016 / Eric Peterson / A2.1D ELEVATION - D.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

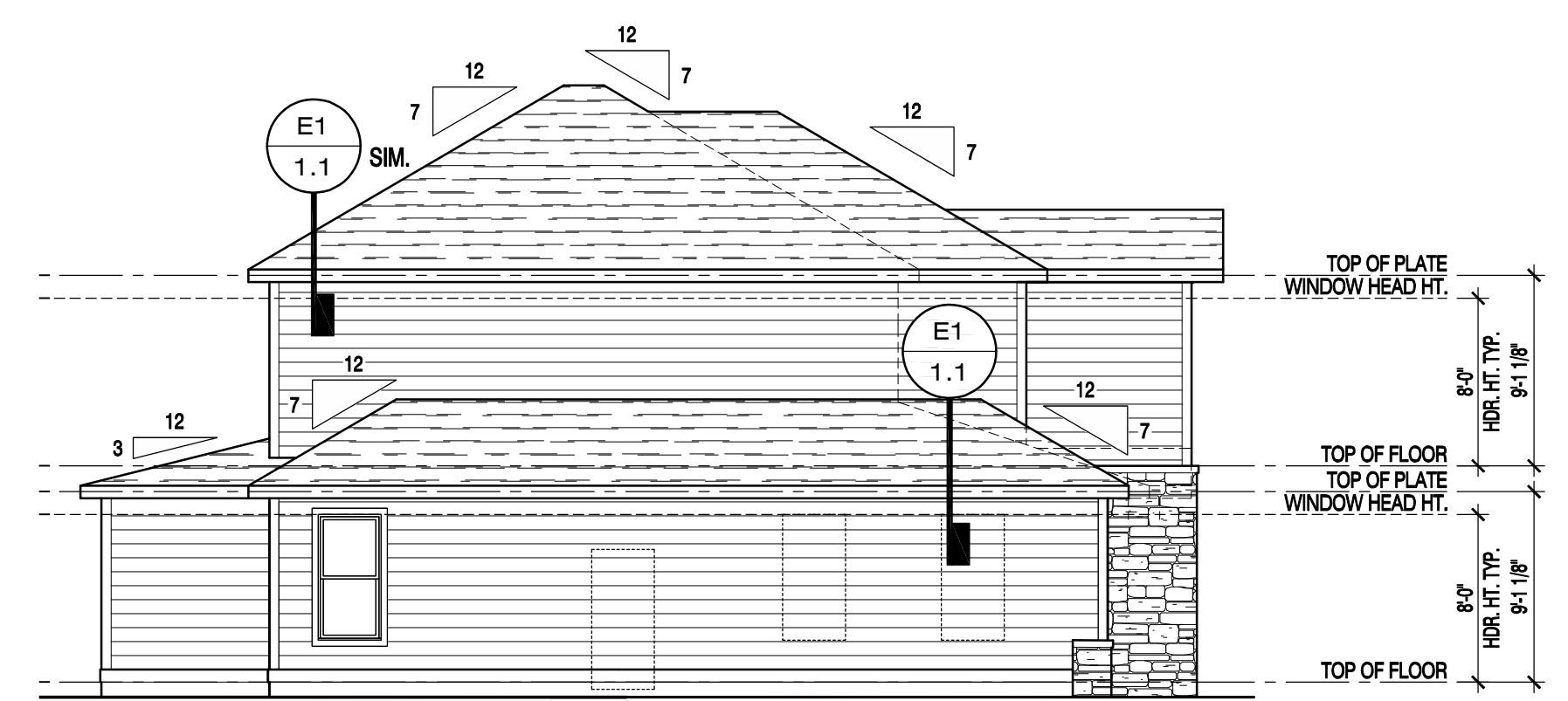
NOTES:  
 SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E5 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



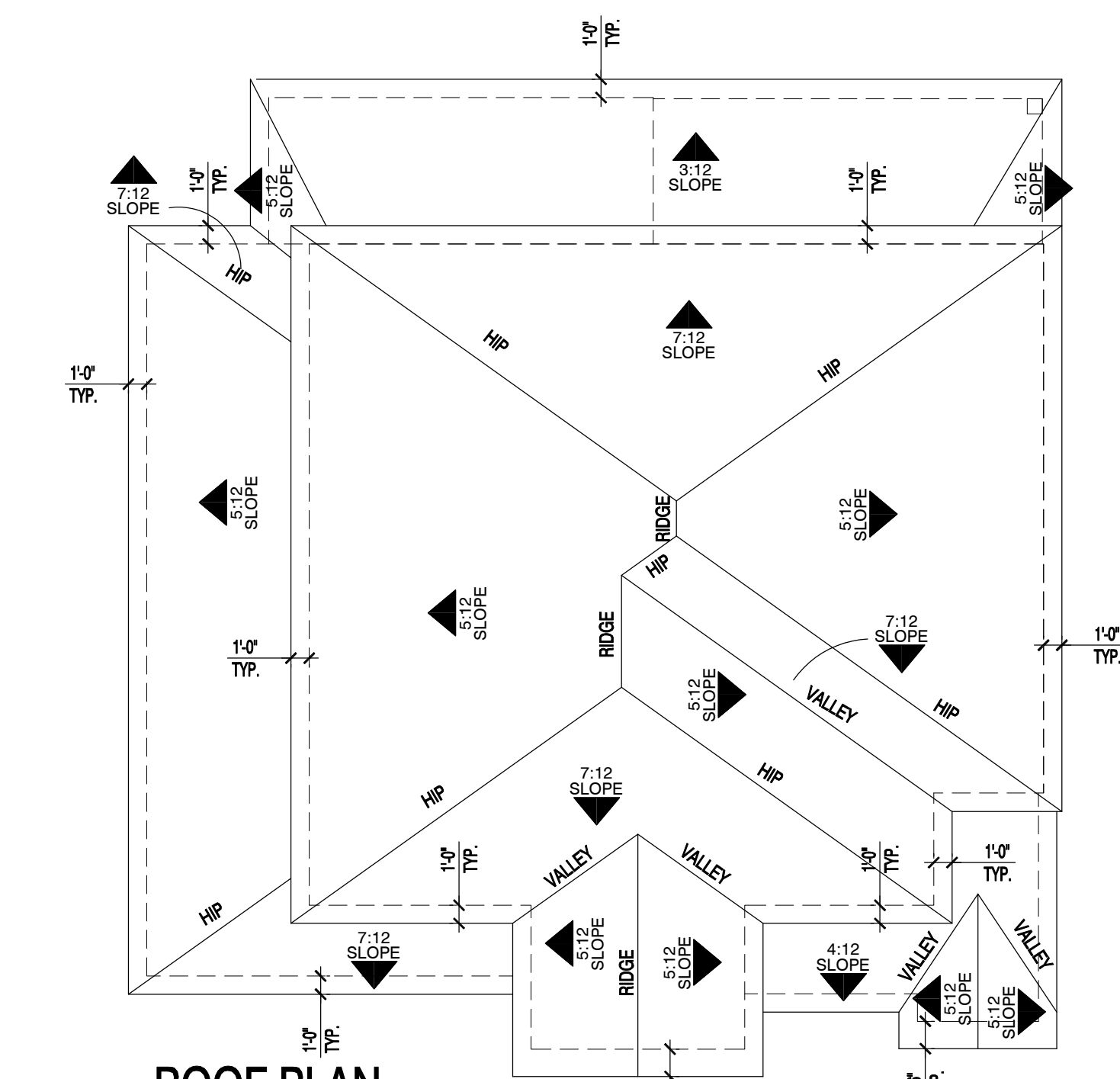
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



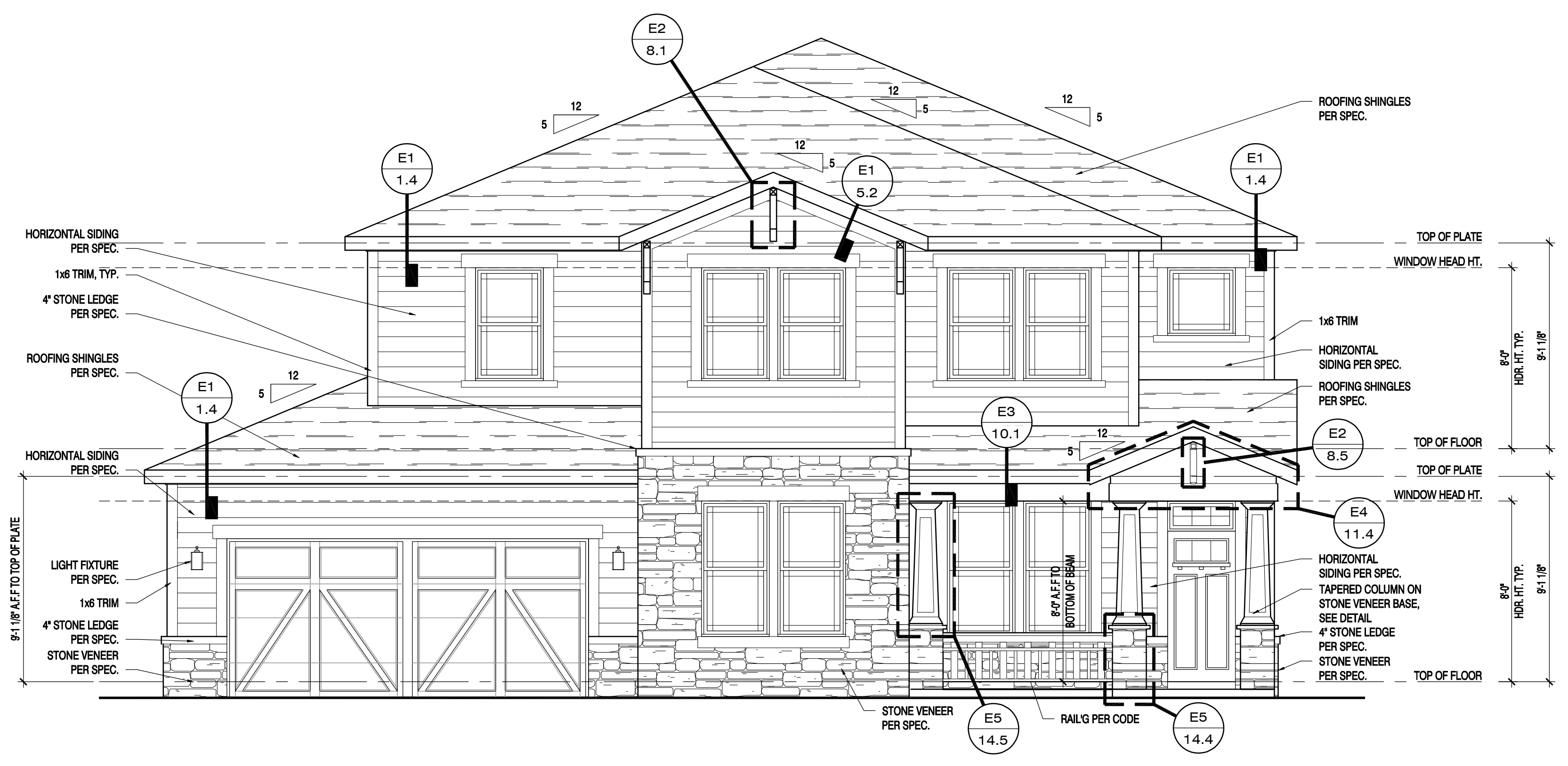
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION E - CRAFTSMAN**

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4904**

SHEET  
**A2.1E**

PLOTTED: June 30, 2016 / Eric Peterson / A2.1E ELEVATION - EDWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

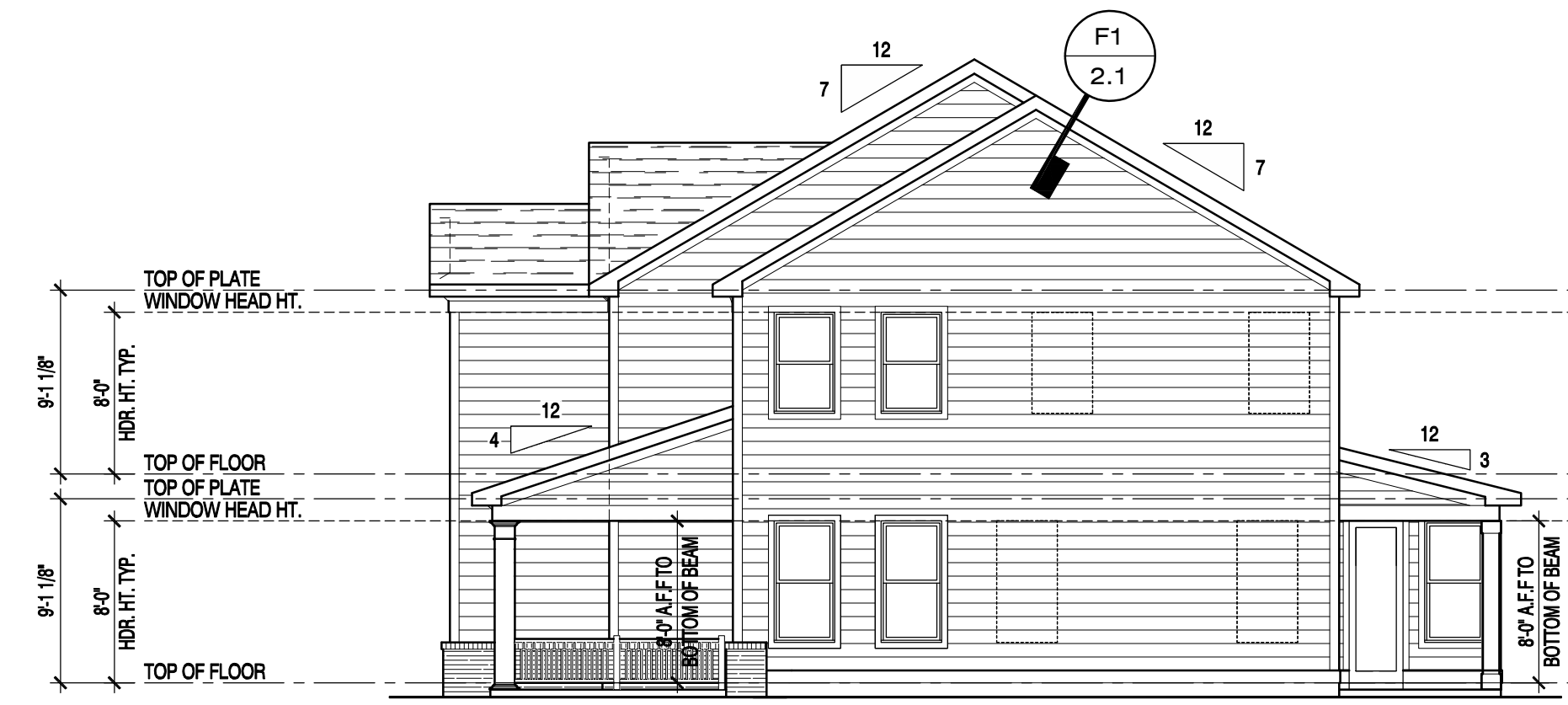
**NOTES:**

SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



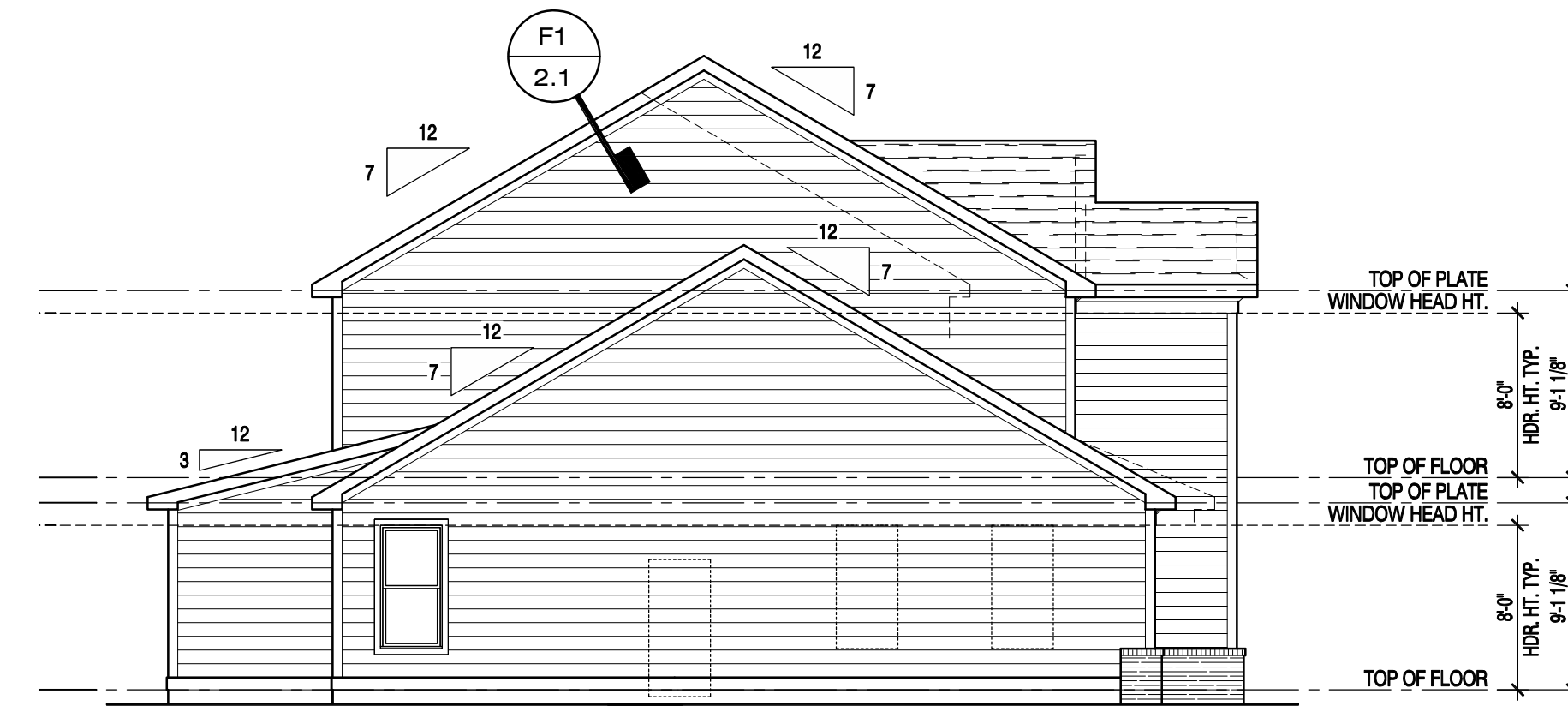
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



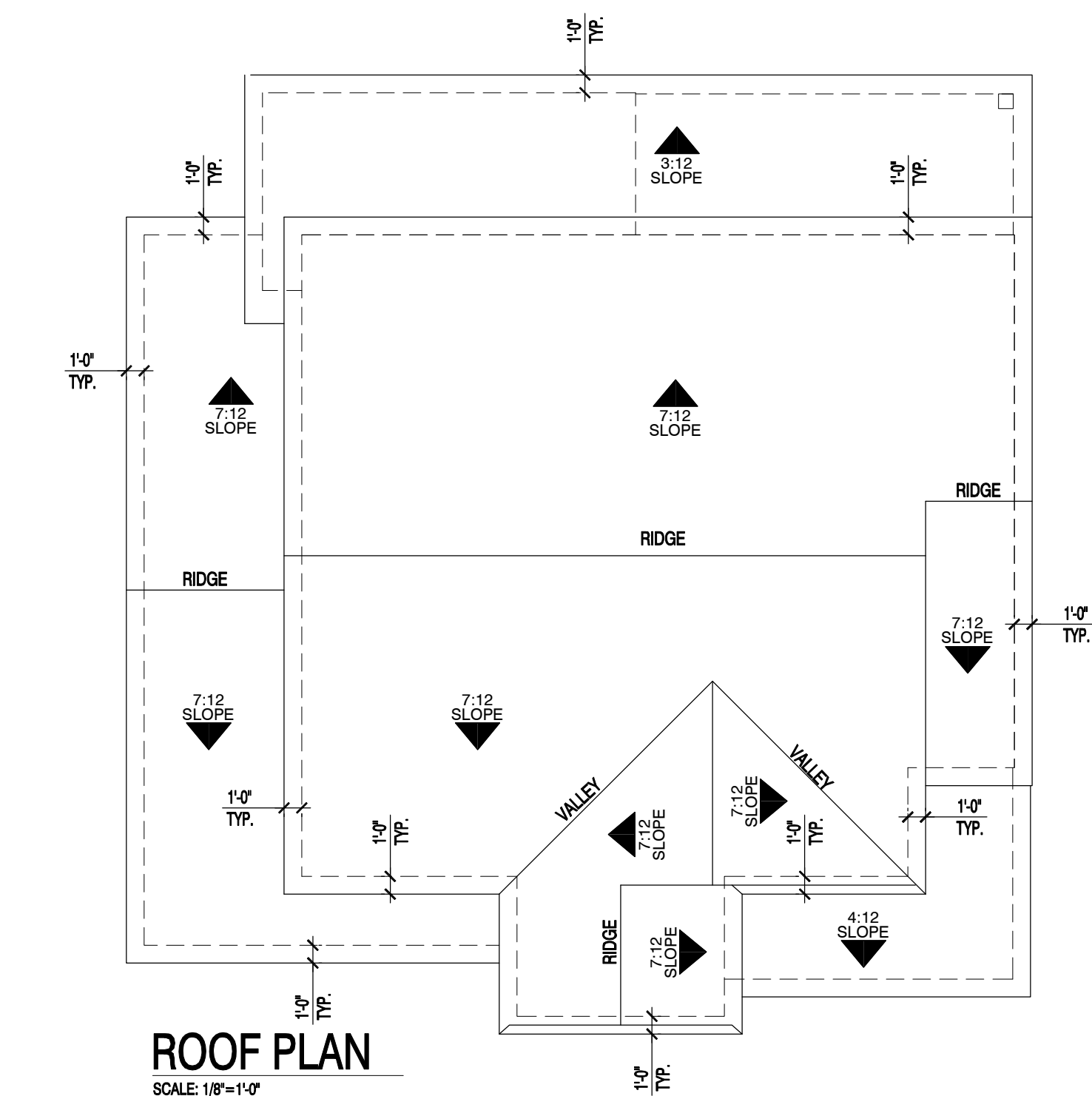
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - GEORGIAN**

SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION F - GEORGIAN**

CONTROL	RELEASE DATE:	06-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4904**

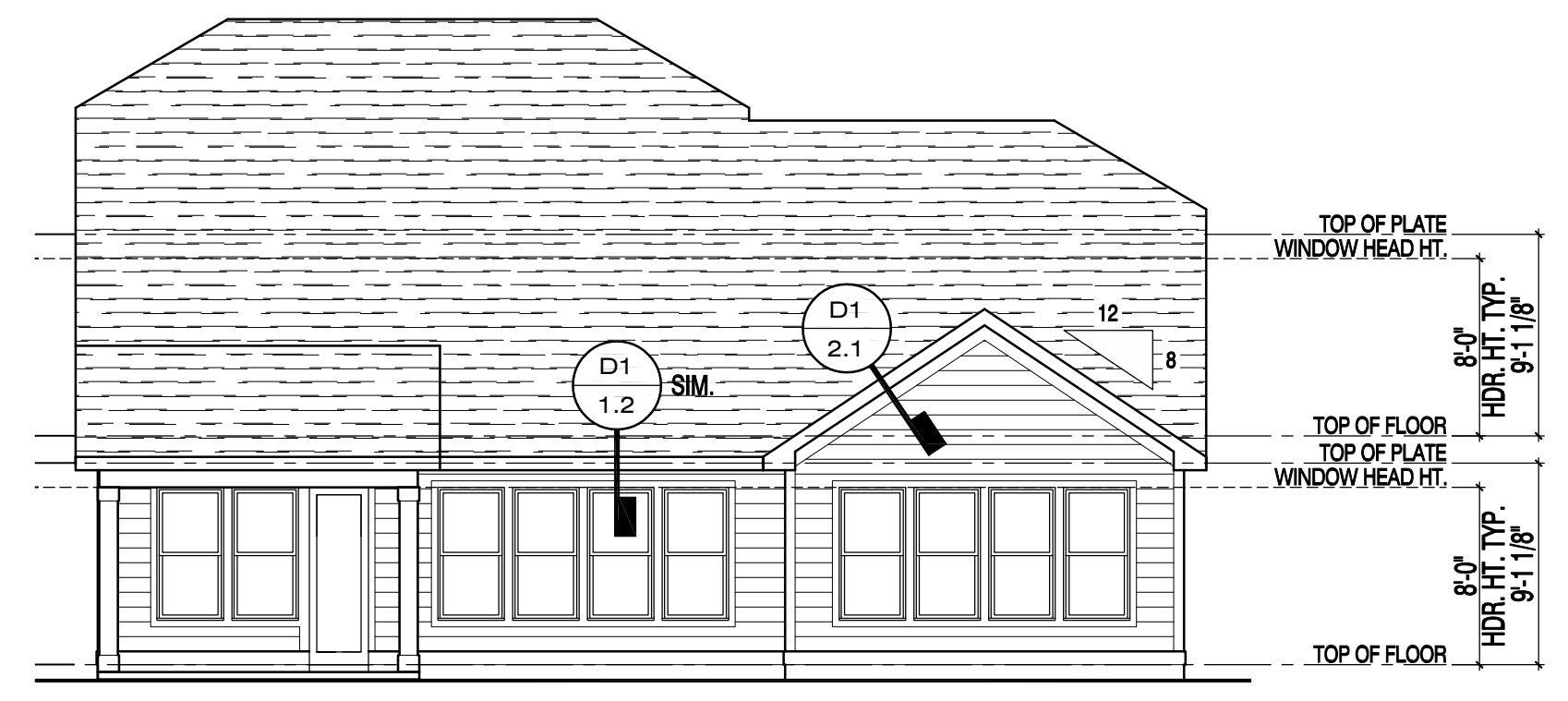
SHEET  
**A2.1F**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

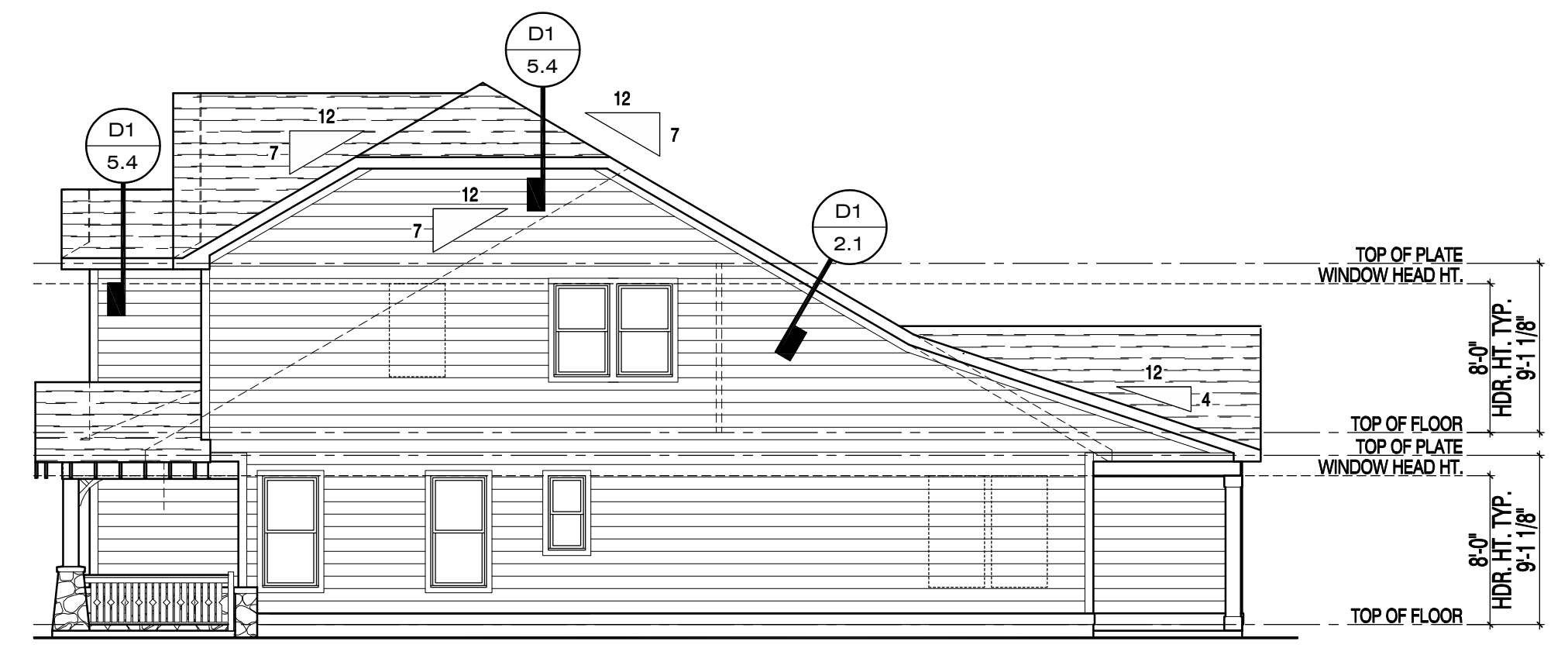


**NOTES:**

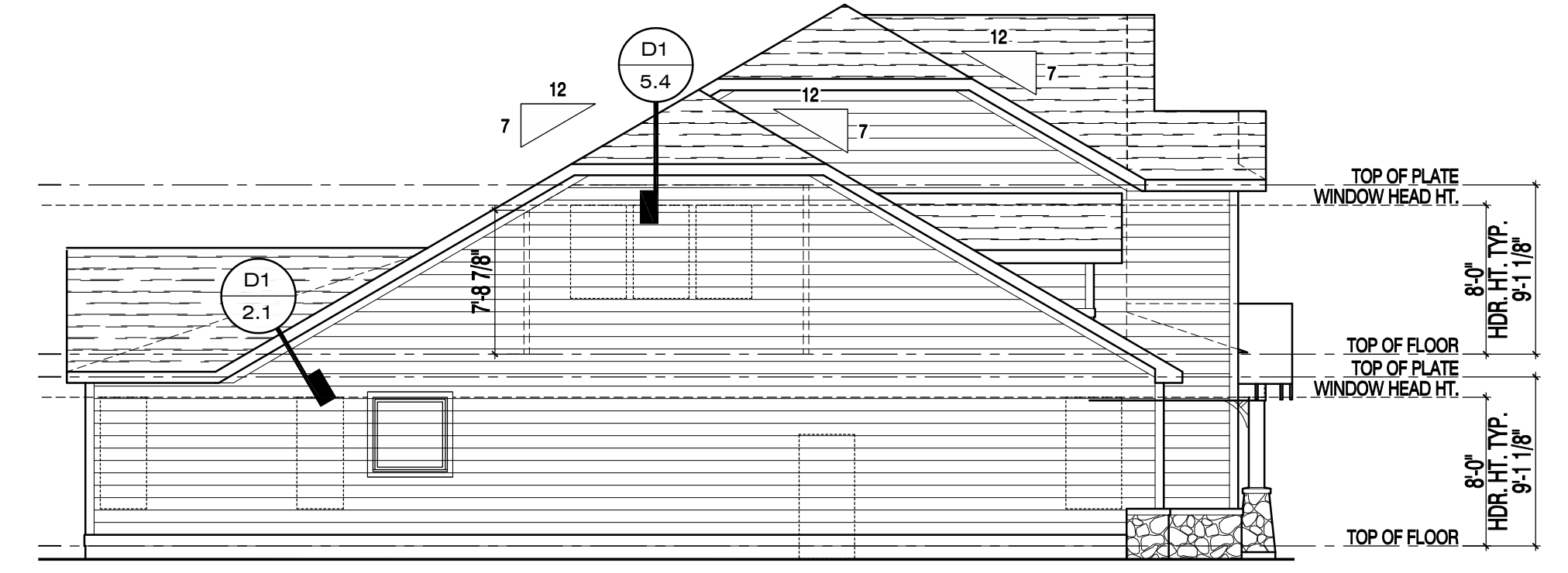
SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS



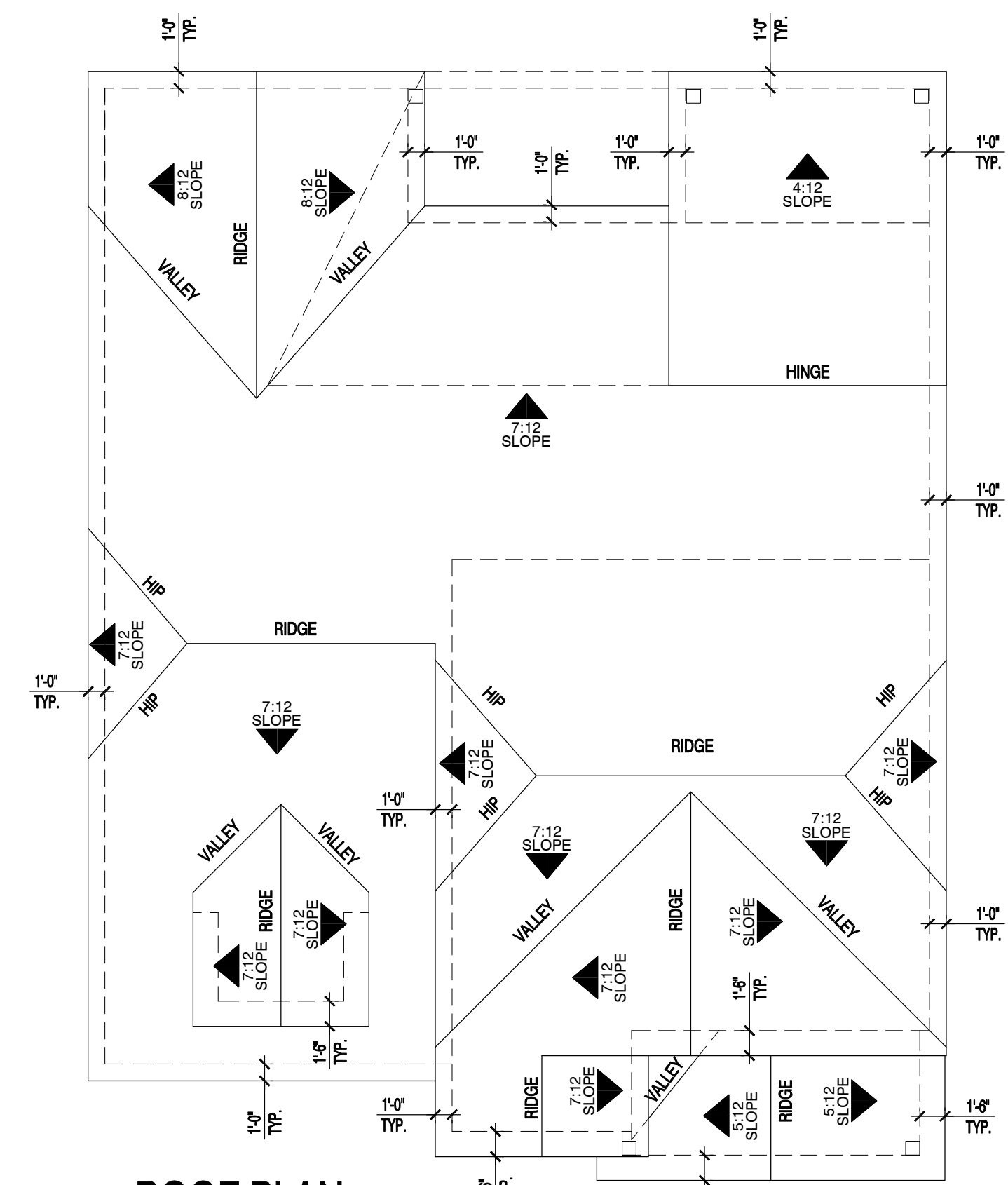
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



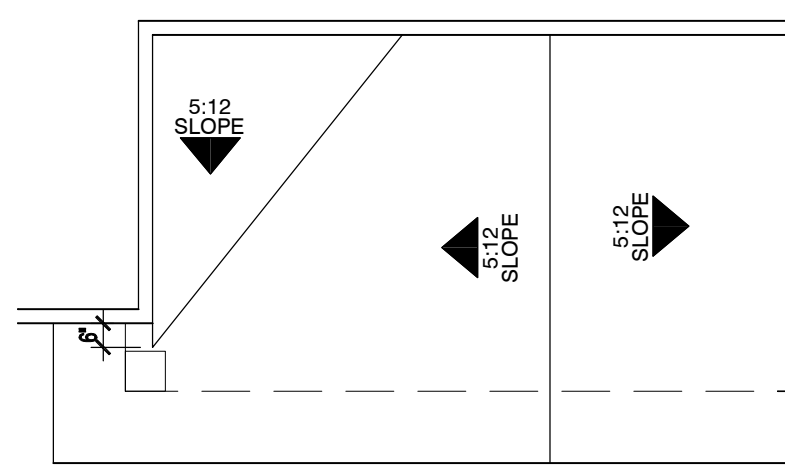
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



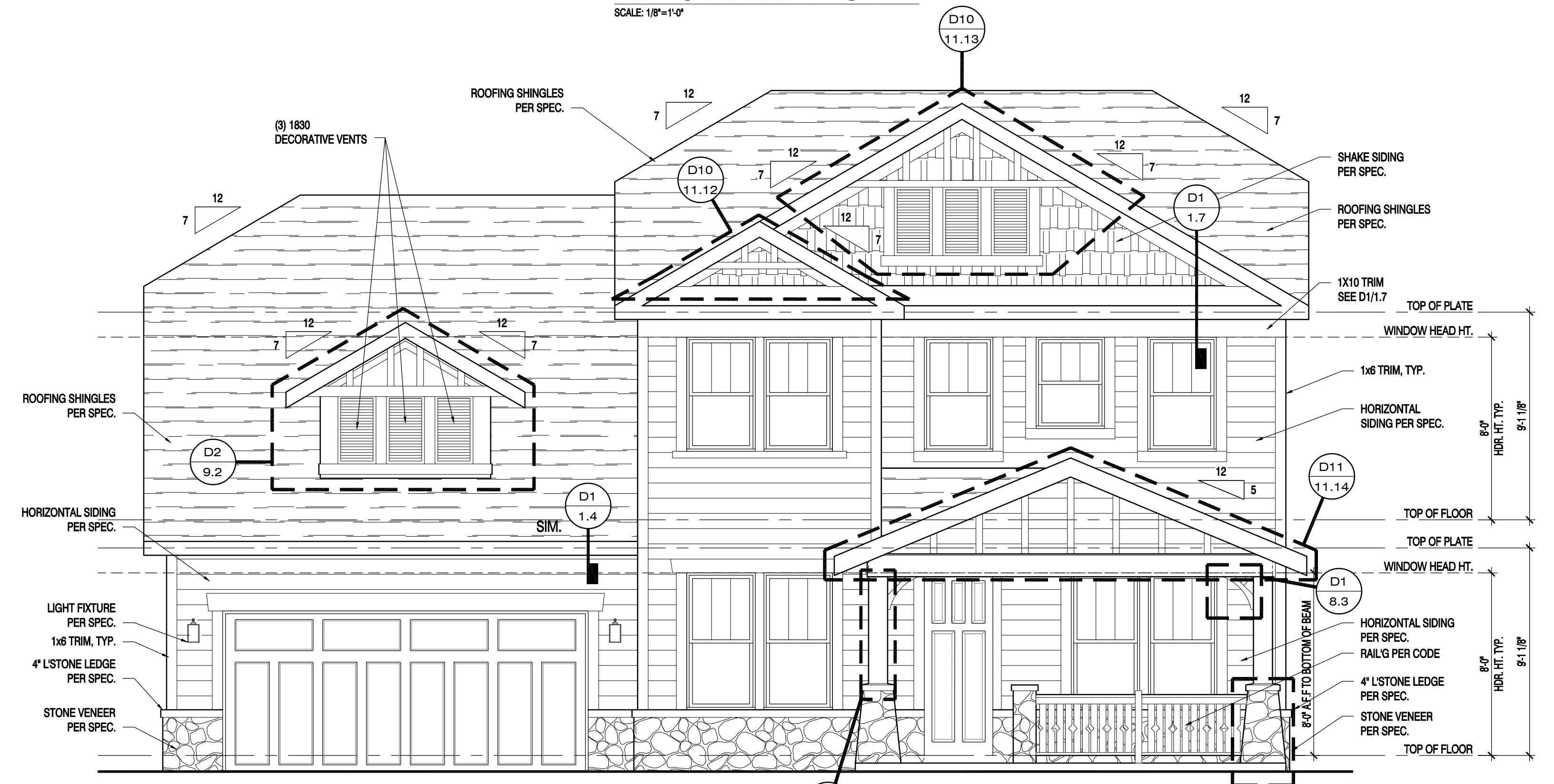
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**CRICKET DETAIL**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS & CRAFTS**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 FLORIDA OFFICE: (813) 968-8310  
 MICHIGAN OFFICE: (248) 822-4035  
 MINNESOTA OFFICE: (612) 877-0115

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

CONTROL RELEASE DATE: 07-01-18

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

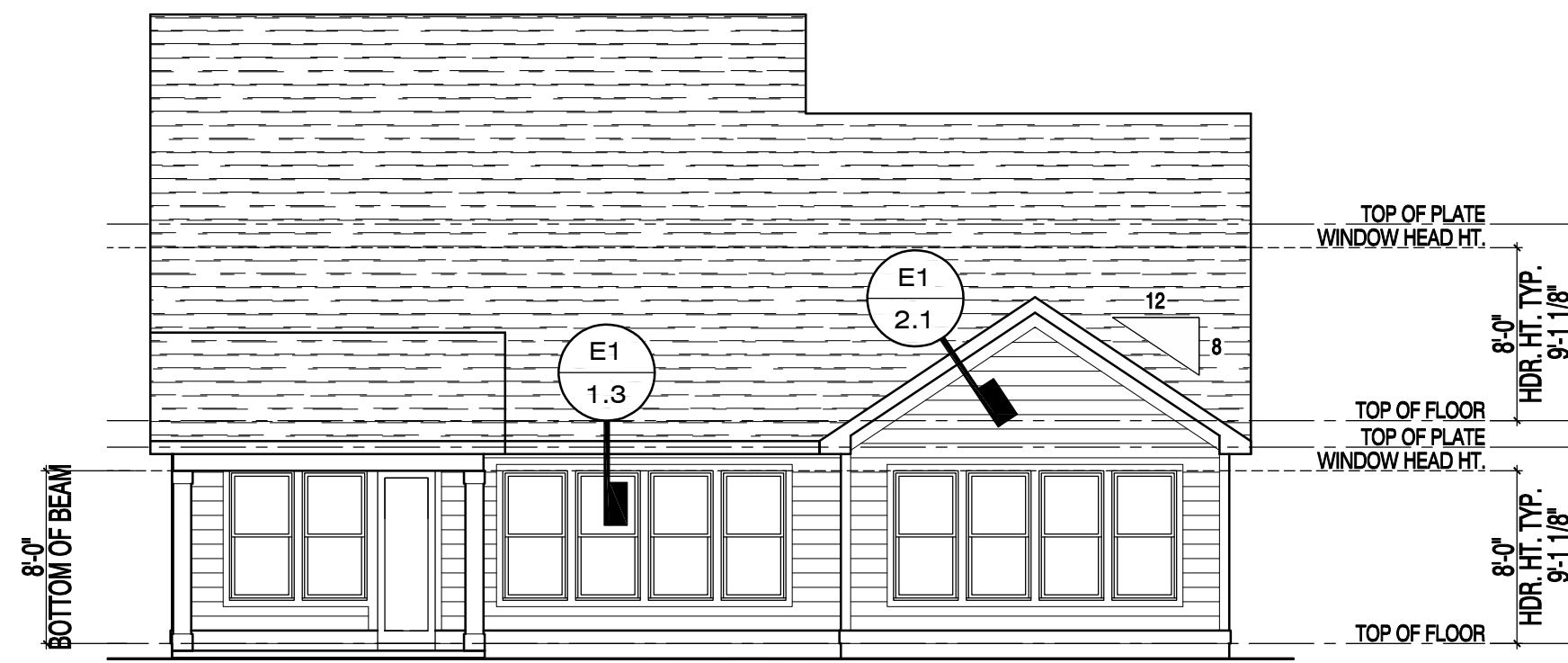
PLAN NUMBER  
**4905**

SHEET  
**A2.1D**

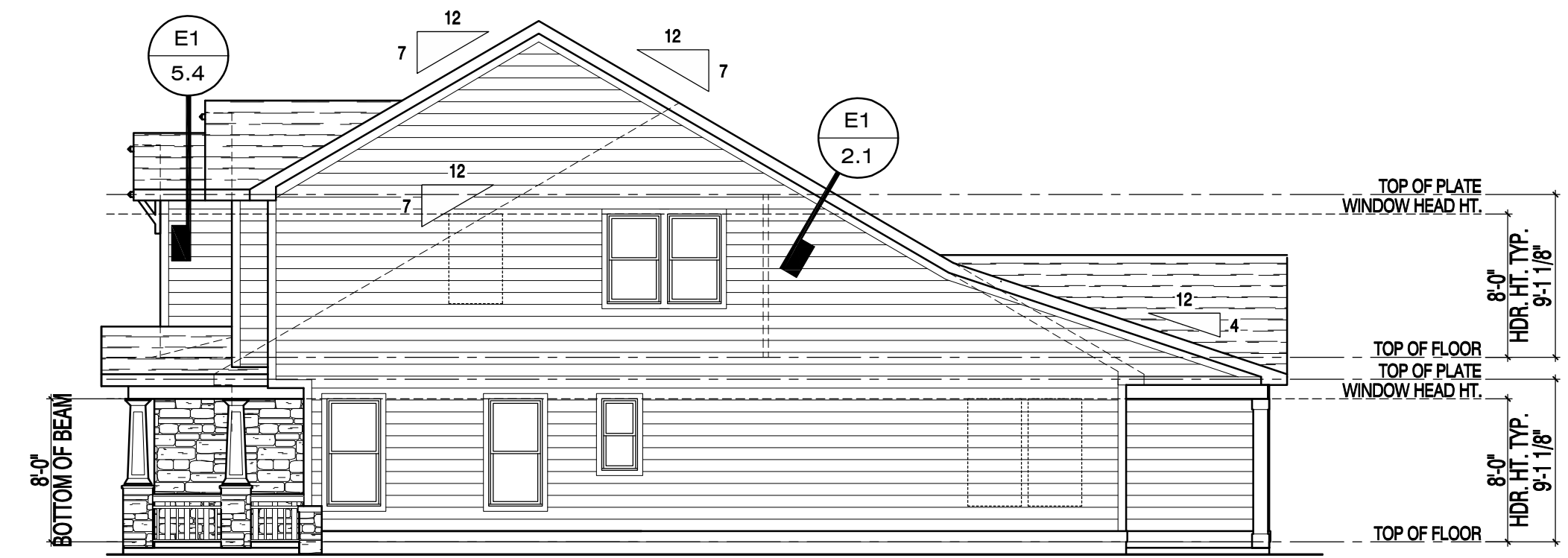
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

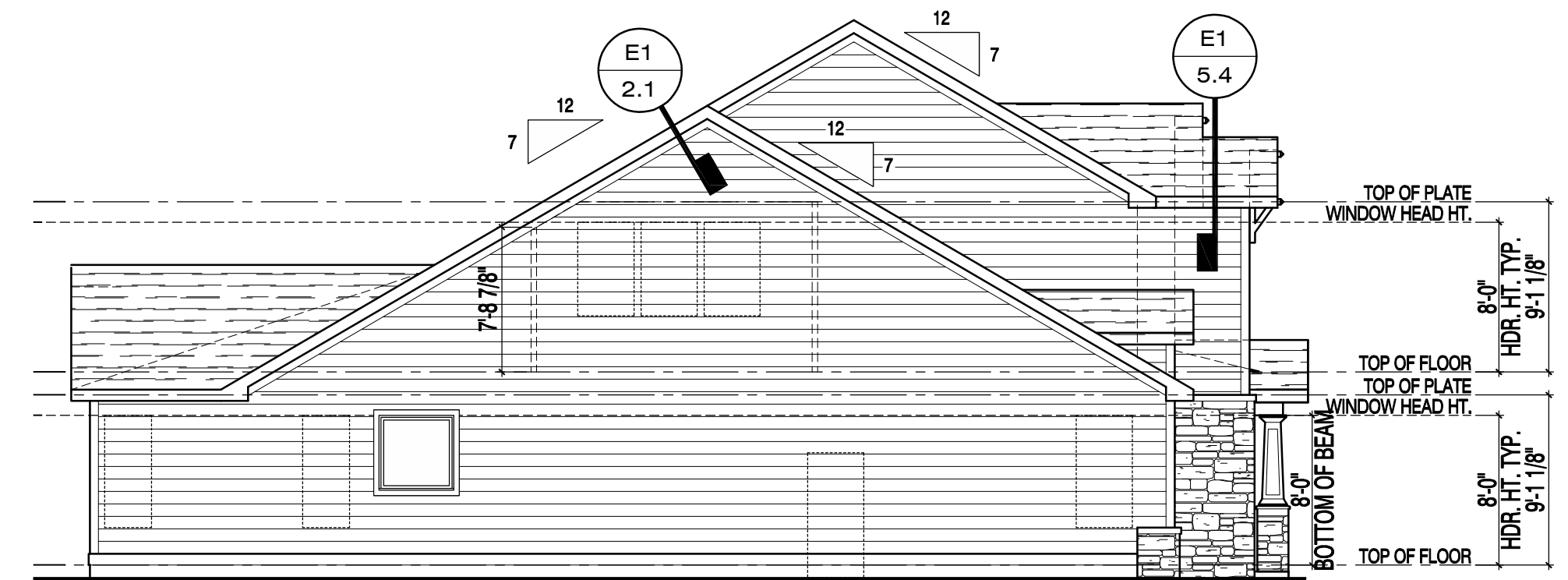
SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E5 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



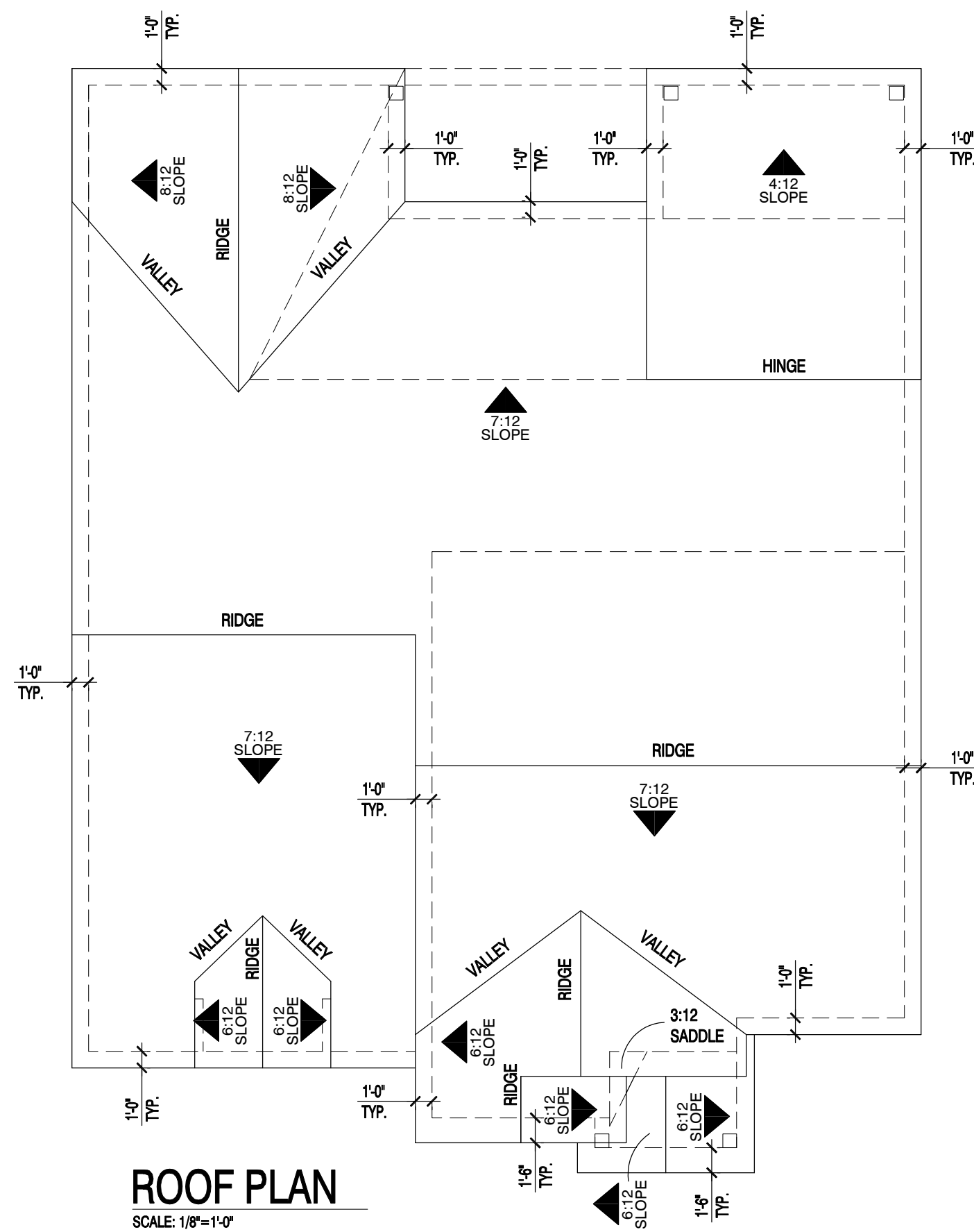
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



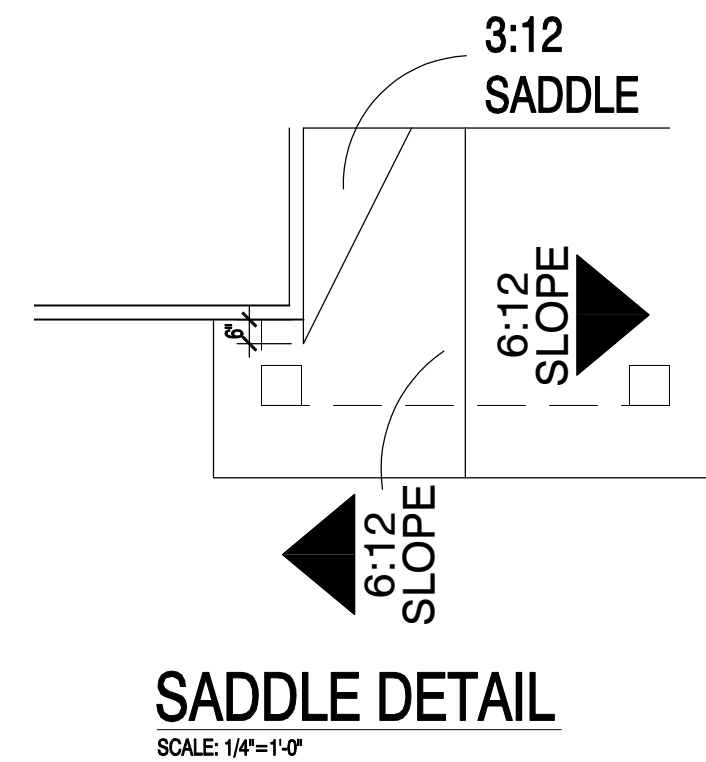
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



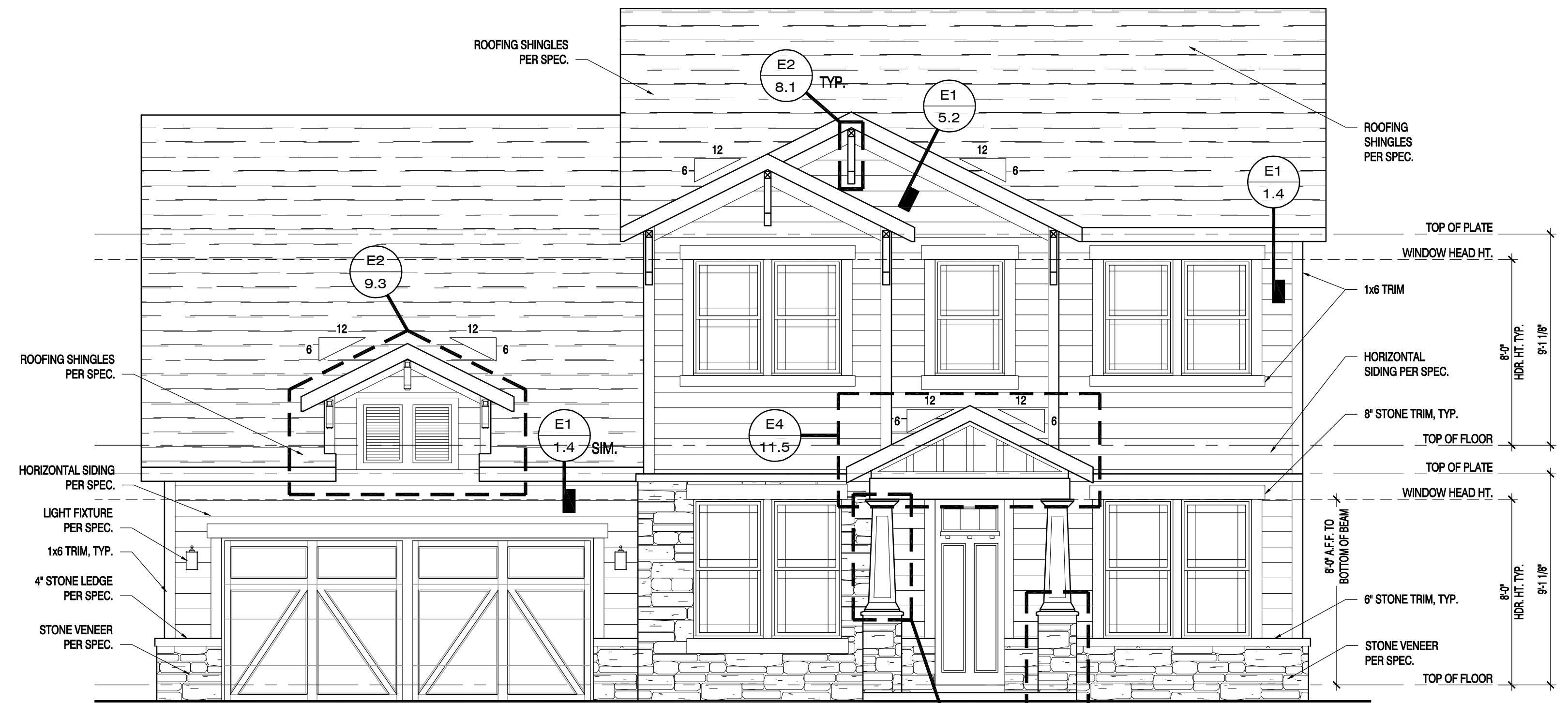
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**SADDLE DETAIL**  
 SCALE: 1/4"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"

CONTROL	RELEASE DATE:	07-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

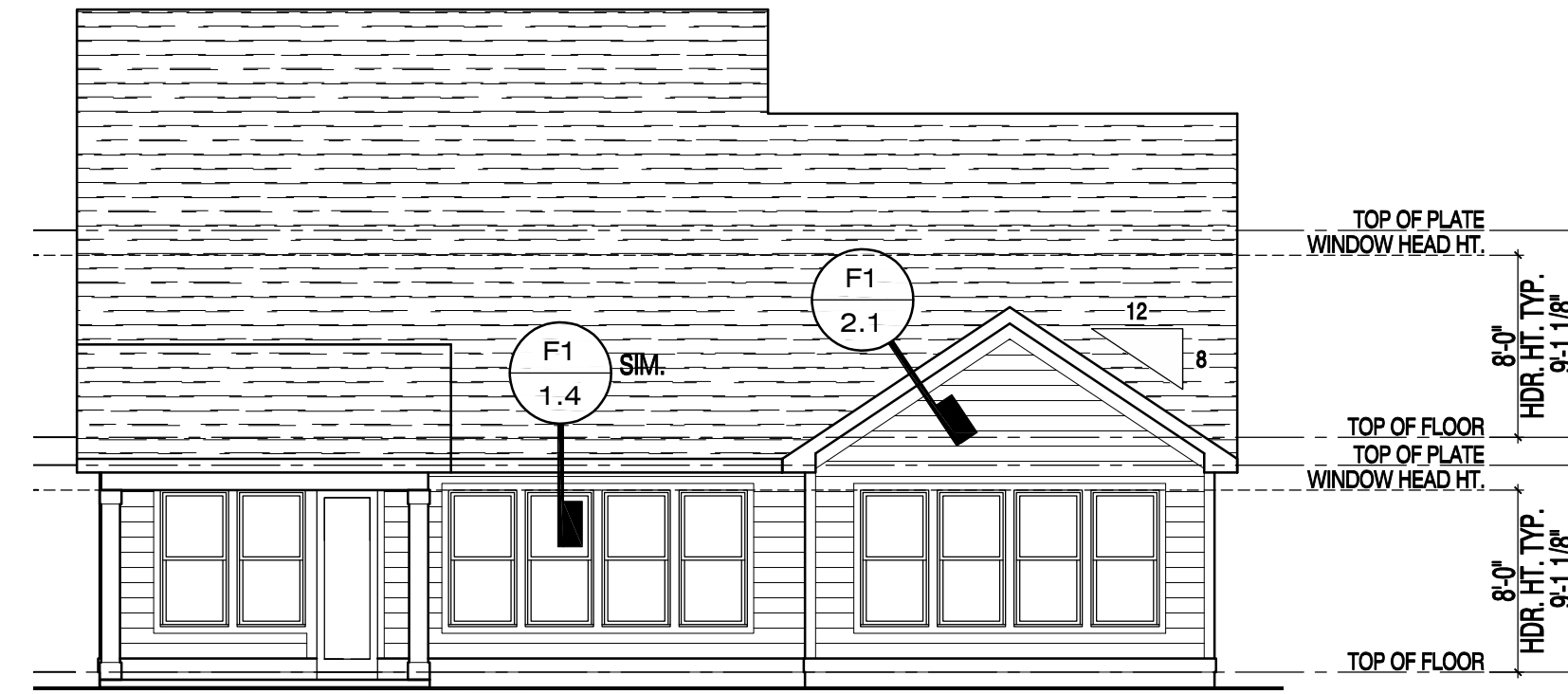
PLAN NUMBER  
**4905**

SHEET  
**A2.1E**

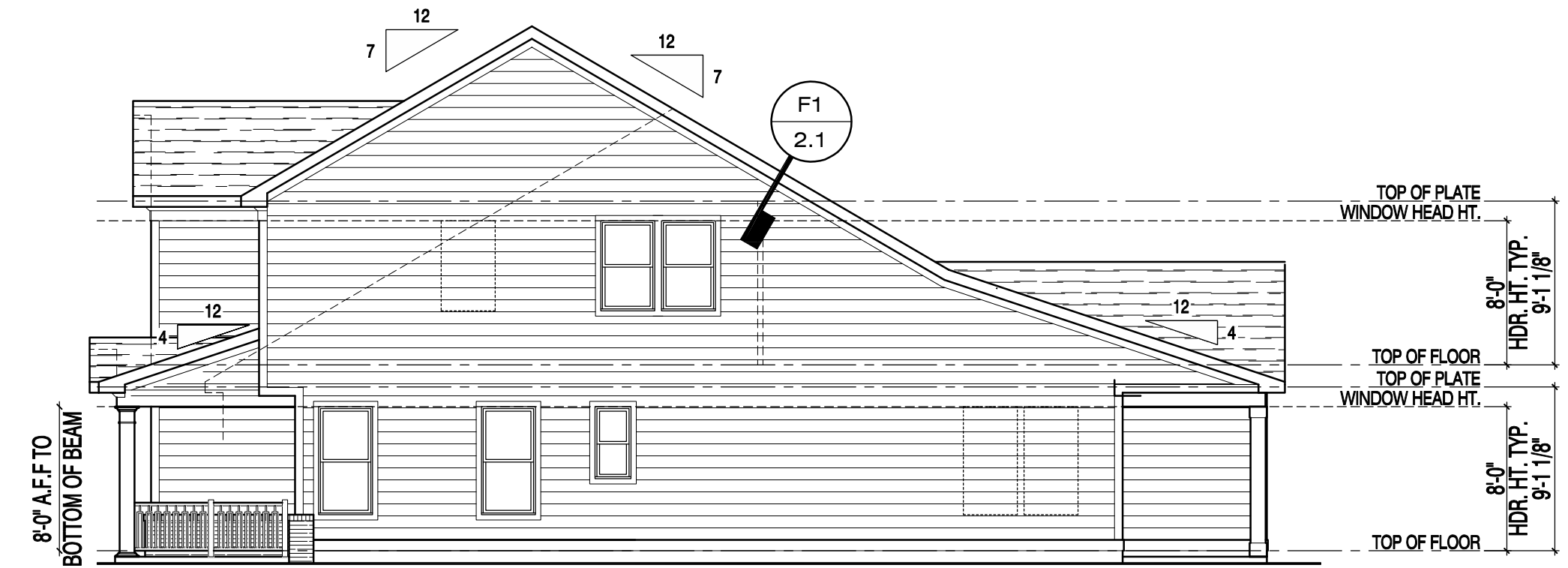
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTES:

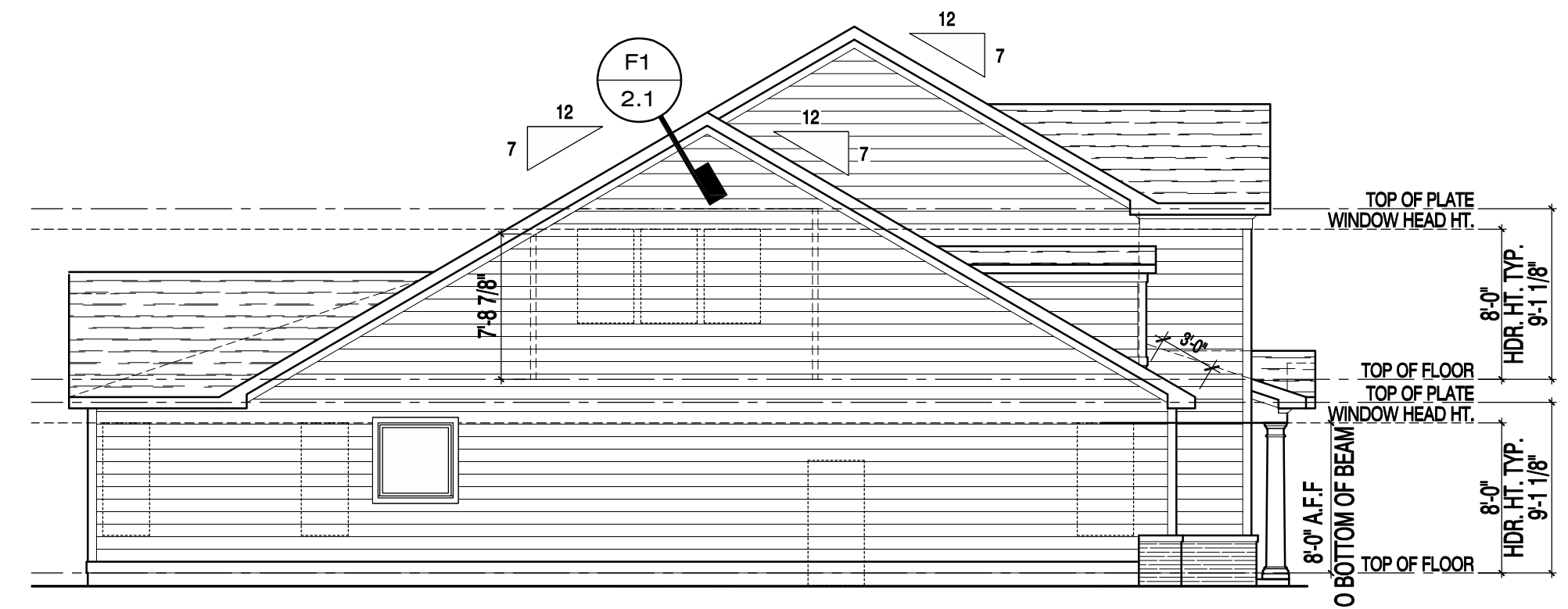
SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS



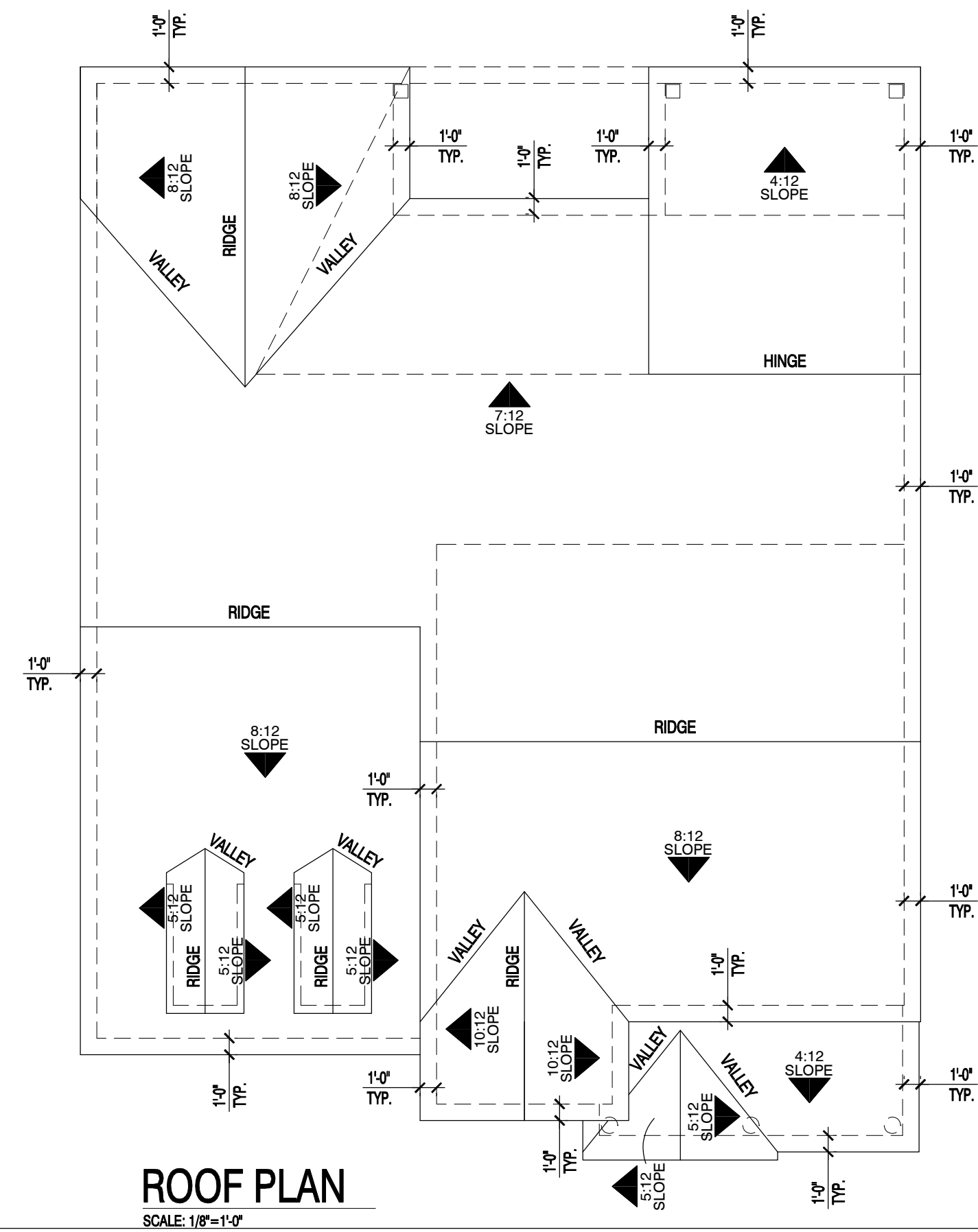
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - GEORGIAN**  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	07-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

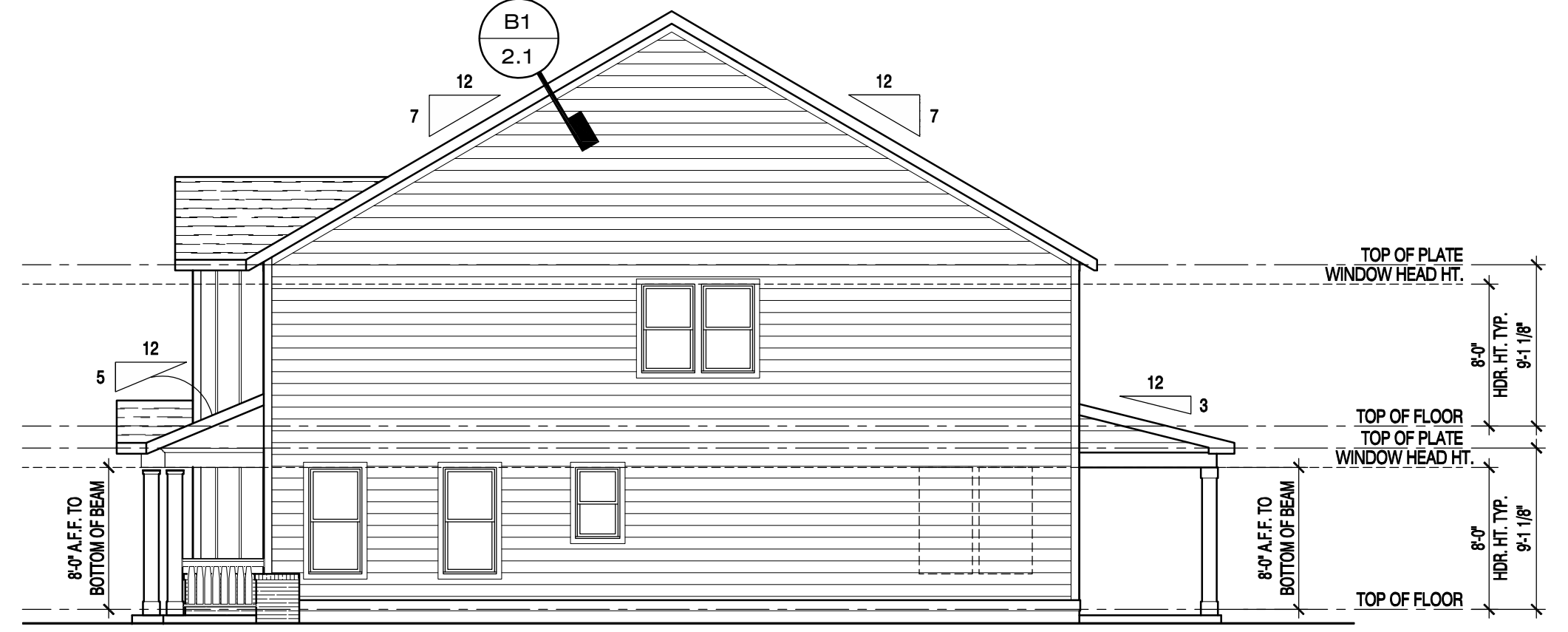
PLAN NUMBER  
**4905**

SHEET  
**A2.1F**

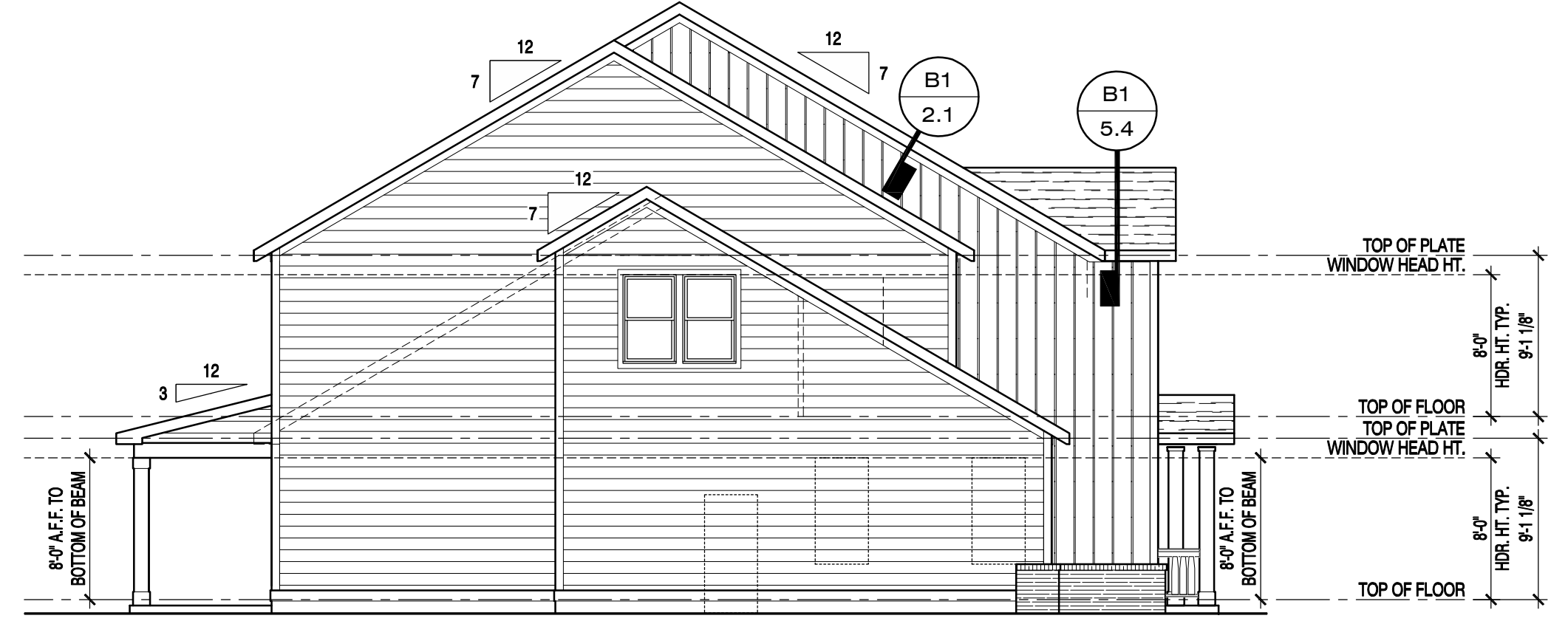
**NOTES:**  
 SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



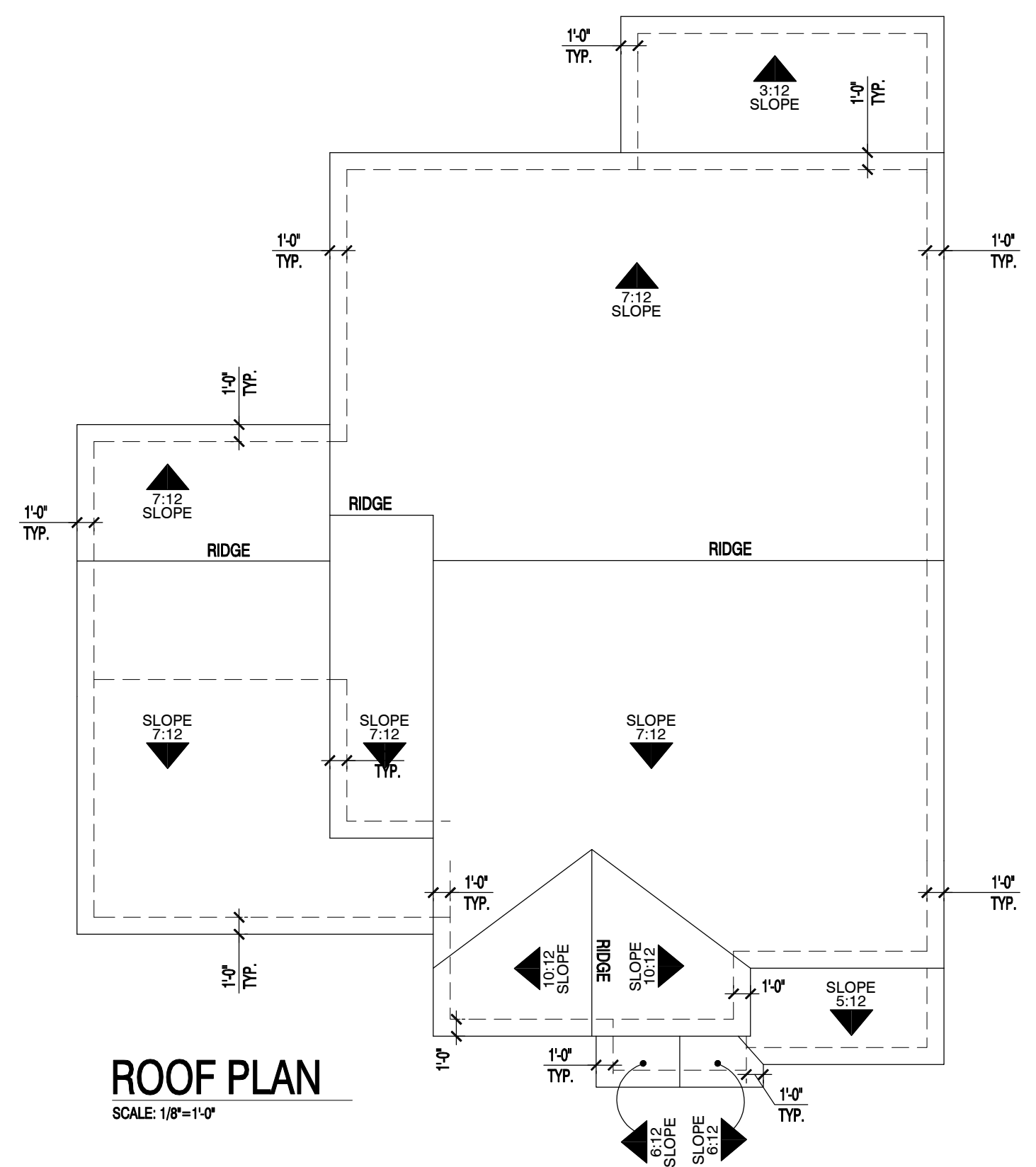
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



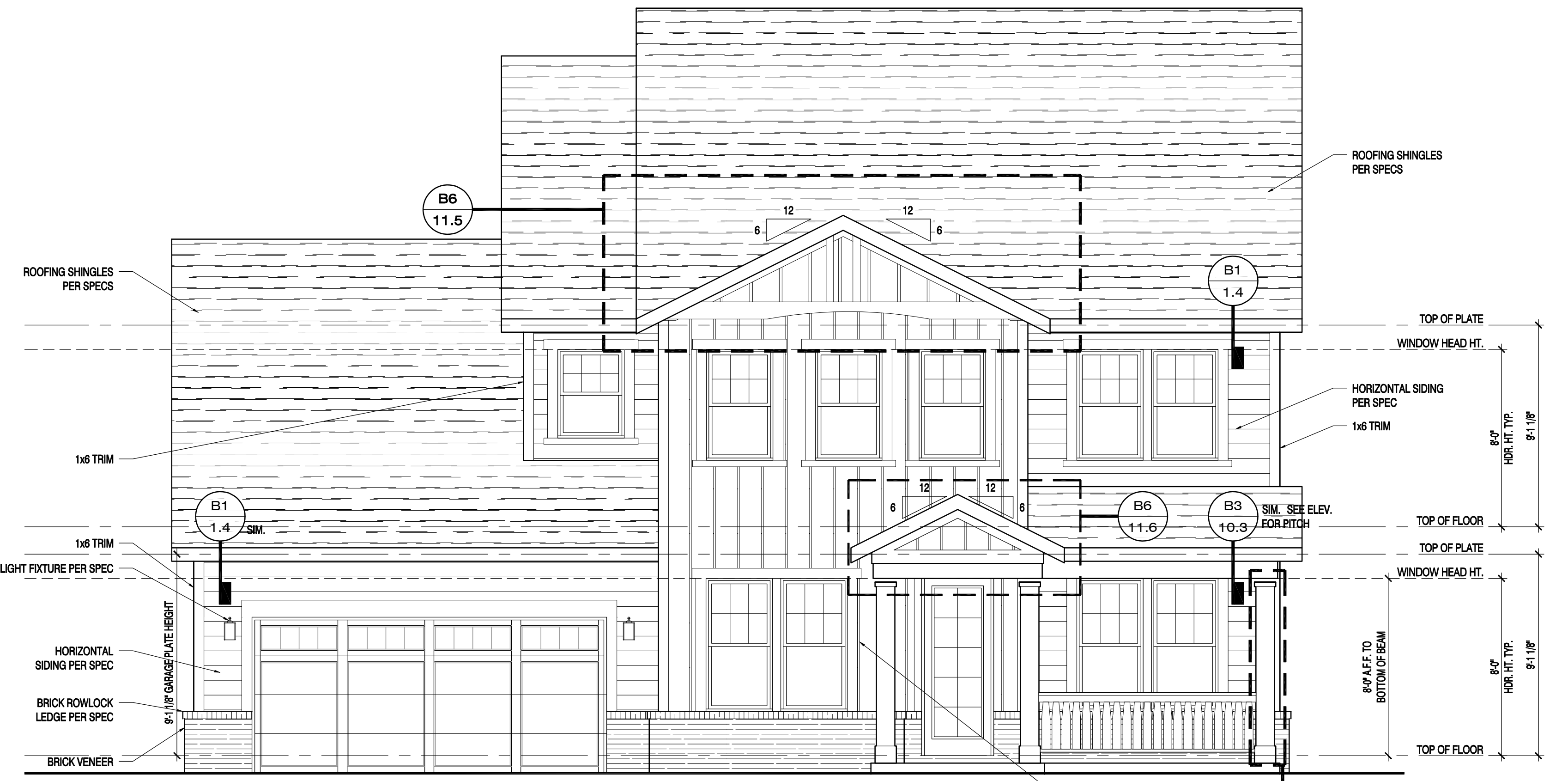
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

**ELEVATION B - PLANK COTTAGE**

CONTROL RELEASE DATE:	07-01-16
REV #	DATE / DESCRIPTION

**GARAGE HANDING**  
**LEFT**

**PLAN NUMBER**  
**4906**

**SHEET**  
**A2.1B**

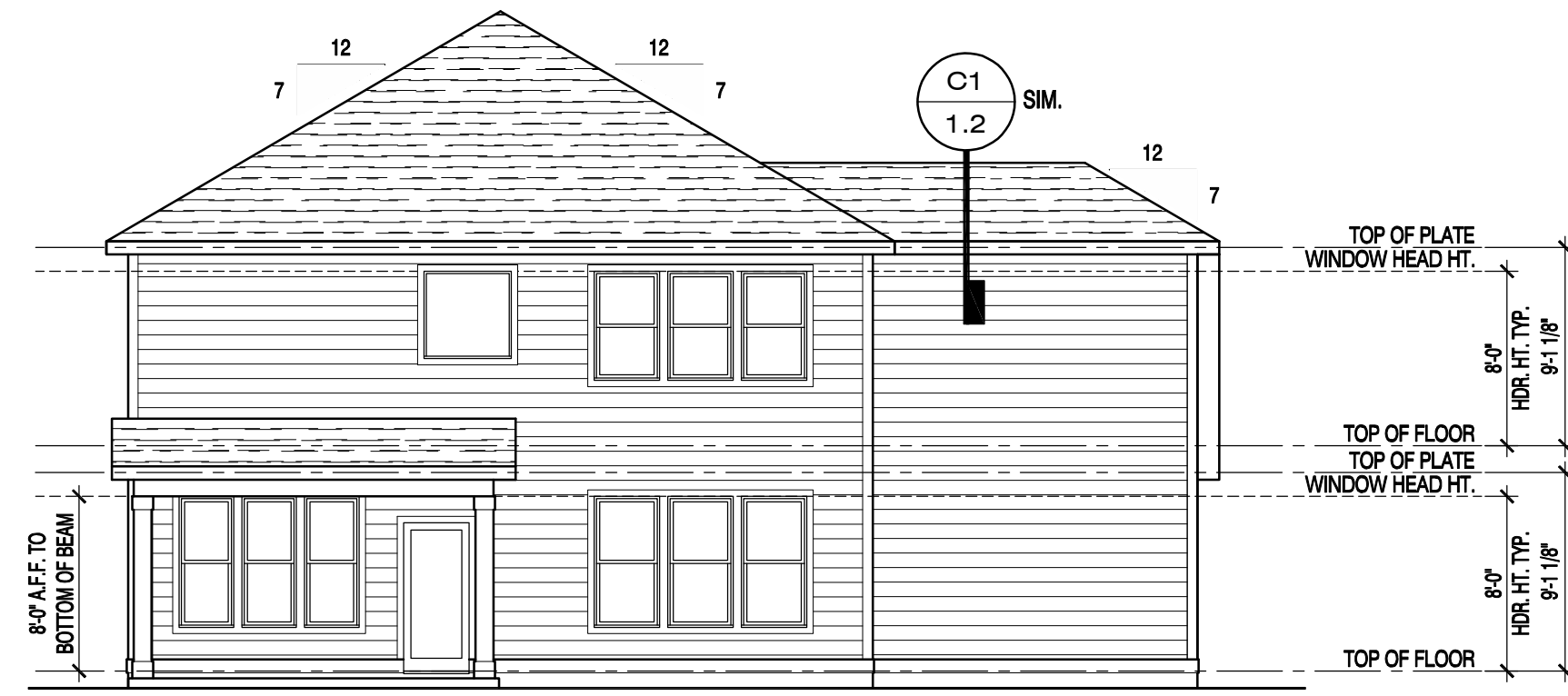
PLOTTED: July 1, 2016 / Shane McCormell / A2.1B ELEVATION - B.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



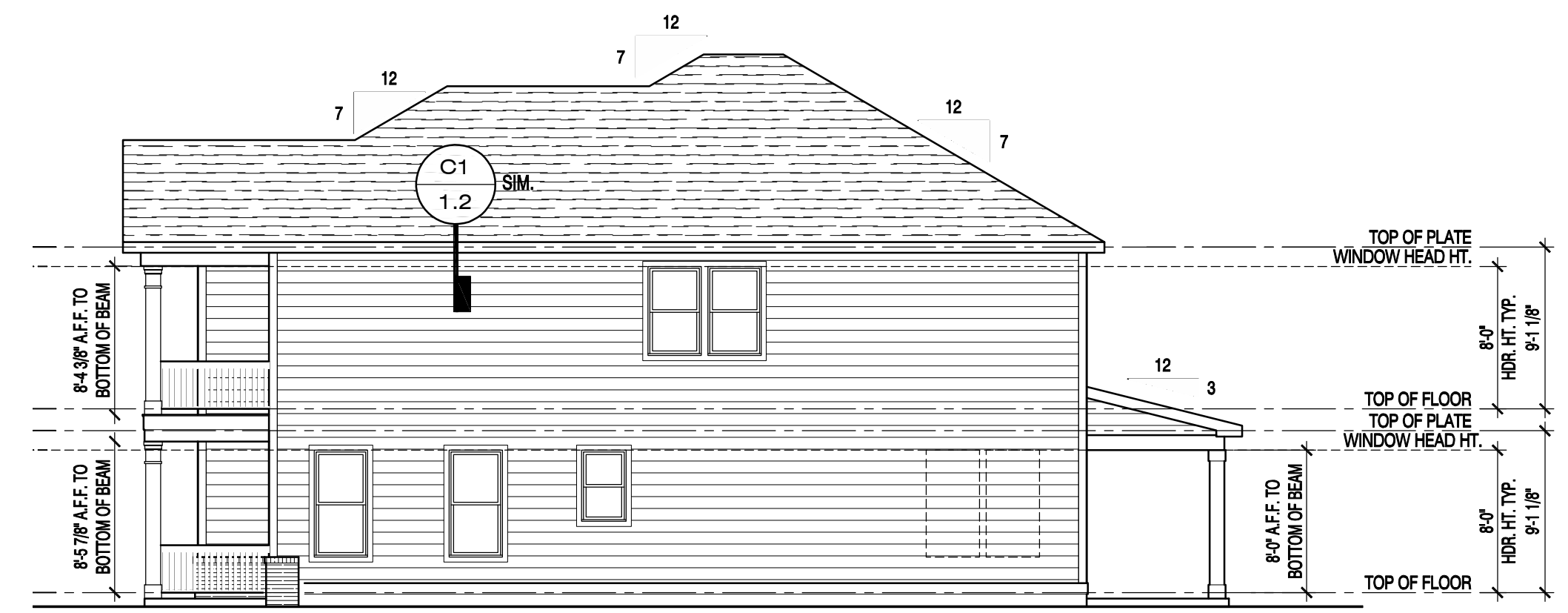
**NOTES:**

SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



**REAR ELEVATION**

SCALE: 1/8"=1'-0"



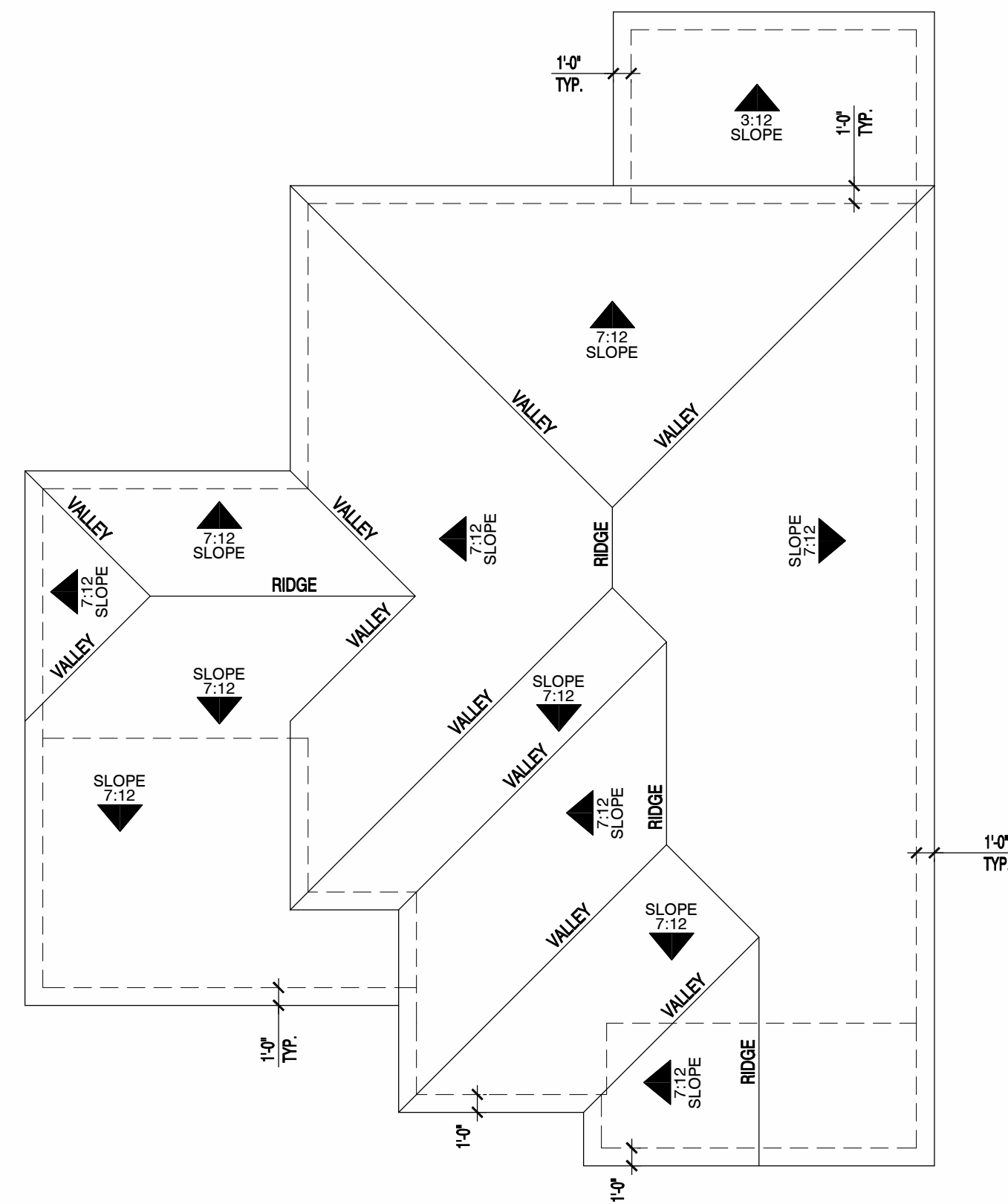
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**

SCALE: 1/4"=1'-0"

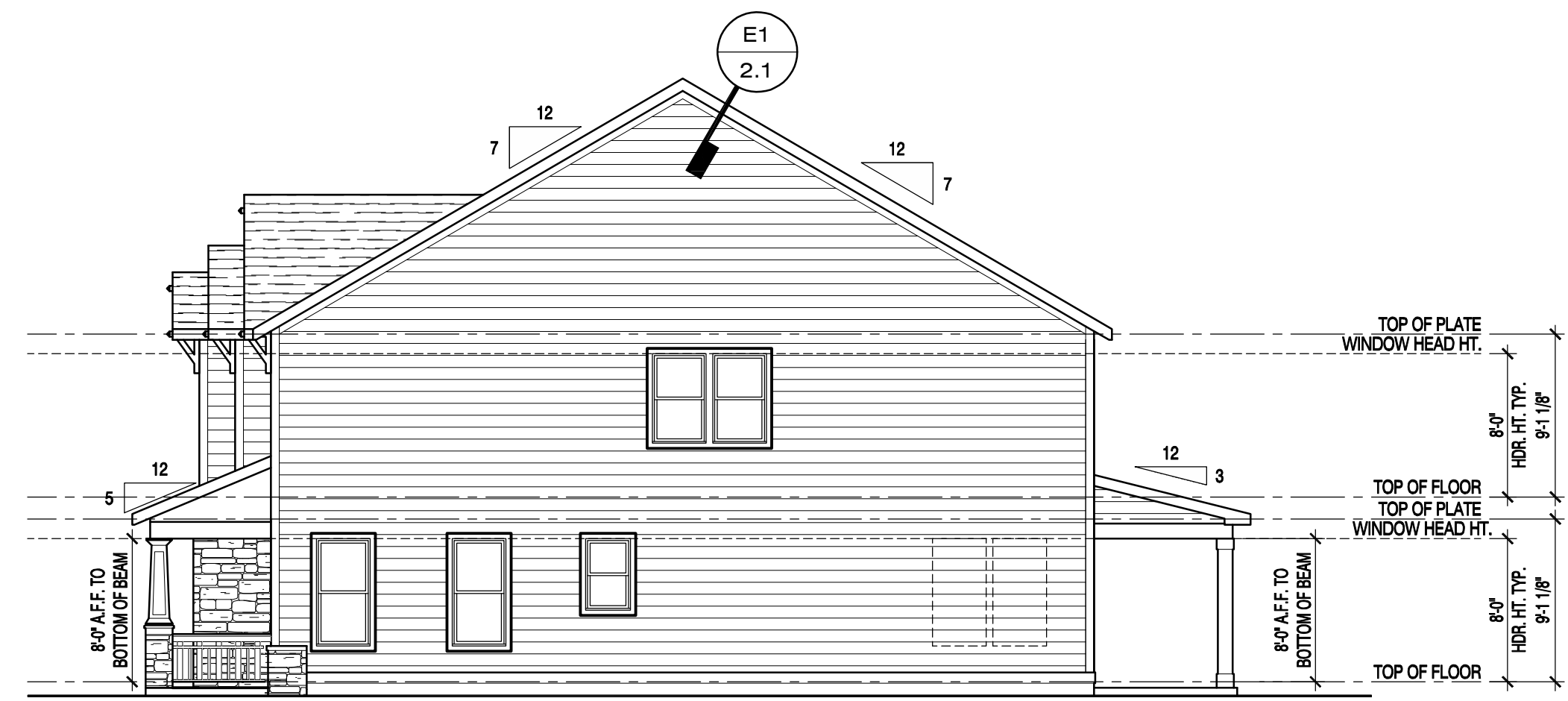
**ELEVATION C - COASTAL**

CONTROL	RELEASE DATE:	07-01-16
REV #	DATE / DESCRIPTION	

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

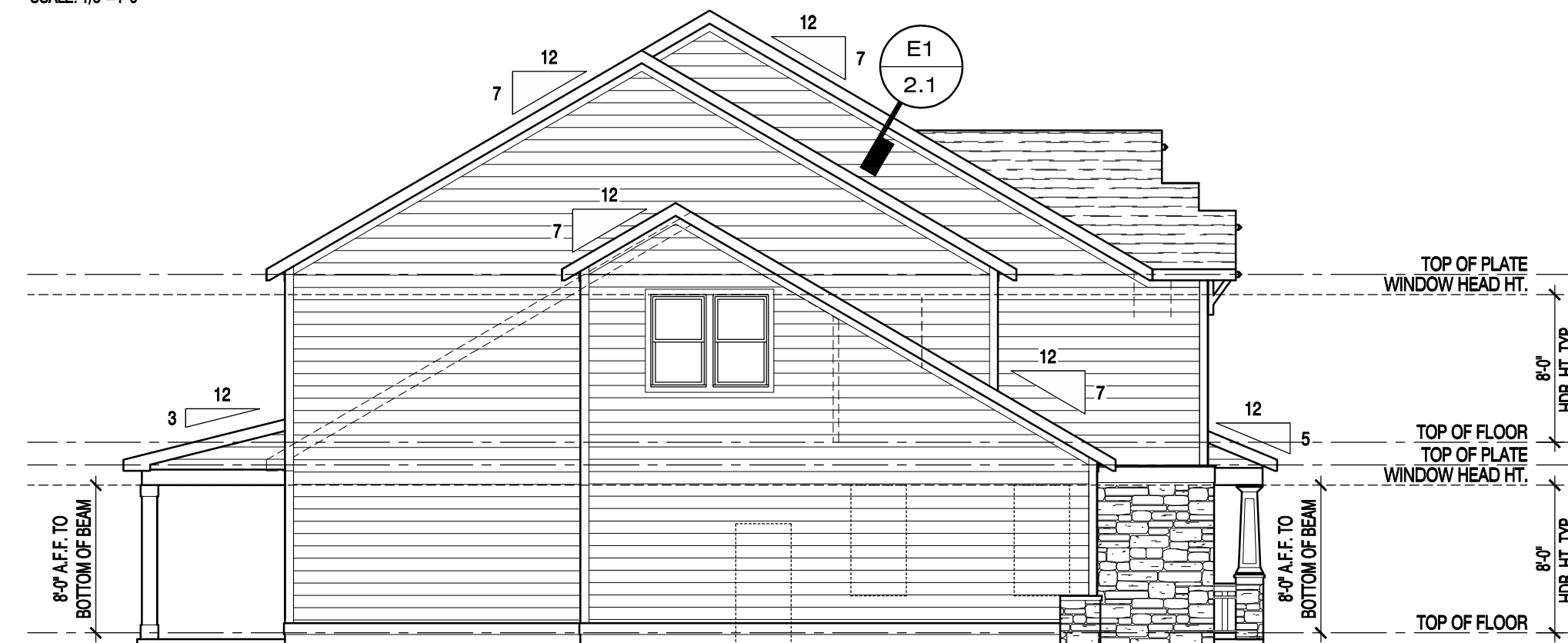
**NOTES:**

SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS



**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



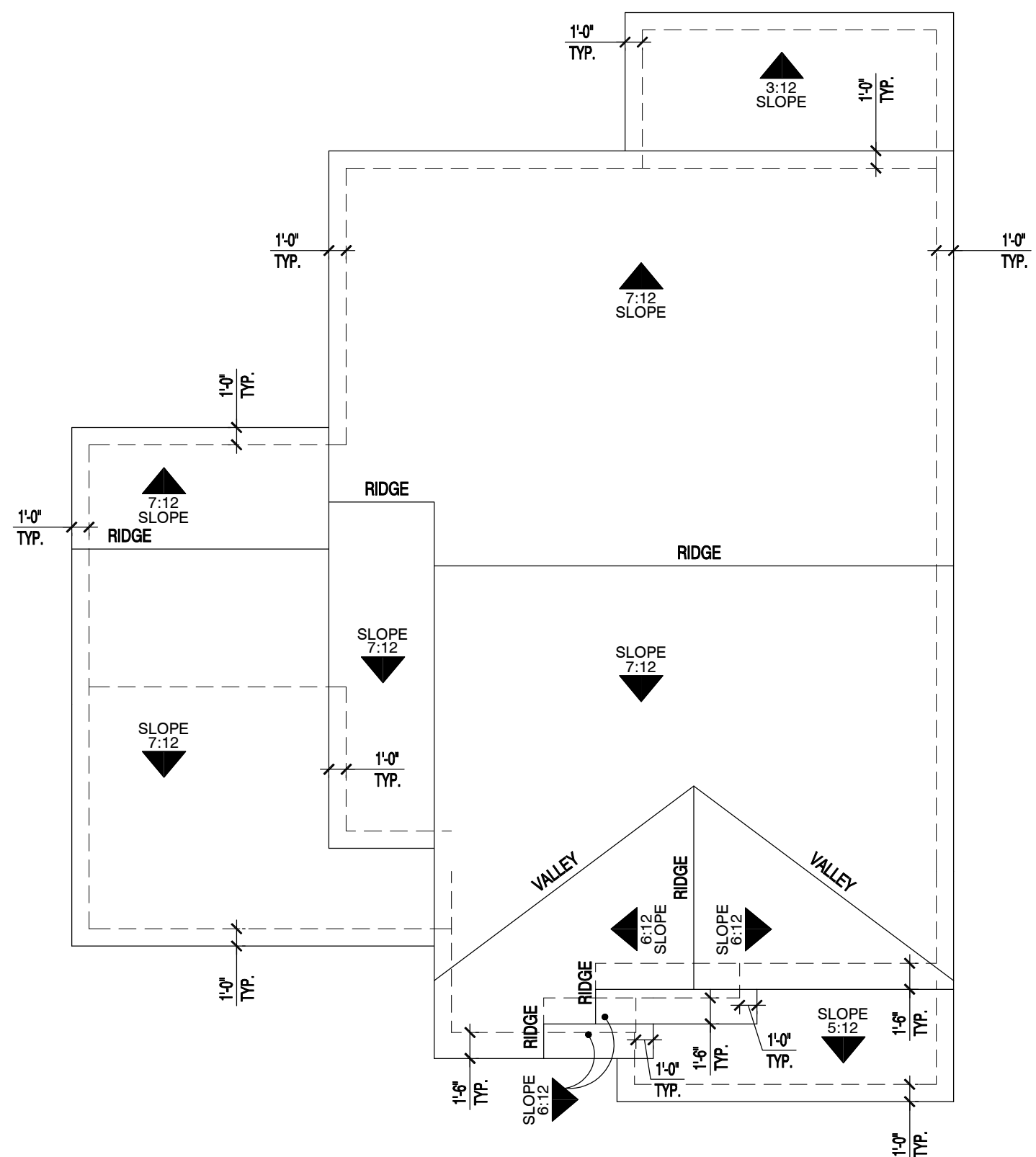
**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**REAR ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**

SCALE: 1/4"=1'-0"



**Fieldstone**  
 MINNESOTA OFFICE: (612) 871-0115  
 MICHIGAN OFFICE: (248) 822-4035  
 FLORIDA OFFICE: (813) 468-3310

CONTROL RELEASE DATE: 07-01-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4906**

SHEET  
**A2.1E**

**ELEVATION E - CRAFTSMAN**

PLOTTED: July 1, 2016 / Shane McCormell / AZ:IE ELEVATION - EDWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

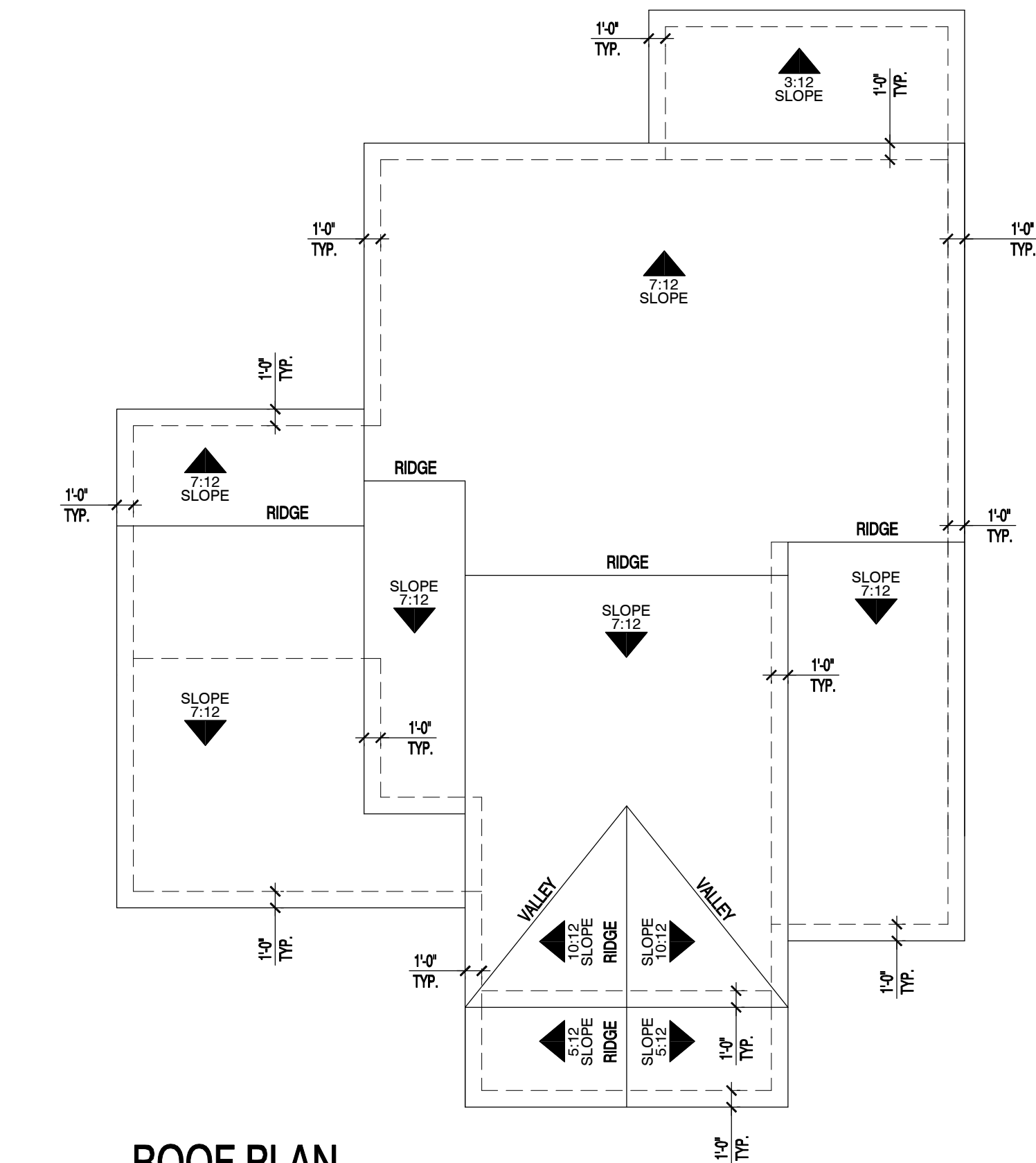
**NOTES:**

SEE SHEET F1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F5 FOR HANDRAIL, GARAGE DOOR AND  
 GARAGE DOOR TRIM DETAILS

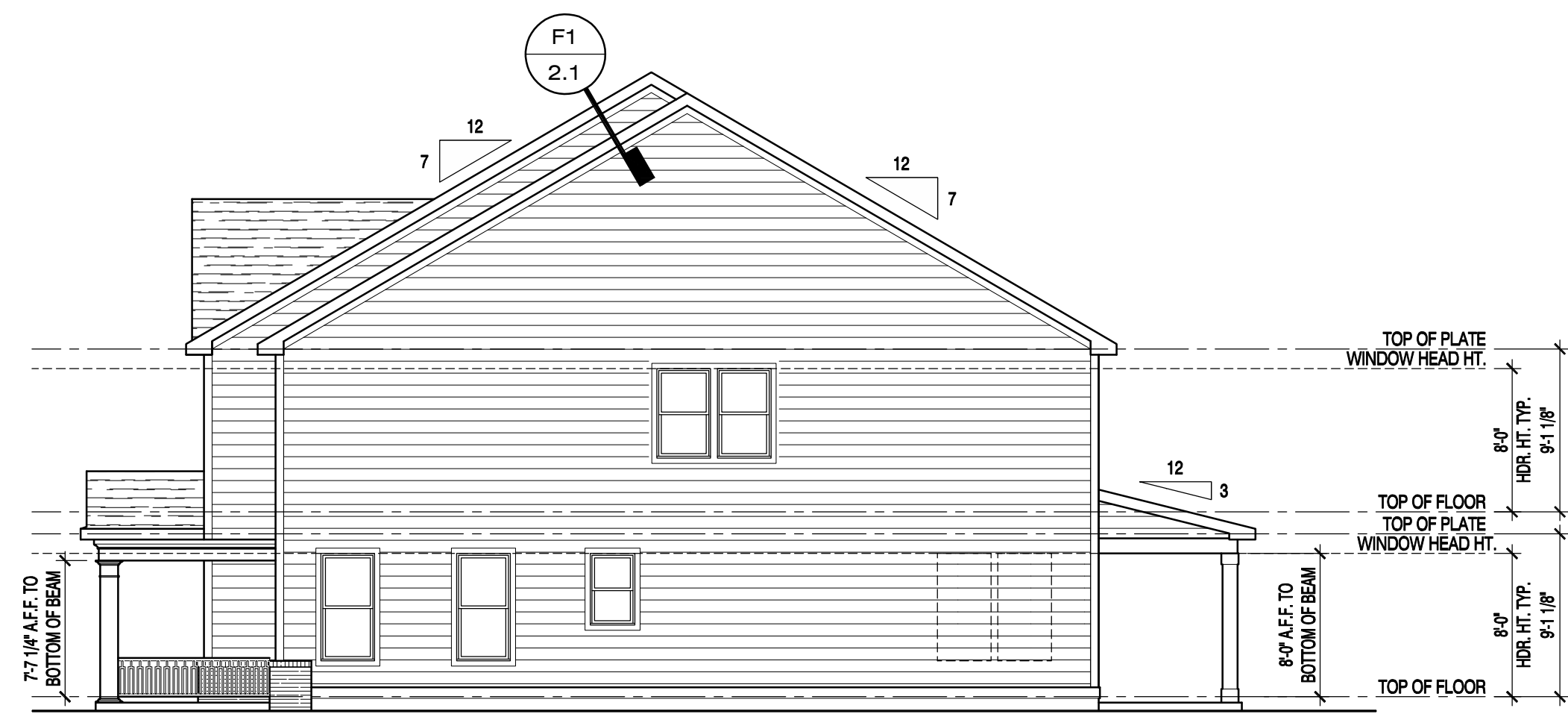


**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

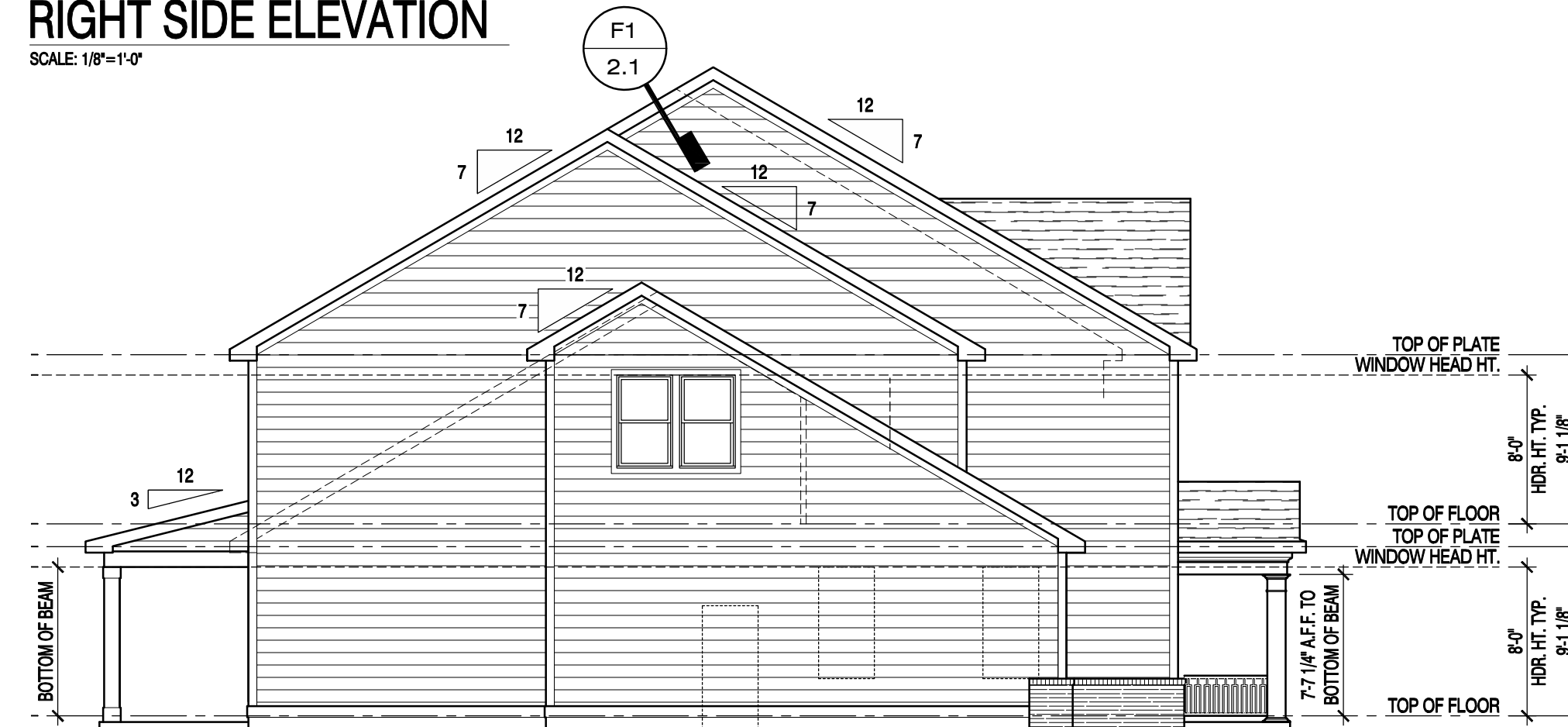


**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



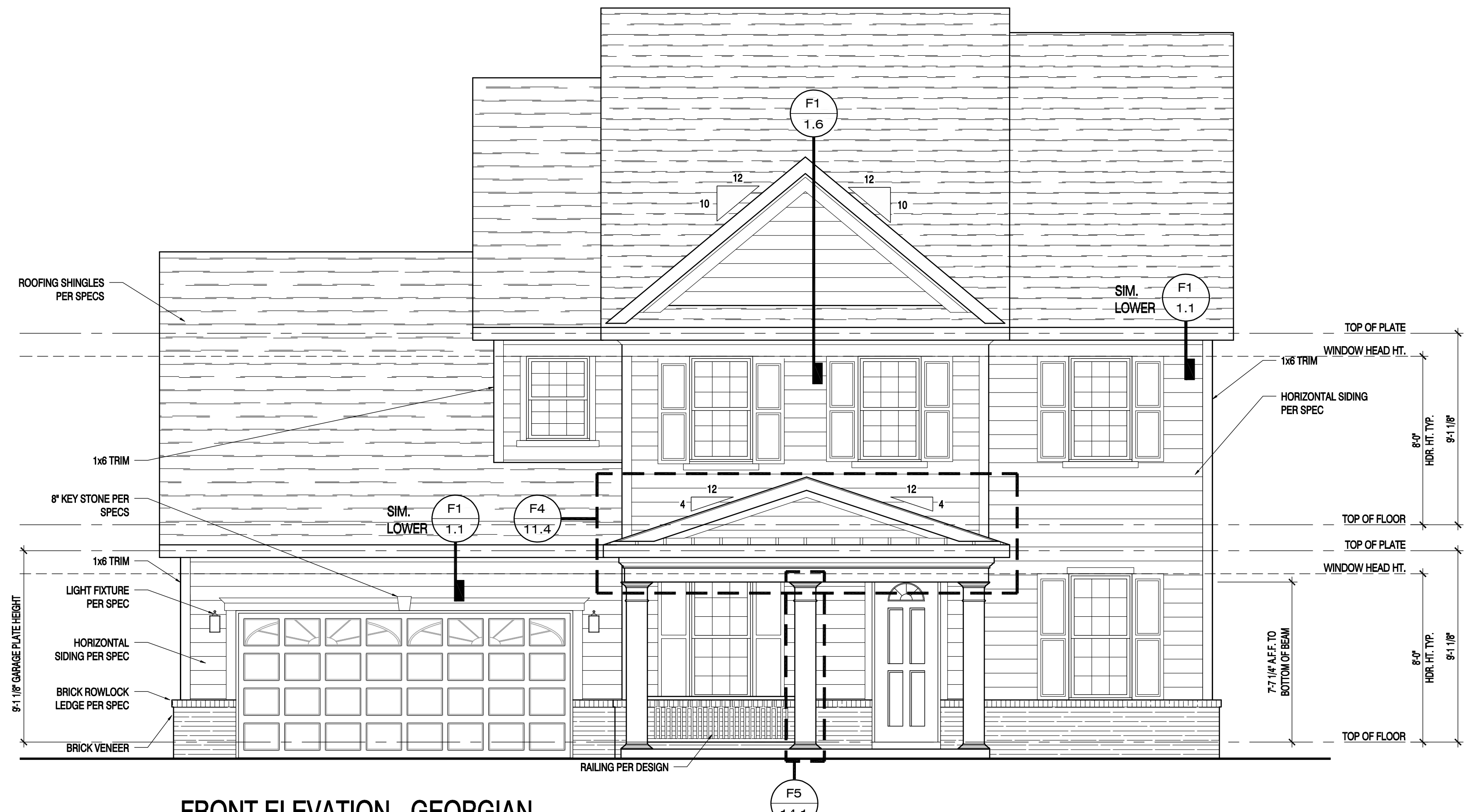
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - GEORGIAN**  
 SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	07-01-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

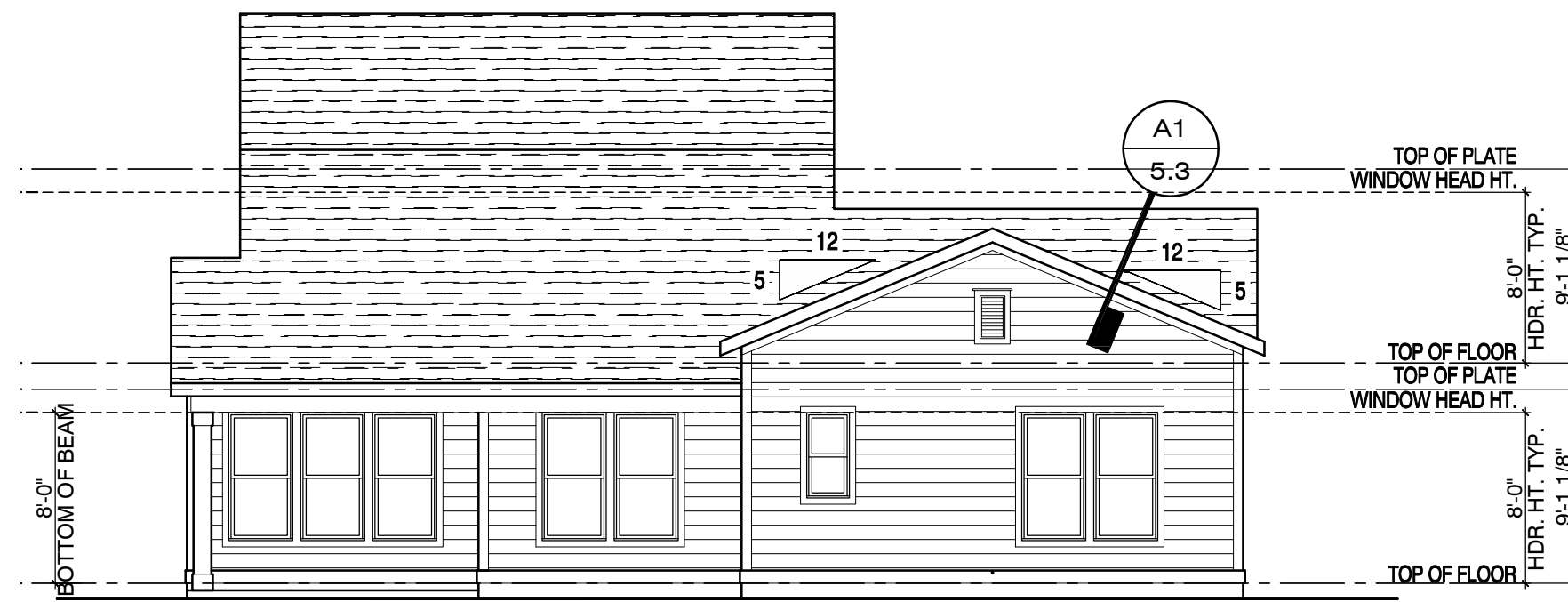
PLAN NUMBER  
**4906**

SHEET

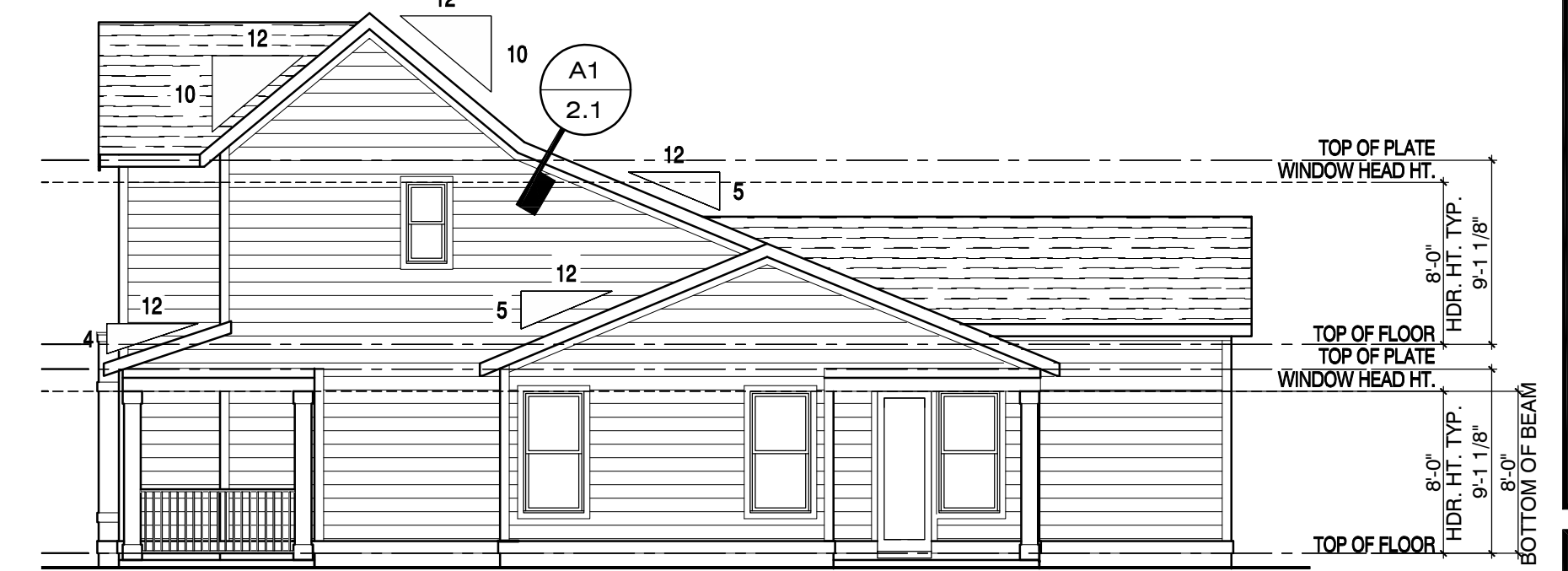
**A2.1F**

**NOTES:**

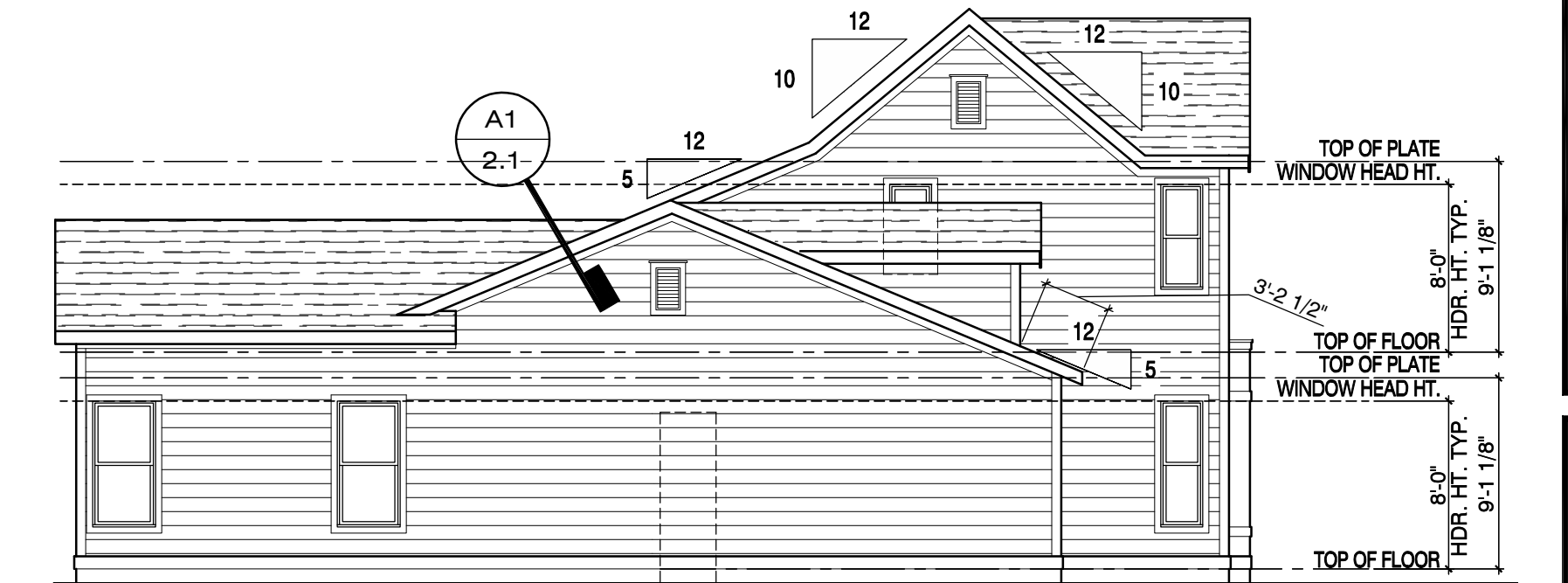
SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - WRAP 1X6 TYPICAL



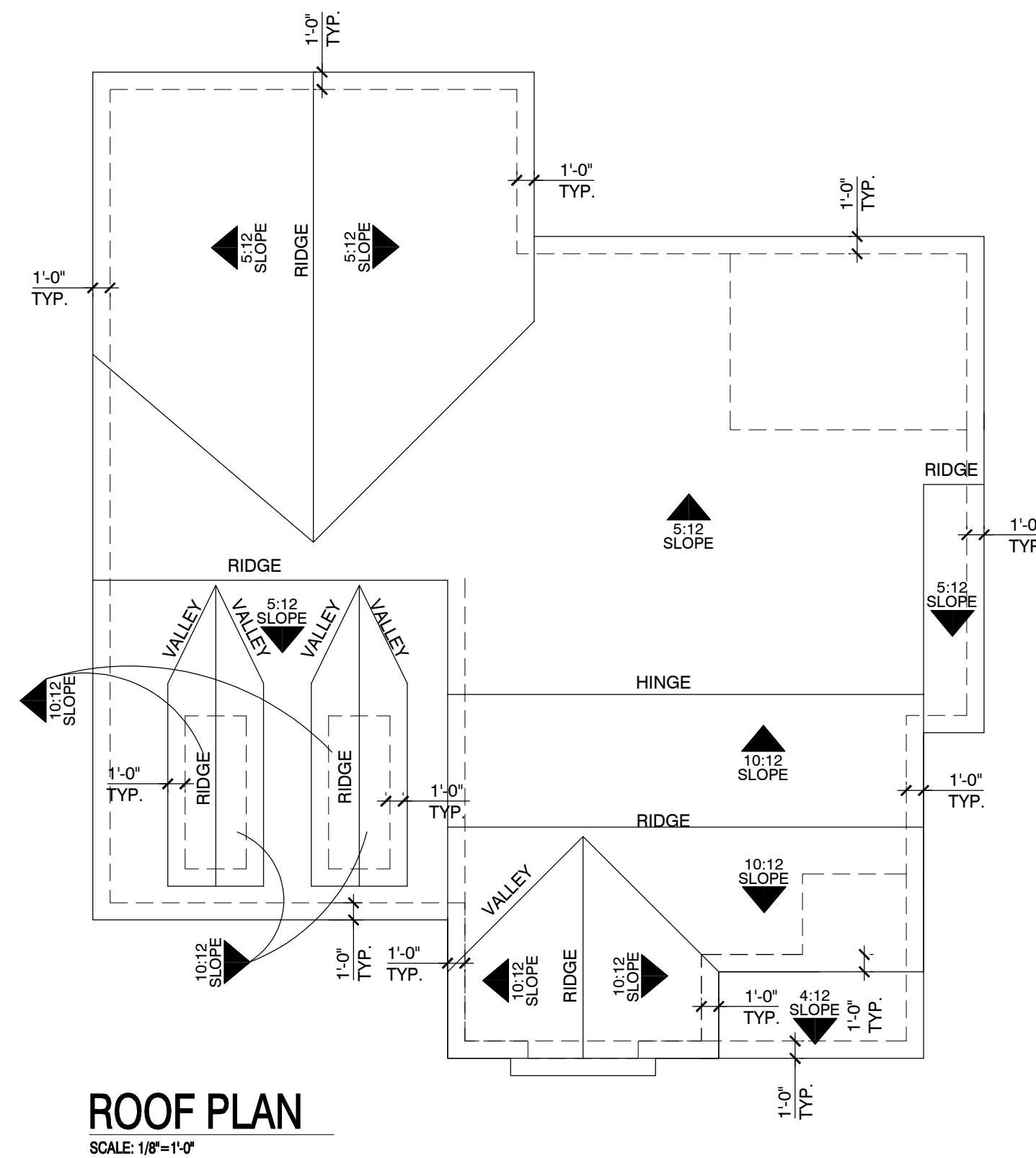
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



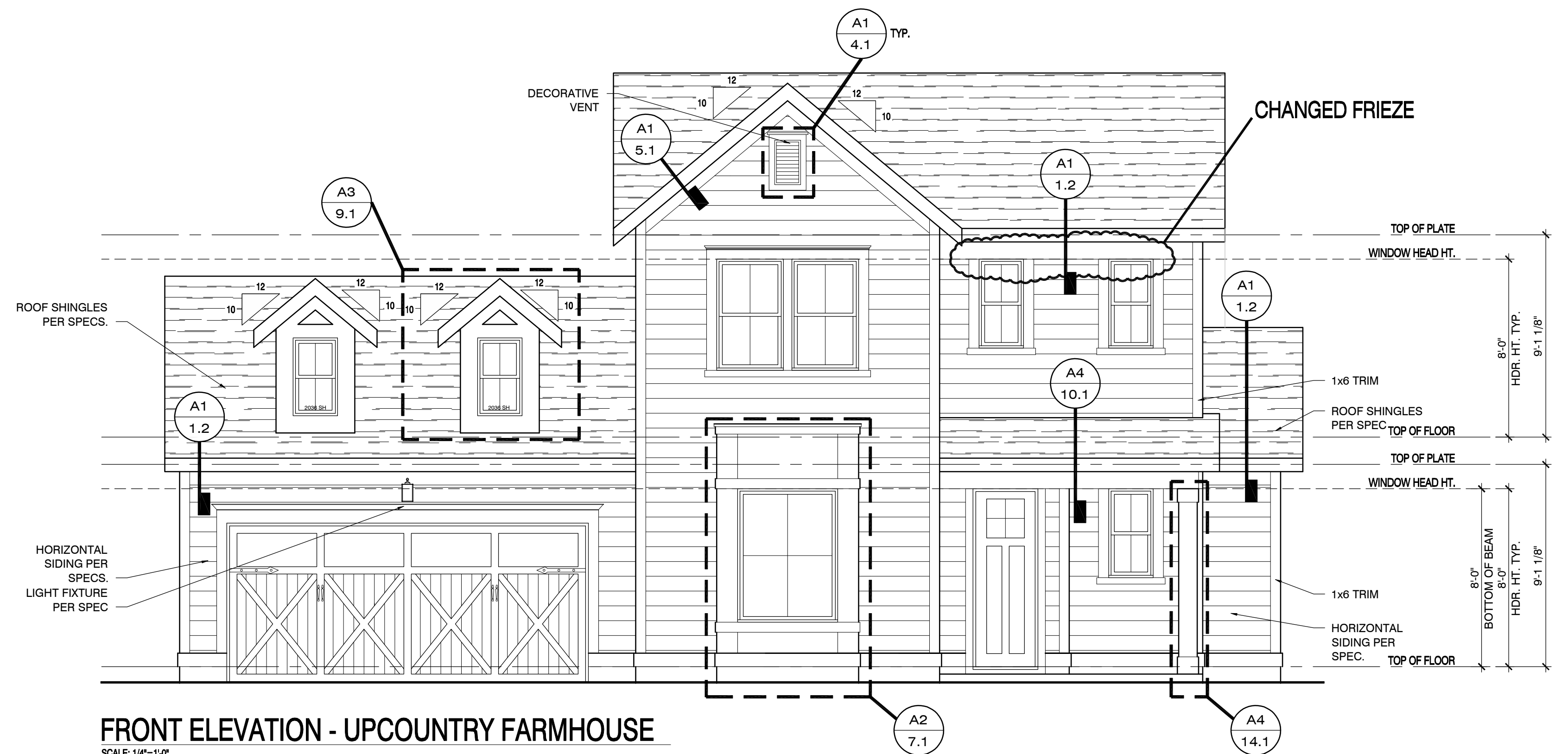
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	10-08-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

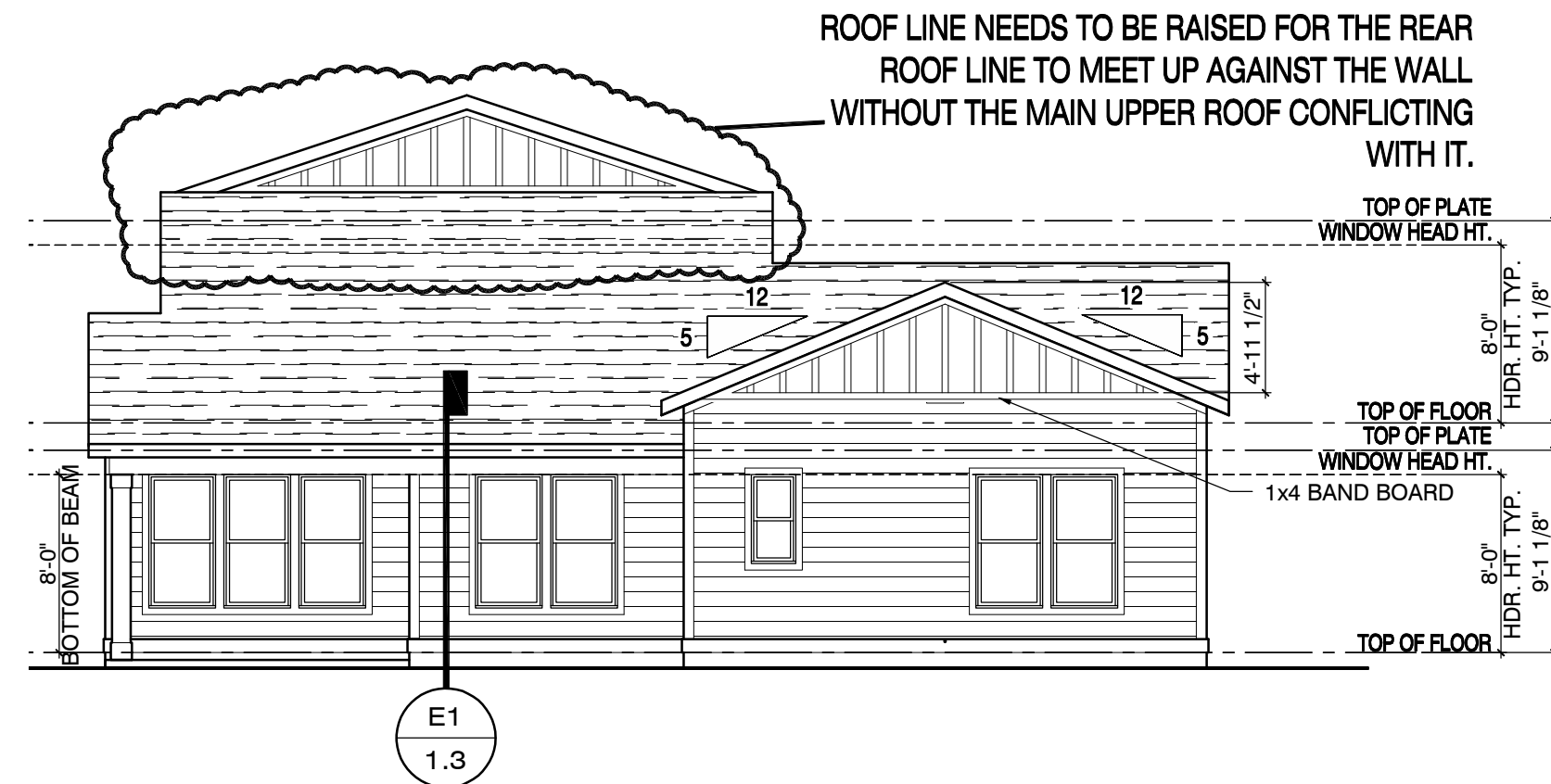
PLAN NUMBER  
**4908**

SHEET  
**A2.1A**

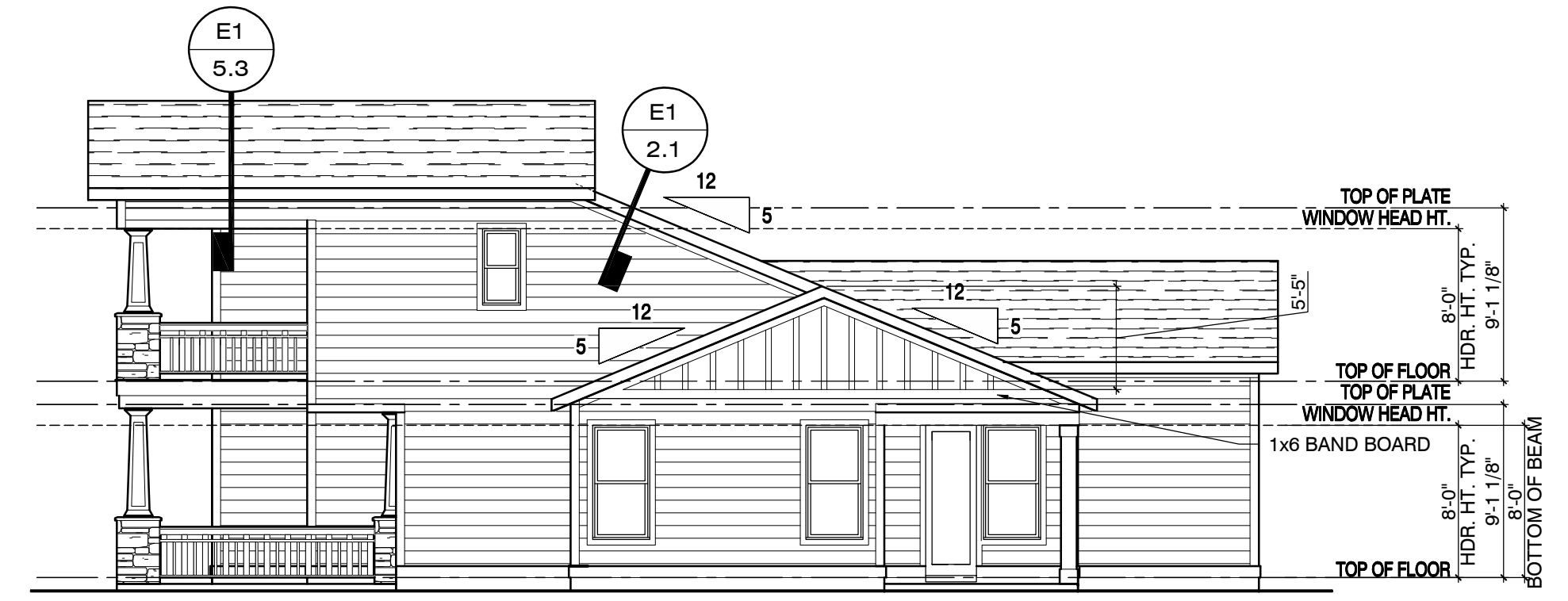


**NOTES:**

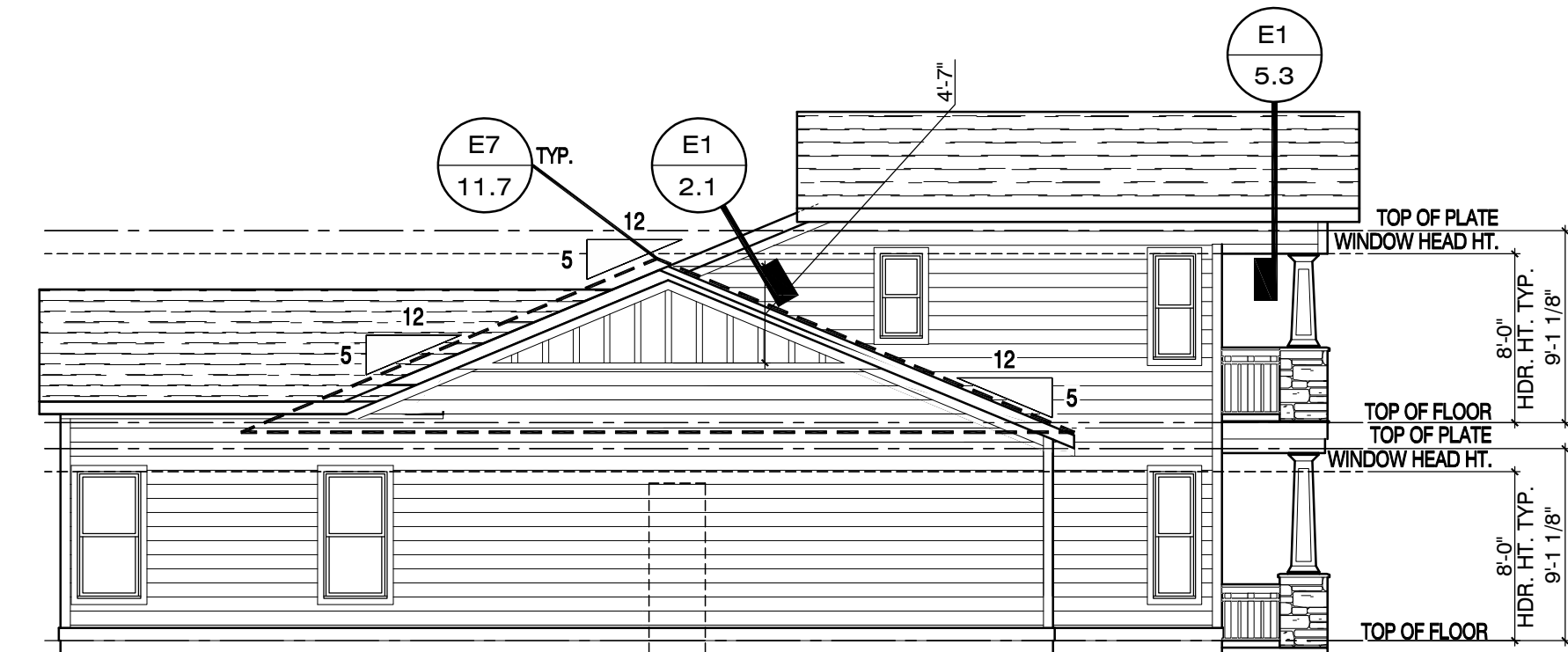
SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E8 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - WRAP 1X6 TYPICAL



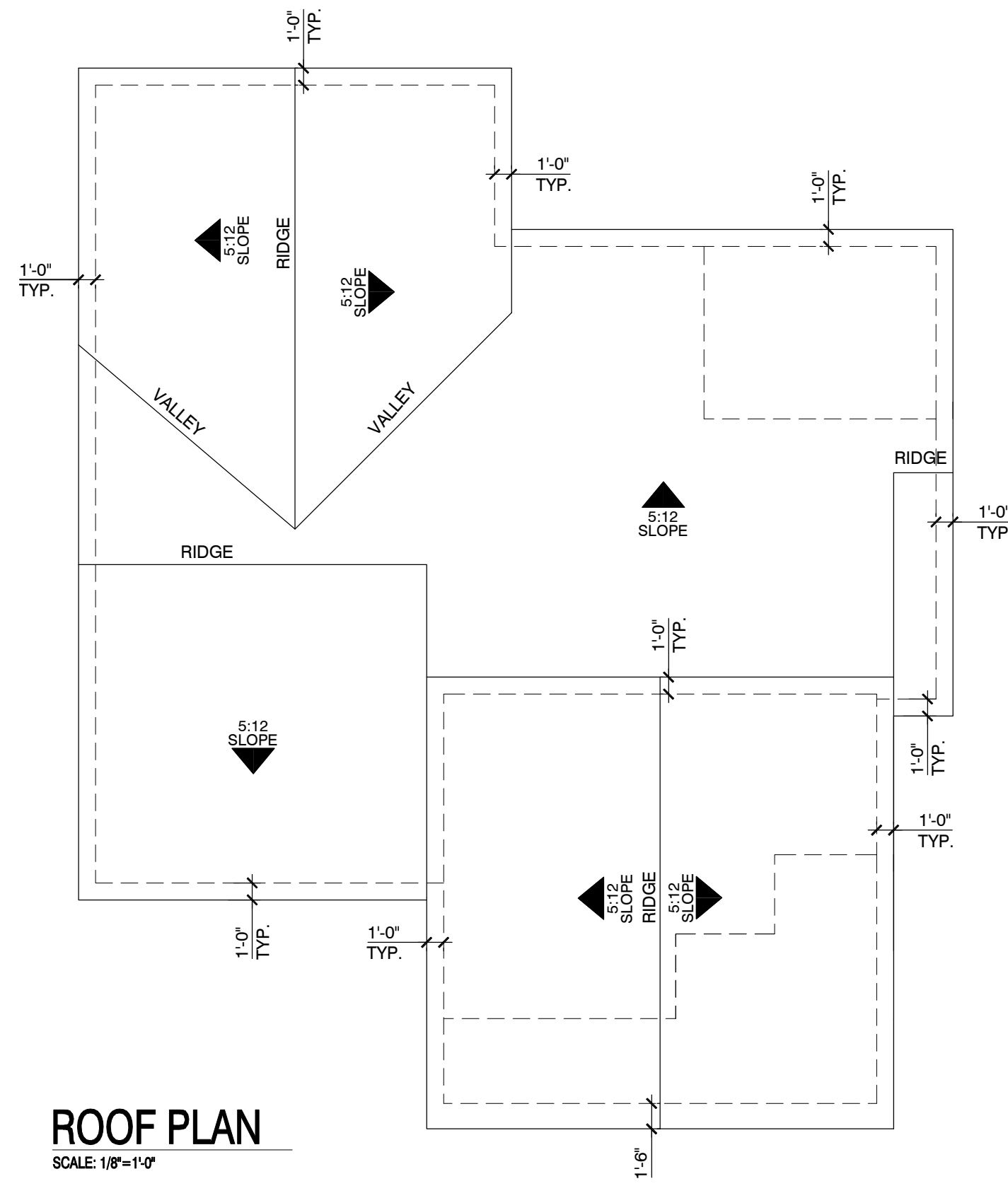
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"

CONTROL RELEASE DATE: 10-03-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

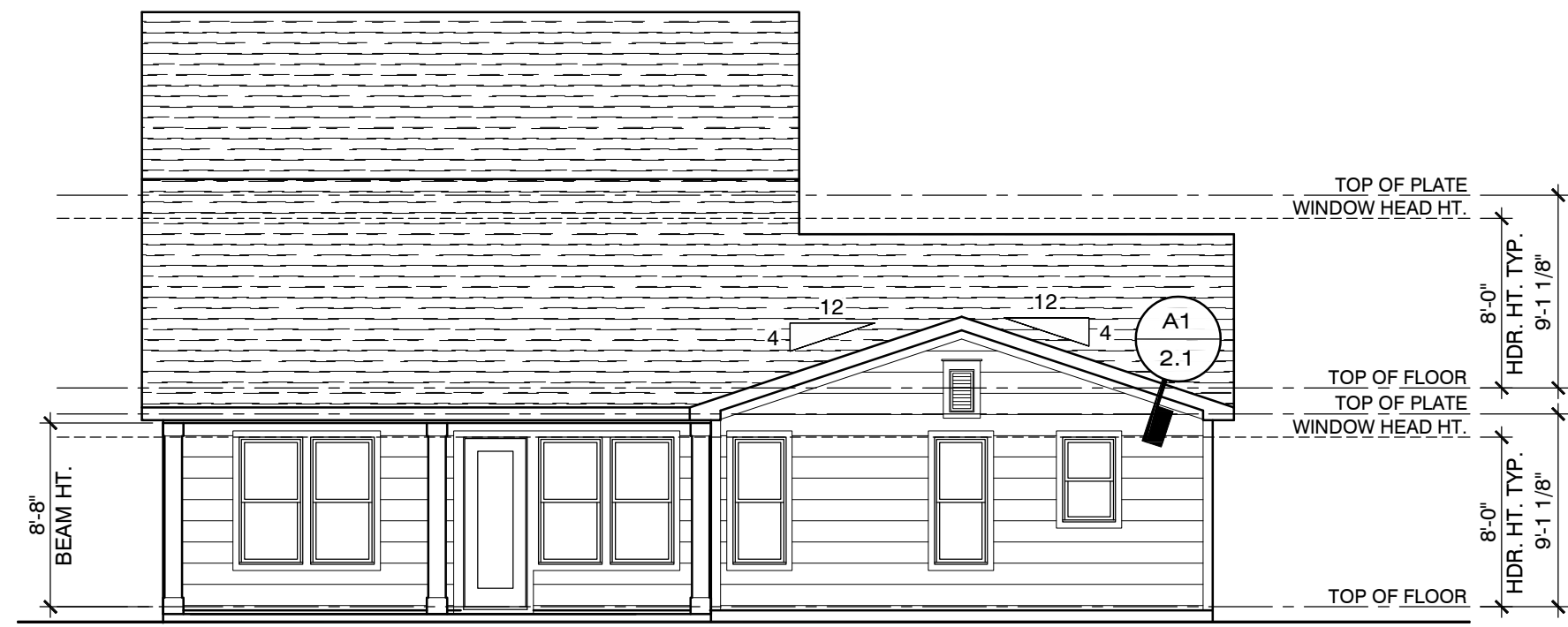
PLAN NUMBER  
**4908**

SHEET  
**A2.1E**

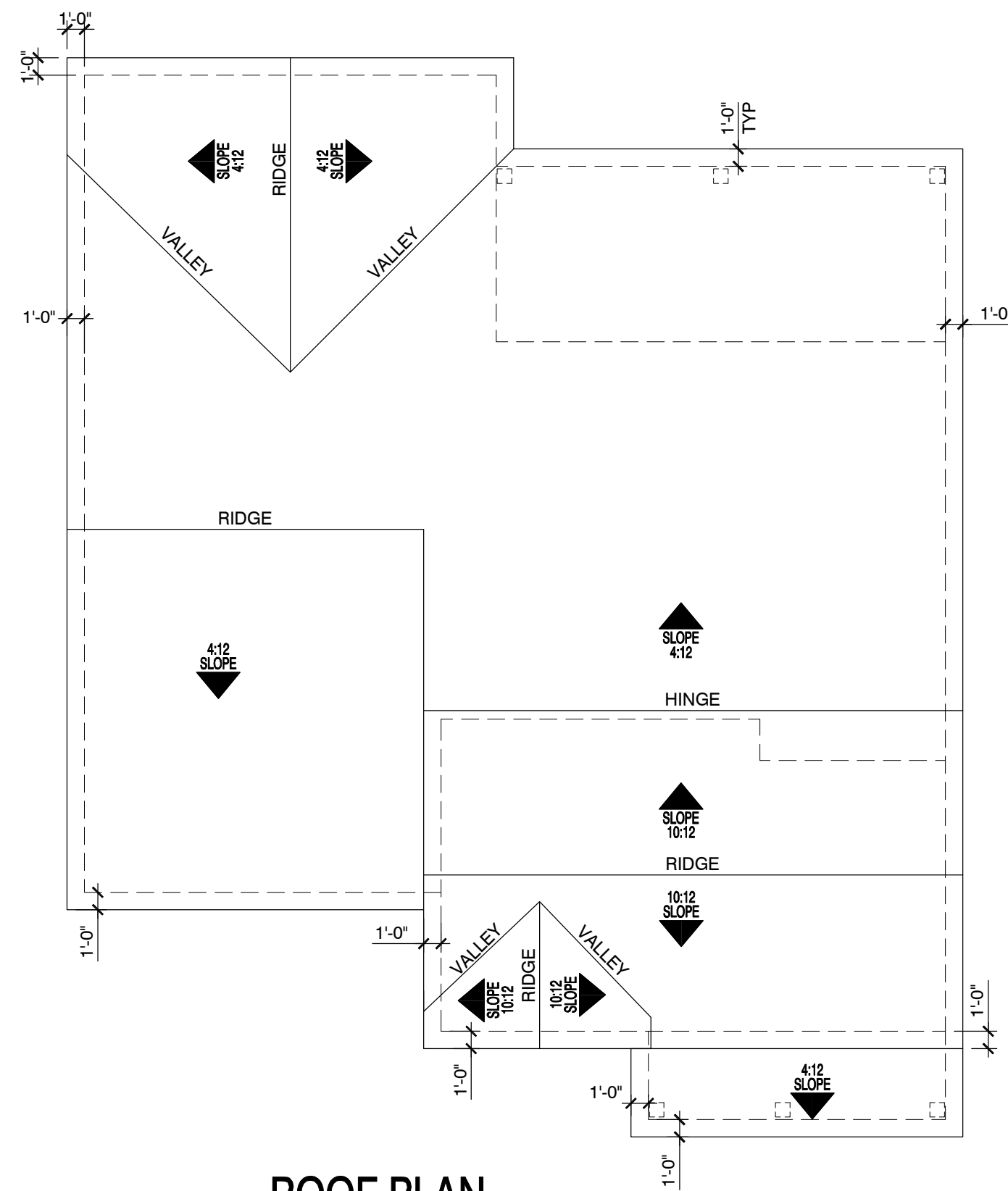
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTES:

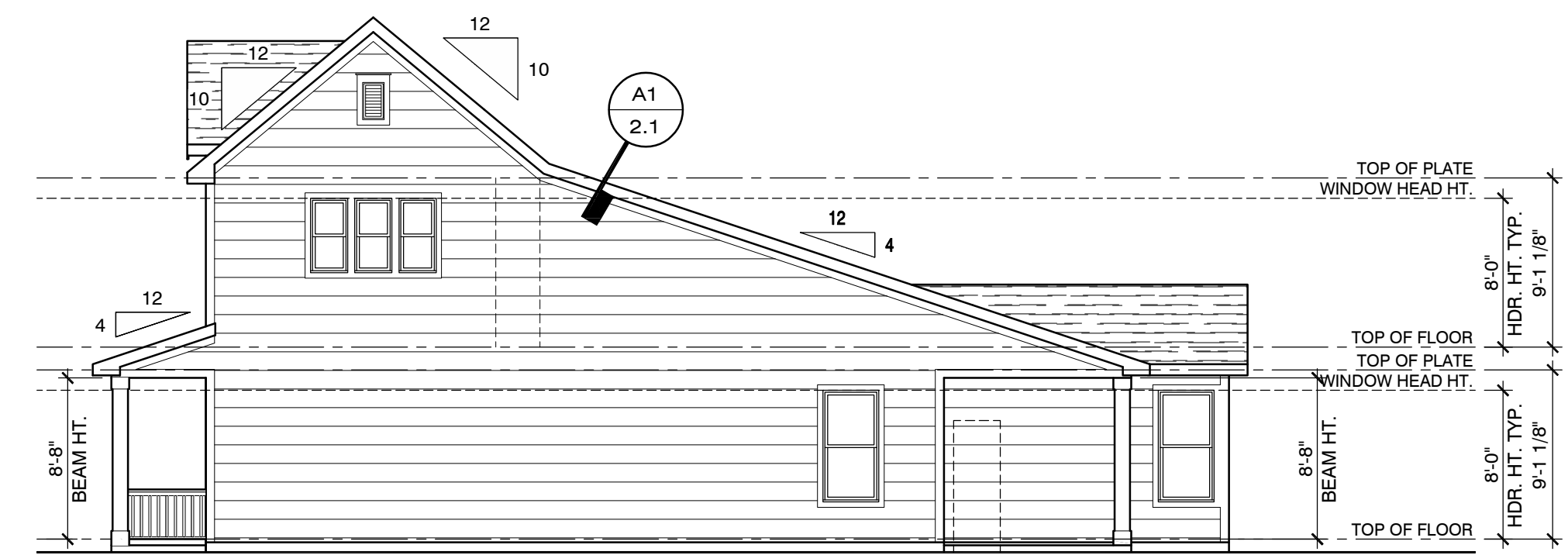
SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - WRAP 1x6 TYP



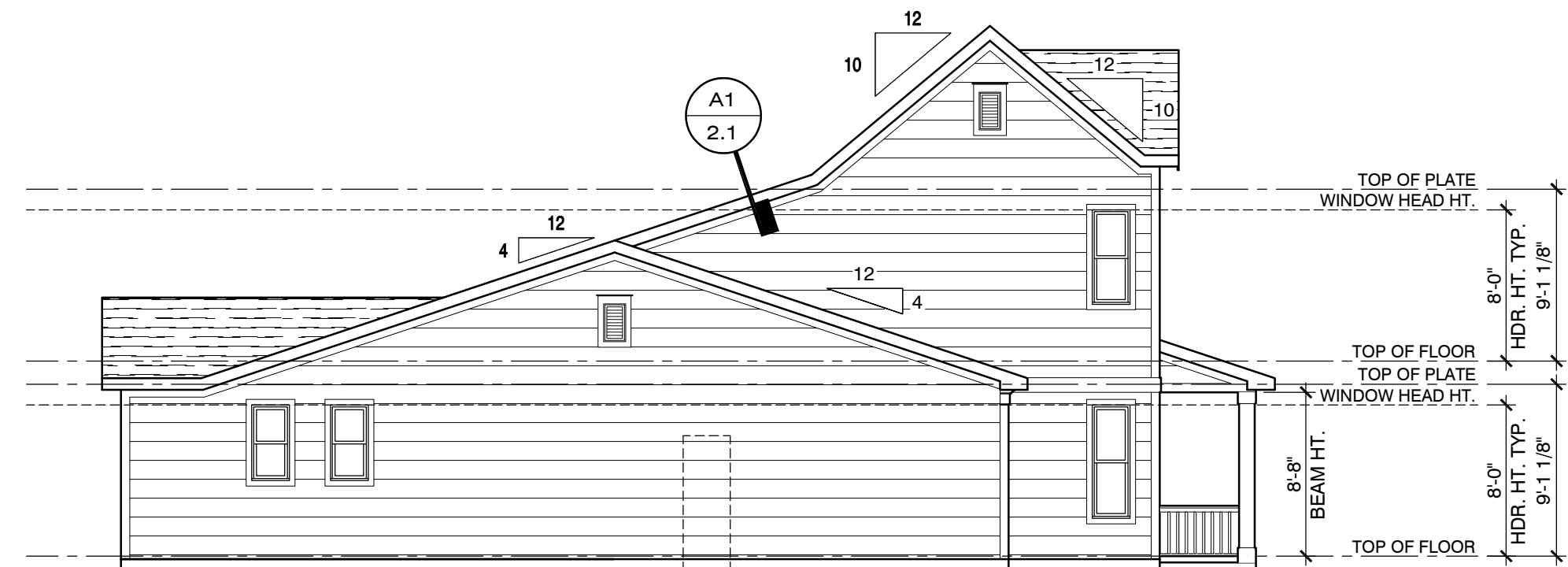
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"

CONTROL RELEASE DATE: 10-03-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4909**

SHEET  
**A2.1A**

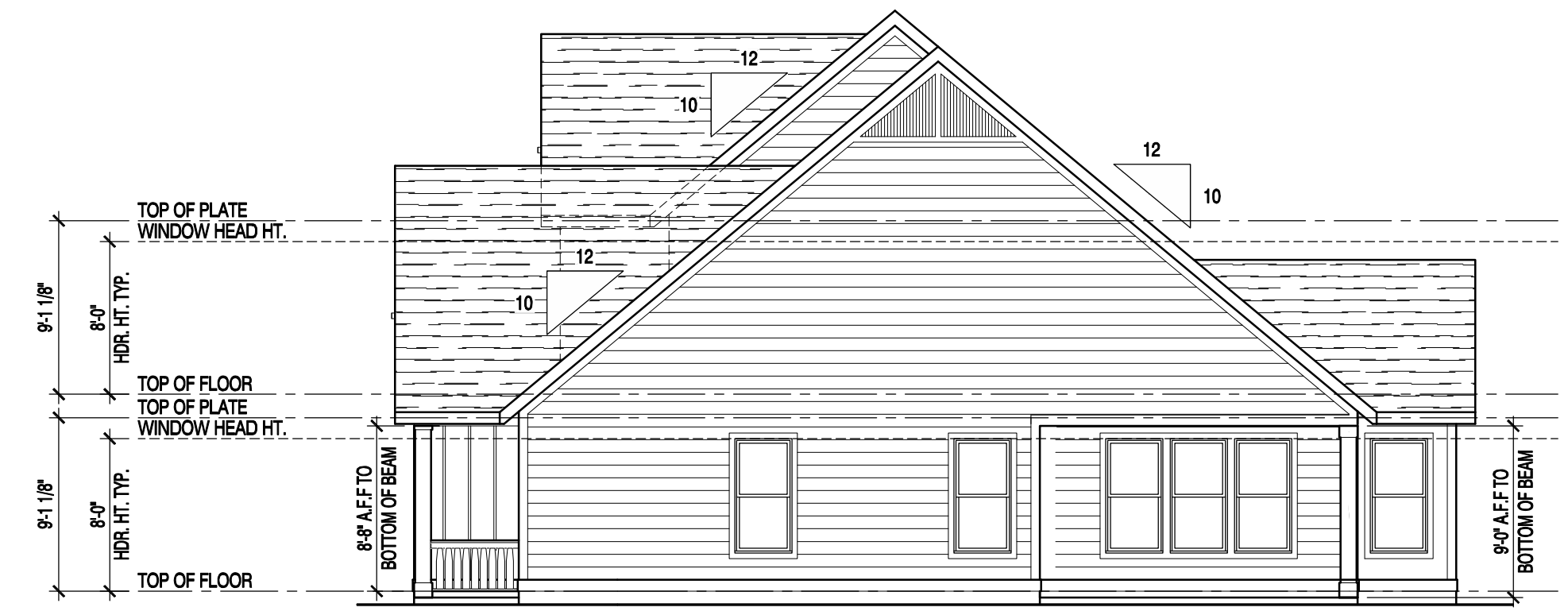
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

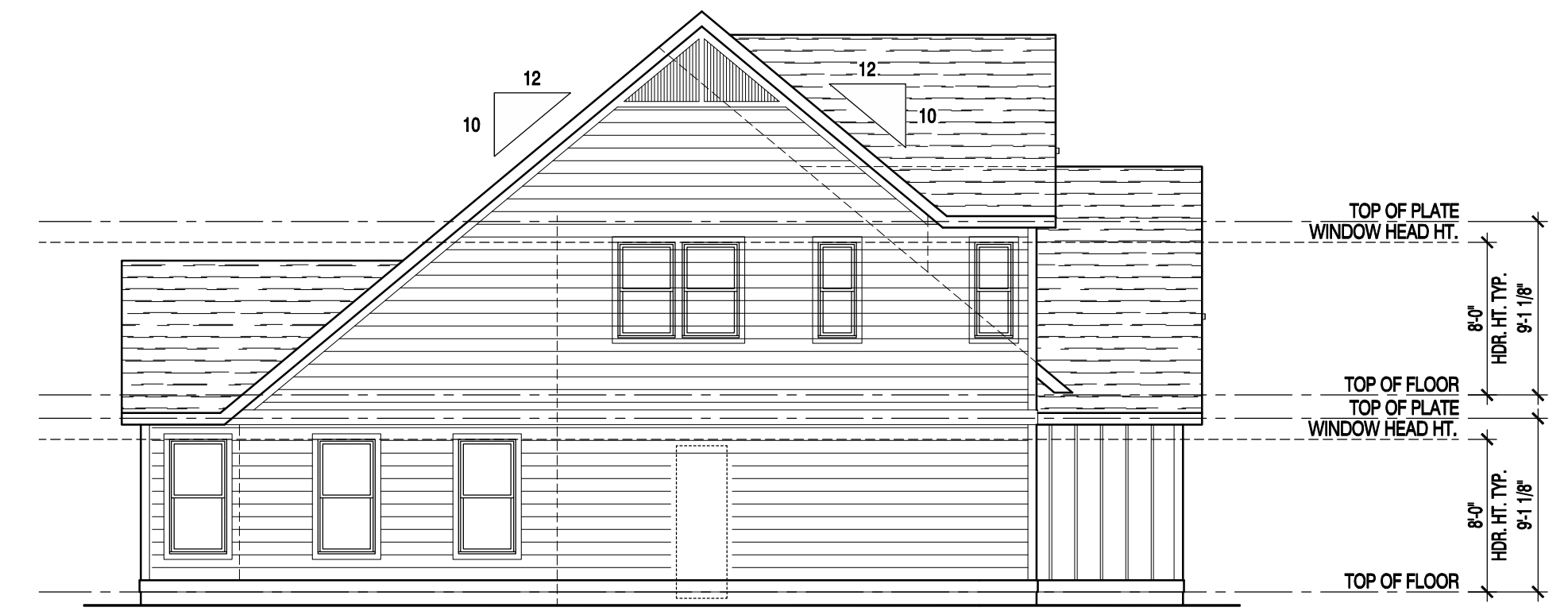
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



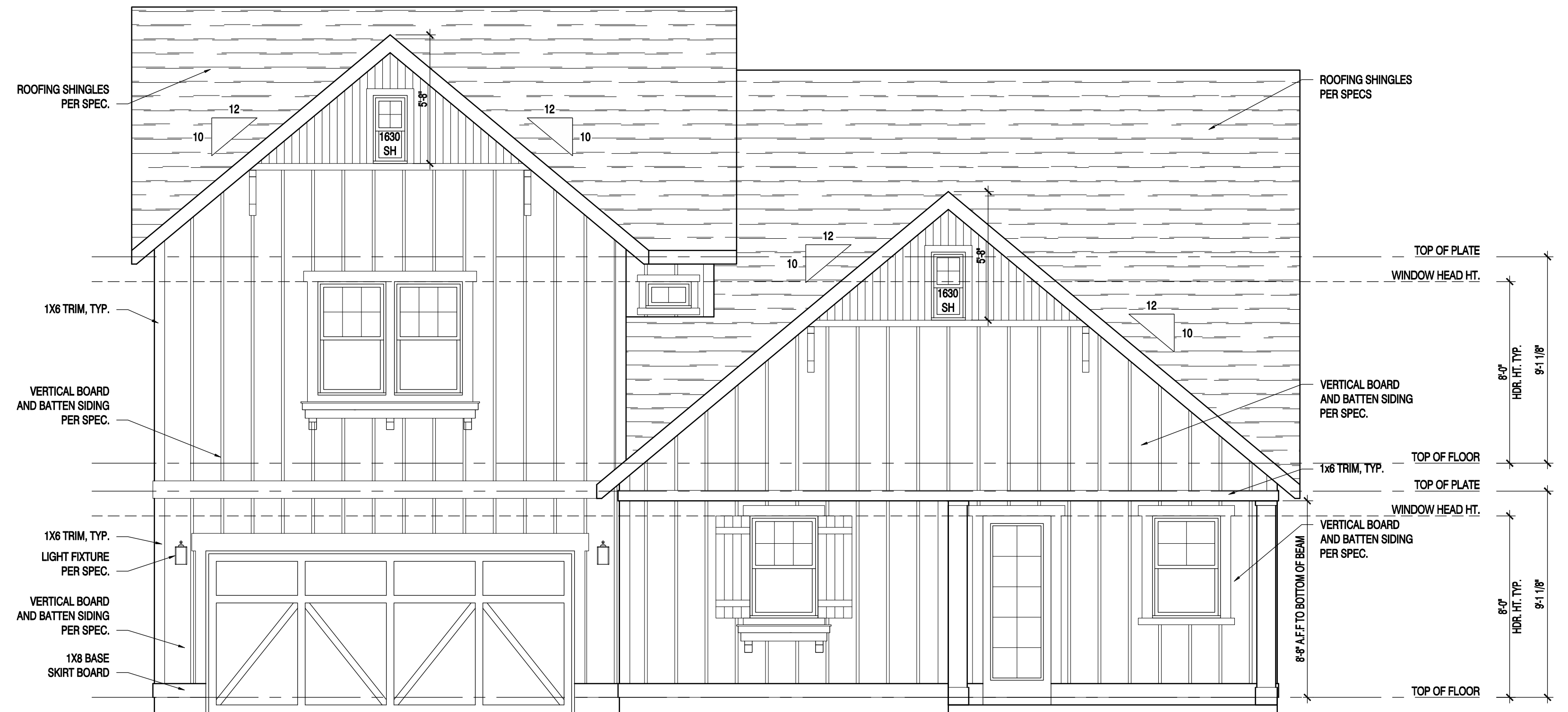
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



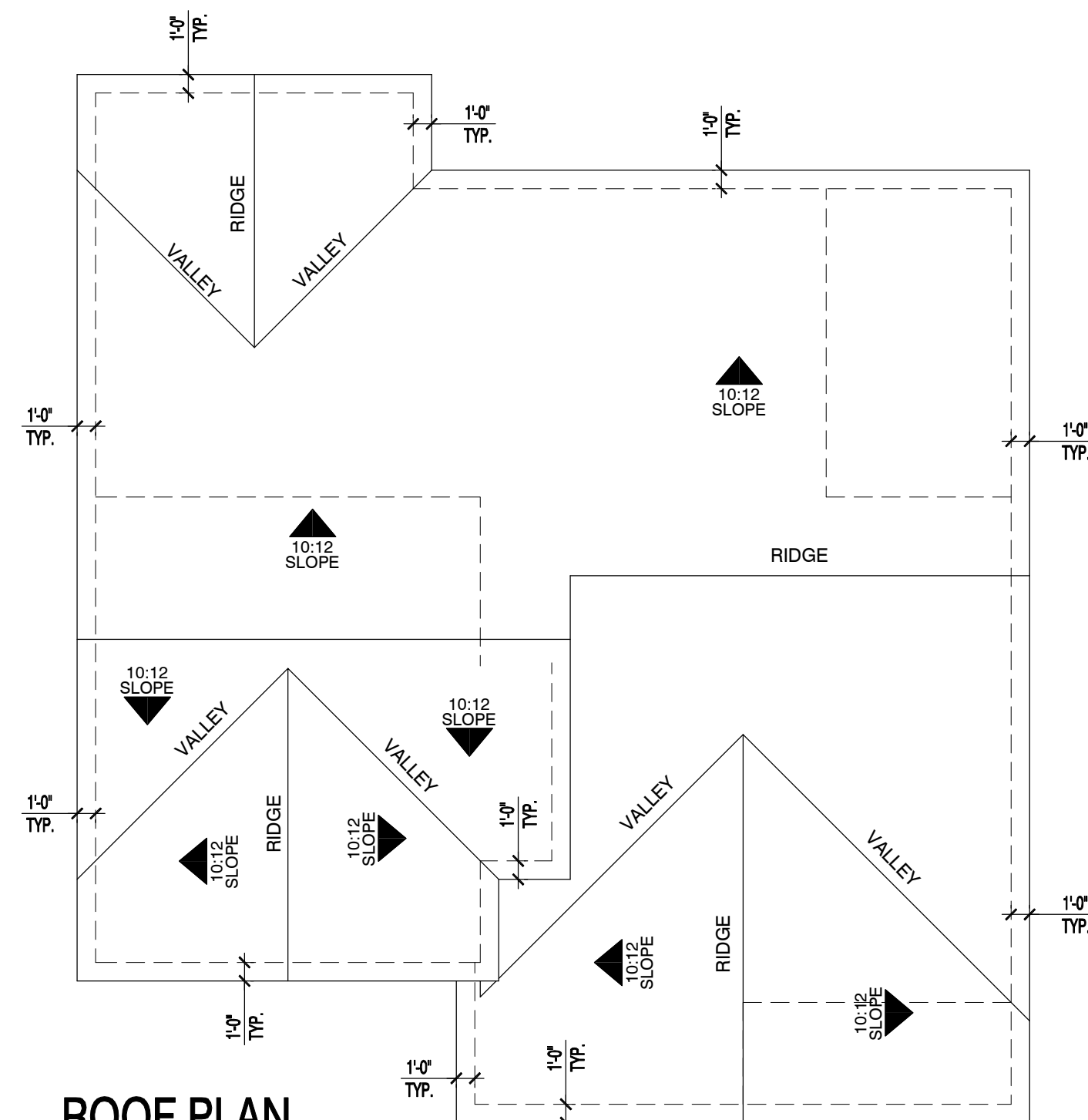
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



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**ELEVATION B -  
 PLANK COTTAGE**

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4910**

SHEET  
**A2.1B**



**NOTES:**

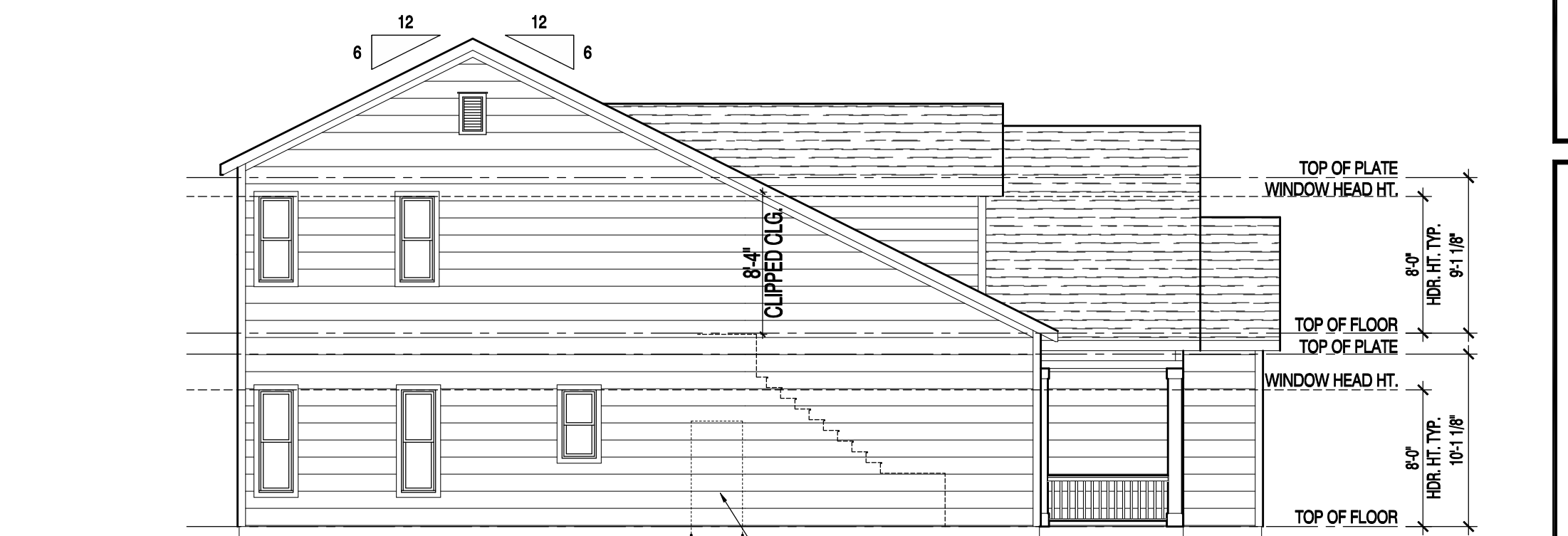
SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



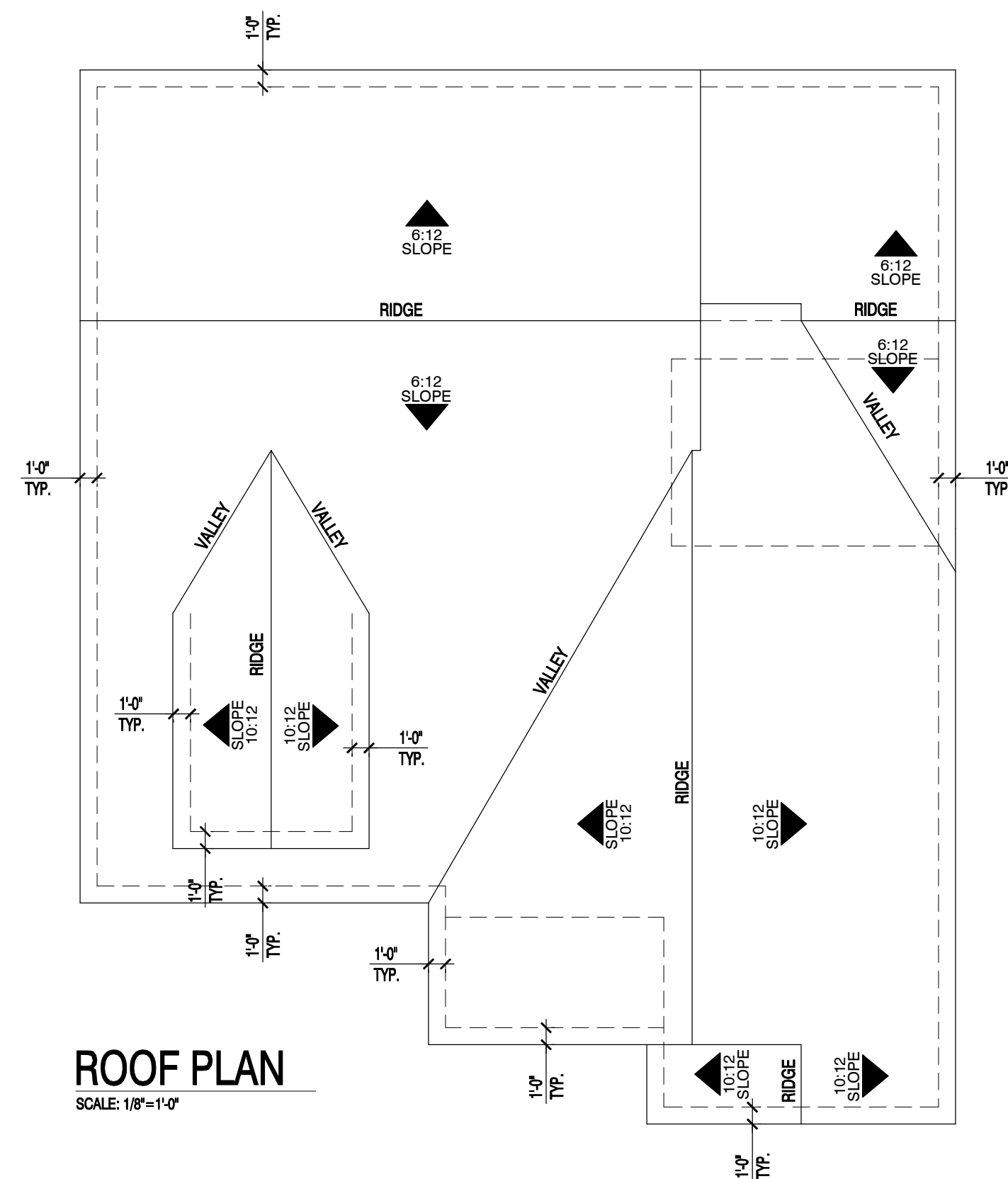
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE:	09-12-16
REV #	DATE / DESCRIPTION	

**GARAGE HANDING**  
**LEFT**

**PLAN NUMBER**  
**4912**

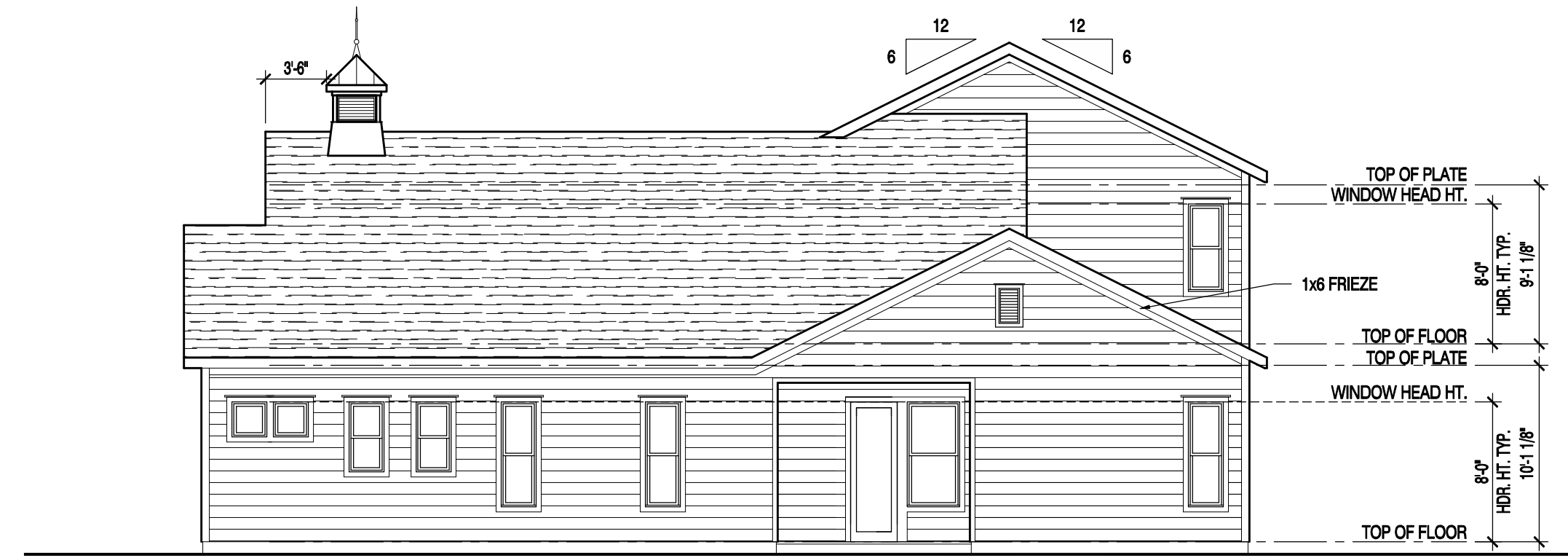
**SHEET**  
**A2.1A**

**NOTES:**

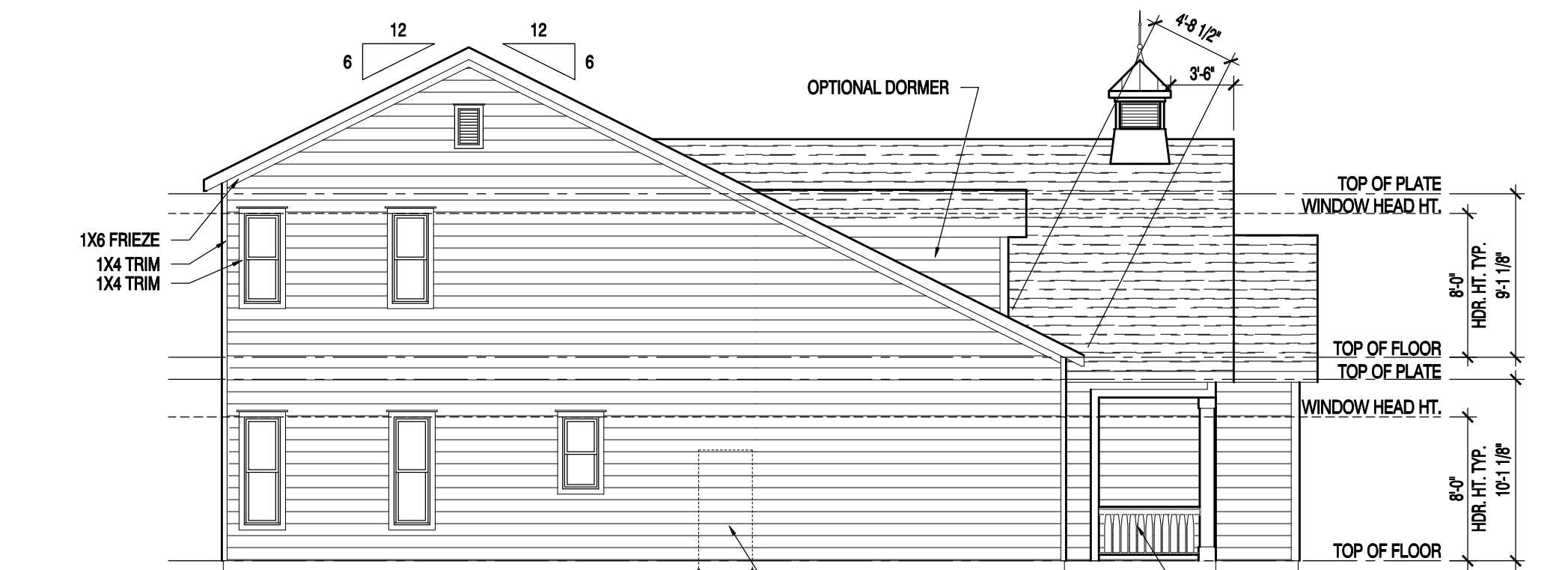
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



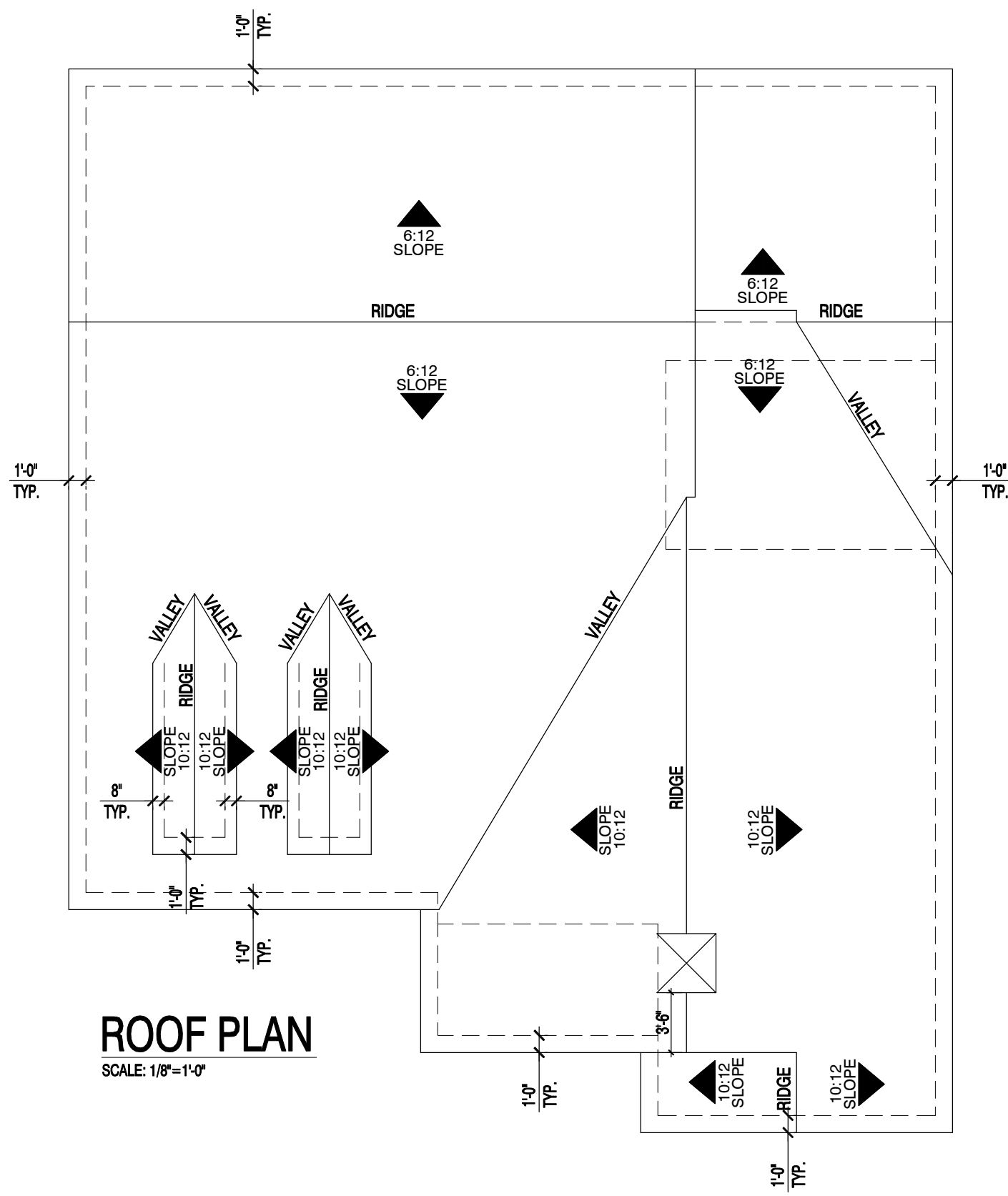
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



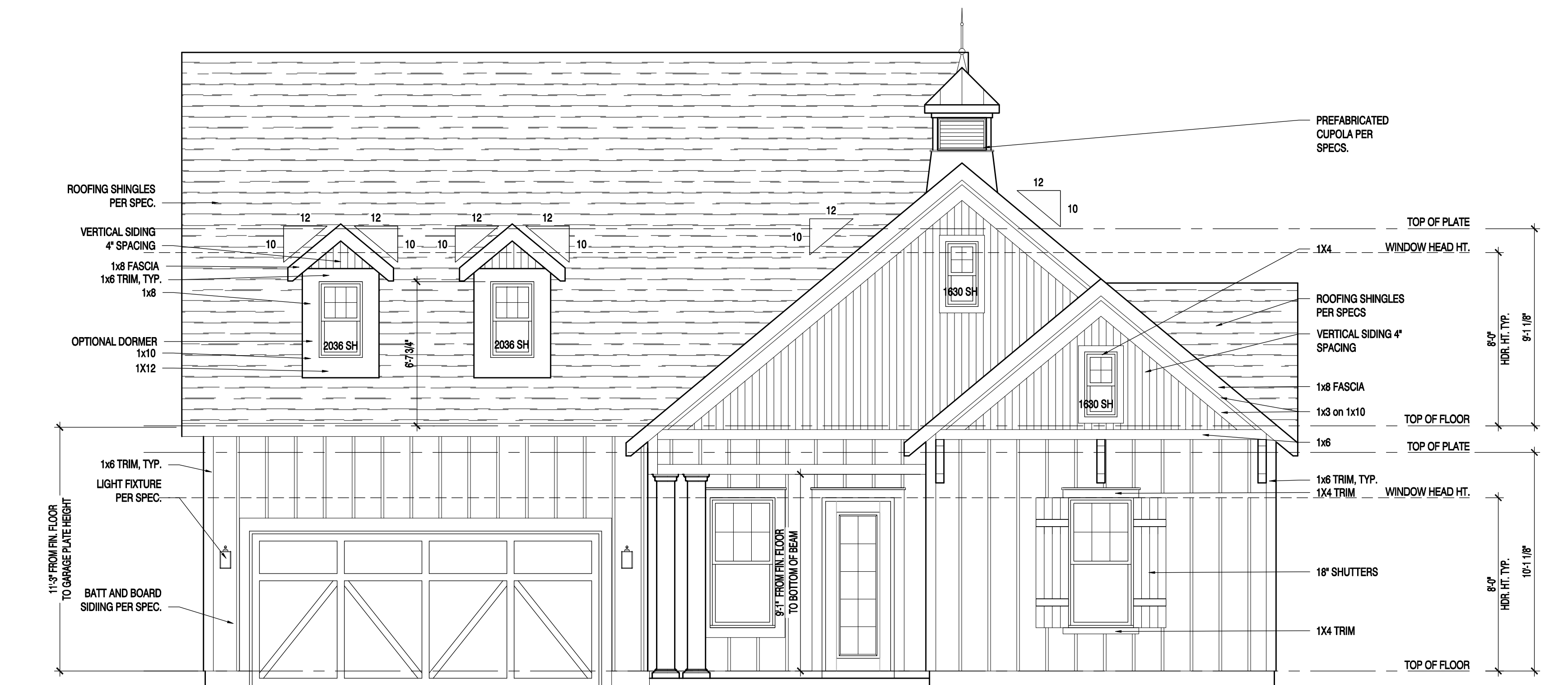
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"

CONTROL RELEASE DATE: 09-12-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4912**

SHEET  
**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

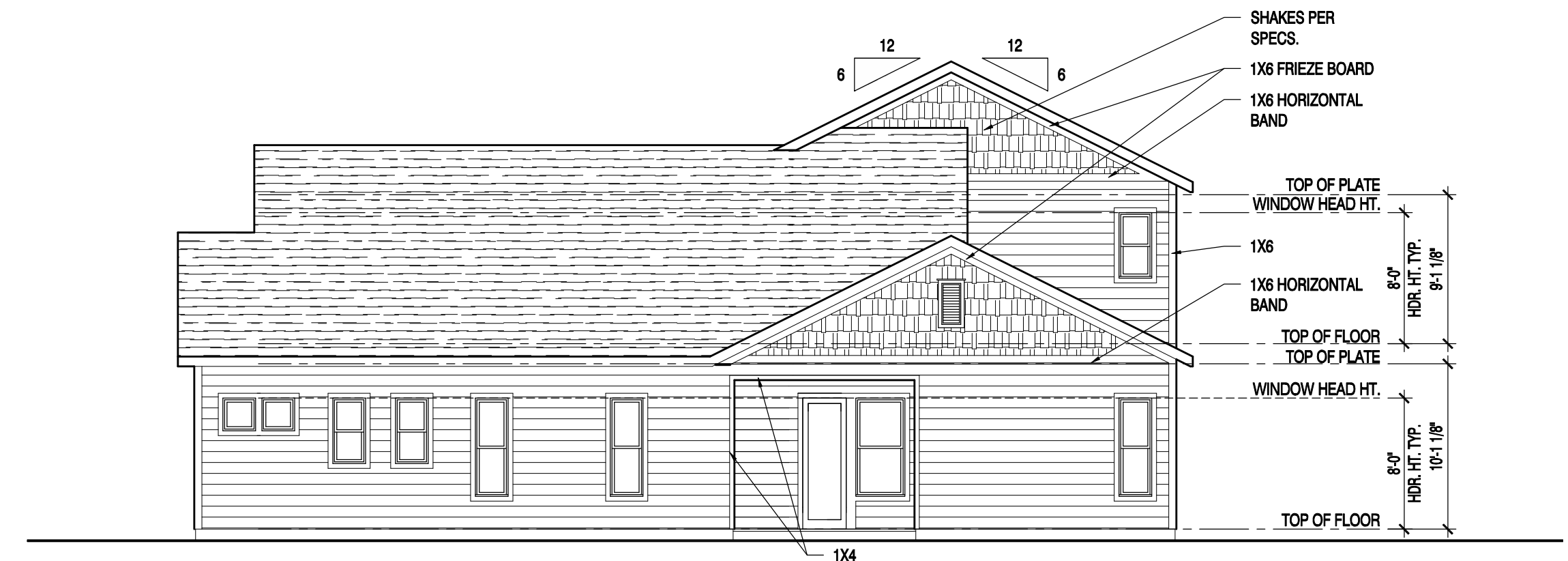


**REAR ELEVATION**

SCALE: 1/8"=1'-0"

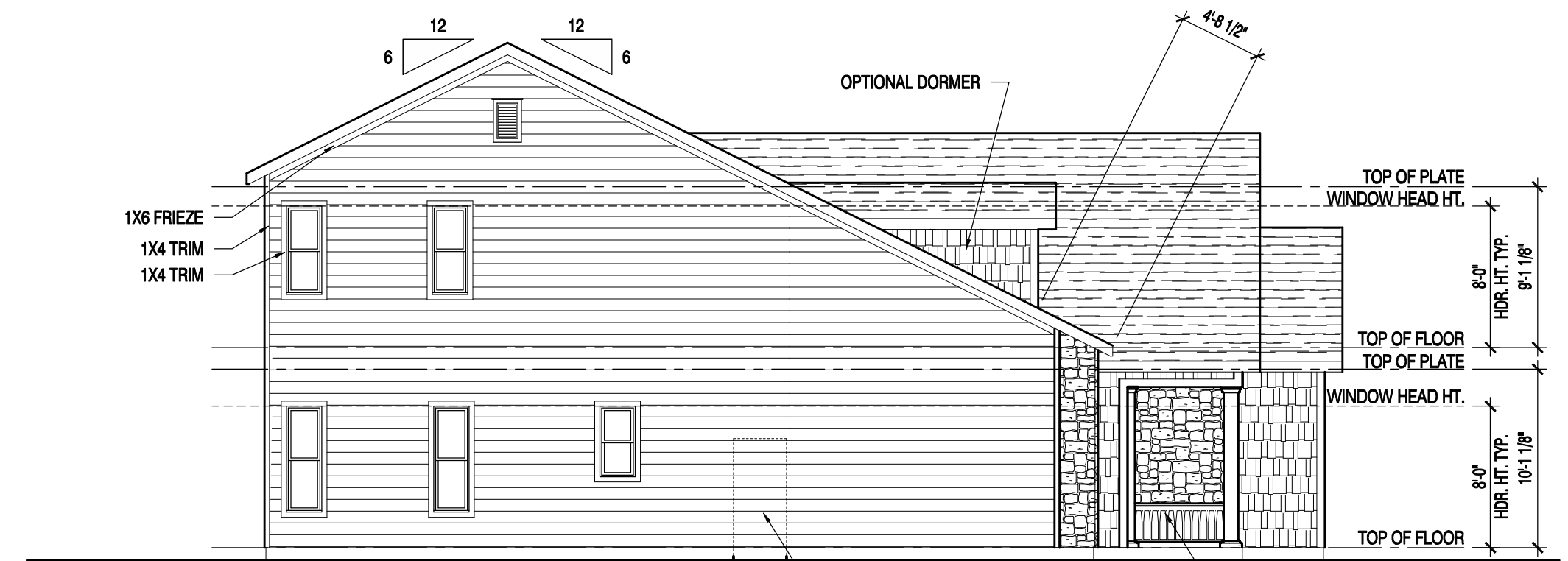
**NOTES:**

SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



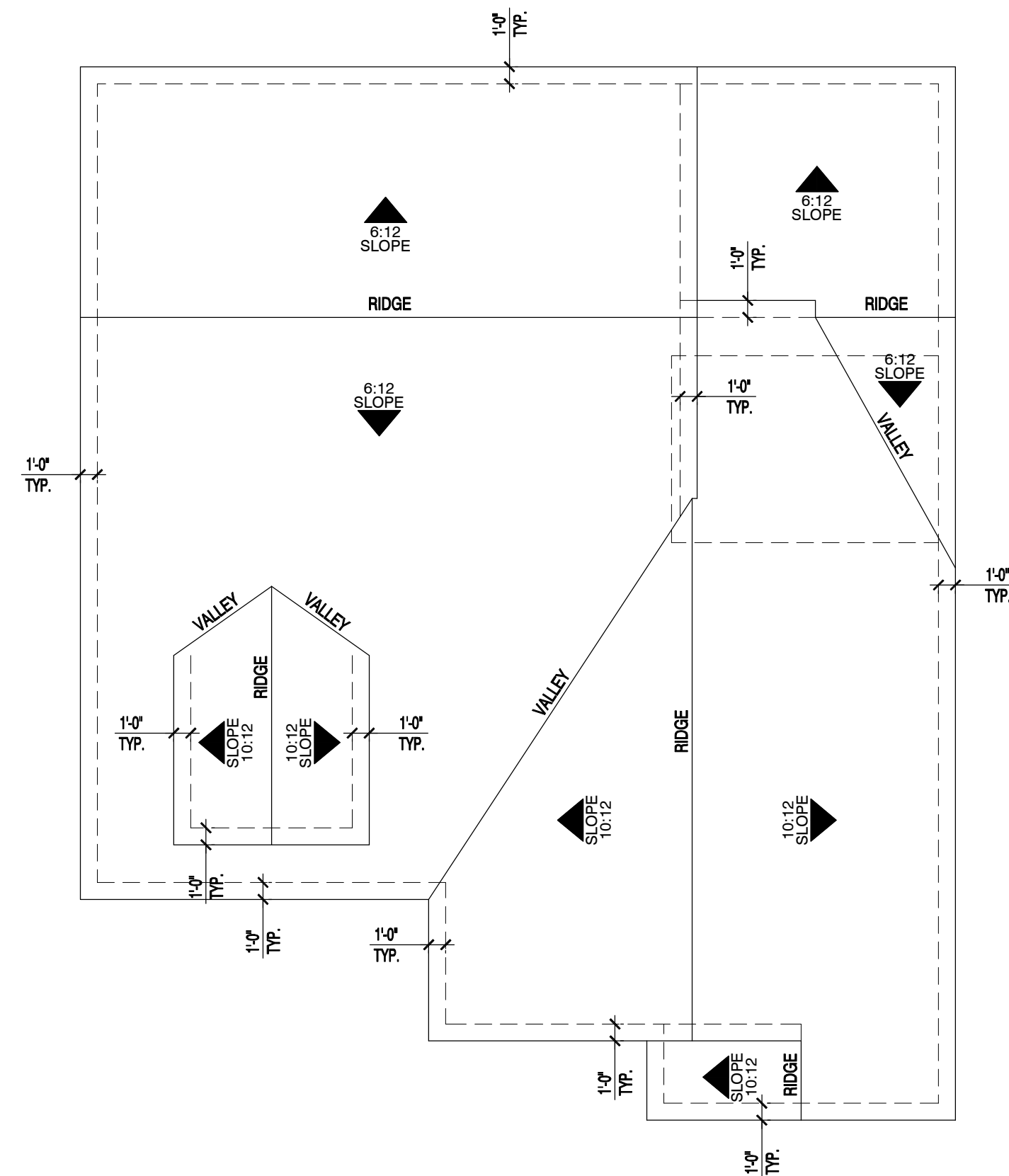
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



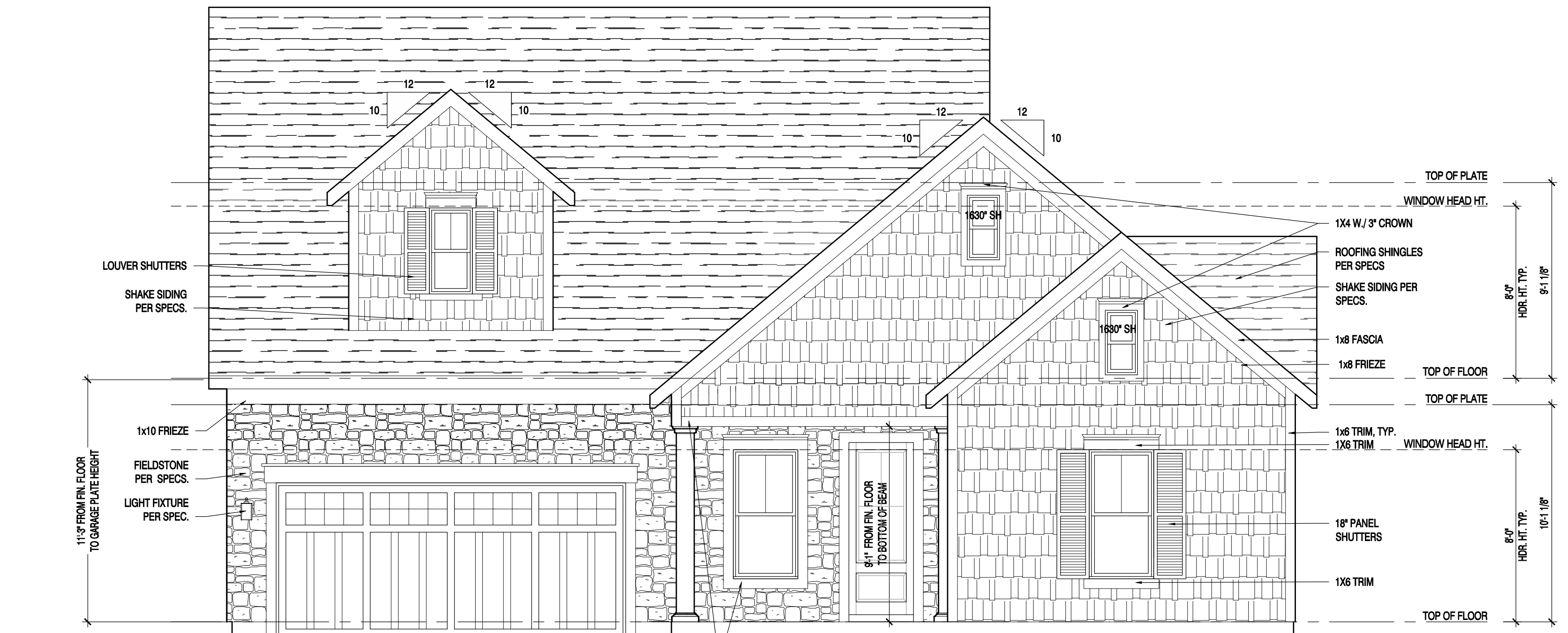
**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**

SCALE: 1/4"=1'-0"

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4912**

SHEET  
**A2.1C**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



**NOTES:**

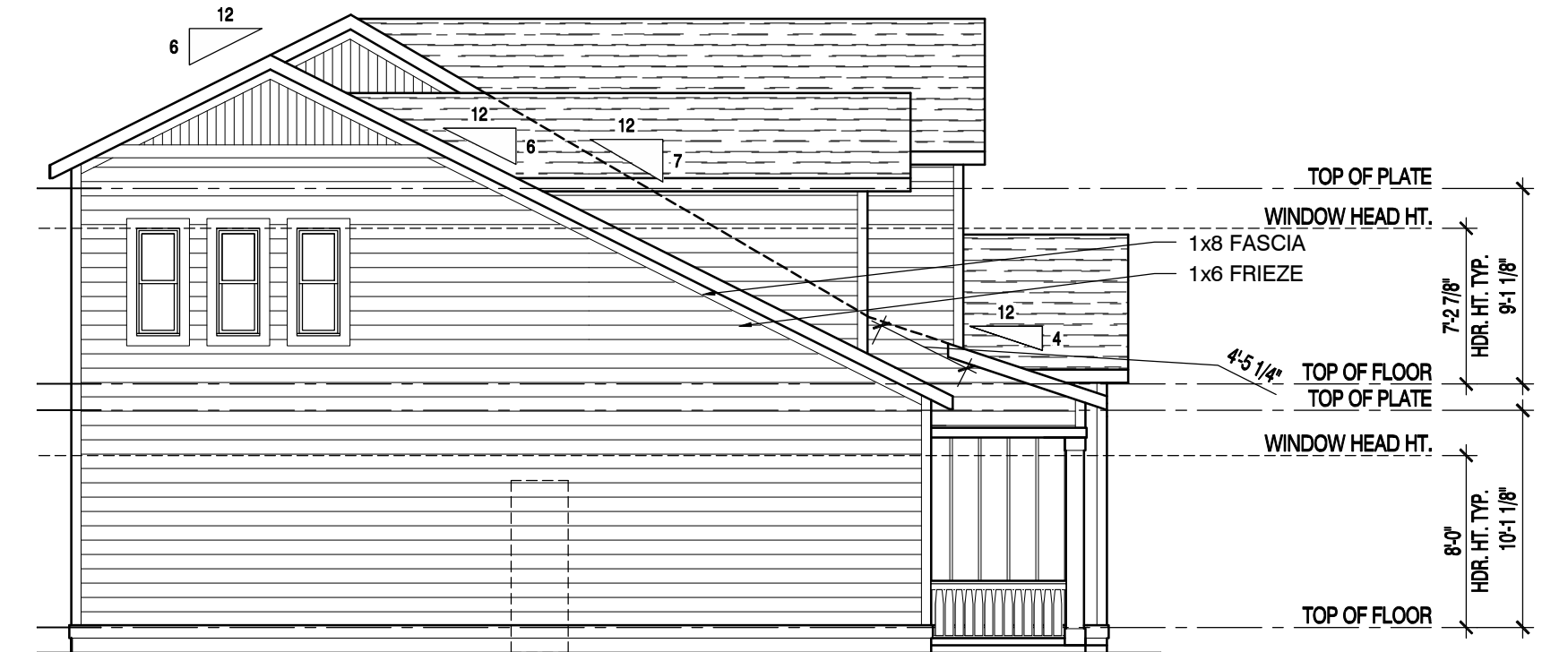
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



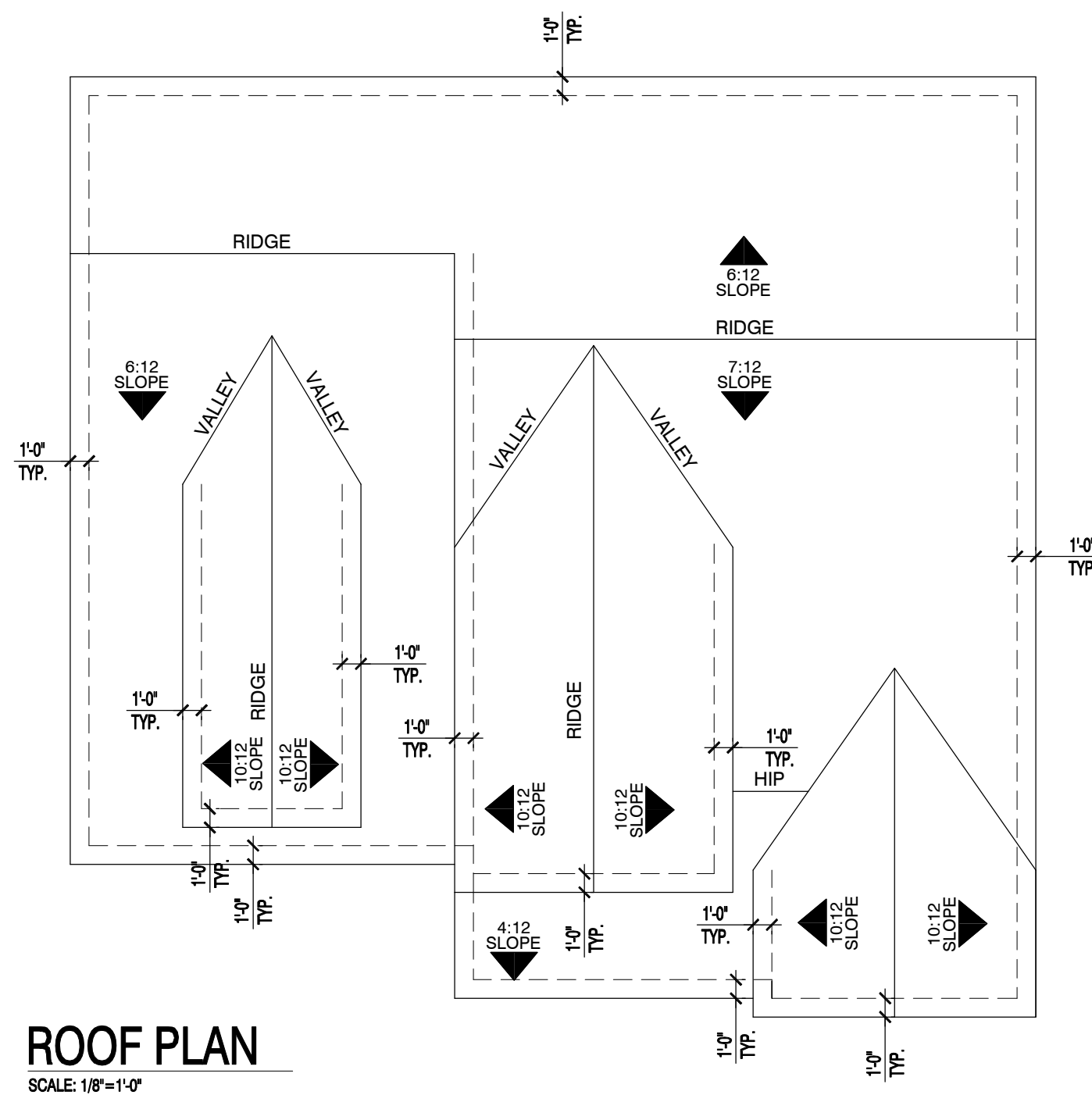
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"

CONTROL	RELEASE DATE:	09-23-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4913**

SHEET  
**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**NOTES:**

SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



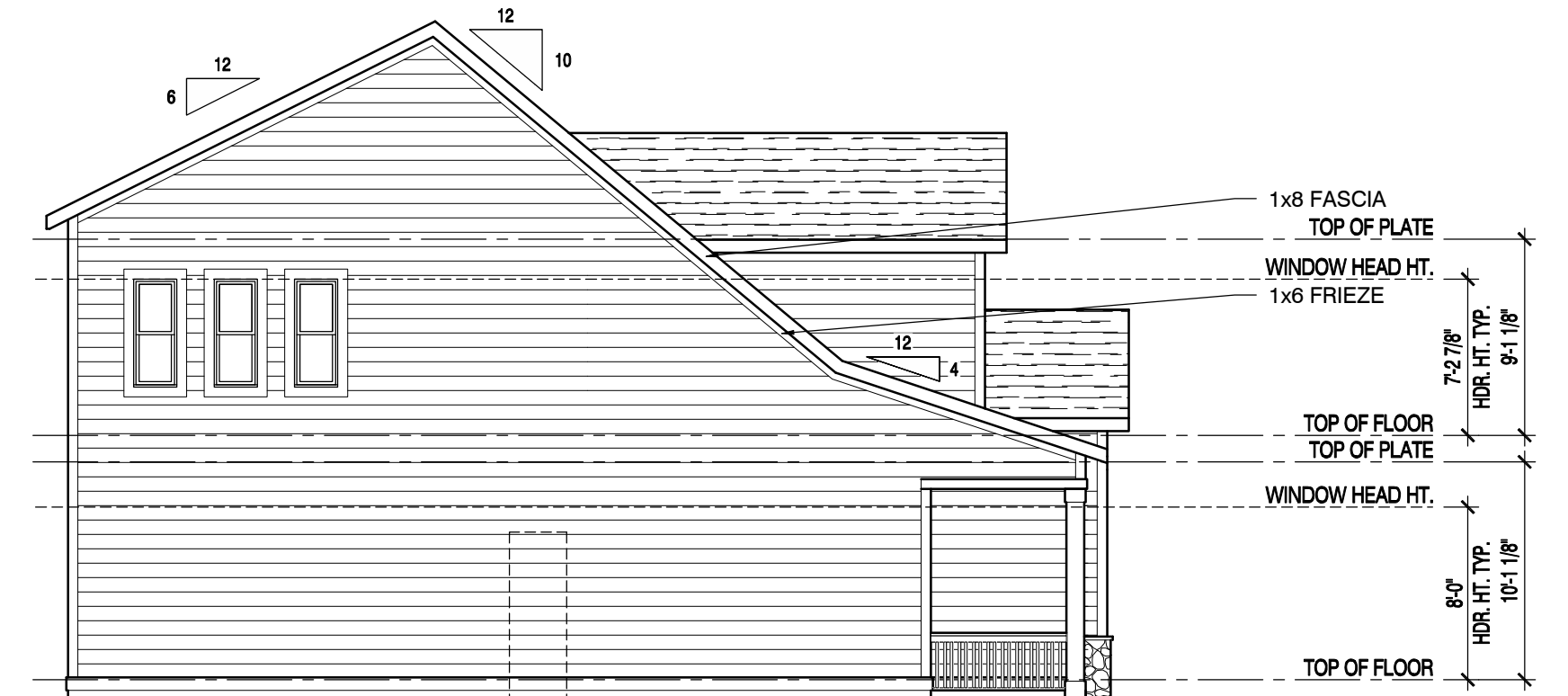
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



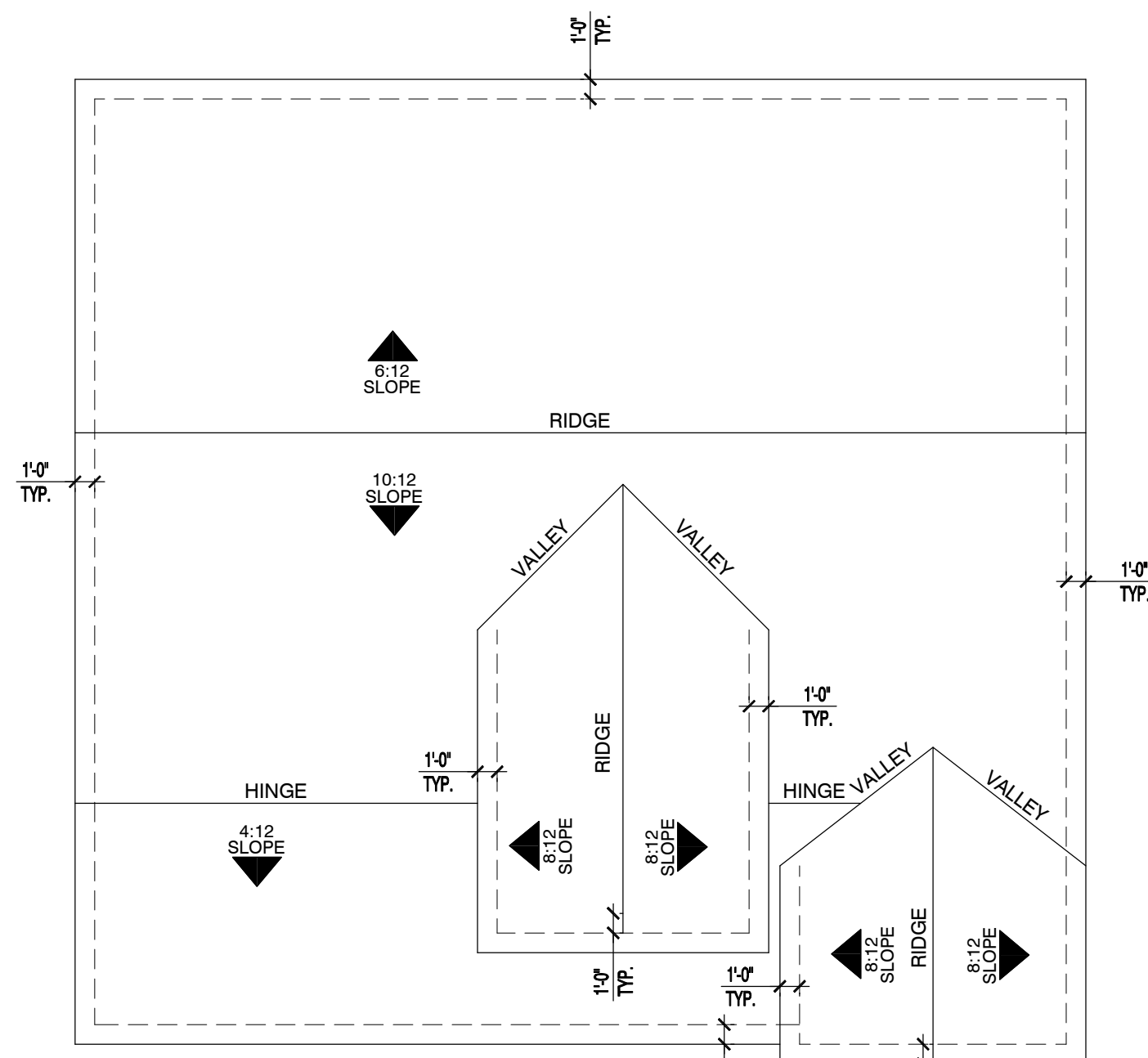
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**

SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



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**ELEVATION C - COASTAL**

REV #	DATE / DESCRIPTION

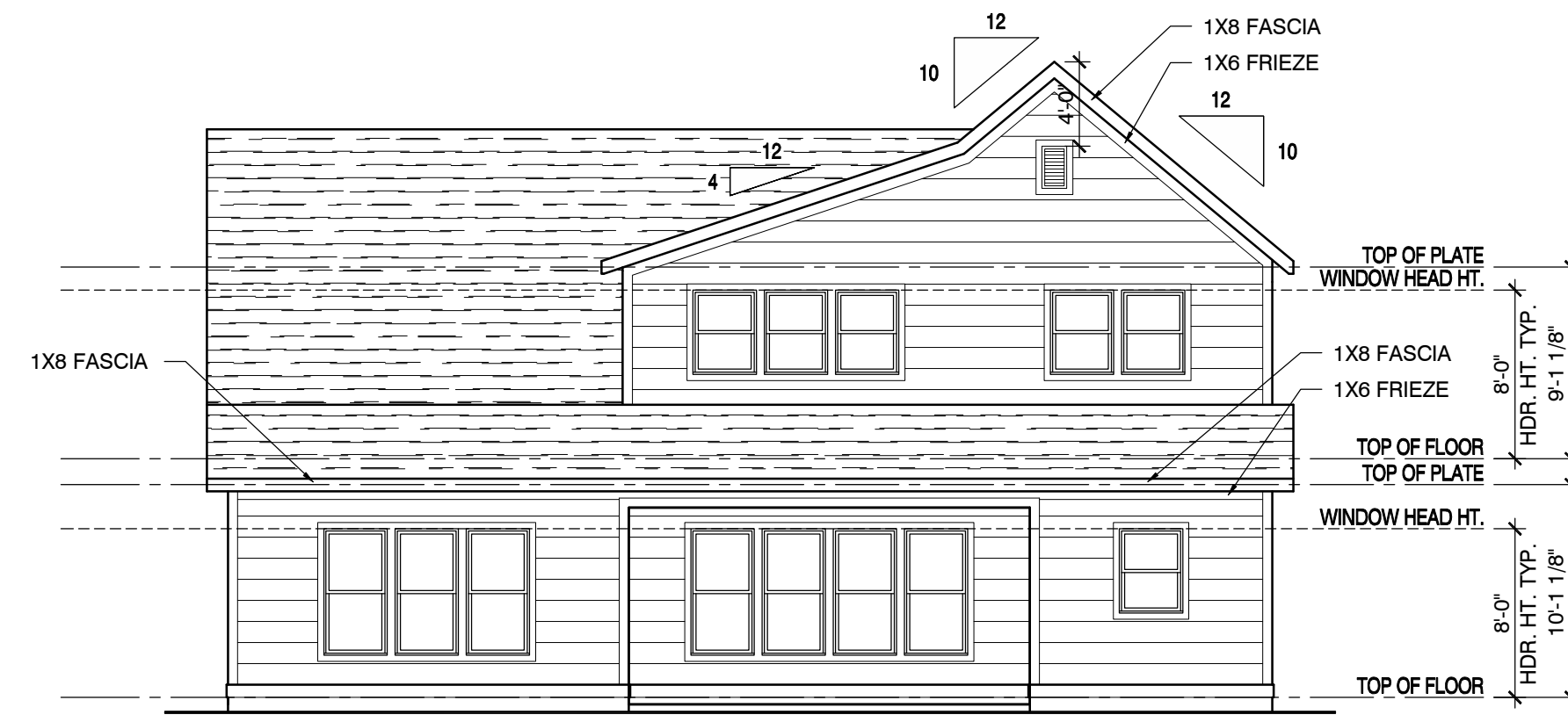
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4913**

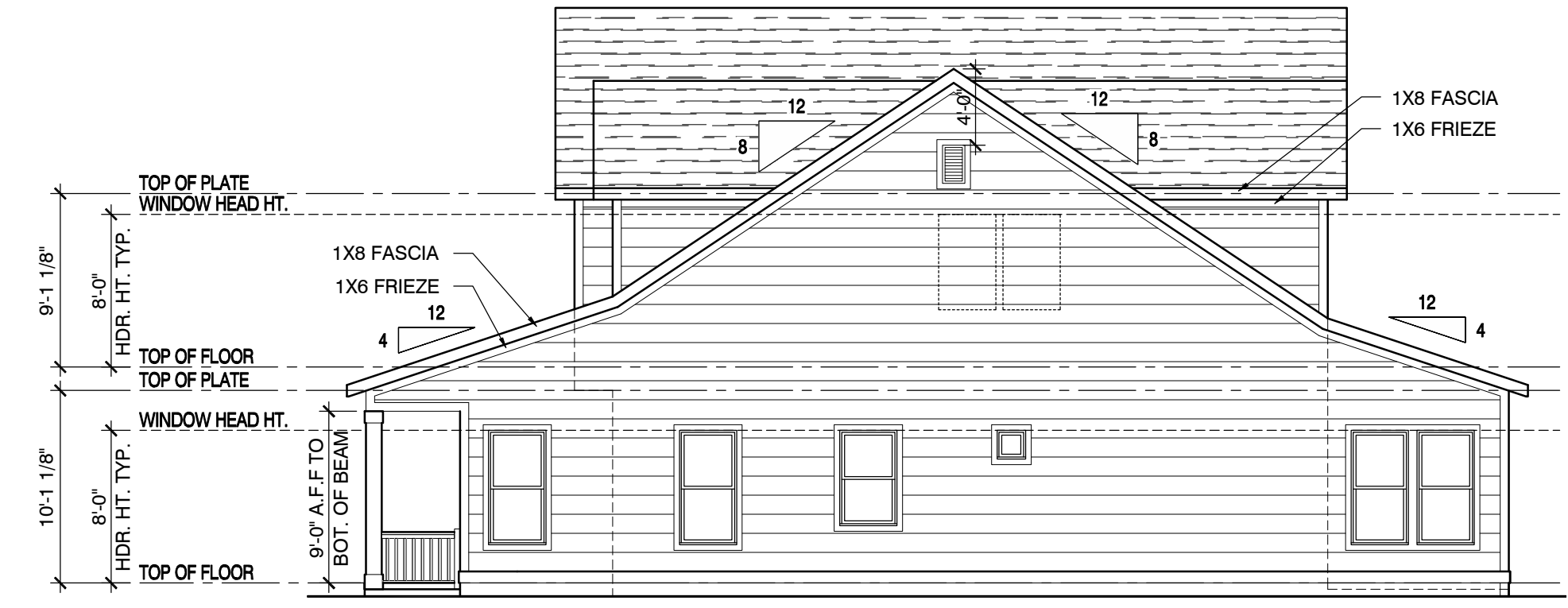
SHEET  
**A2.1C**

**NOTES:**

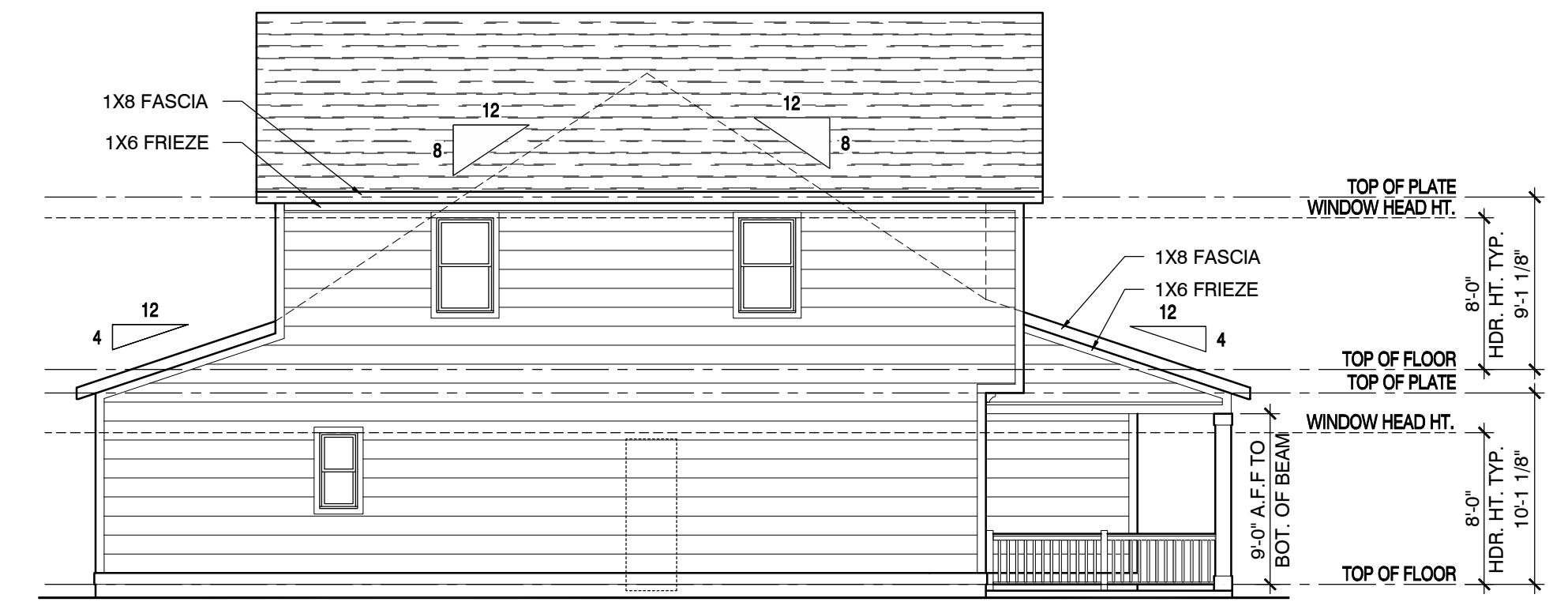
SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



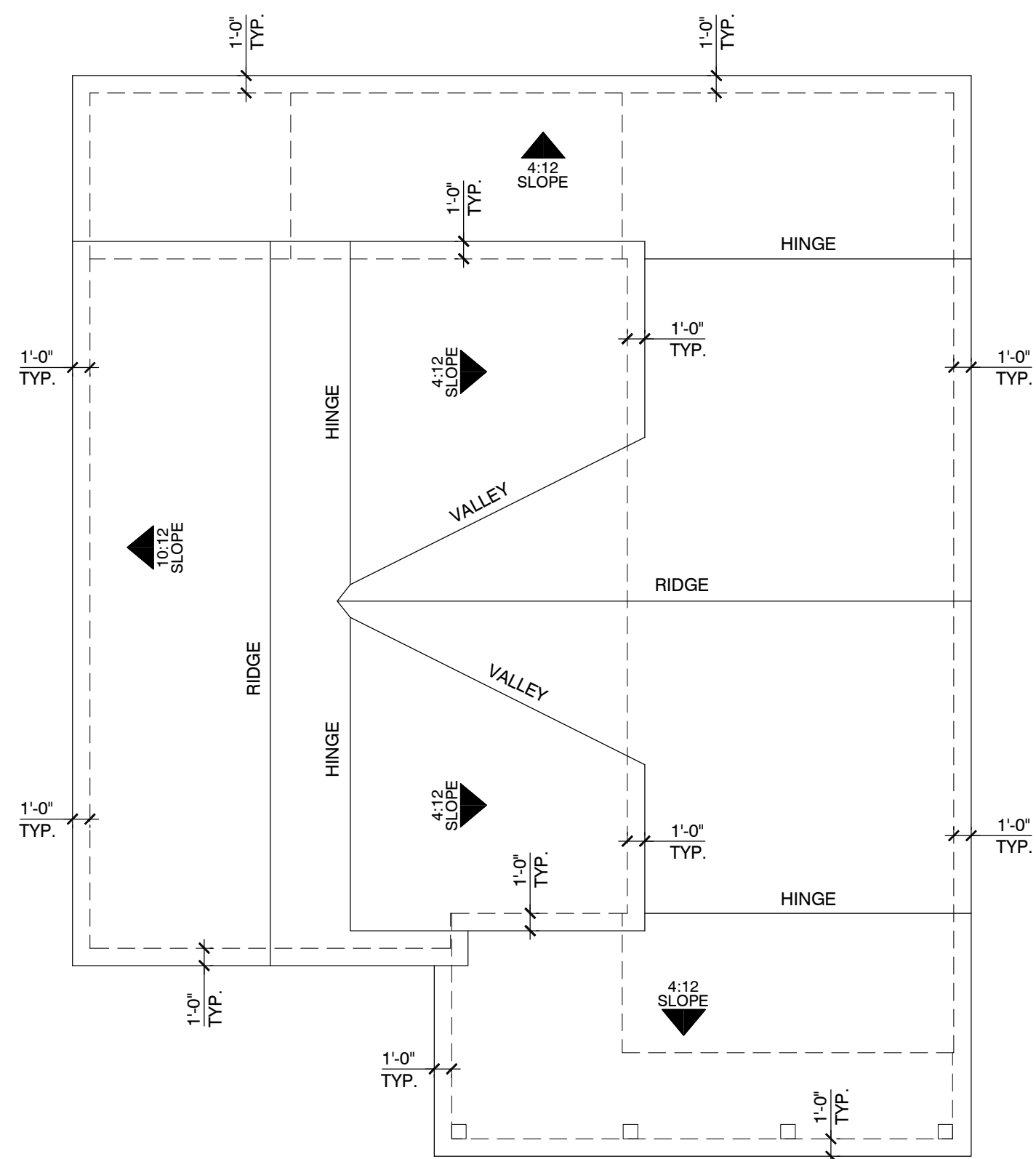
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4914**

SHEET  
**A2.1A**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

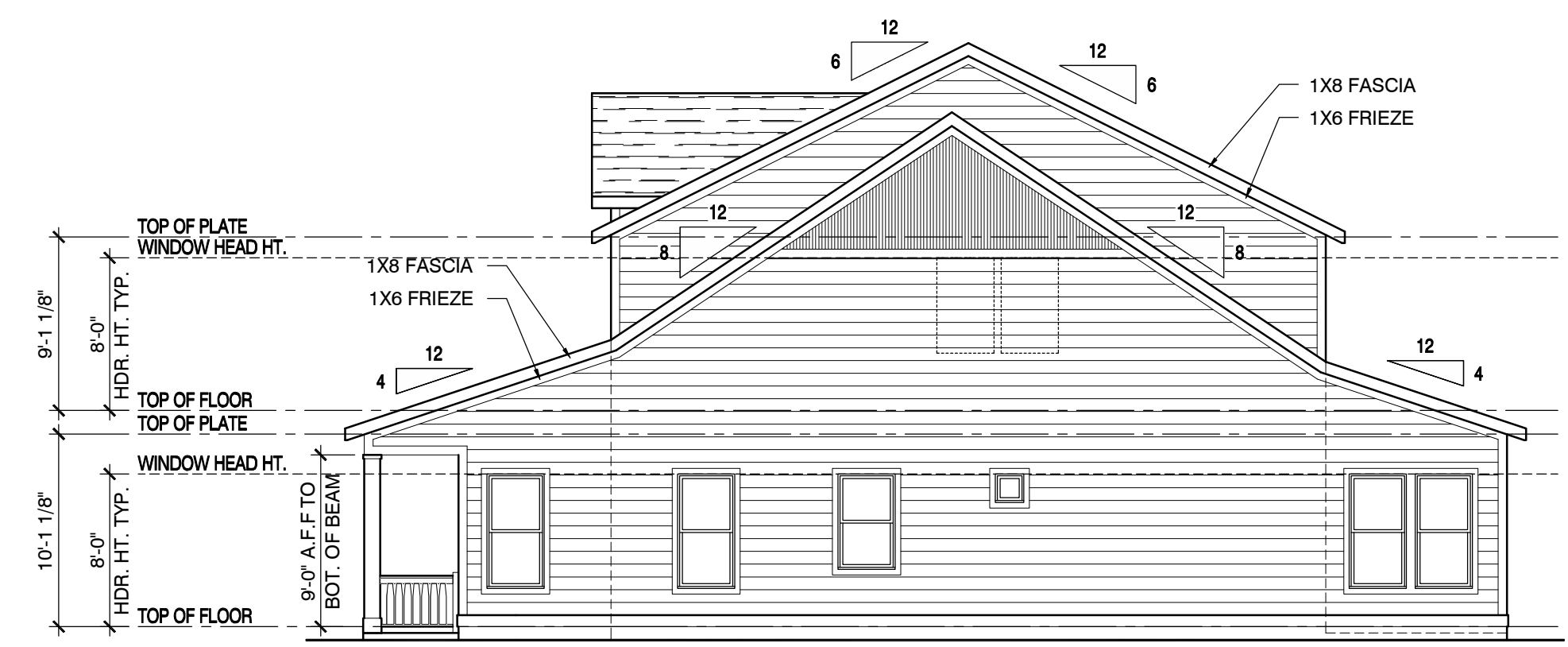


**NOTES:**

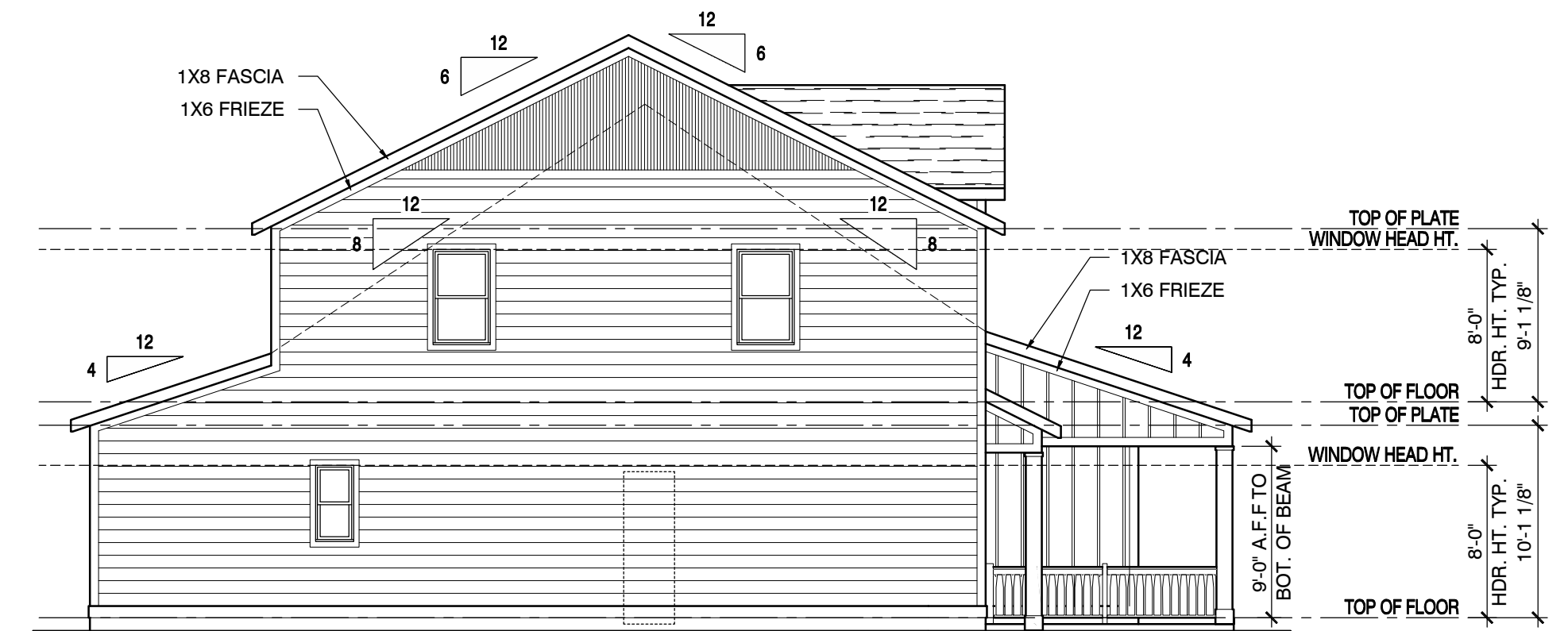
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



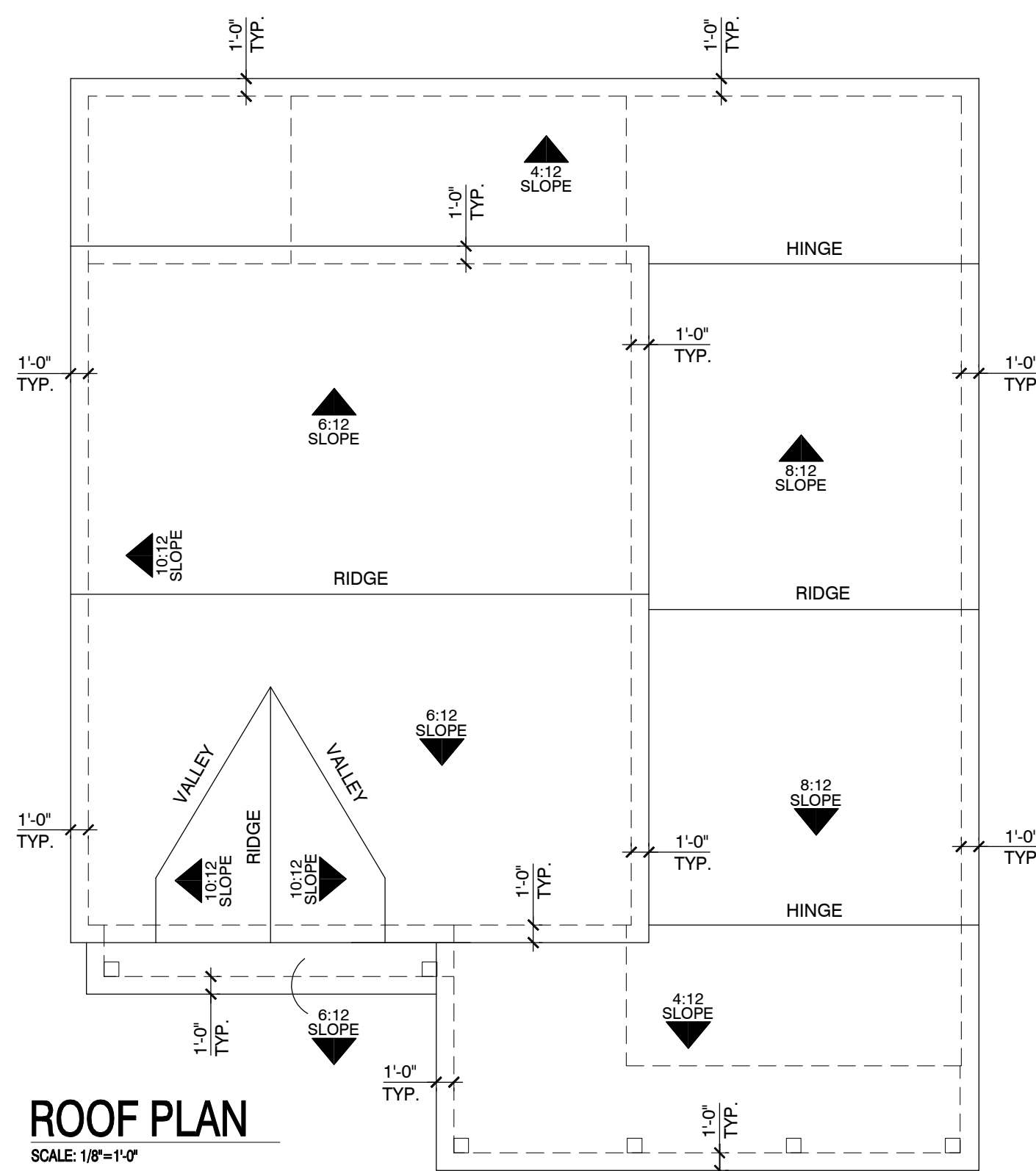
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"



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 MICHIGAN OFFICE: (248) 822-4035  
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**ELEVATION B -  
 PLANK COTTAGE**

CONTROL	RELEASE DATE:	09-28-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4914**

SHEET  
**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

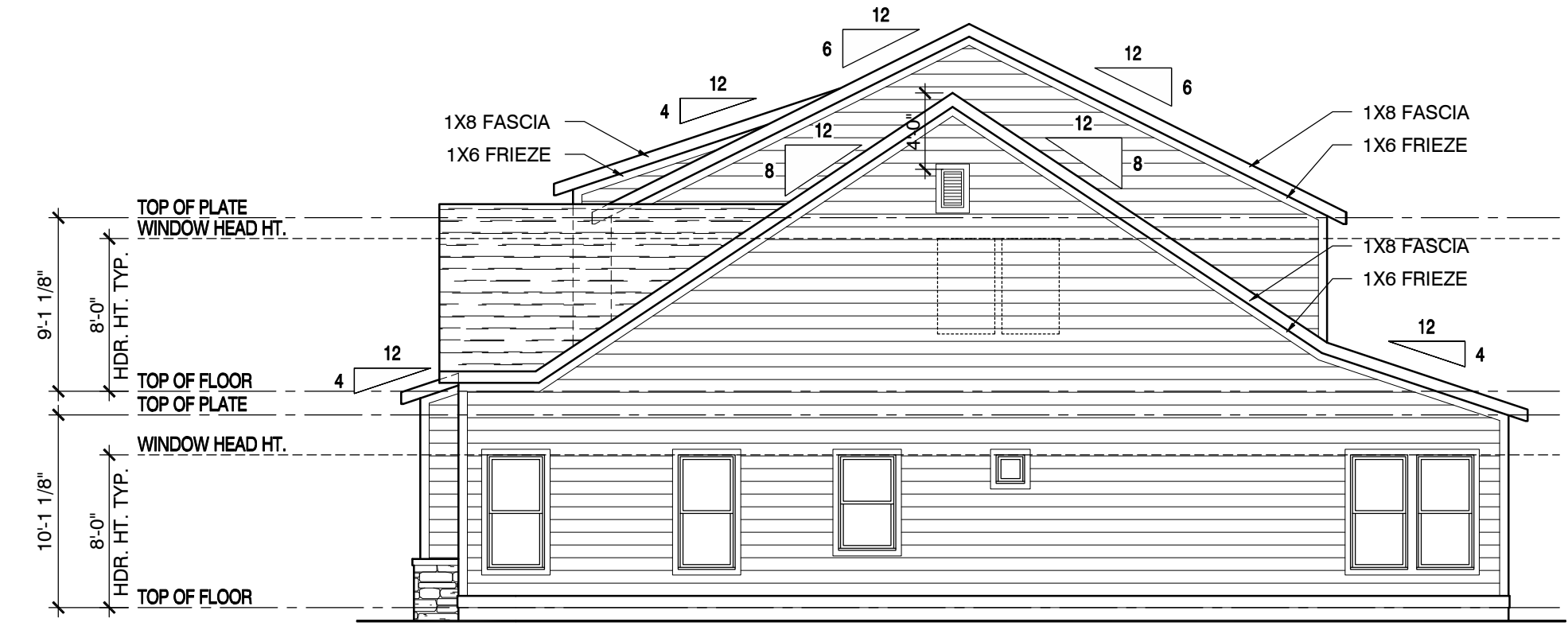
**NOTES:**

SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



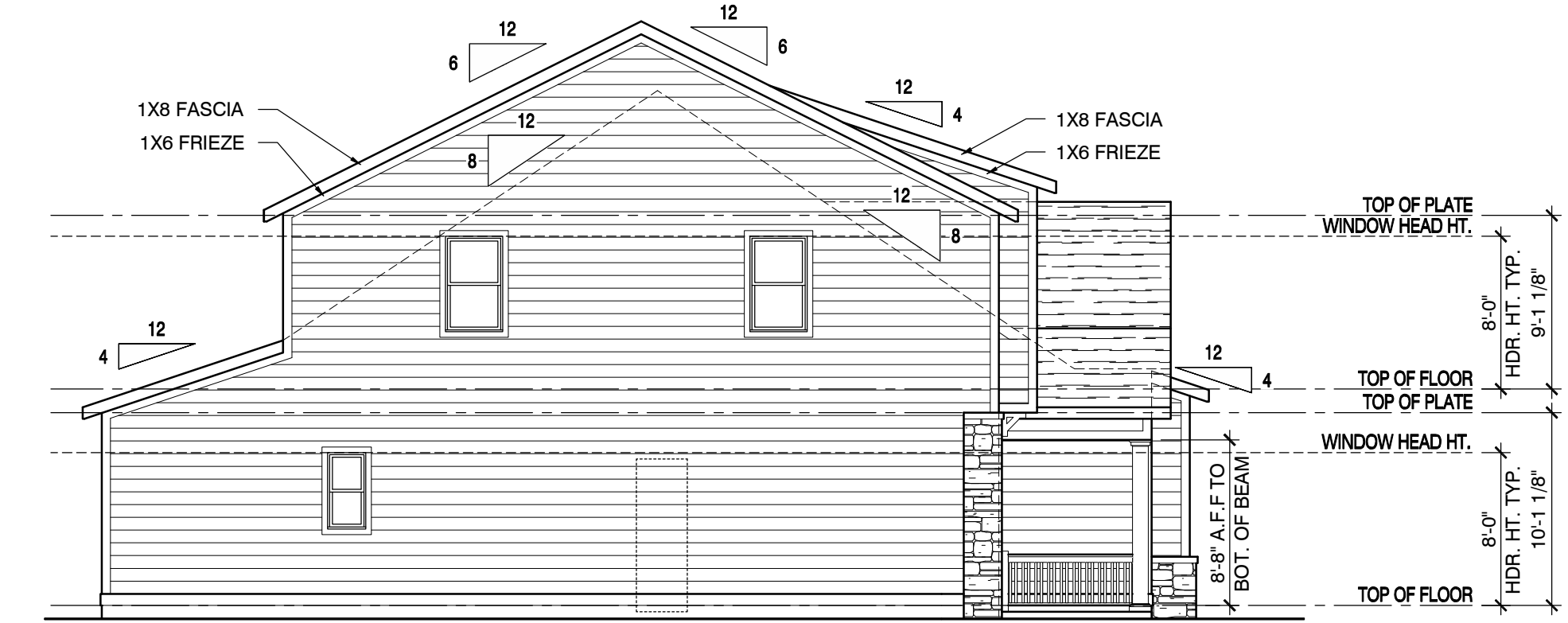
**REAR ELEVATION**

SCALE: 1/8"=1'-0"



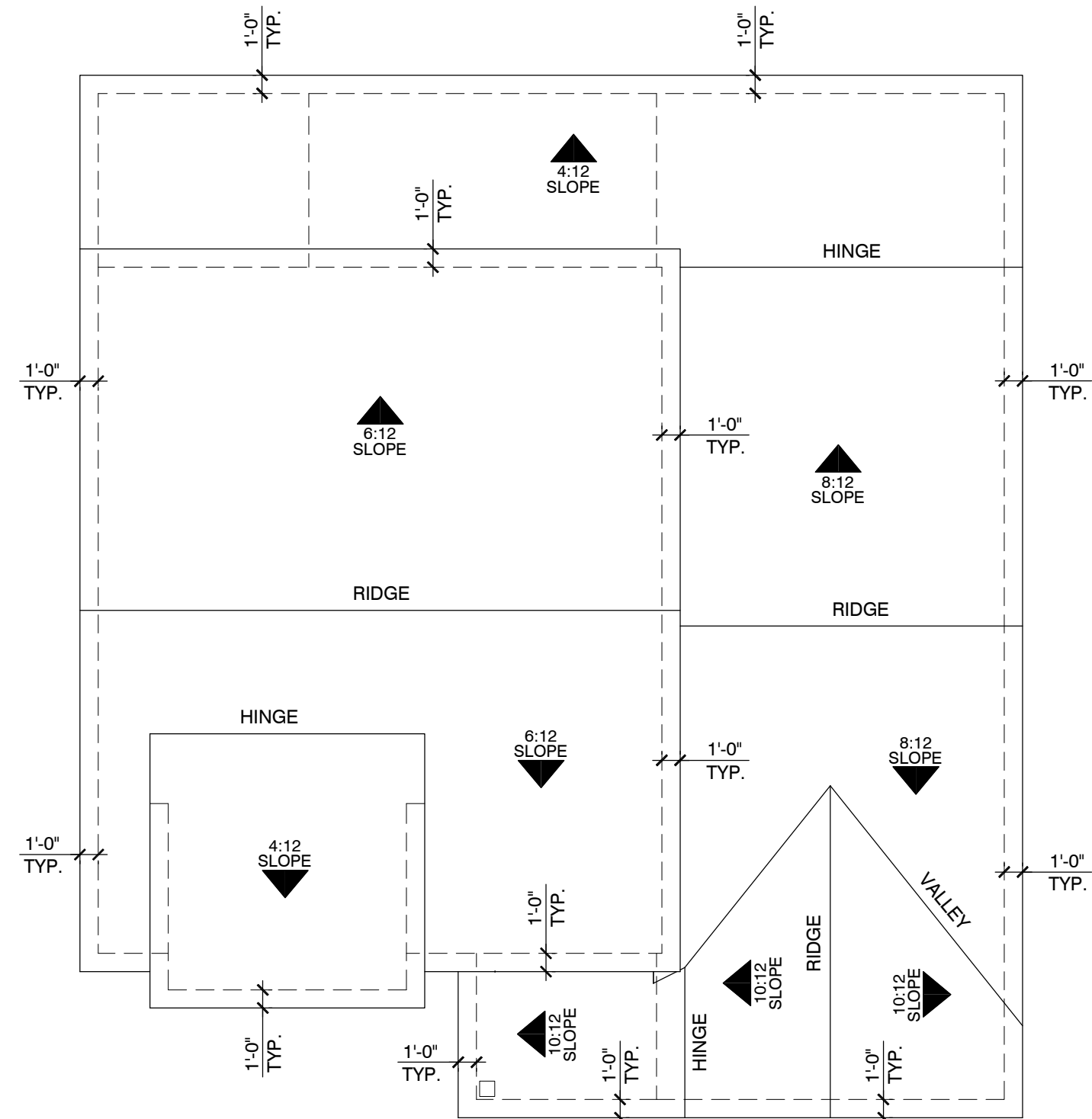
**RIGHT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/8"=1'-0"



**ROOF PLAN**

SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**

SCALE: 1/4"=1'-0"

CONTROL RELEASE DATE:	09-28-16
REV #	DATE / DESCRIPTION


GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4914**

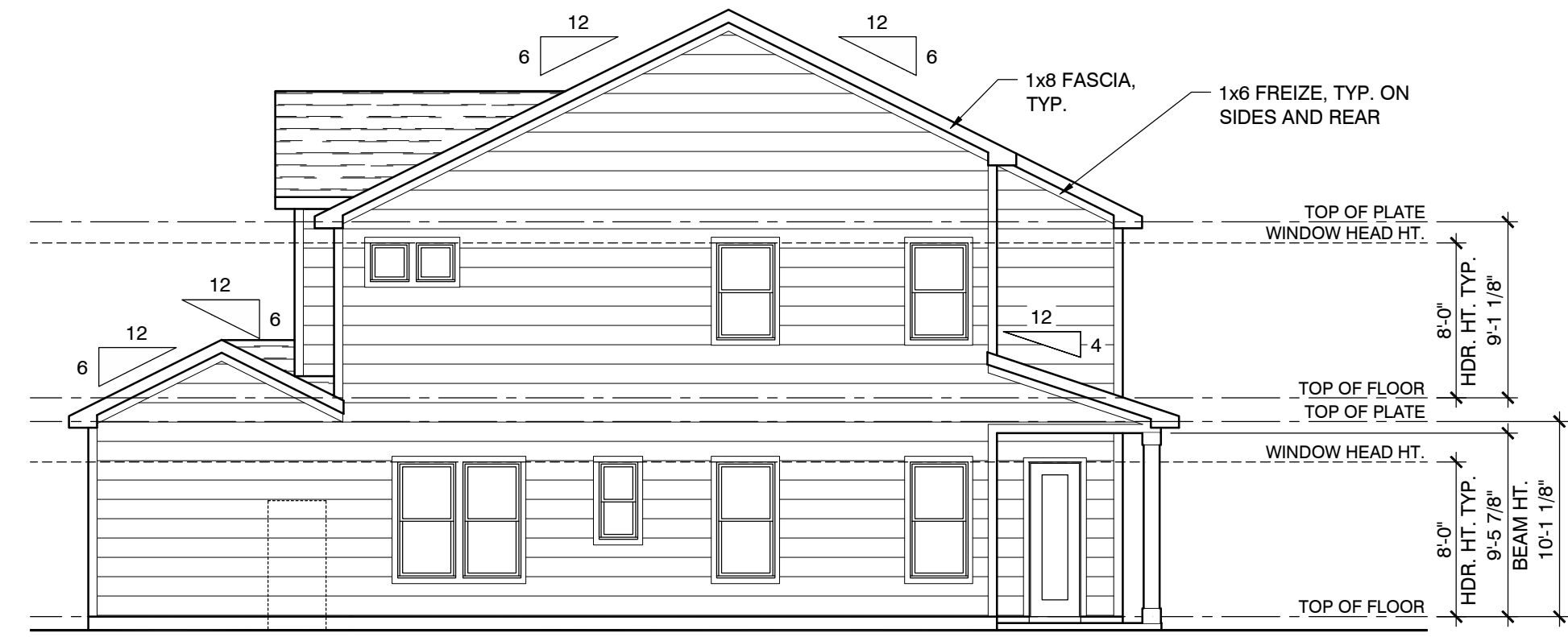
SHEET

**A2.1C**

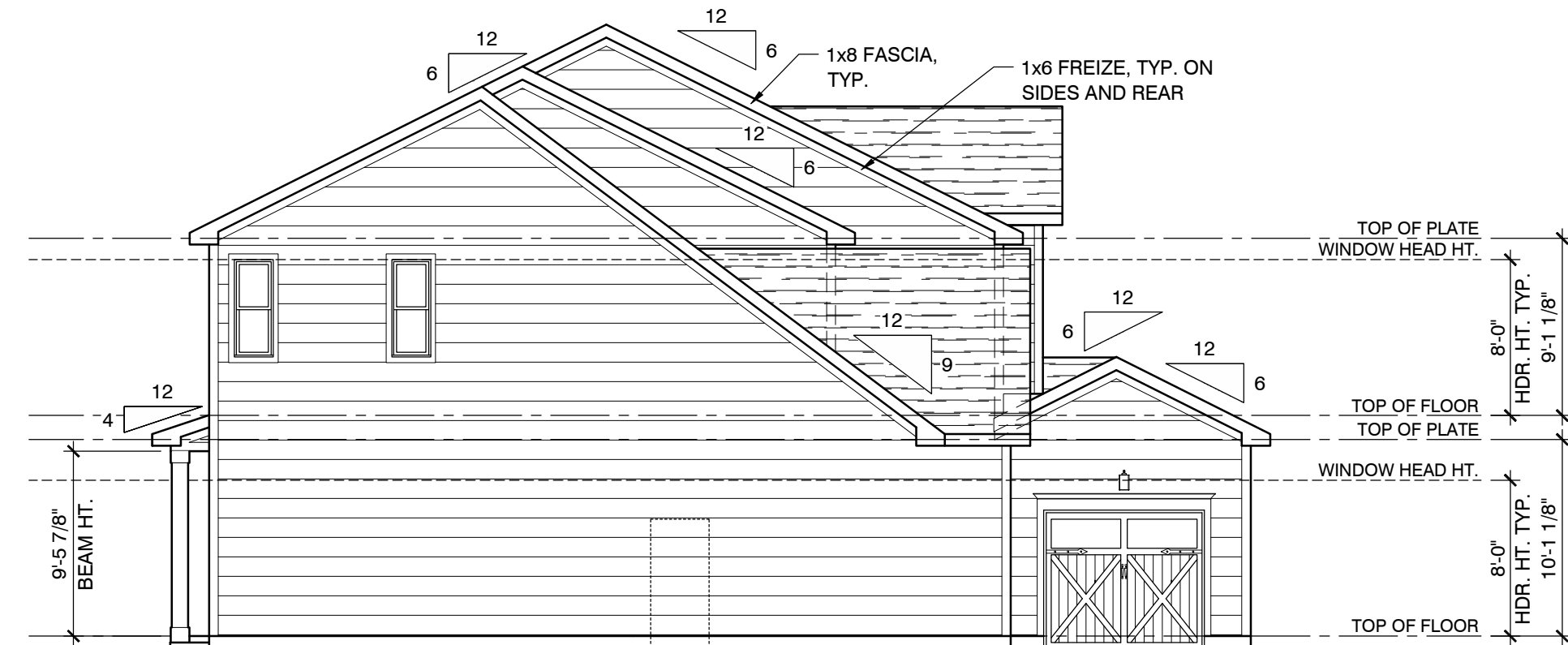
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE FLOYS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE FLOYS



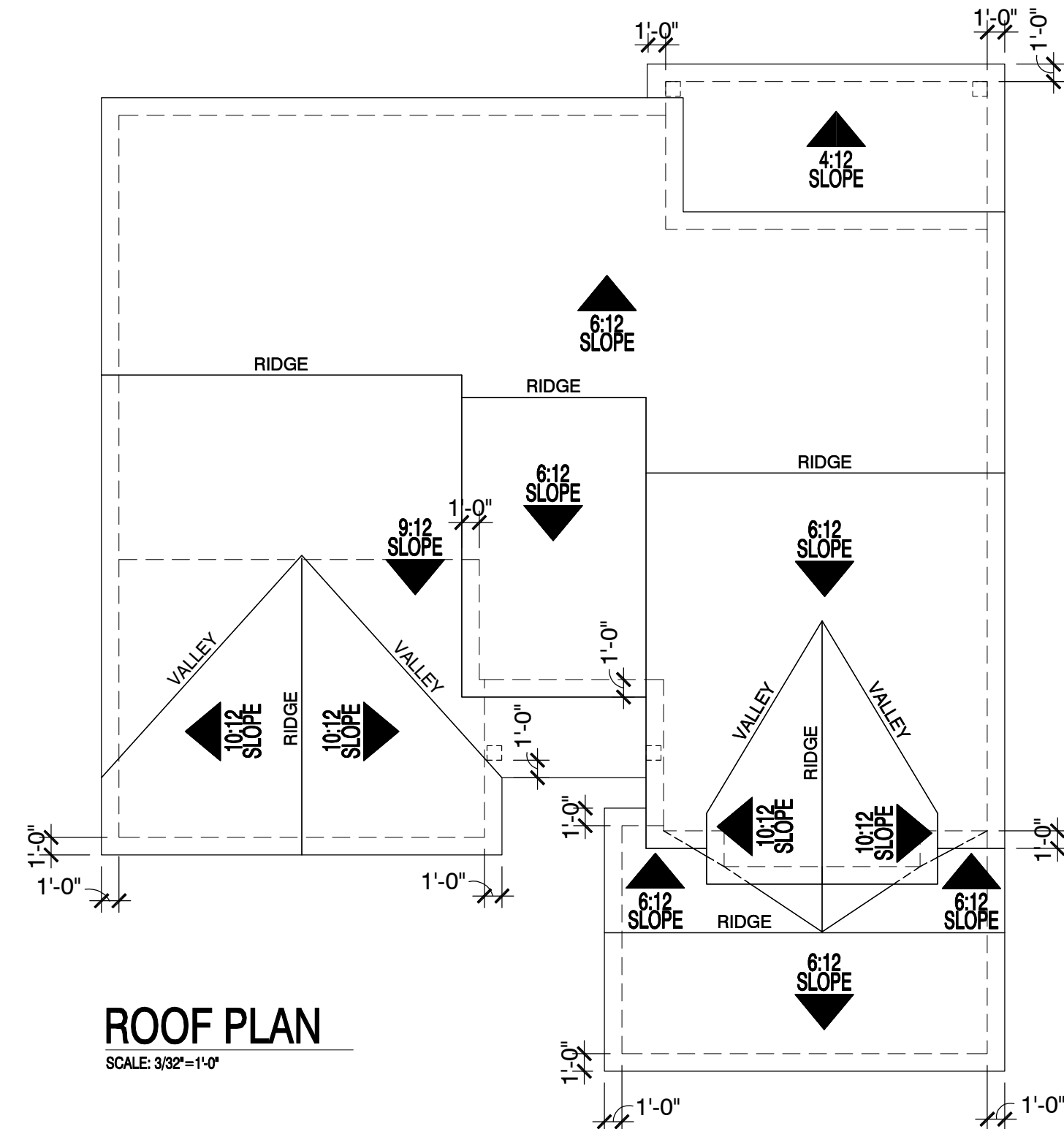
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
SCALE: 1/4"=1'-0"

**NOTES:**  
SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



**Fieldstone**  
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FLORIDA OFFICE (813) 466-3310

**ELEVATION A -  
UPCOUNTRY FARMHOUSE**

CONTROL	RELEASE DATE:	9-23-16
REV #	DATE / DESCRIPTION	
△		
△		
△		
△		

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4915**

SHEET  
**A2.1A**

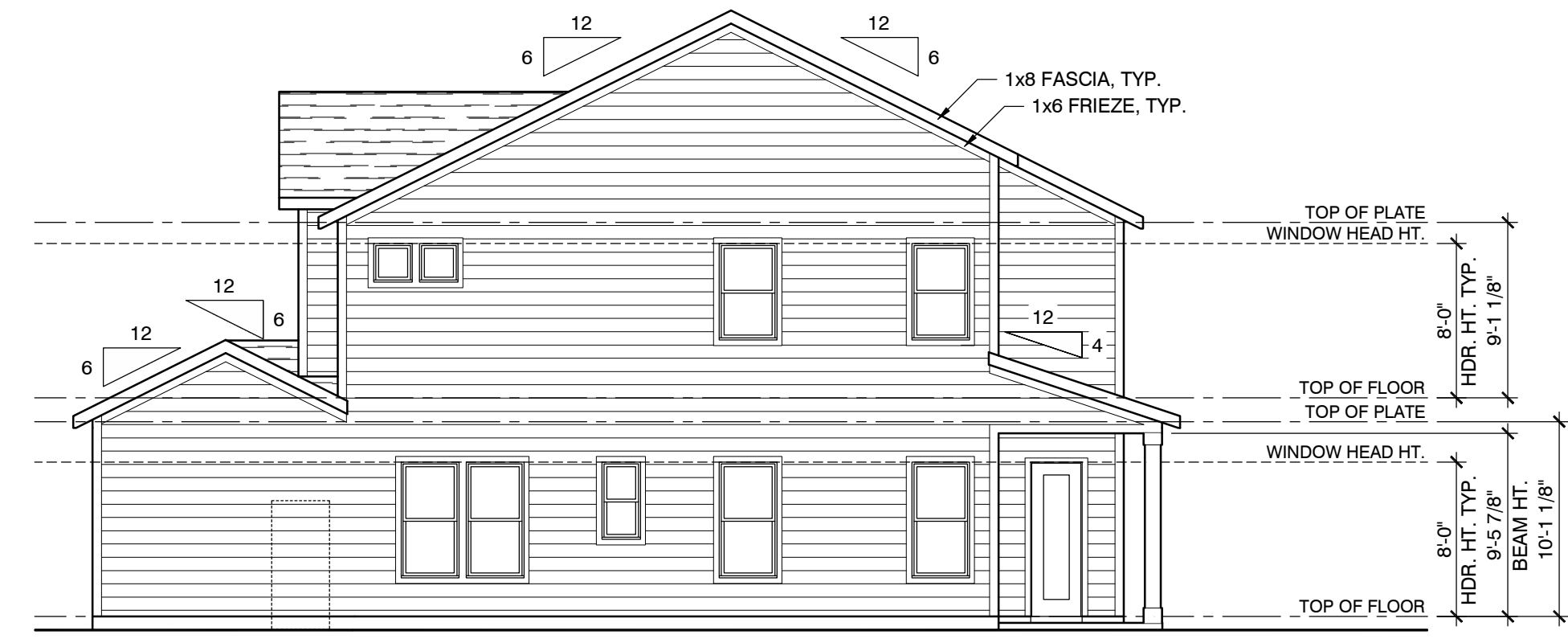
[NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 28x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS]

PLOTTED: September 28, 2016 / Steven Krauf / A2.1A ELEVATION - A.DWG

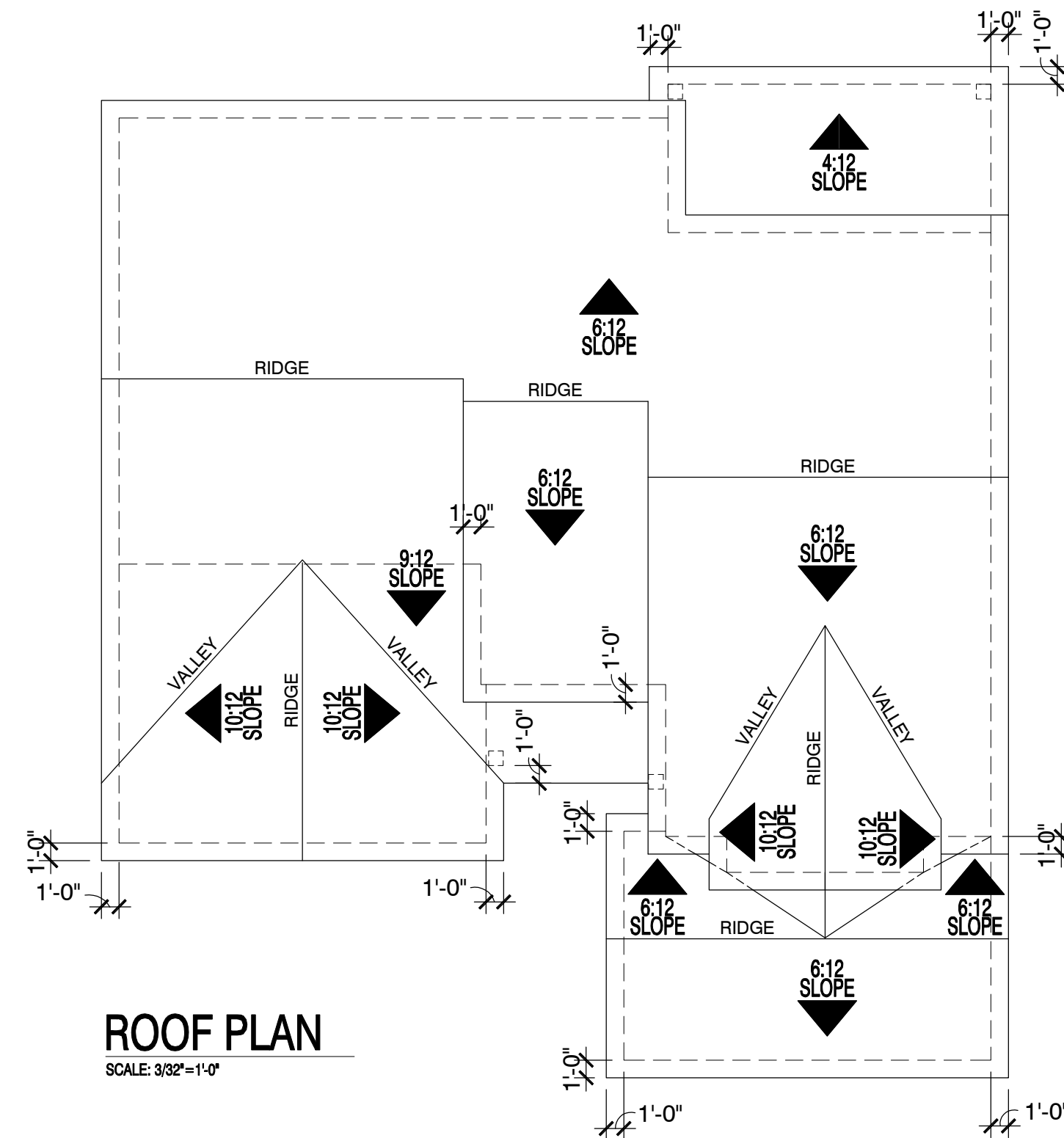




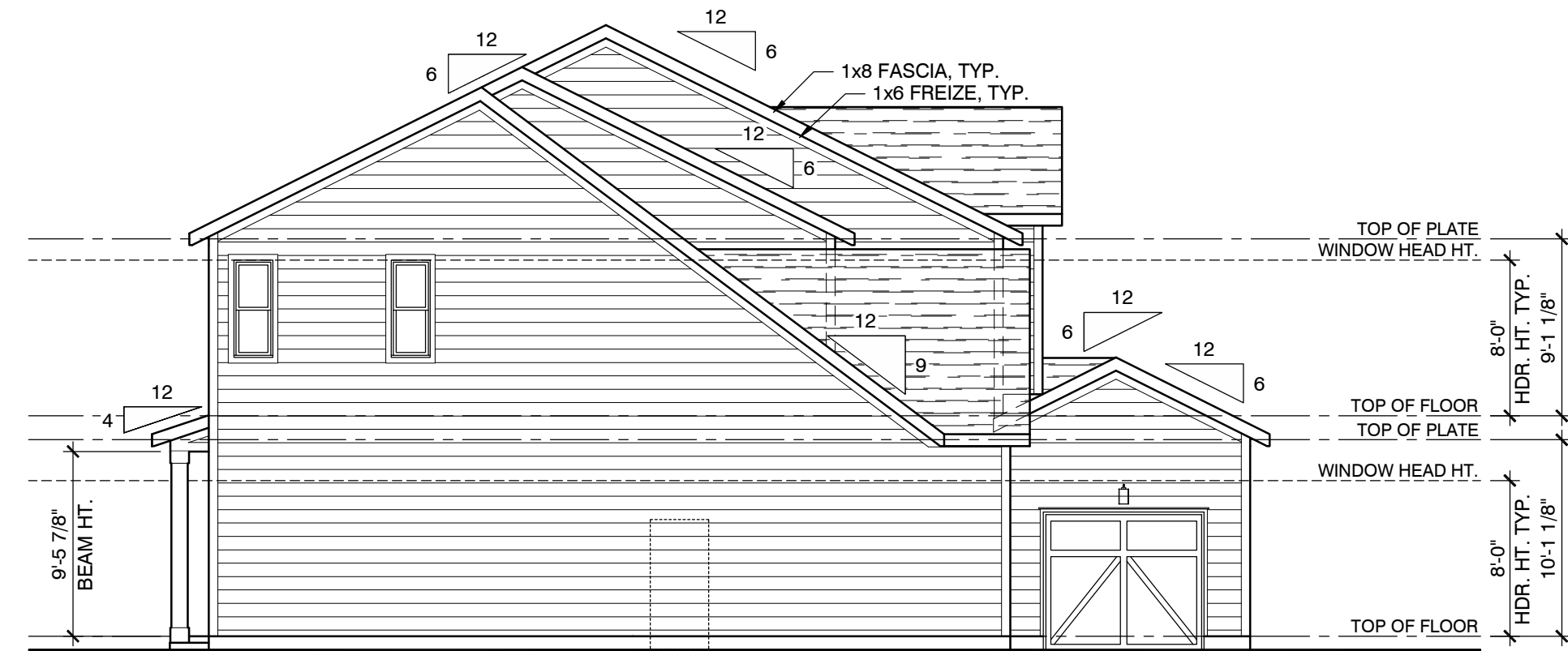
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
SCALE: 1/4"=1'-0"

**NOTES:**  
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
AND GARAGE DOOR TRIM DETAILS

CONTROL	RELEASE DATE	9-23-16
REV #	DATE / DESCRIPTION	
△		
△		
△		
△		

GARAGE HANDING  
**LEFT**

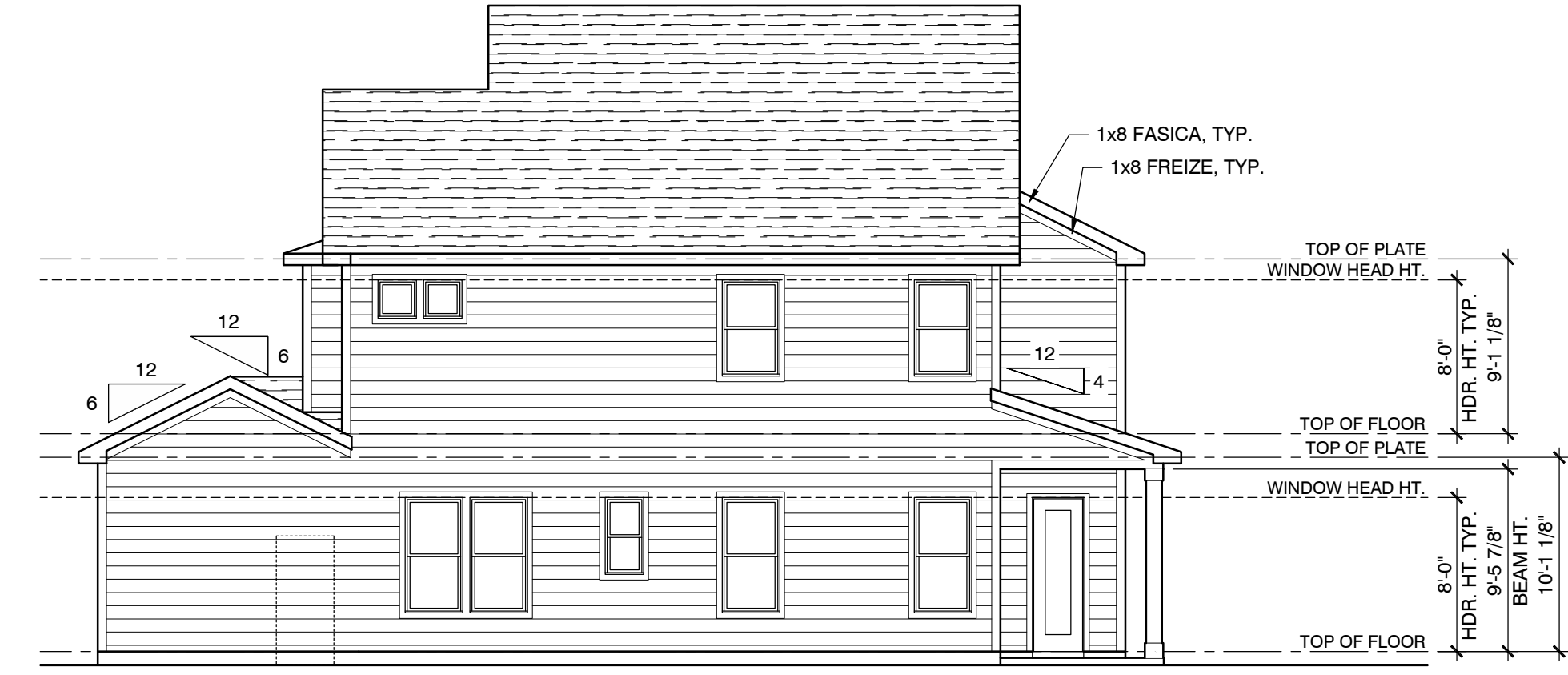
PLAN NUMBER  
**4915**

SHEET

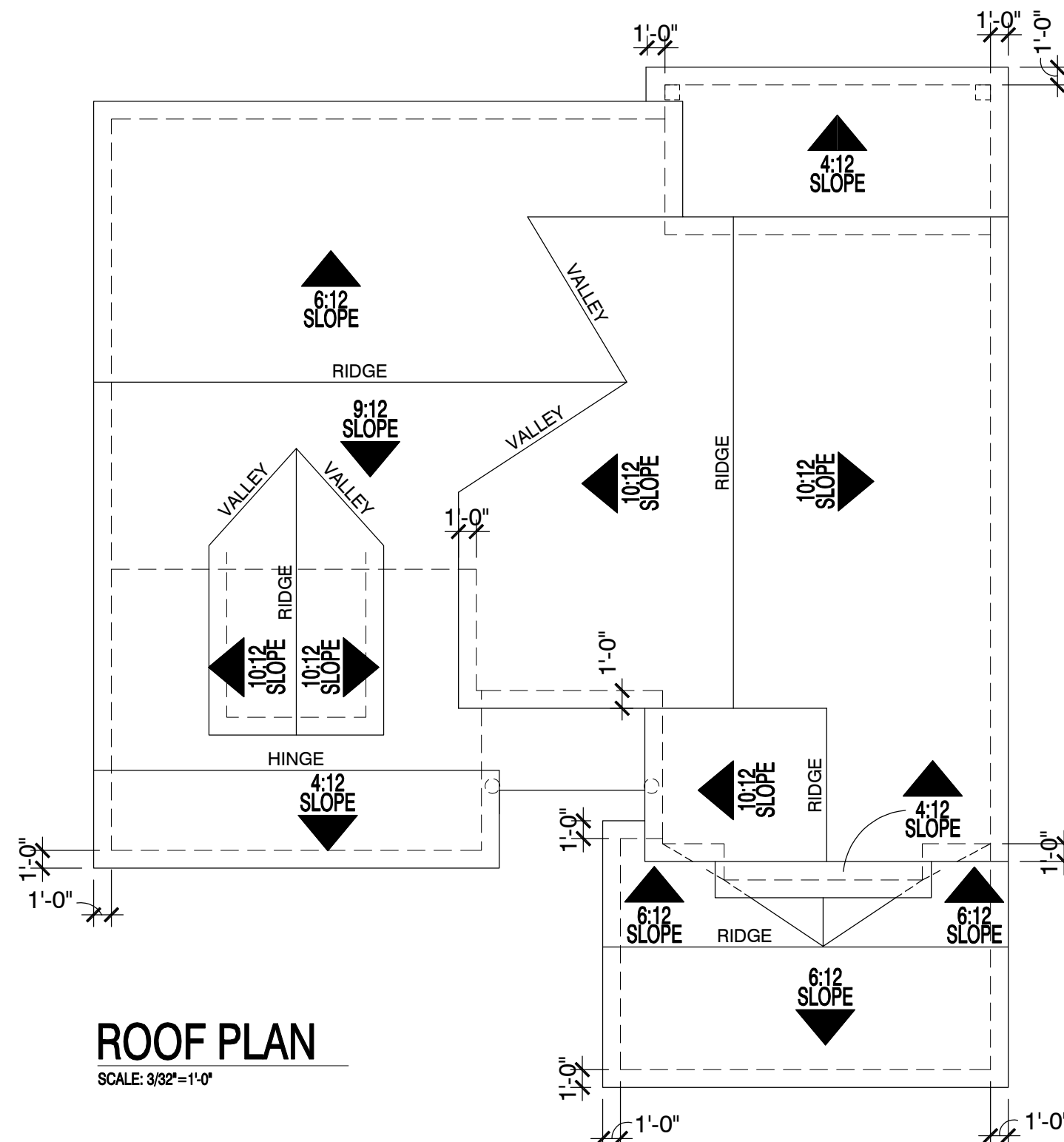
**A2.1B**



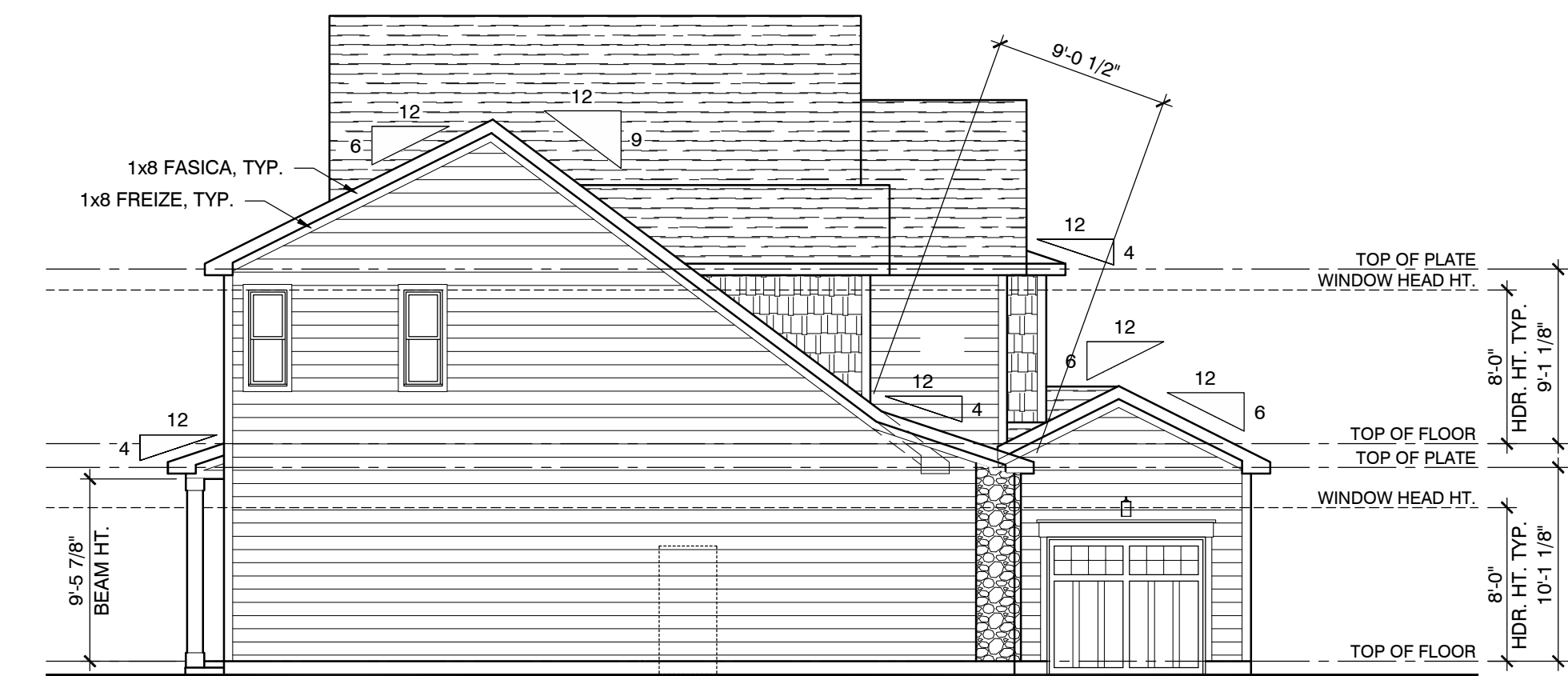
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
SCALE: 1/4"=1'-0"

PLOTTED: September 28, 2016 / Steven Krauf / A2.1C ELEVATION - CDWG

**NOTES:**  
SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



**Fieldstone**  
FLORIDA OFFICE (813) 466-8310  
MICHIGAN OFFICE (248) 622-4065  
MINNESOTA OFFICE (612) 507-0115

**ELEVATION C - COASTAL**

CONTROL RELEASE DATE: 9-23-16

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4915**

SHEET  
**A2.1C**

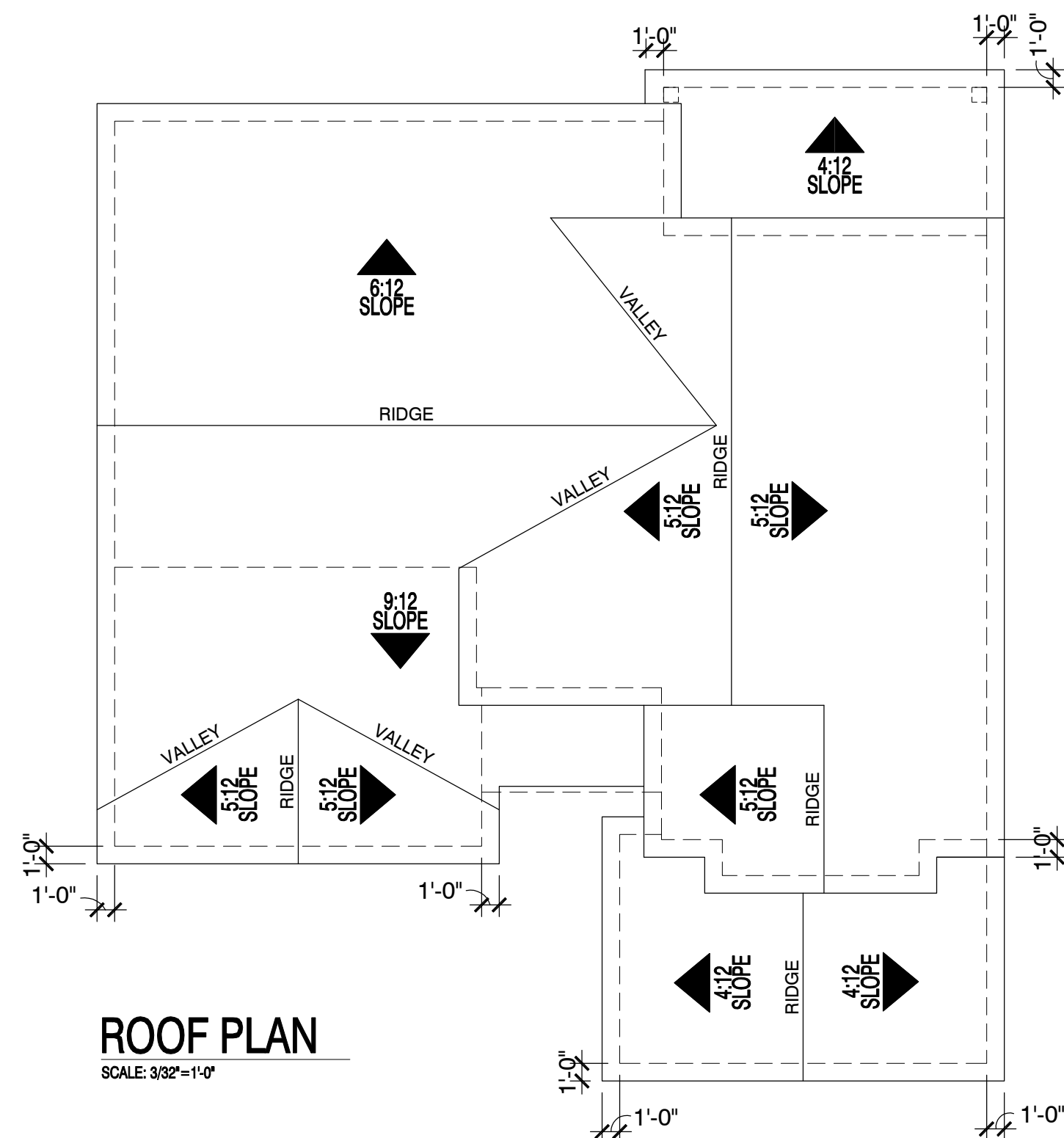
[NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 28x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS]



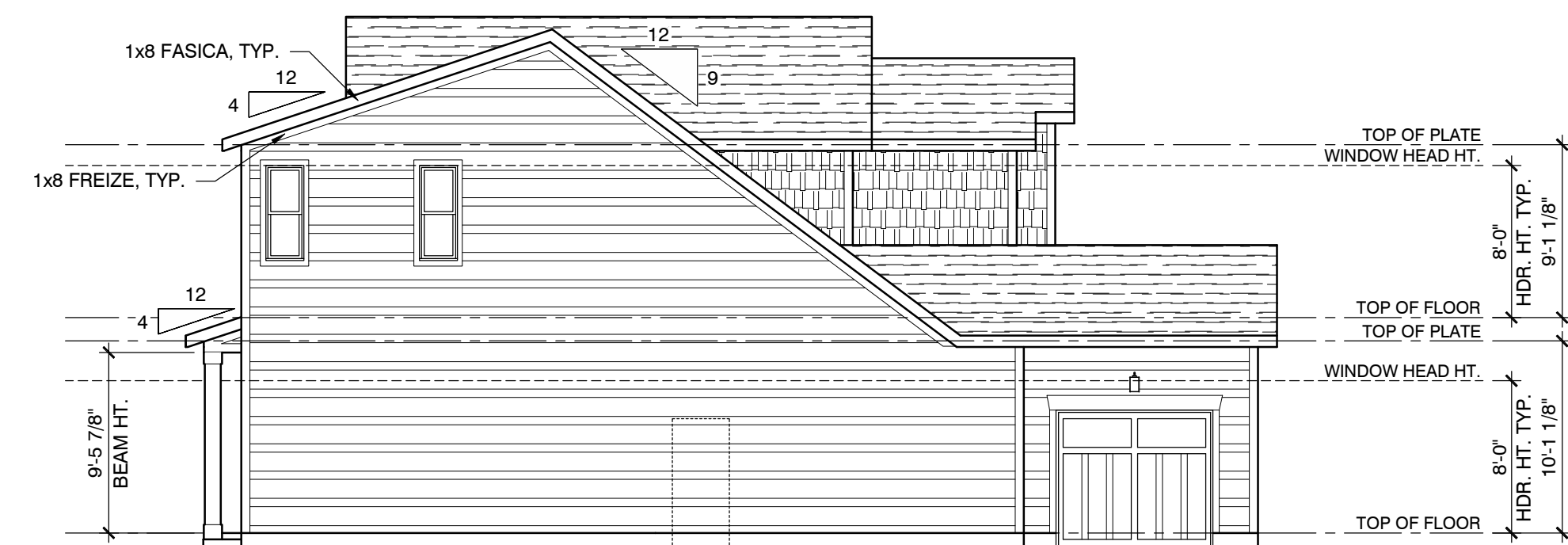
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS & CRAFTS**  
SCALE: 1/4"=1'-0"

**NOTES:**  
SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
SEE SHEET D12 FOR HANDRAIL DETAILS



**Fieldstone**  
FLORIDA OFFICE (813) 466-3310  
MINNESOTA OFFICE (612) 507-0115  
MICHIGAN OFFICE (248) 622-4065

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

REV #	DATE / DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4915**

SHEET

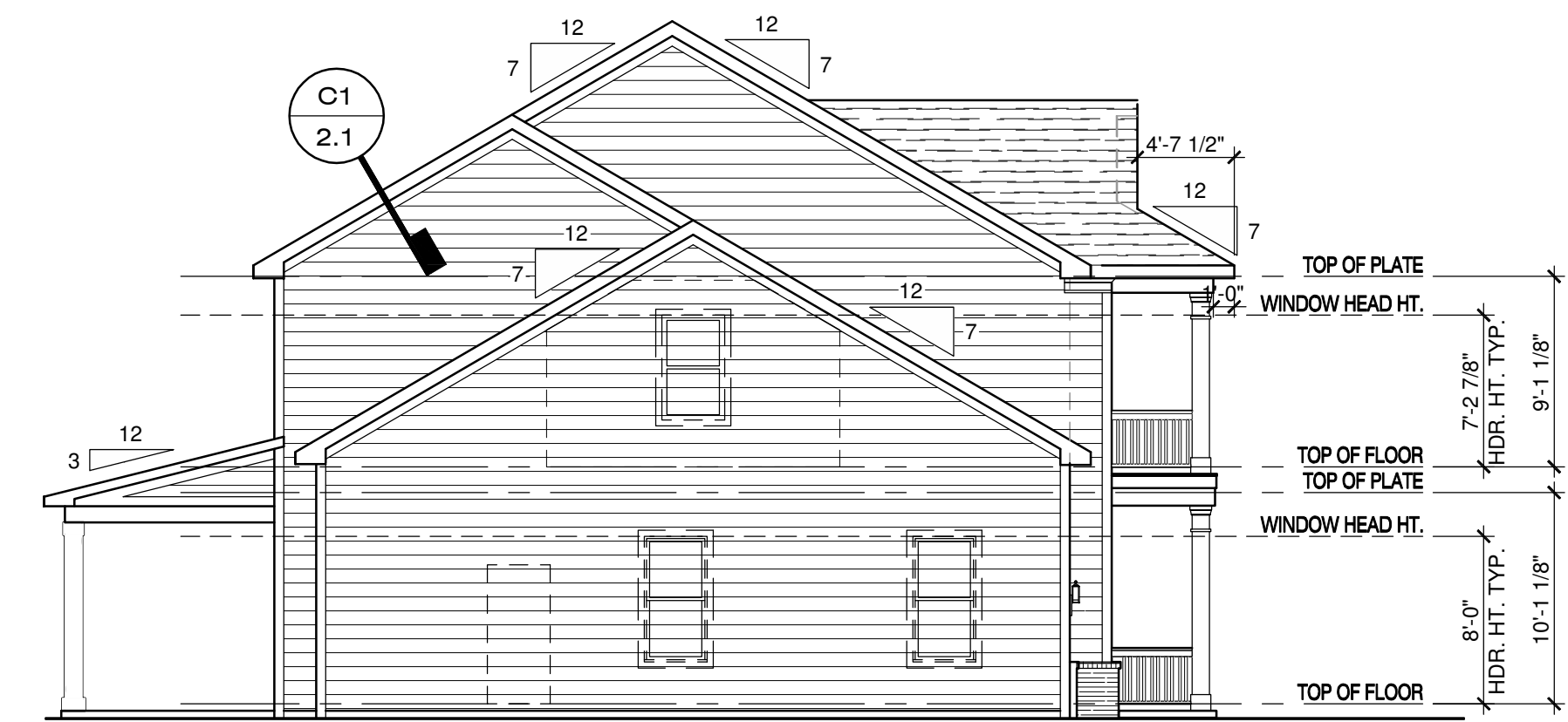
**A2.1D**

PLOTTED: September 28, 2016 / Steven Knaut / A2.1D ELEVATION - 0.DWG

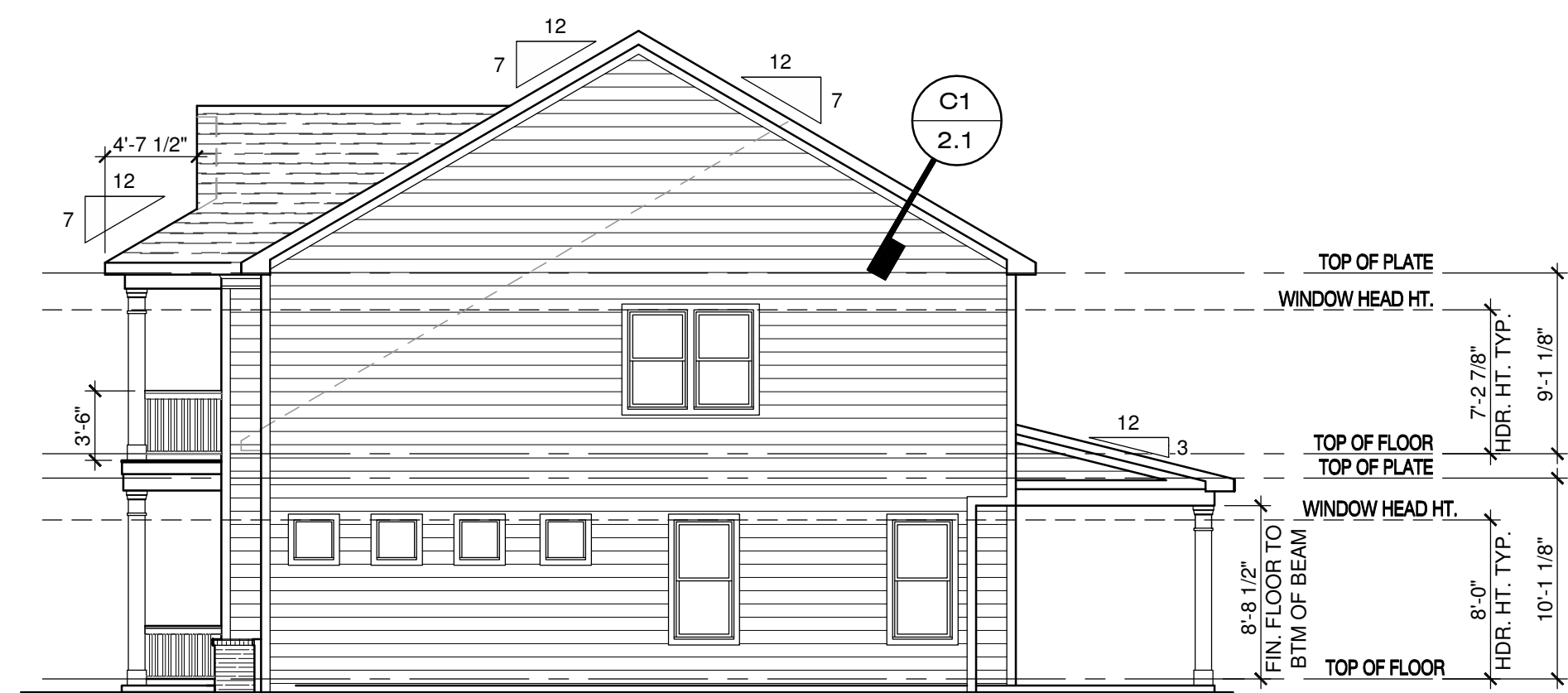
[NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS]



NOTES: SEE SHEET C1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C6 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



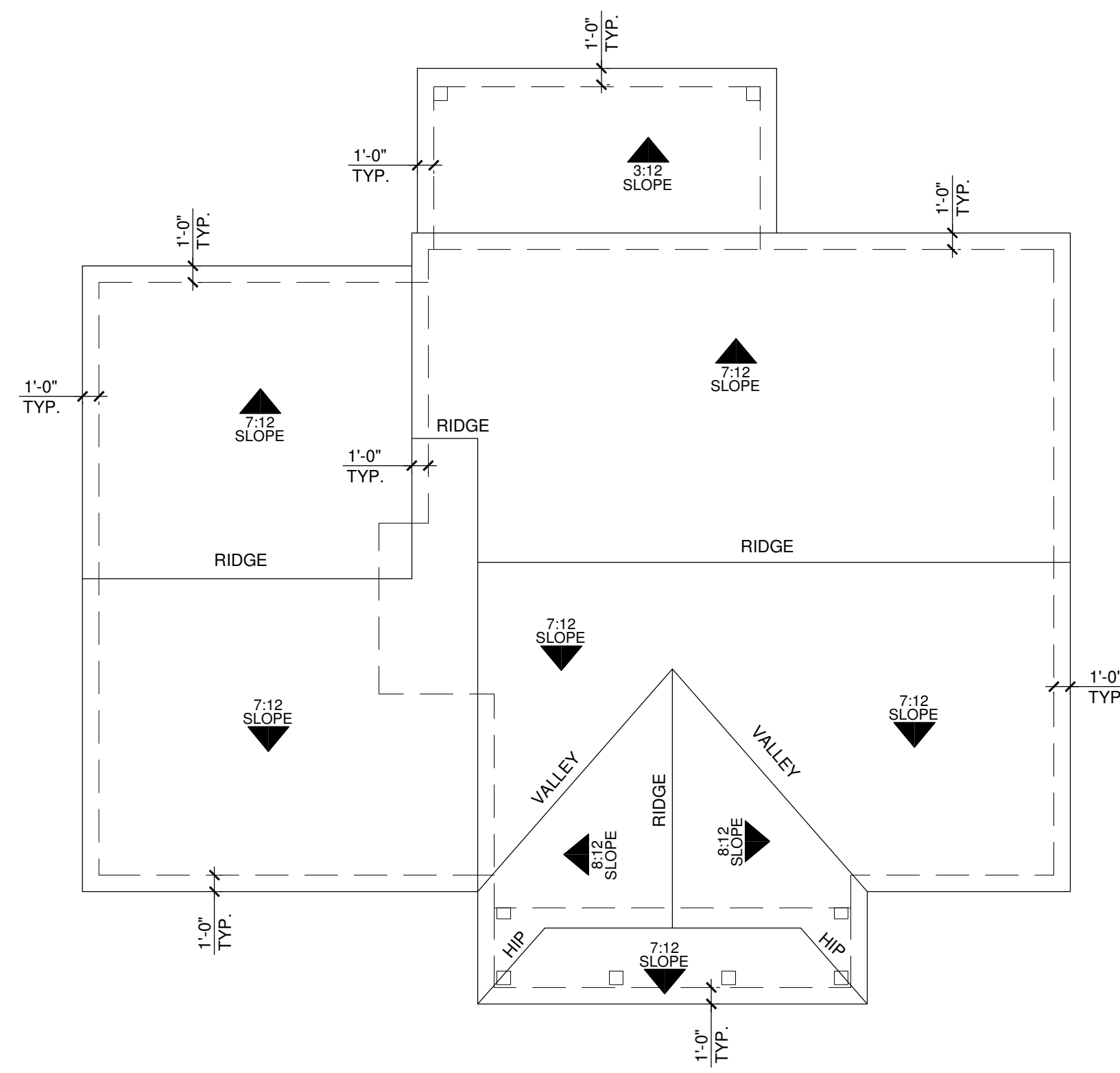
**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3310  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

**ELEVATION C - COASTAL**

REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

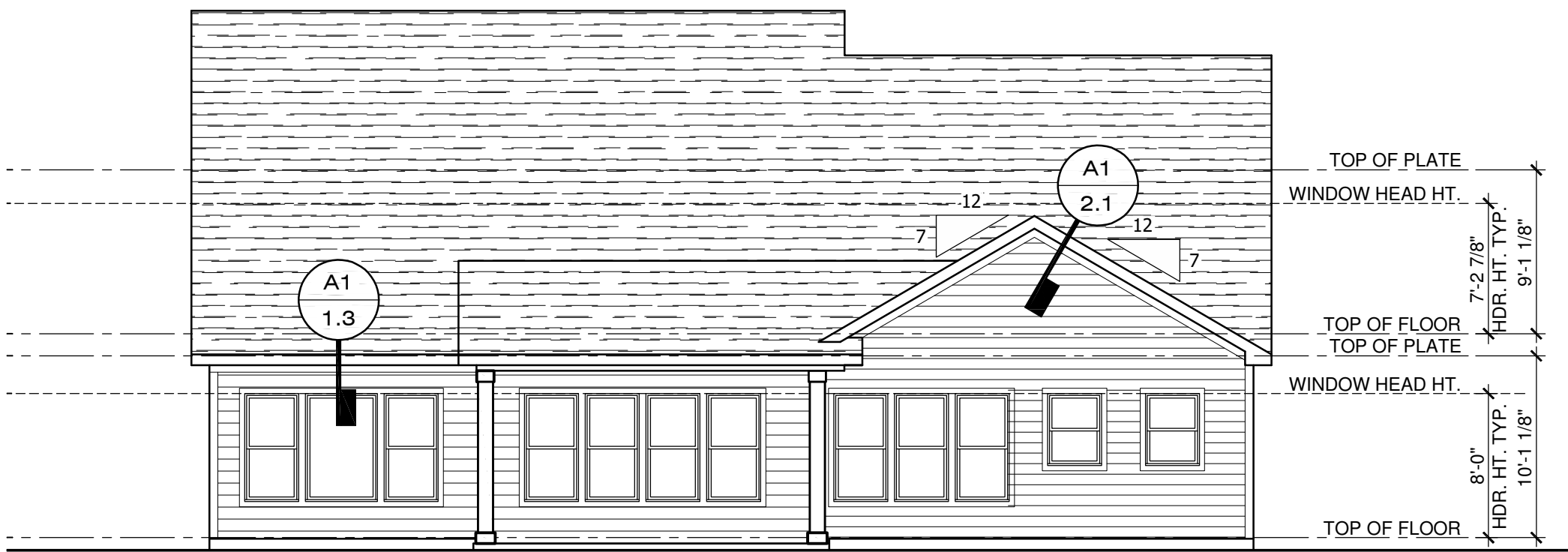
PLAN NUMBER  
**5801**

SHEET  
**A2.1C**

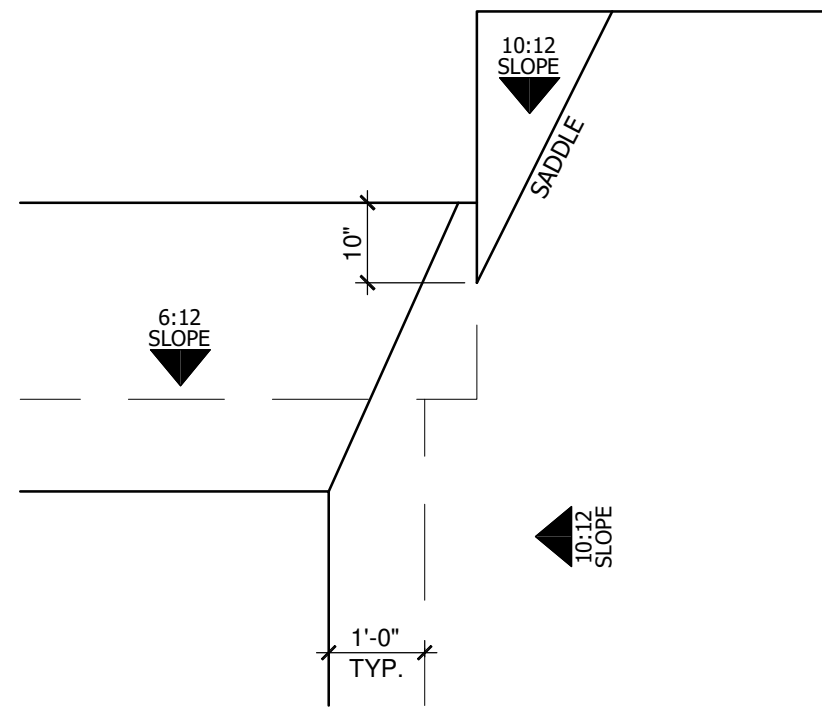
PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

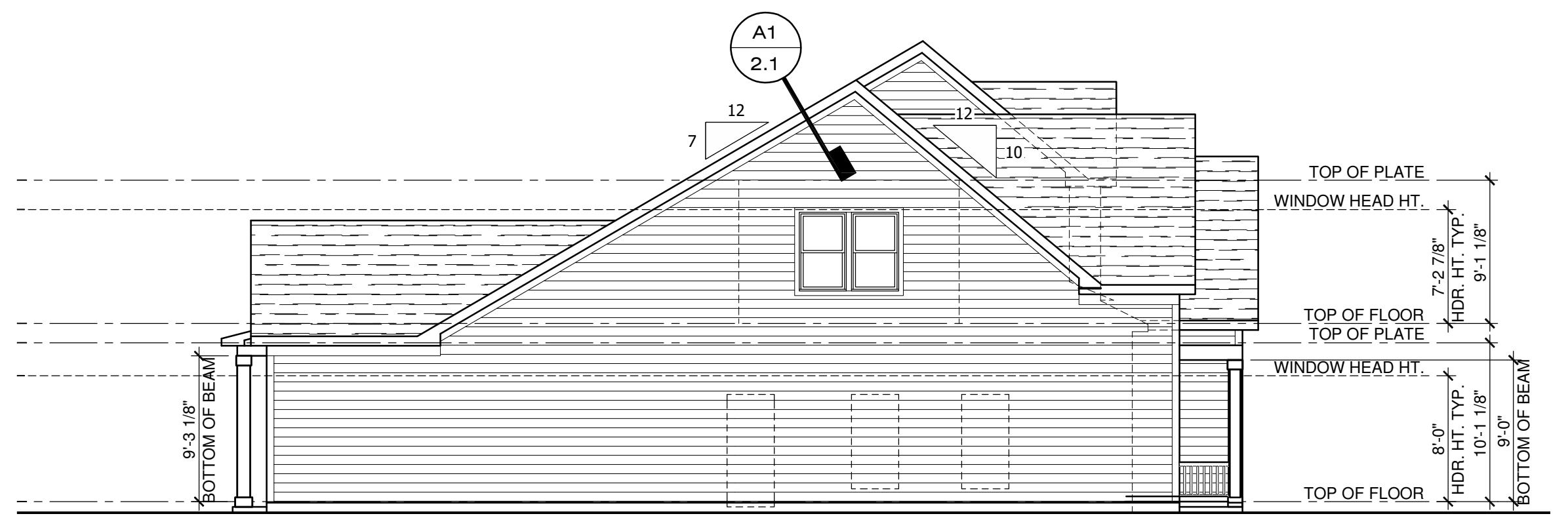
NOTES: SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - 1x6 WRAP - TYP.



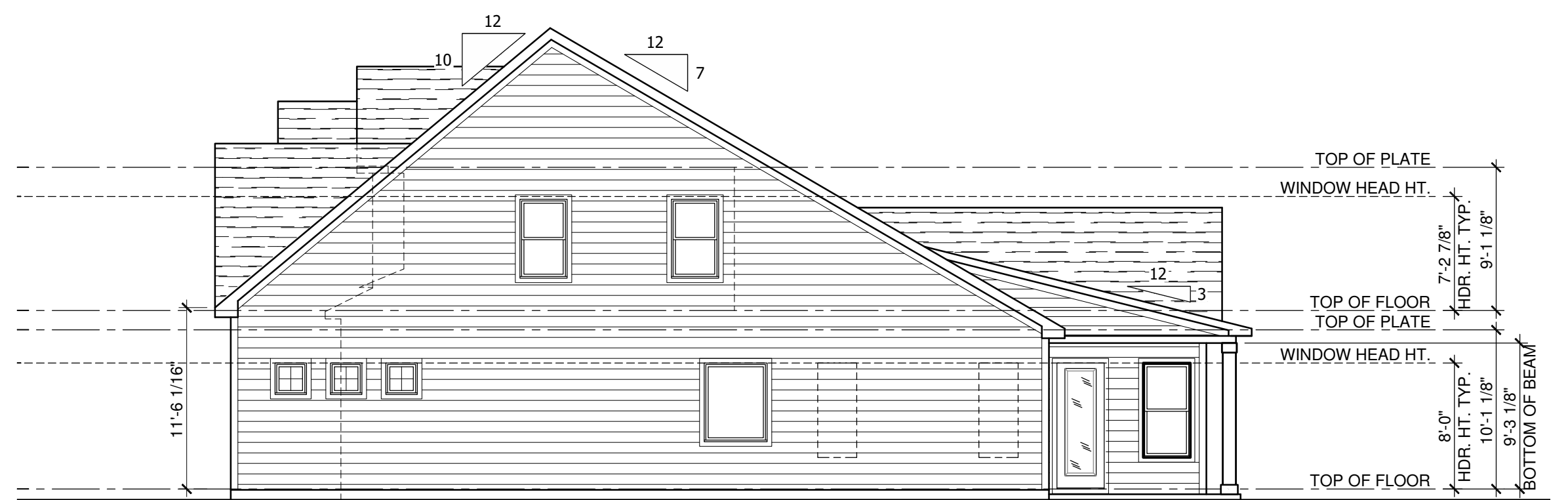
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



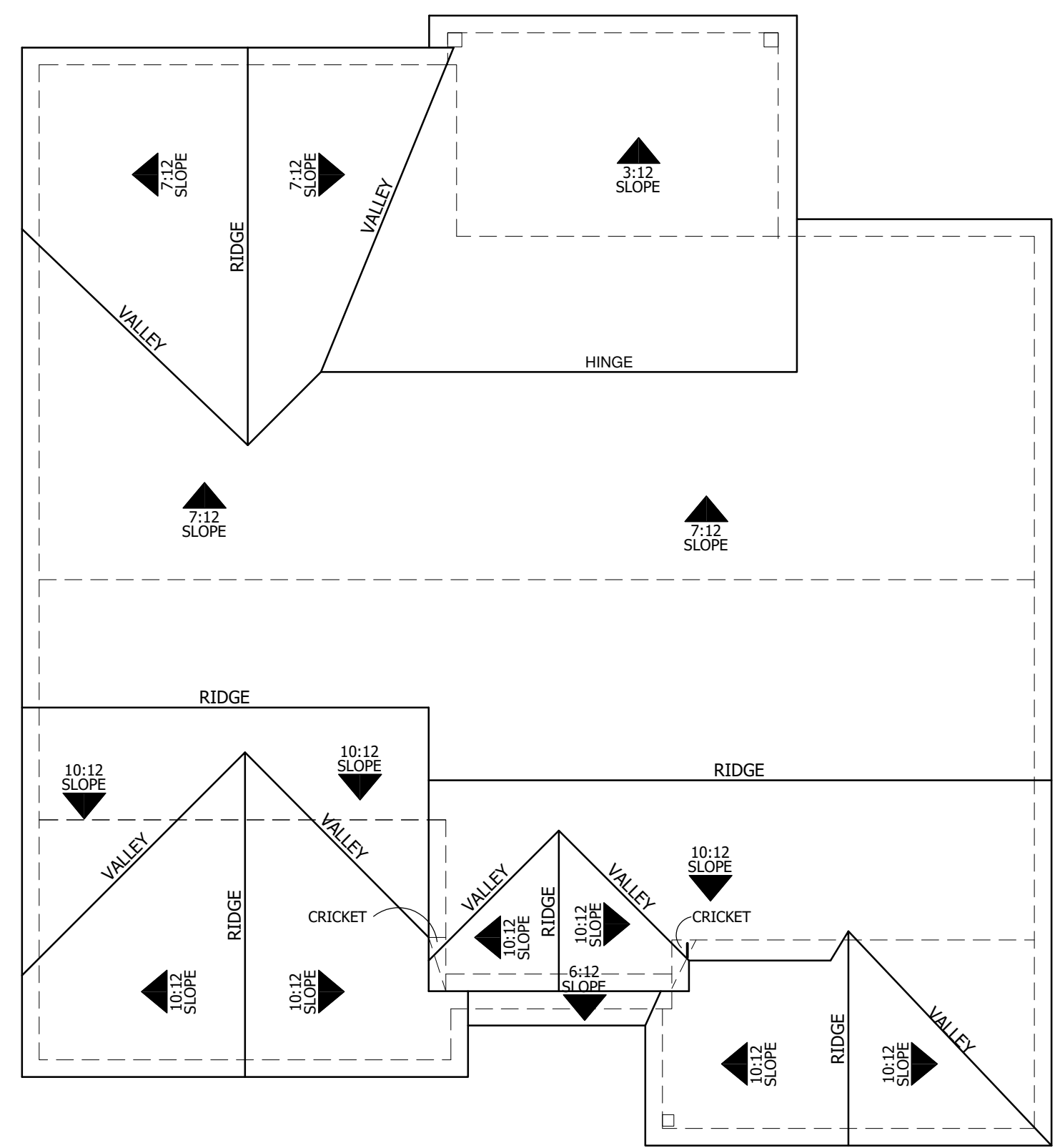
**CRICKET DETAIL**  
 SCALE: 1/2"=1'-0"



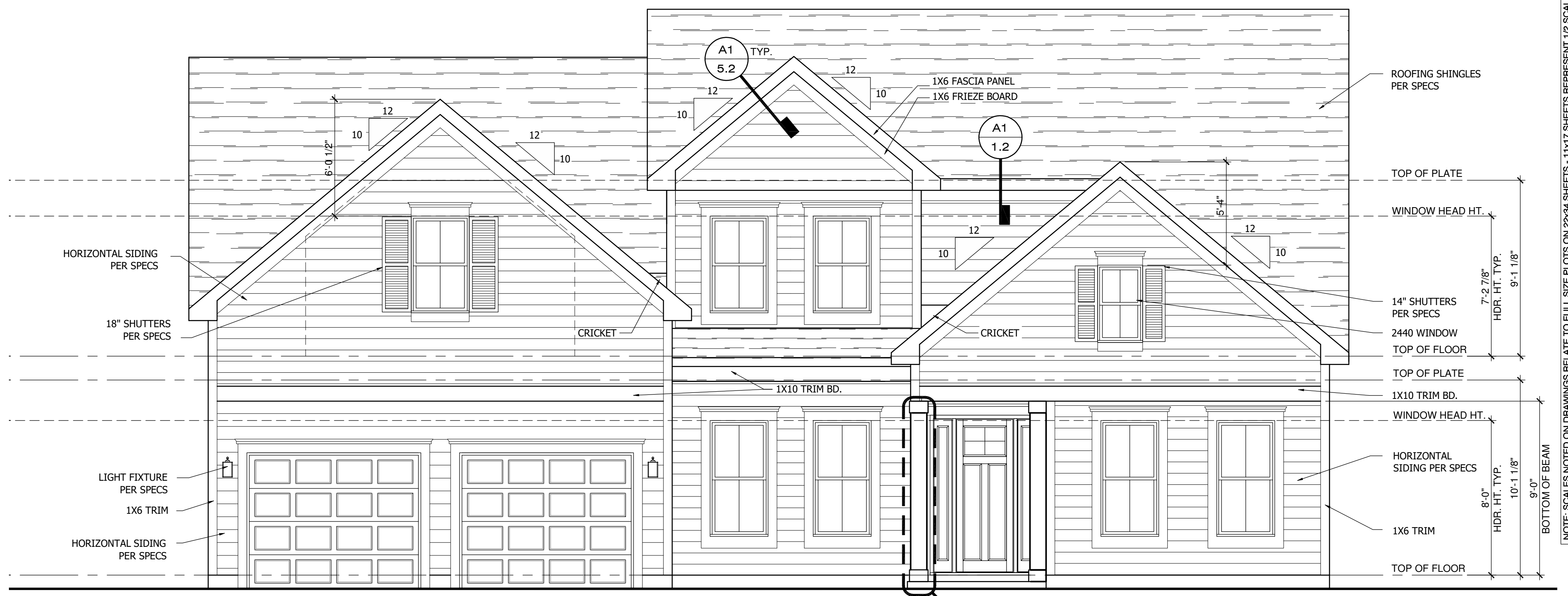
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 FLORIDA OFFICE: (813) 468-3810  
 MICHIGAN OFFICE: (248) 622-4088  
 MINNESOTA OFFICE: (612) 697-0118

**ELEVATION A - UPCOUNTRY FARMHOUSE**

REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**5802**

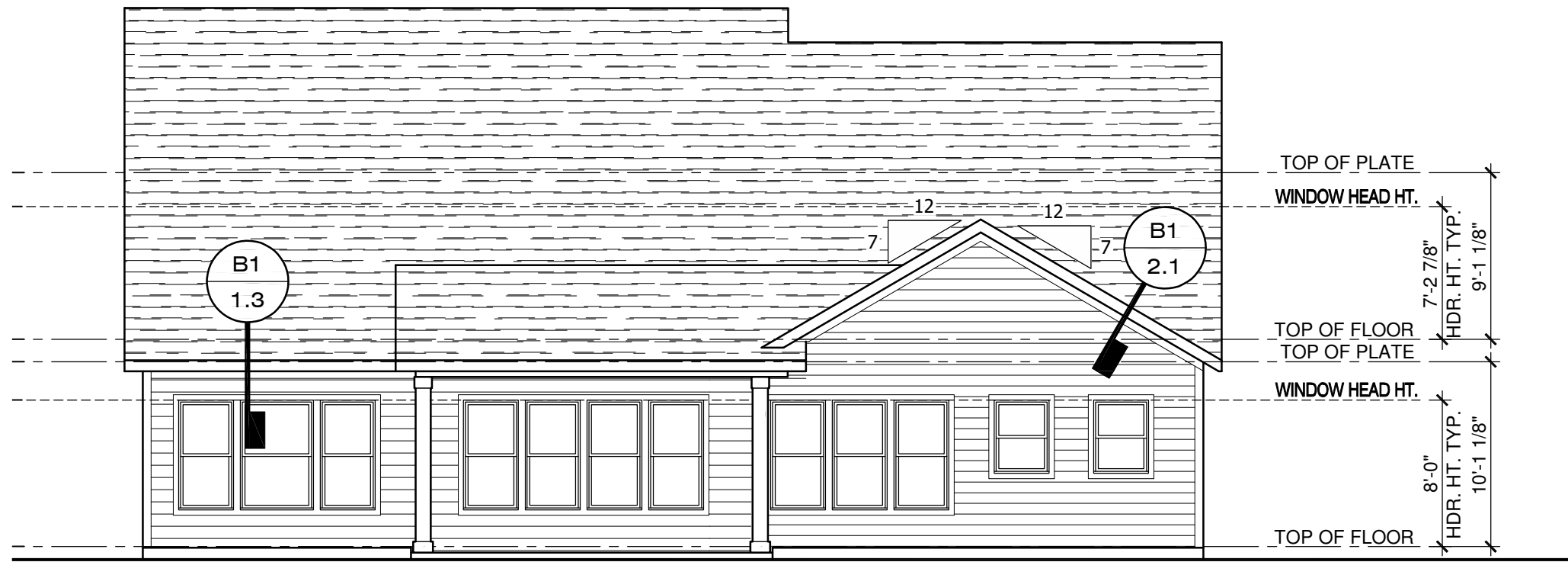
SHEET

**A2.1A**

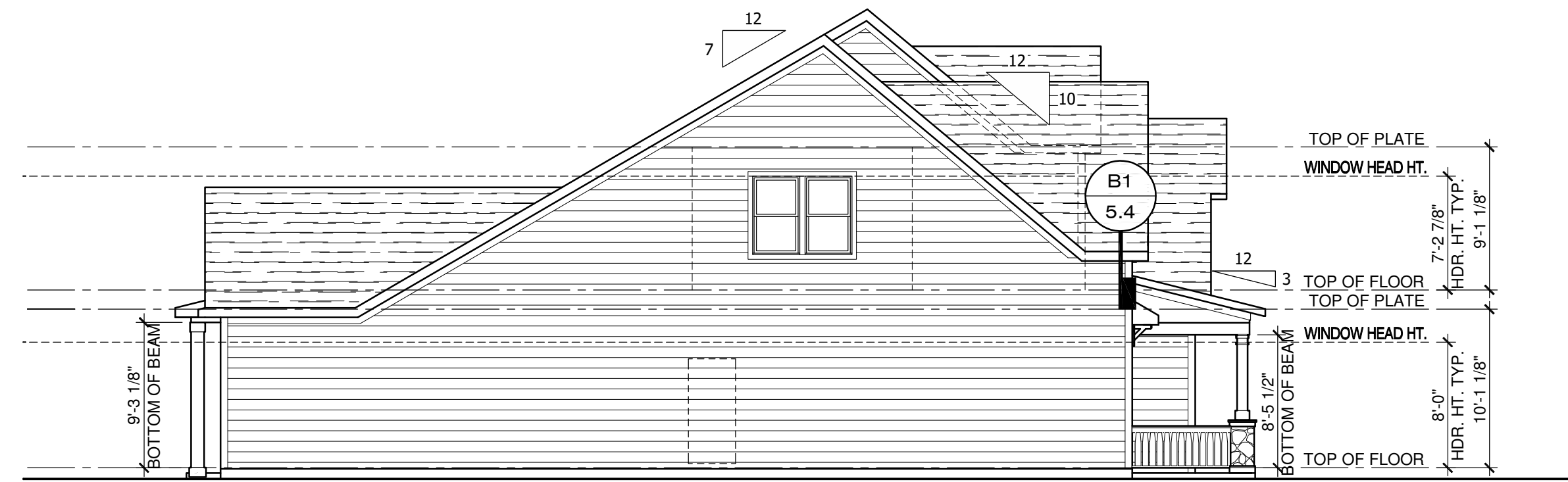
PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2" SCALE PLOTS

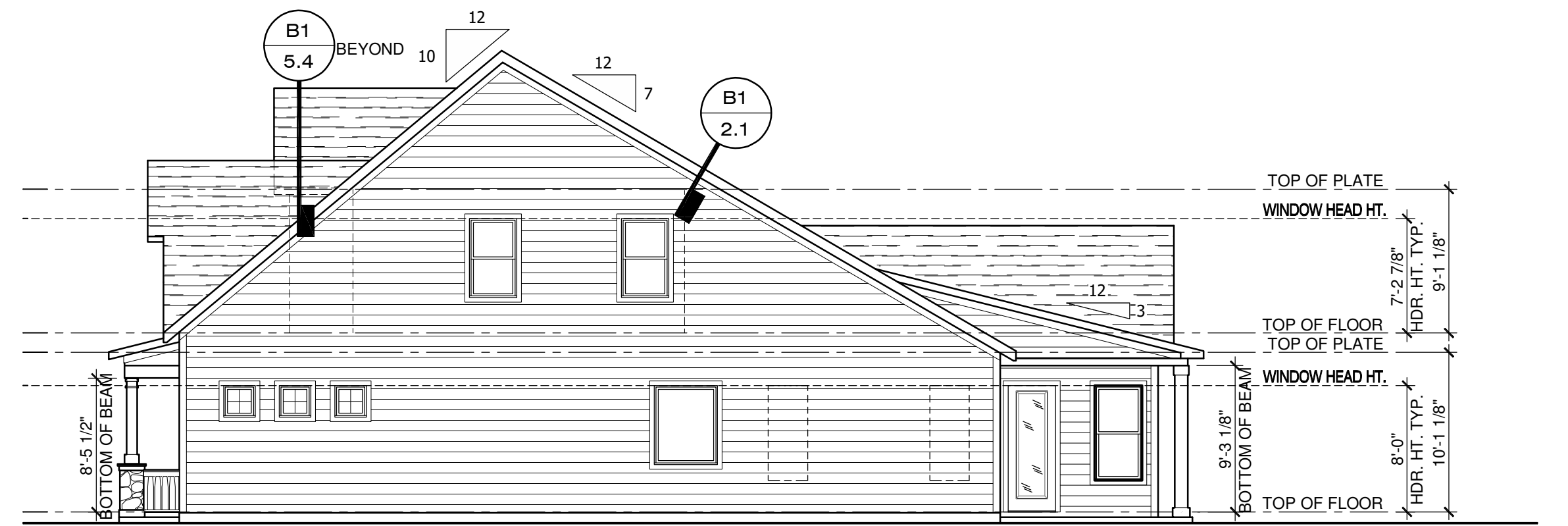
NOTES: SEE SHEET B2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET B8 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - 1x6 WRAP - TYP.



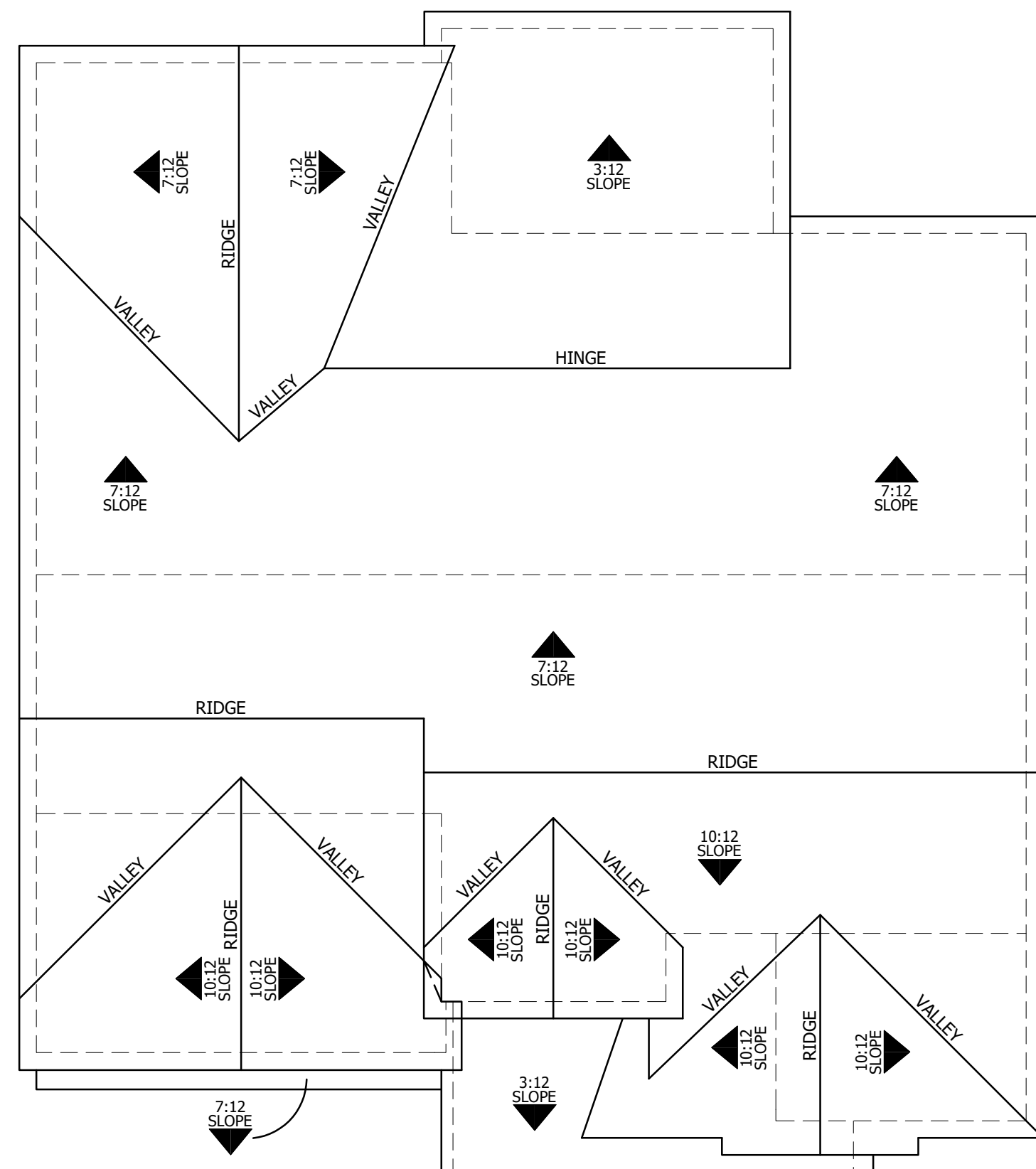
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
 SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE FLOYS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE FLOYS

CONTROL	RELEASE DATE	06-01-18
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**5802**

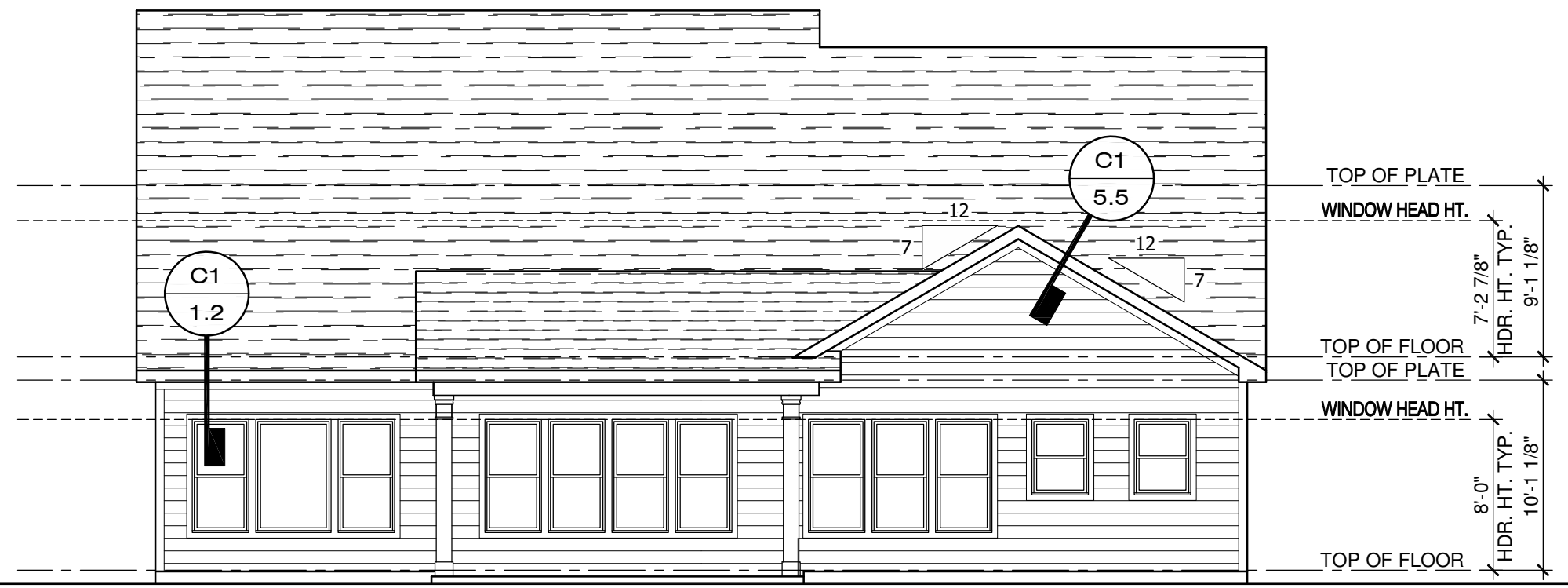
SHEET  
**A2.1B**

**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

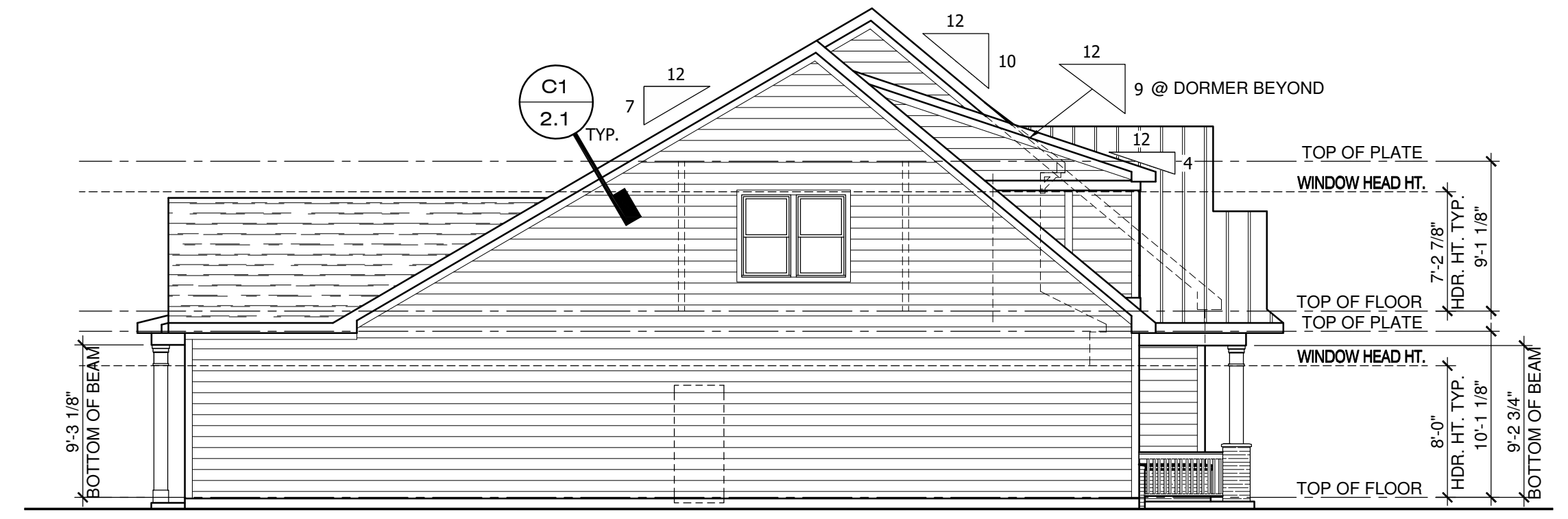
**Fieldstone**  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (248) 622-4085  
 MINNESOTA OFFICE: (612) 607-0115

**ELEVATION B - PLANK COTTAGE**

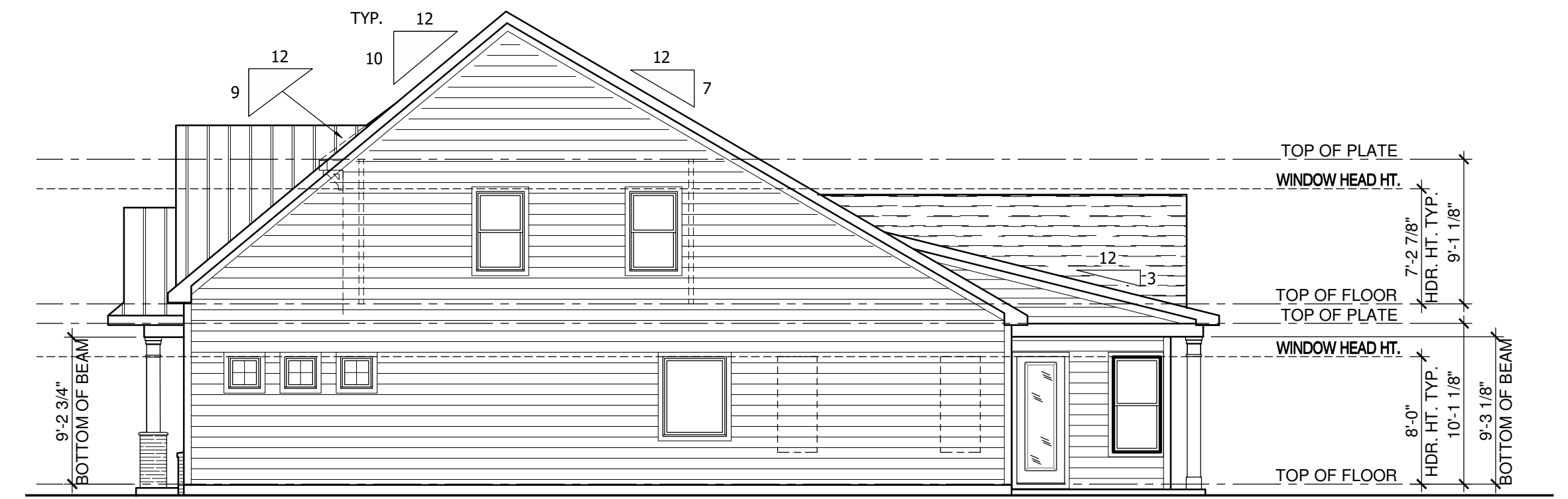
NOTES: SEE SHEET C2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET C6 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - 1x6 WRAP - TYP.



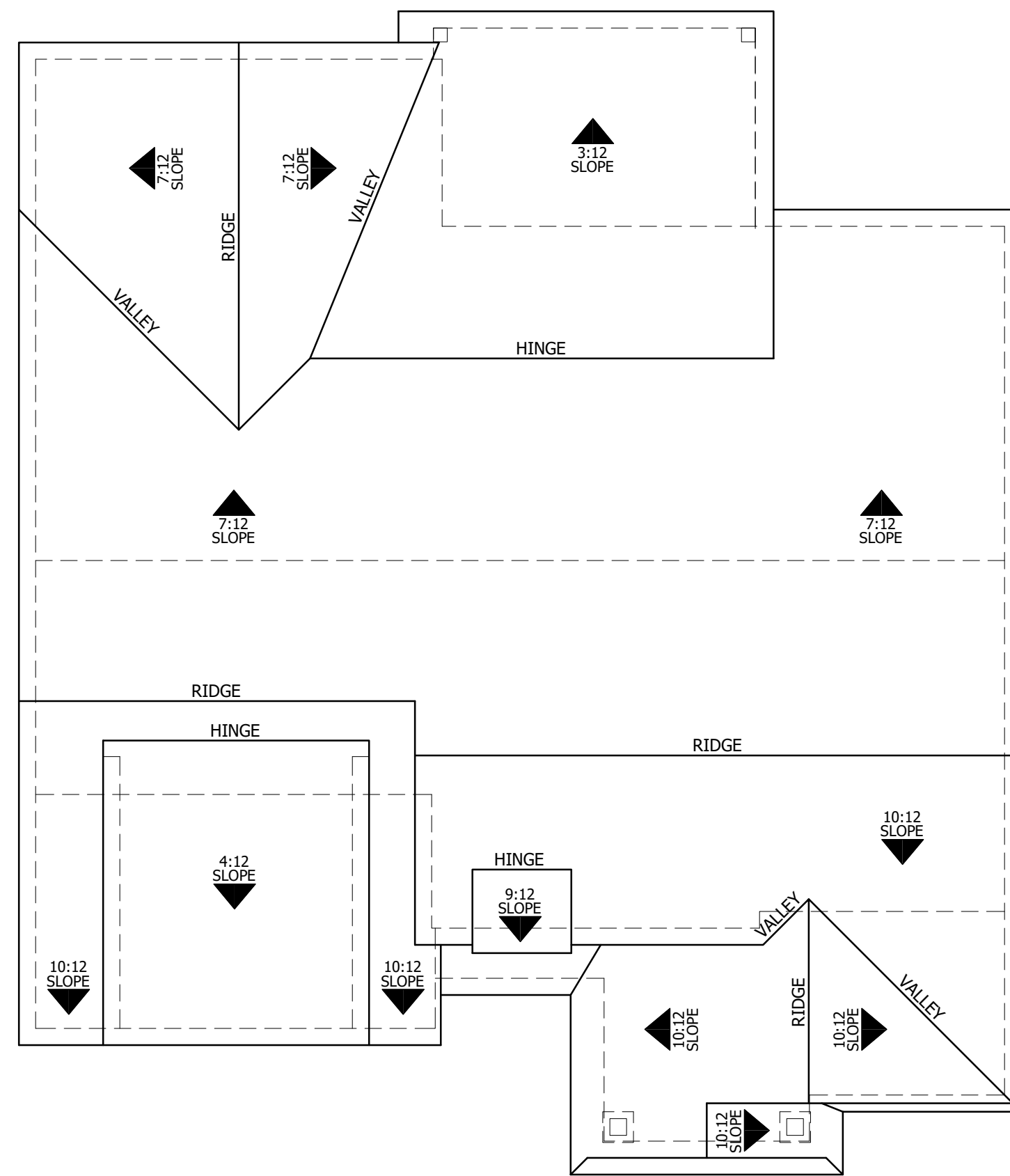
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



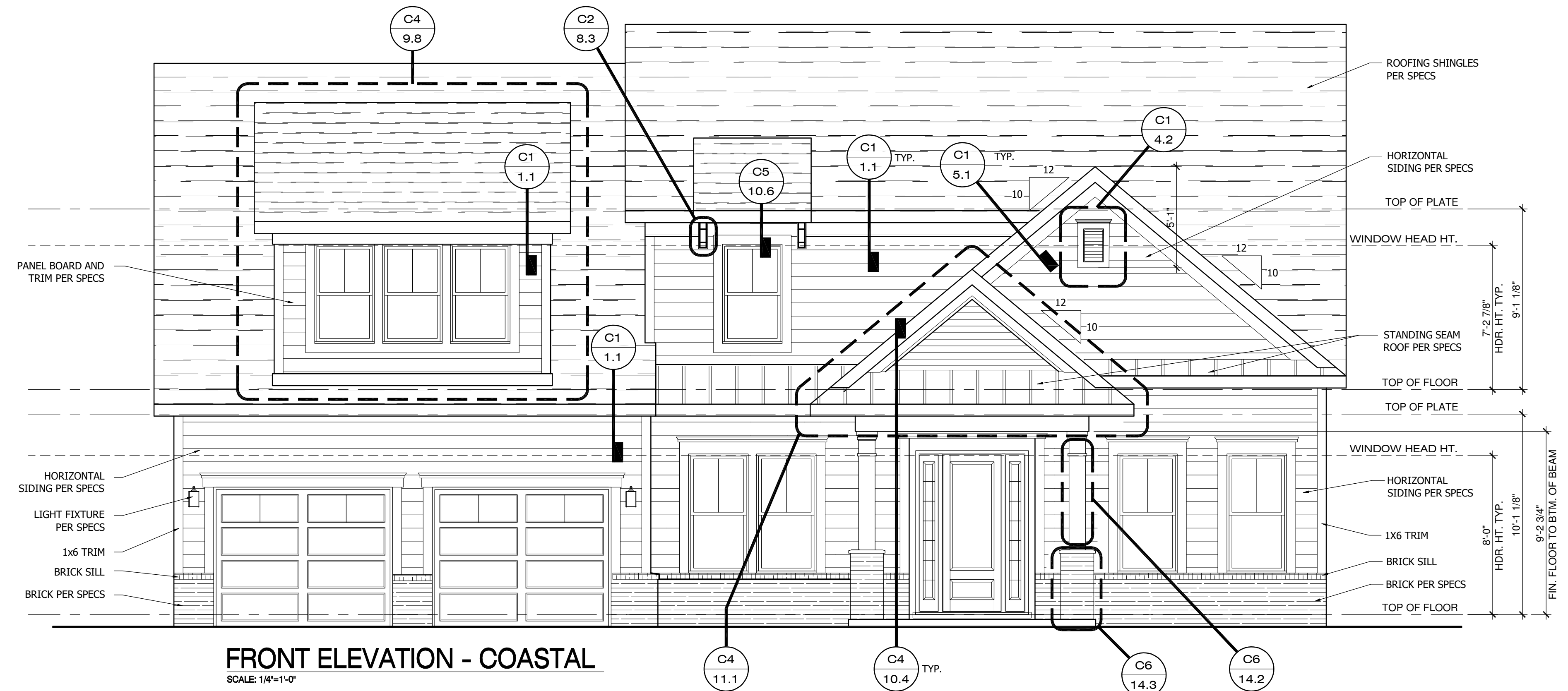
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - COASTAL**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**

227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**

FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (616) 622-4085  
 MINNESOTA OFFICE: (612) 697-0115  
 NORTH CAROLINA OFFICE: (704) 622-4085

**ELEVATION C - COASTAL**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	
1		
2		
3		
4		
5		

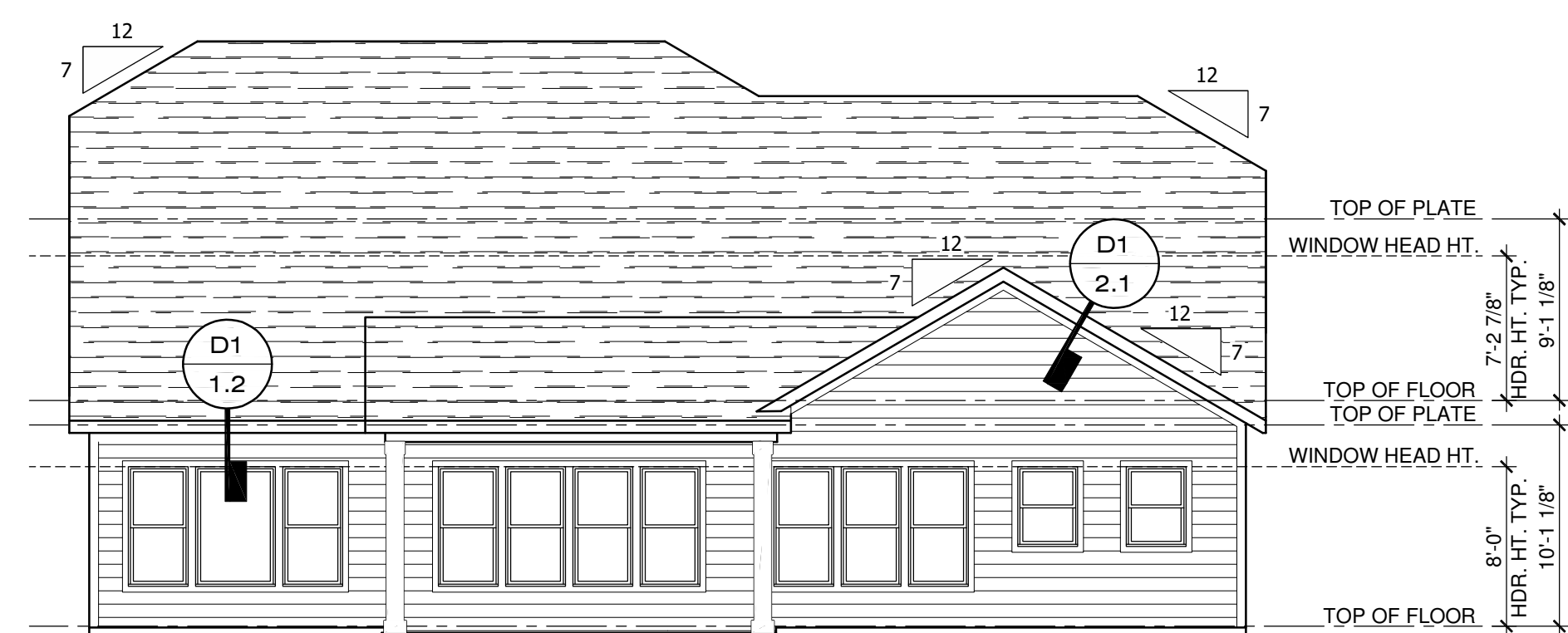
**GARAGE HANDING**  
**LEFT**

**PLAN NUMBER**  
**5802**

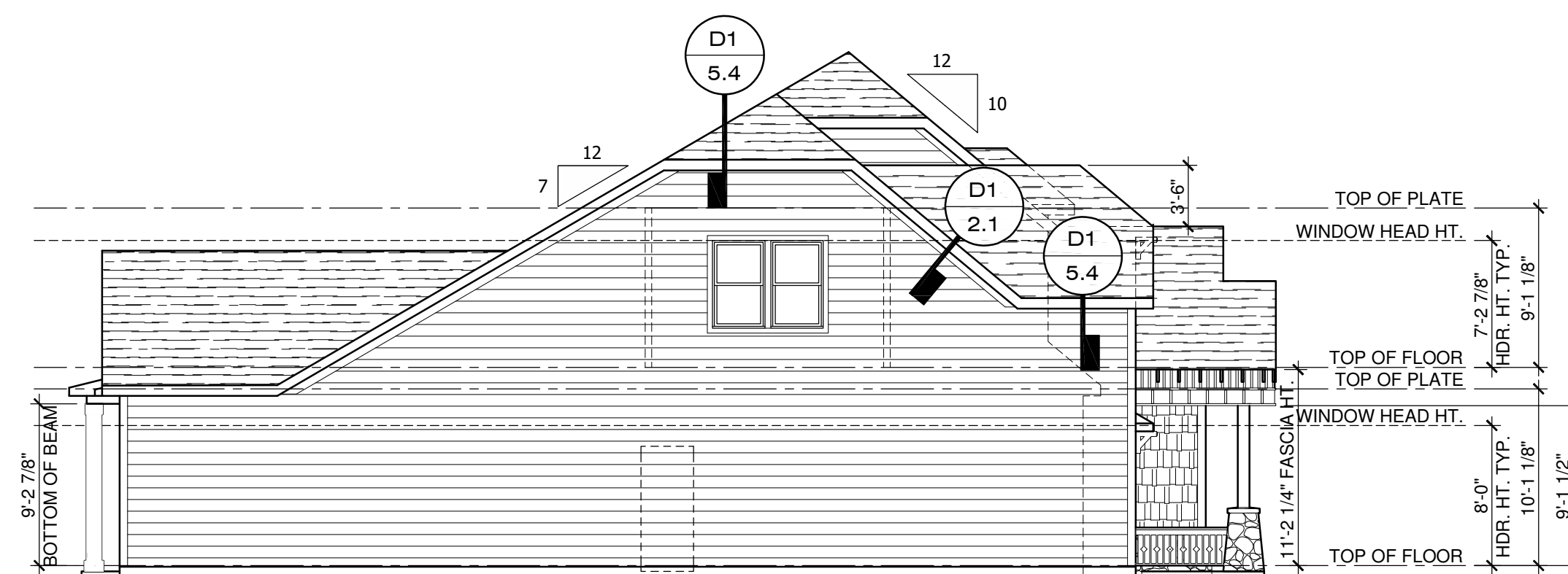
**SHEET**  
**A2.1C**



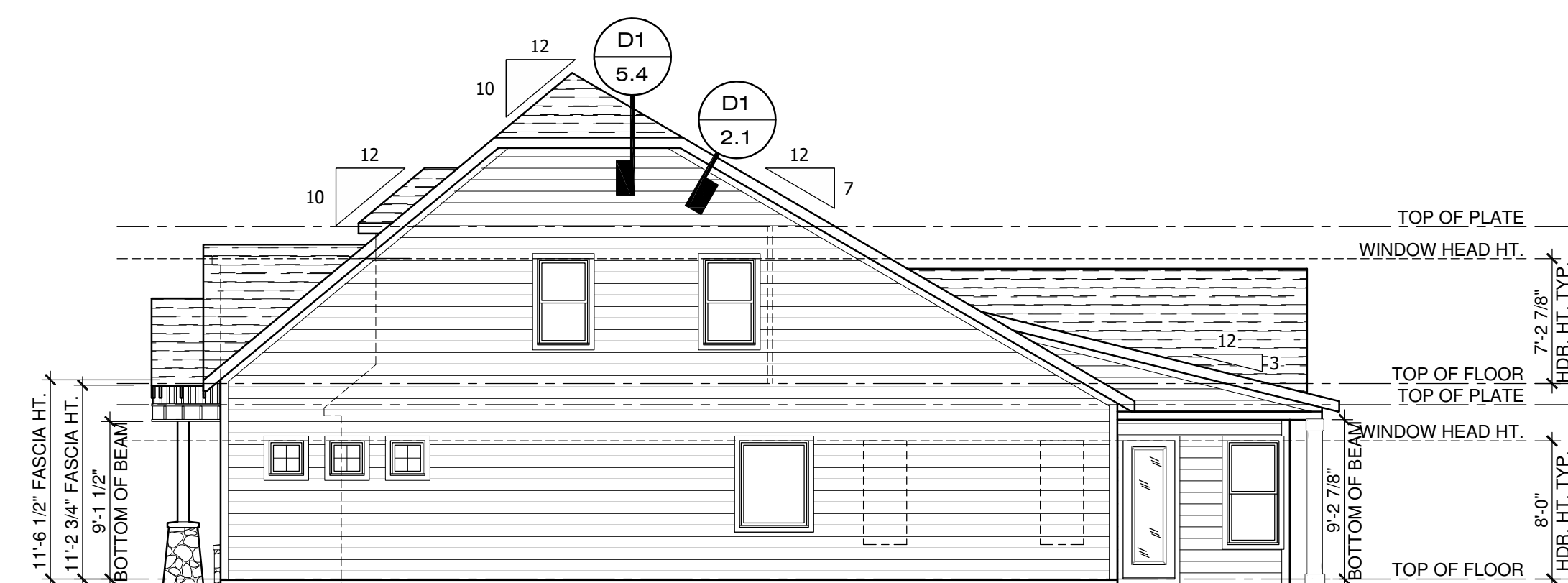
NOTES: SEE SHEET D2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D20 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - 1x6 WRAP - TYP.



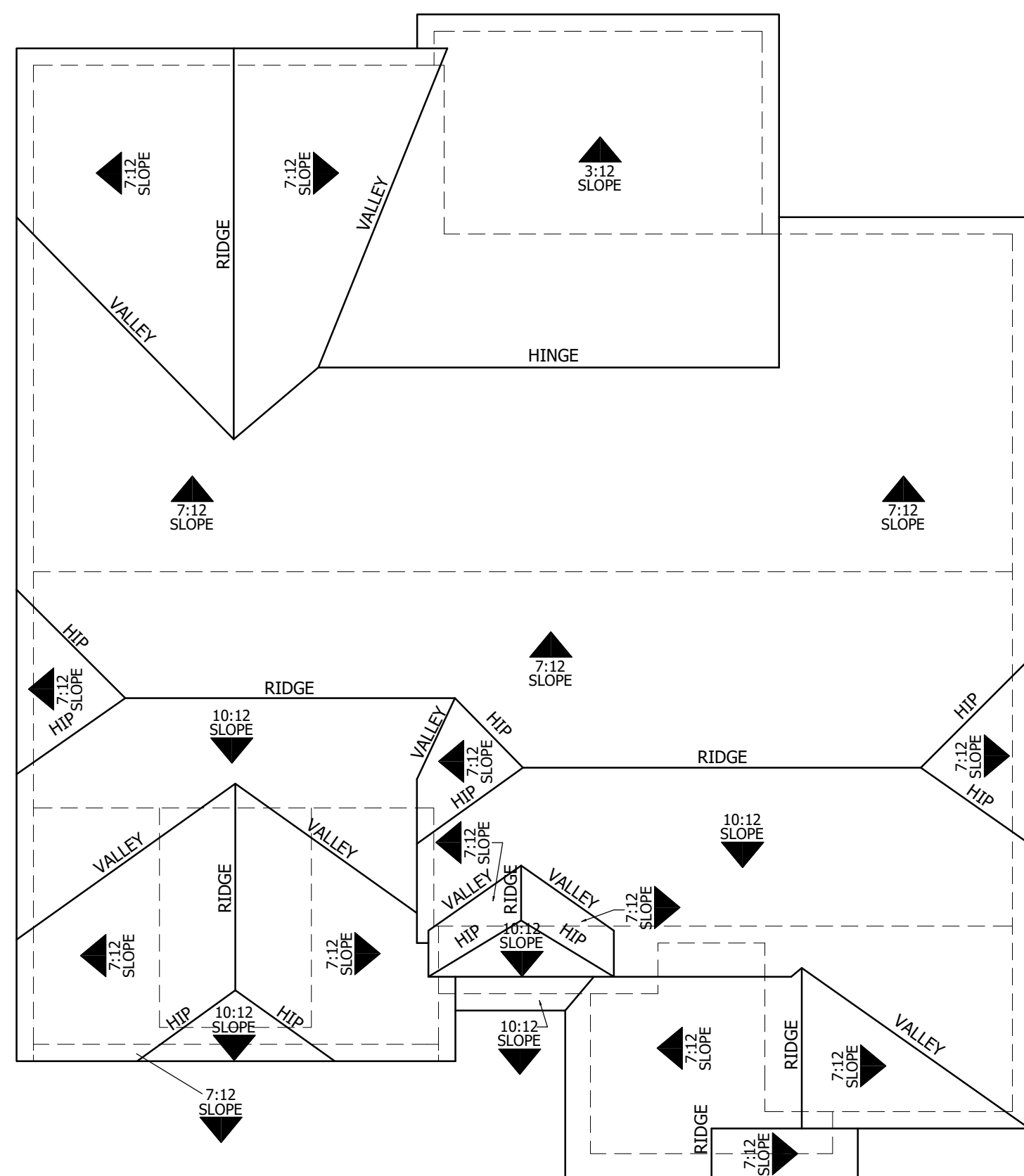
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



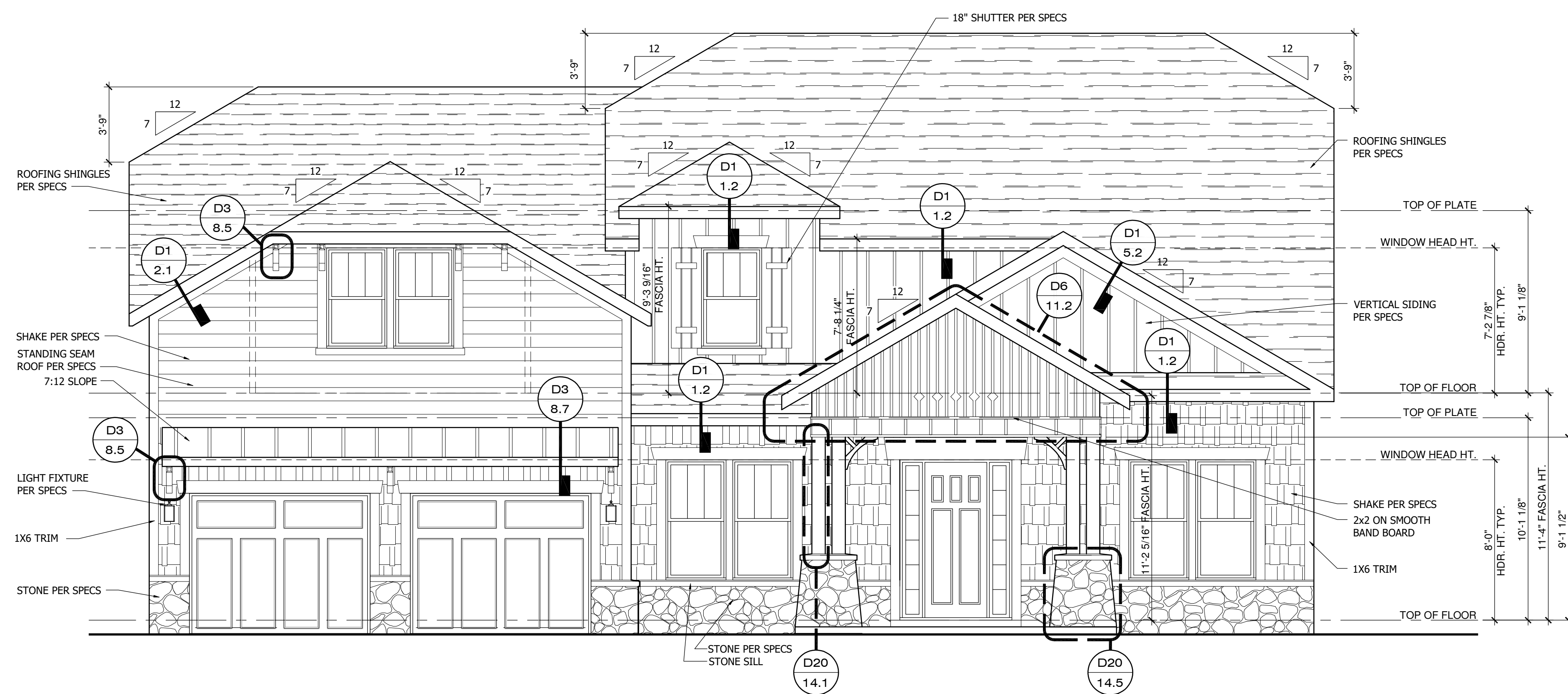
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS & CRAFTS**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (248) 622-4085  
 MINNESOTA OFFICE: (612) 697-0115

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2" SCALE PLOTS

REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

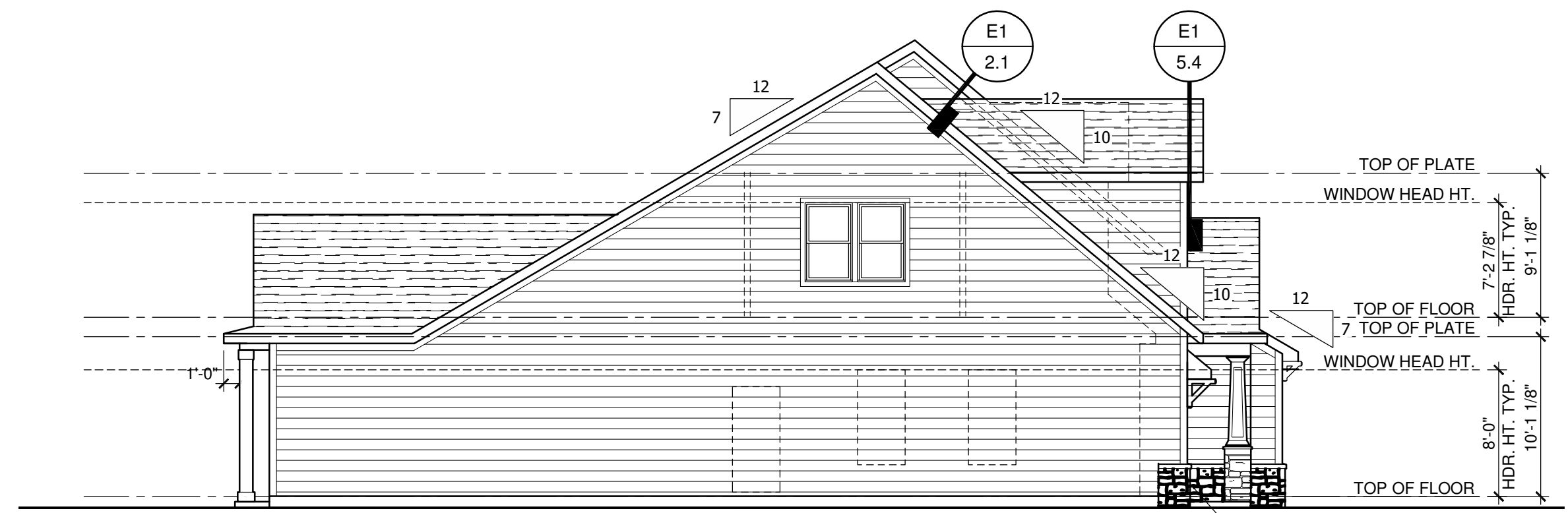
PLAN NUMBER  
**5802**

SHEET  
**A2.1D**

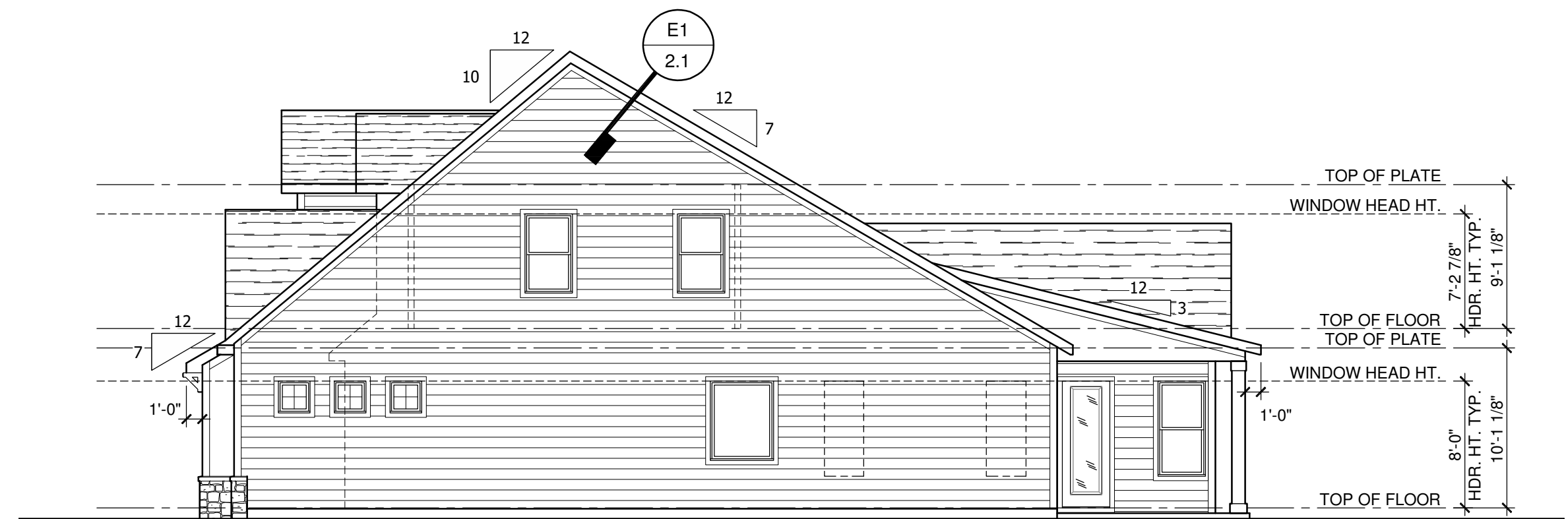
NOTES: SEE SHEET E2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E11 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 ALL FRONT DOOR TRIM - 1x6 WRAP - TYP.



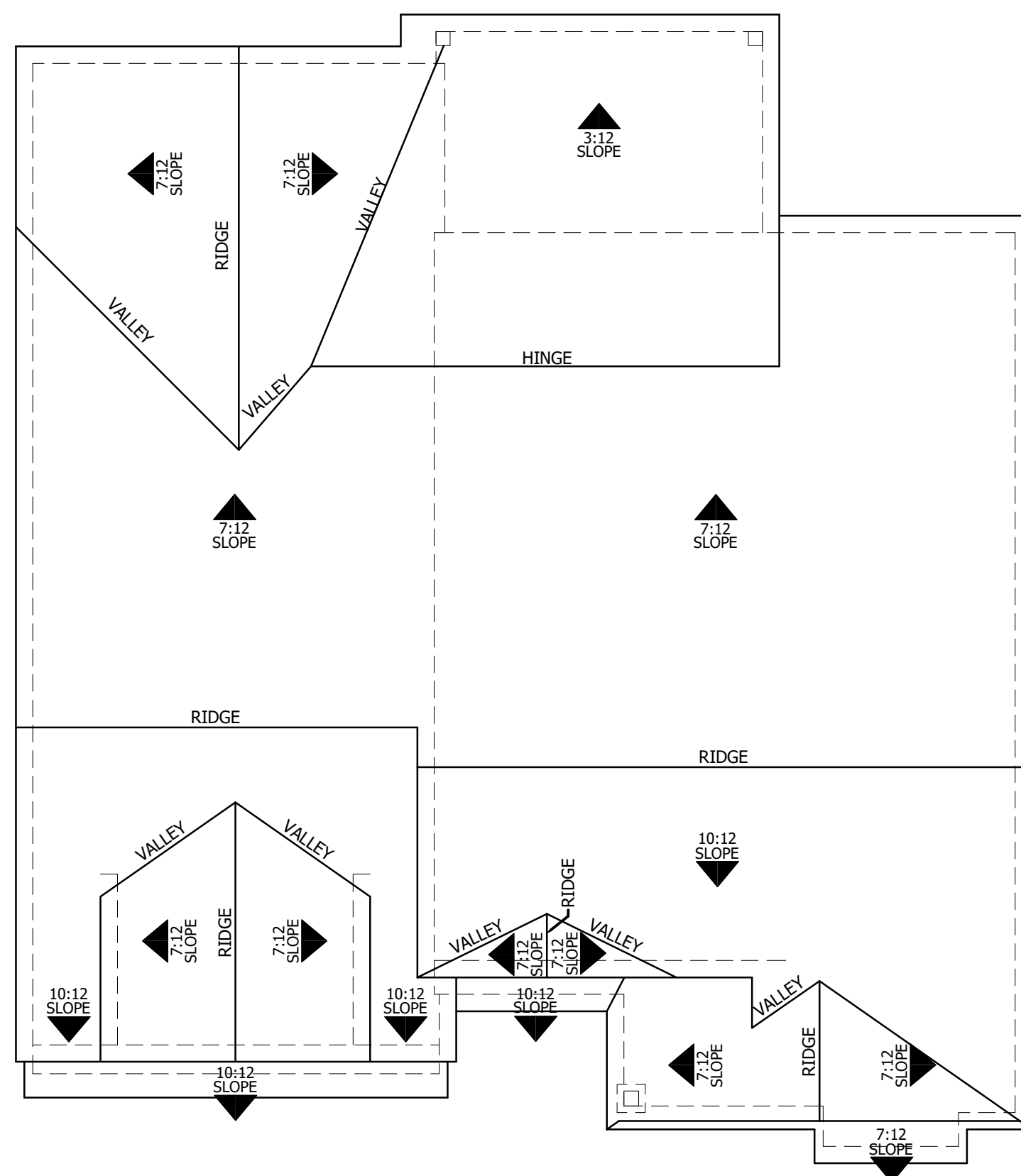
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



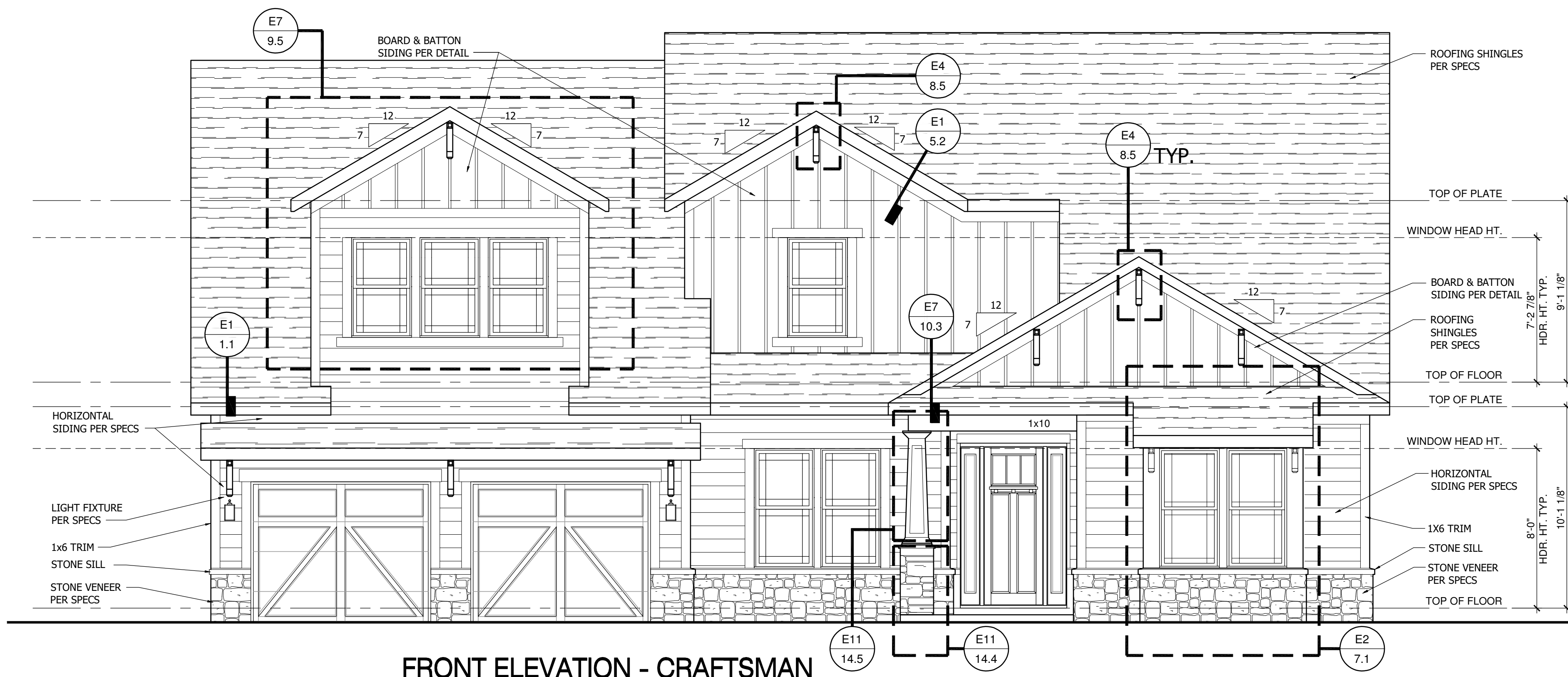
**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - CRAFTSMAN**  
 SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (248) 622-4085  
 MINNESOTA OFFICE: (612) 897-9115

**ELEVATION E - CRAFTSMAN**

CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

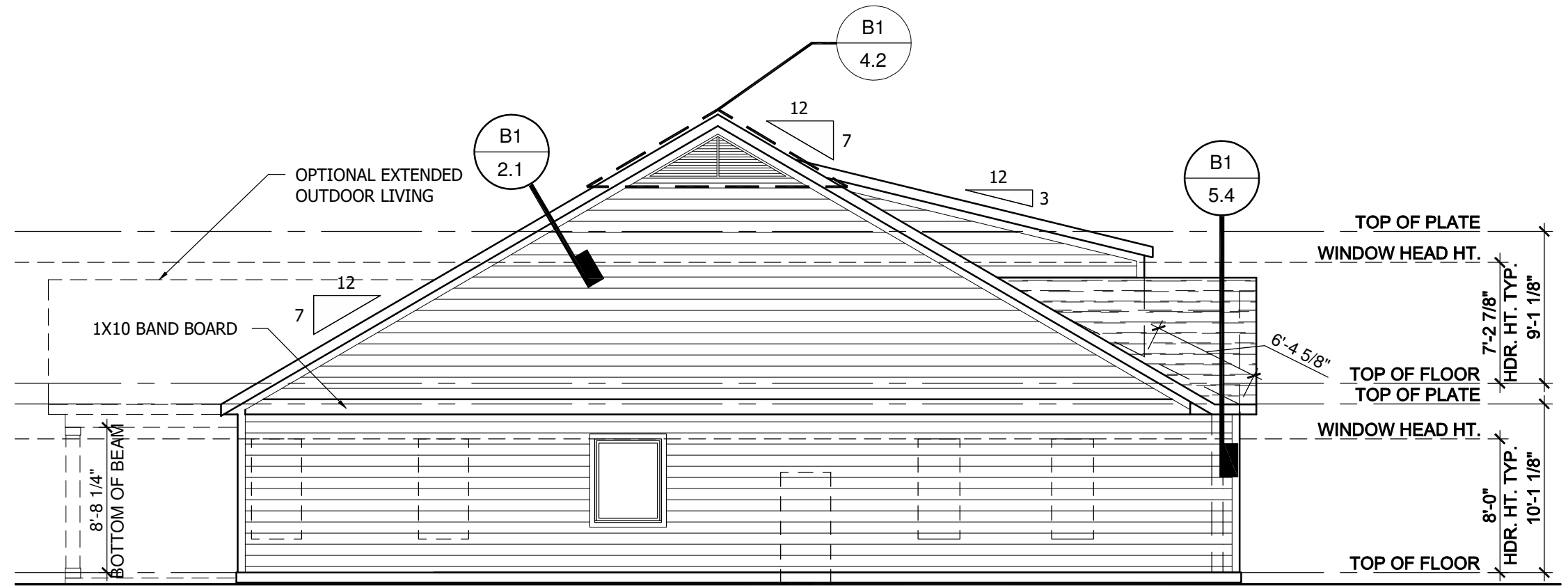
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**5802**

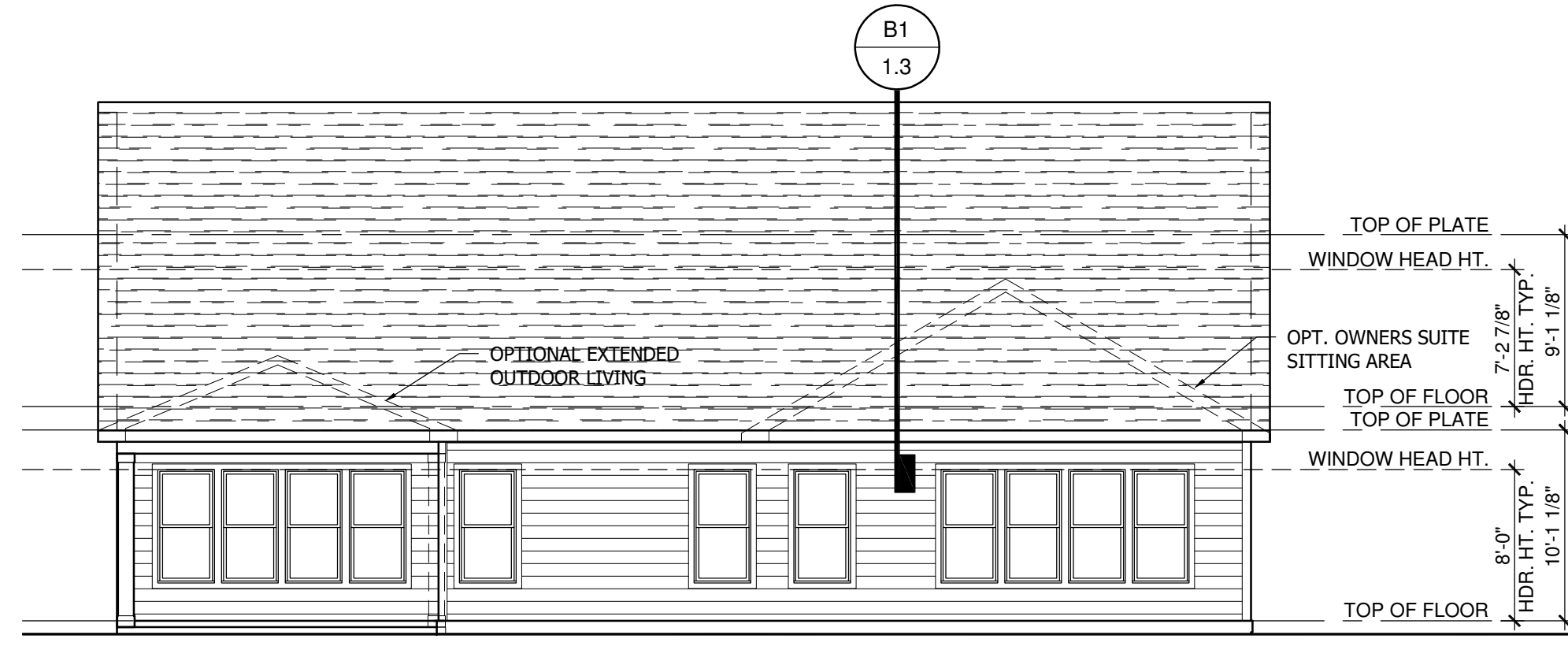
SHEET  
**A2.1E**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

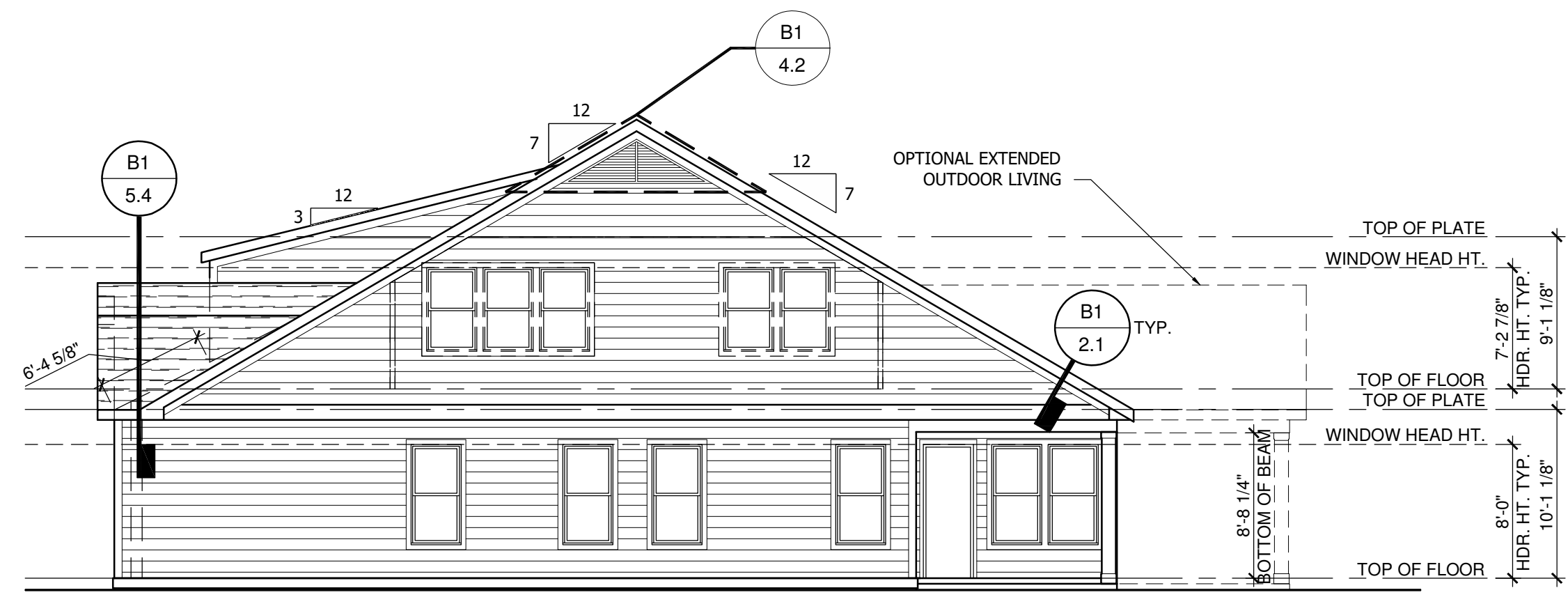
NOTES: SEE SHEET B2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B8 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



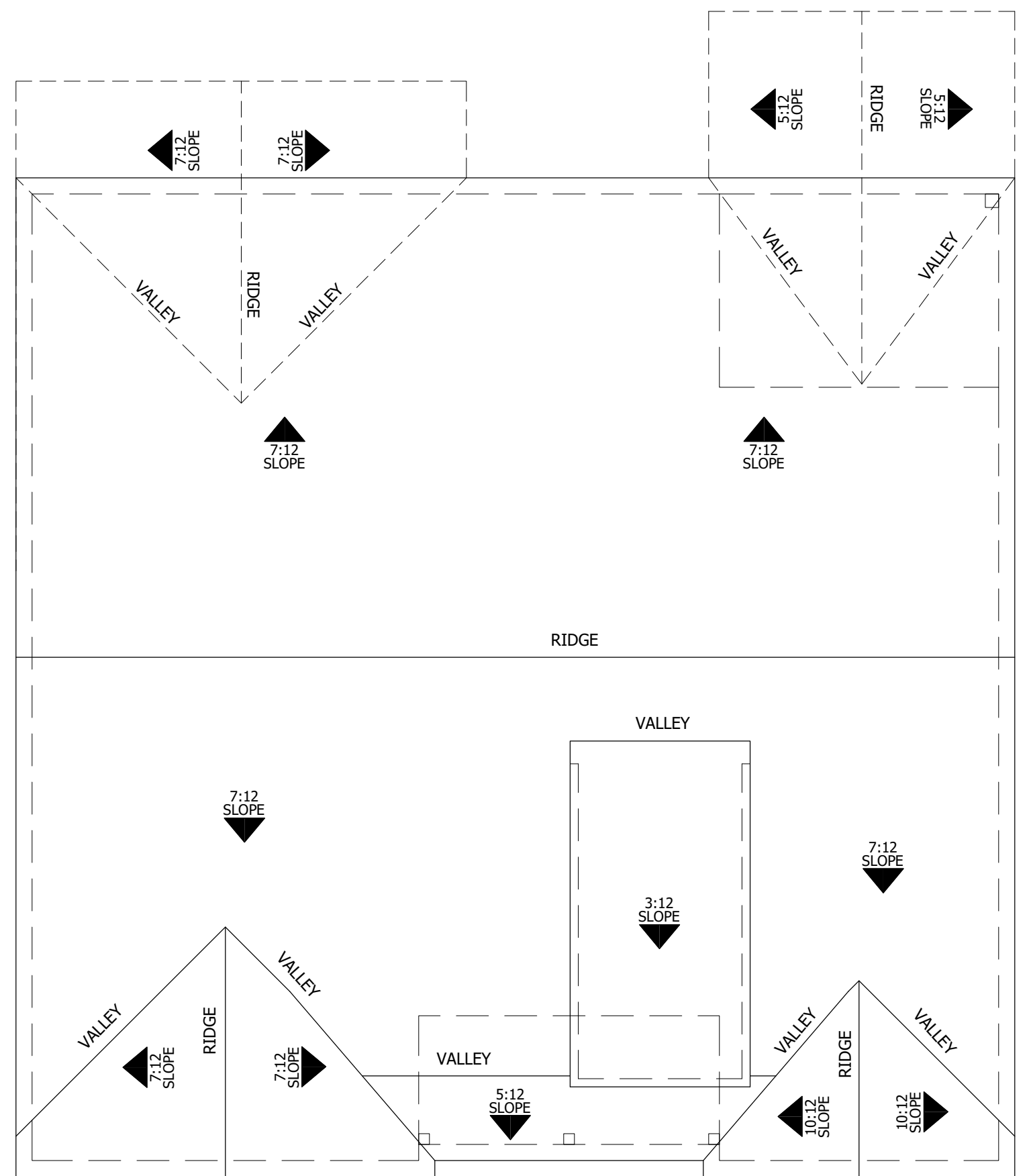
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - PLANK COTTAGE  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (616) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

**ELEVATION B - PLANK COTTAGE**

CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6001**

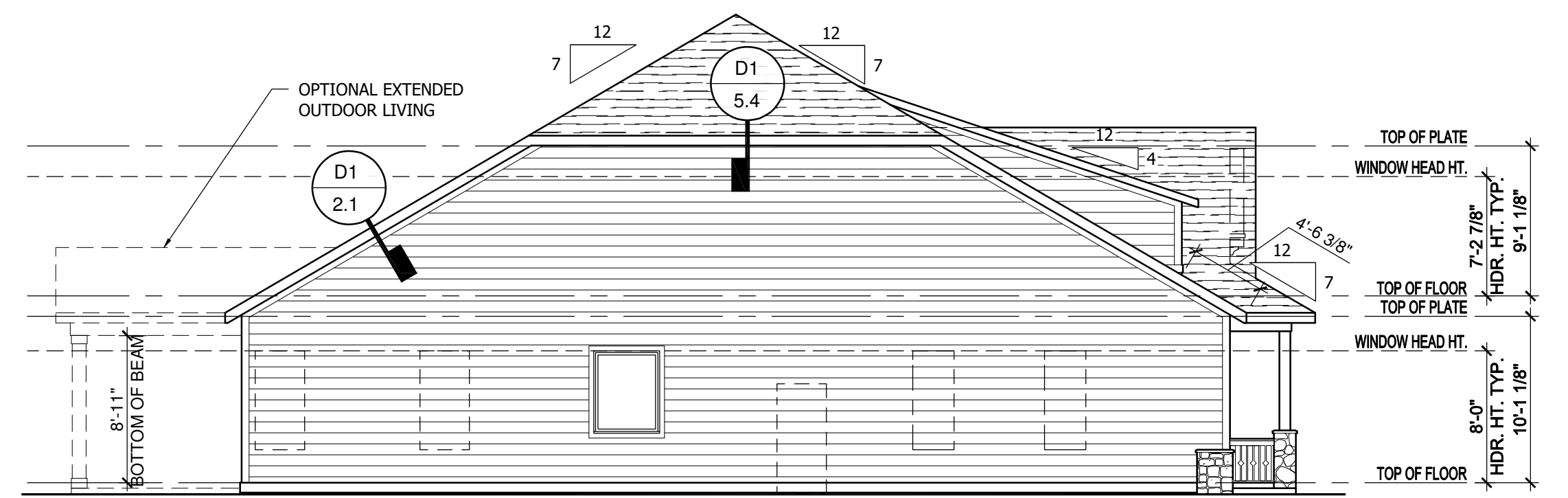
SHEET

**A2.1B**

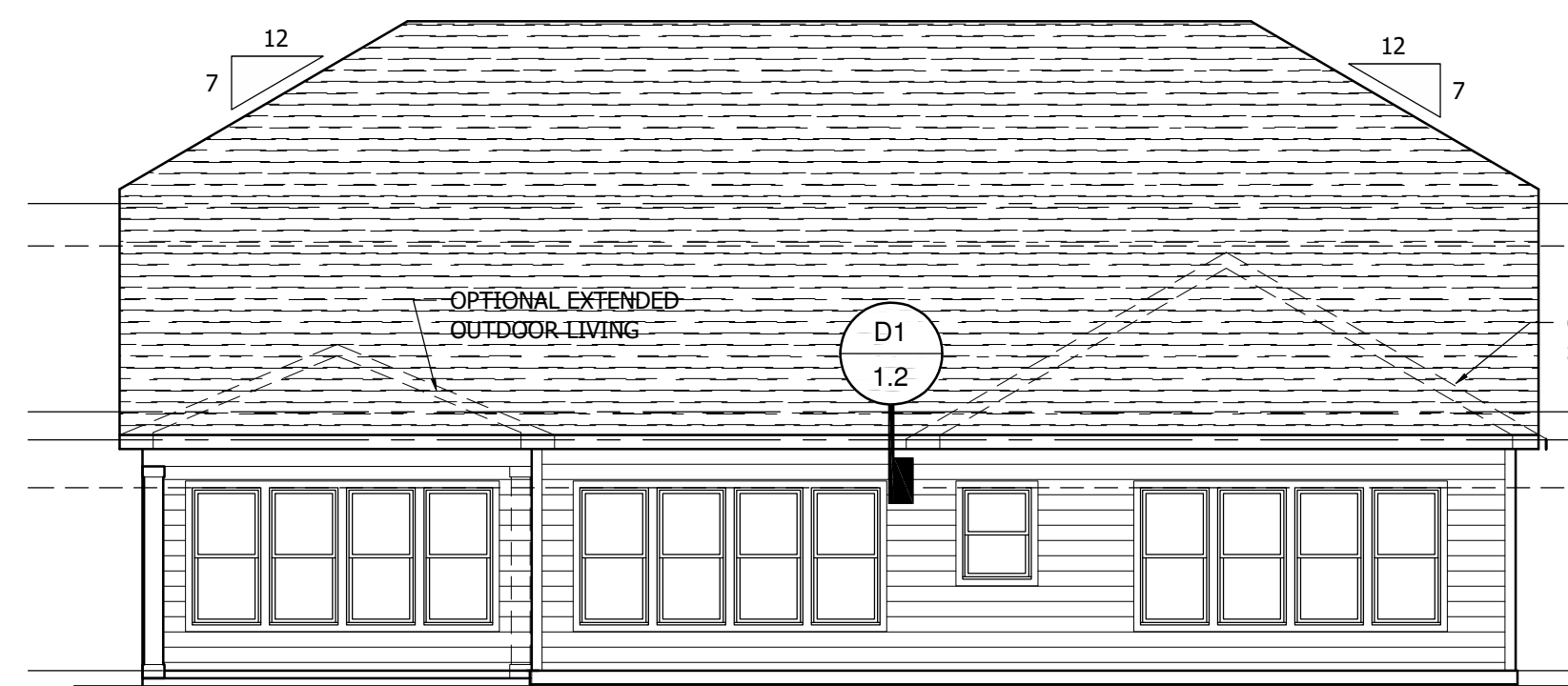
PLOTTED: June 9, 2016 / Eric Peterson / SHTS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22824 SHEETS - 11X17. SHEETS REPRESENT 1/2 SCALE PLOTS

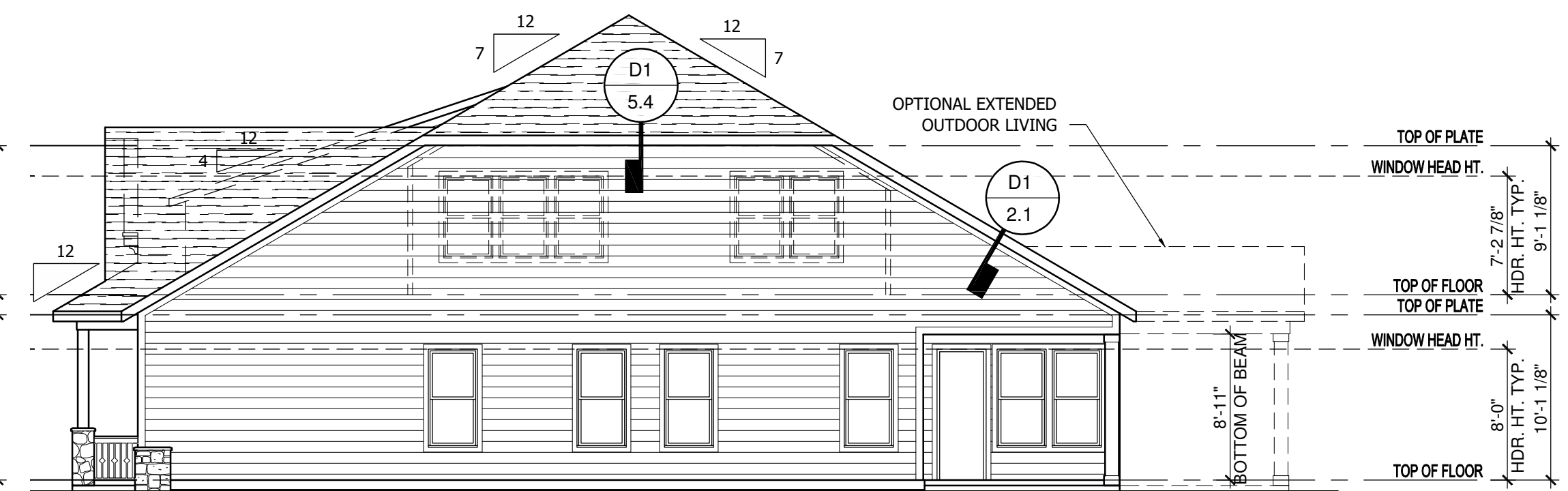
NOTES: SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



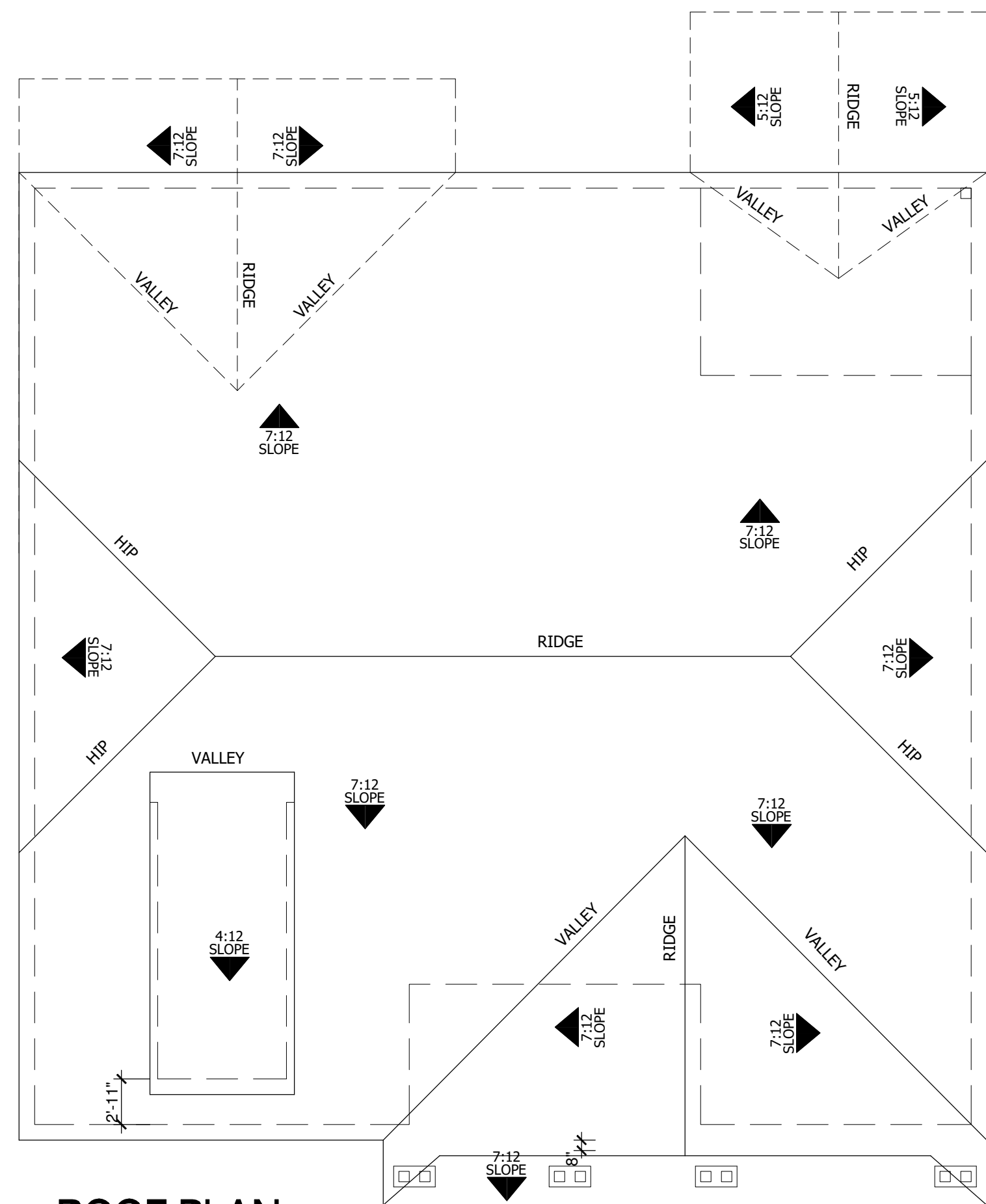
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - SOUTHERN ARTS AND CRAFTS  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (616) 622-4085  
MINNESOTA OFFICE: (612) 607-0115

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6001**

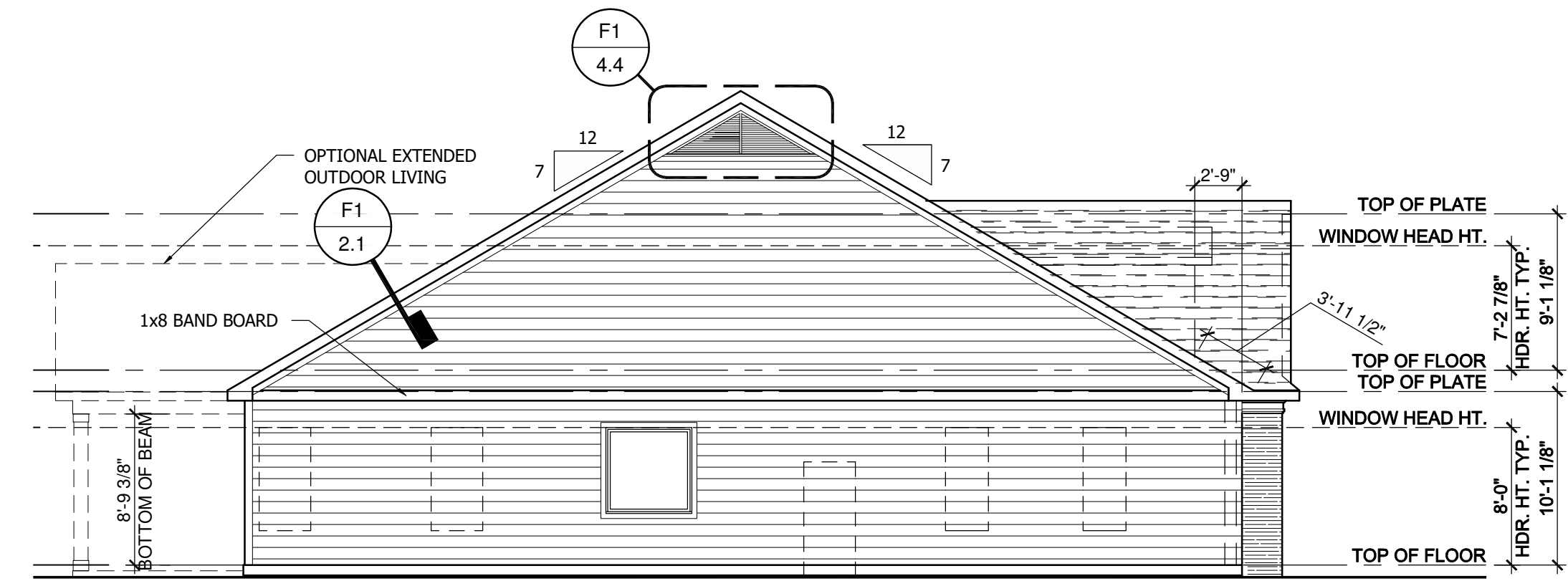
SHEET  
**A2.1D**

PLOTTED: June 9, 2016 / Eric Peterson / SHTS\_2\_ELEVATIONS.DWG

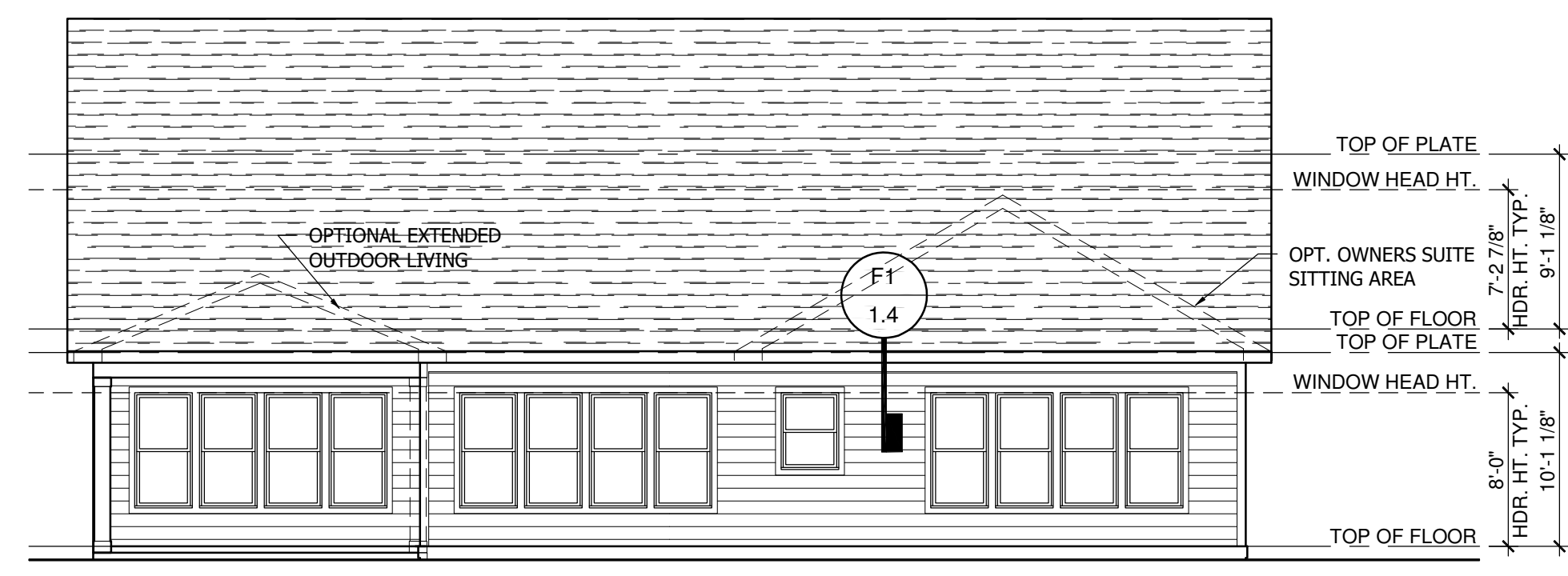
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



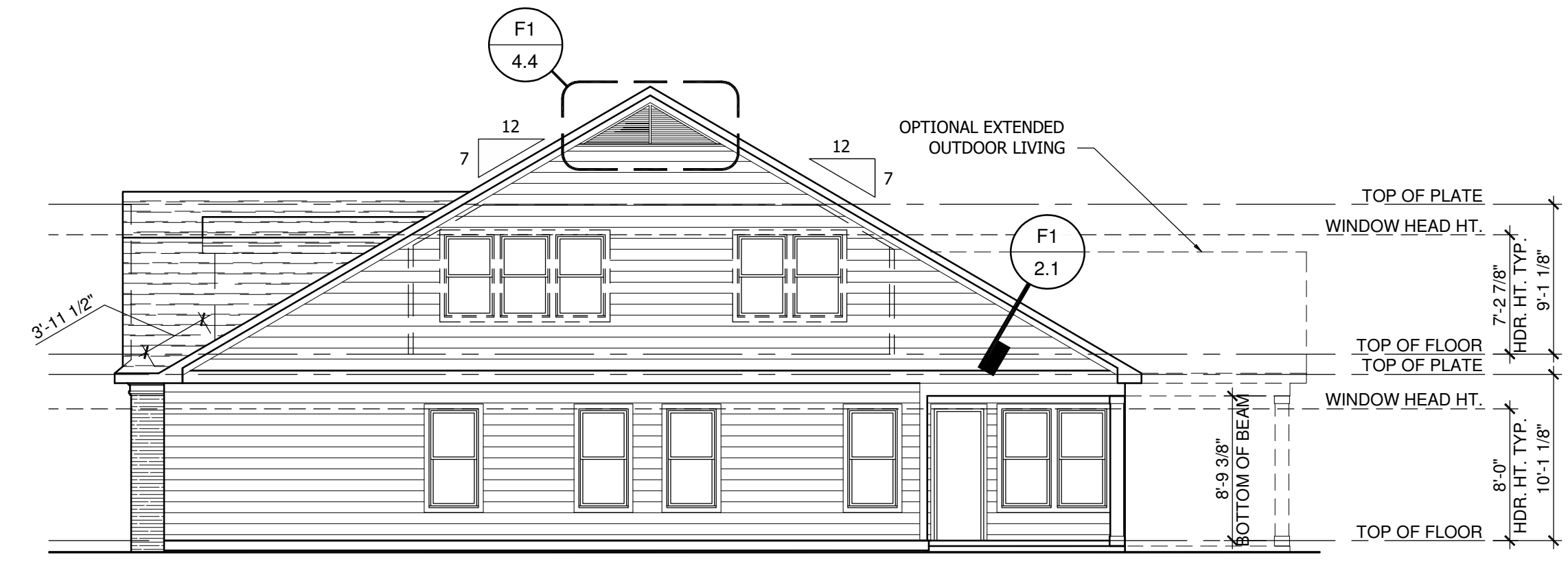
NOTES: SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



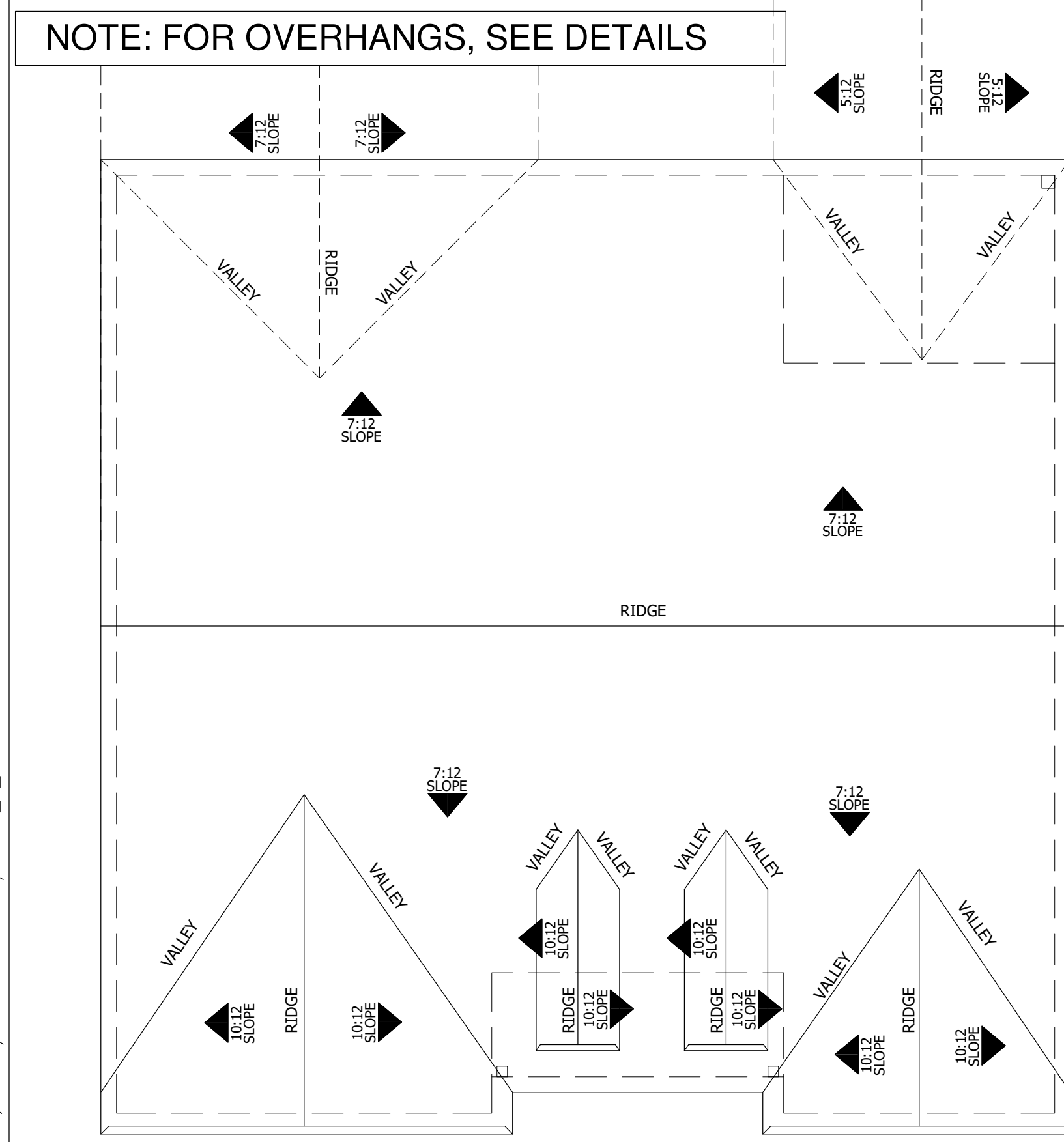
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - GEORGIAN  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

**ELEVATION F - GEORGIAN**

CONTROL RELEASE DATE: 06-01-18

REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

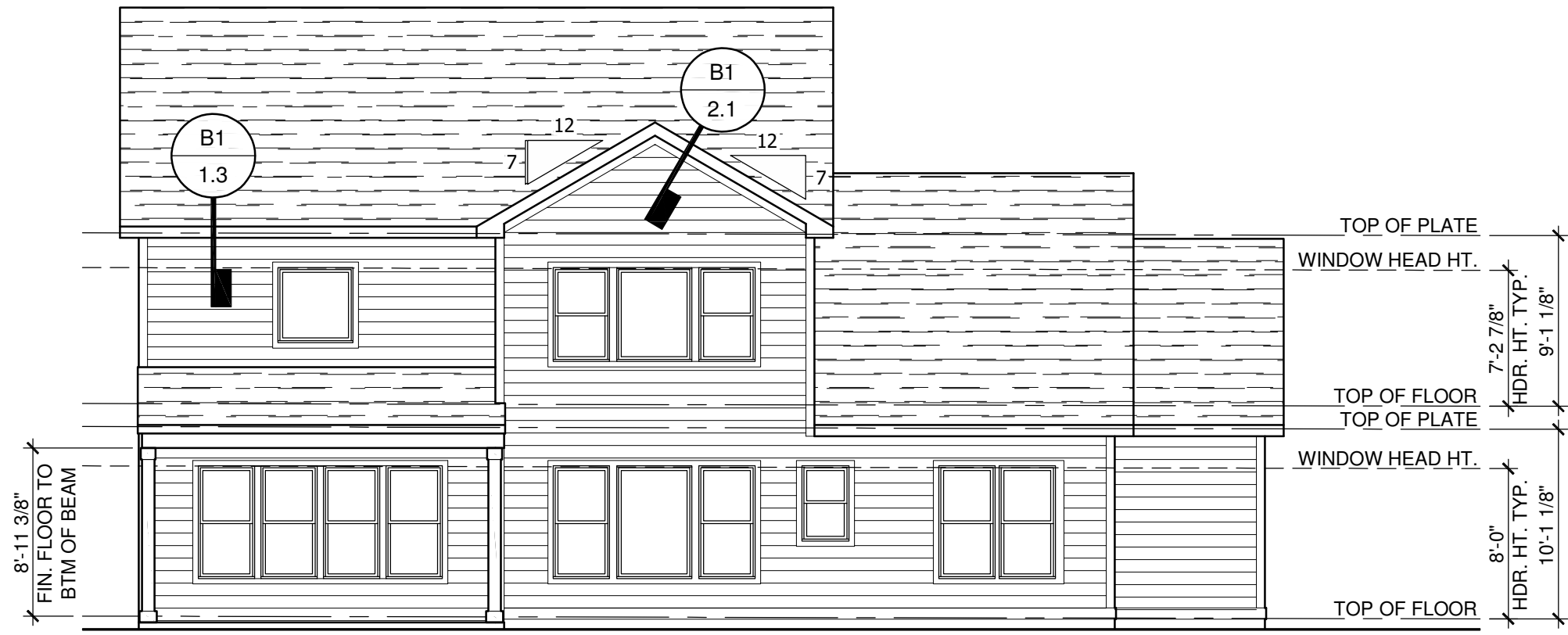
PLAN NUMBER  
**6001**

SHEET  
**A2.1F**

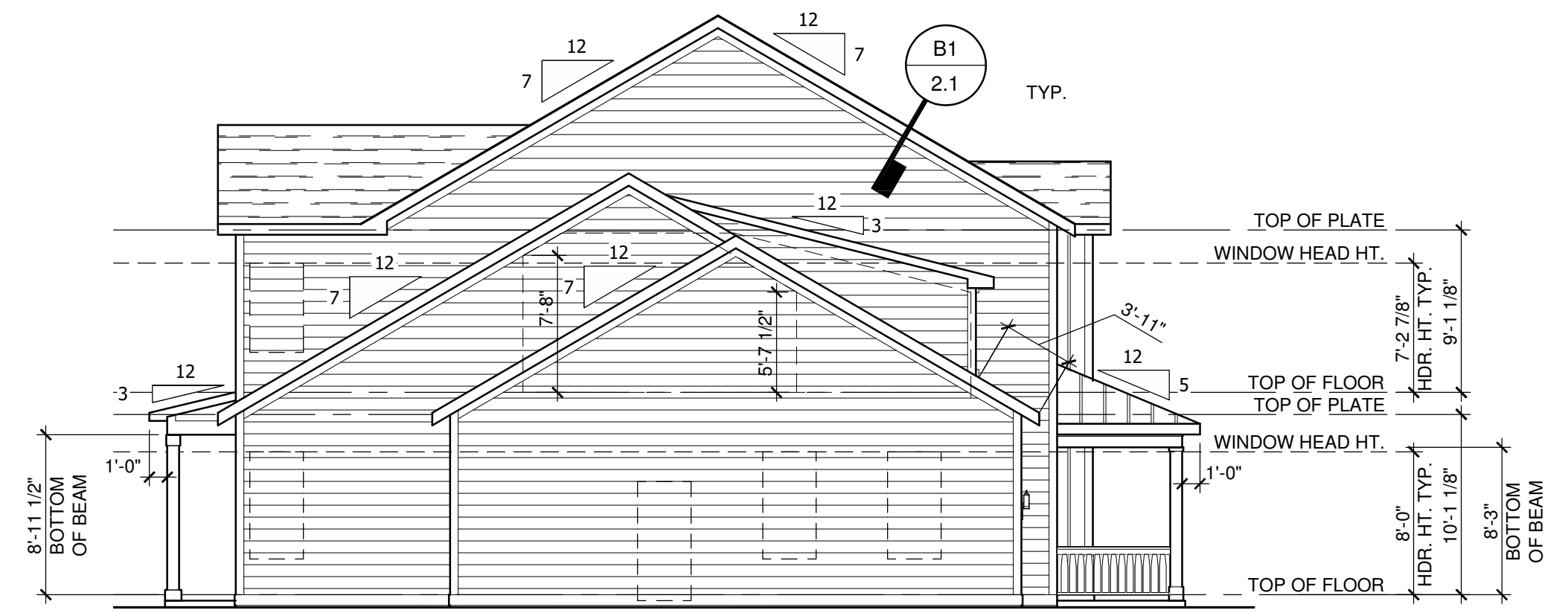
PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

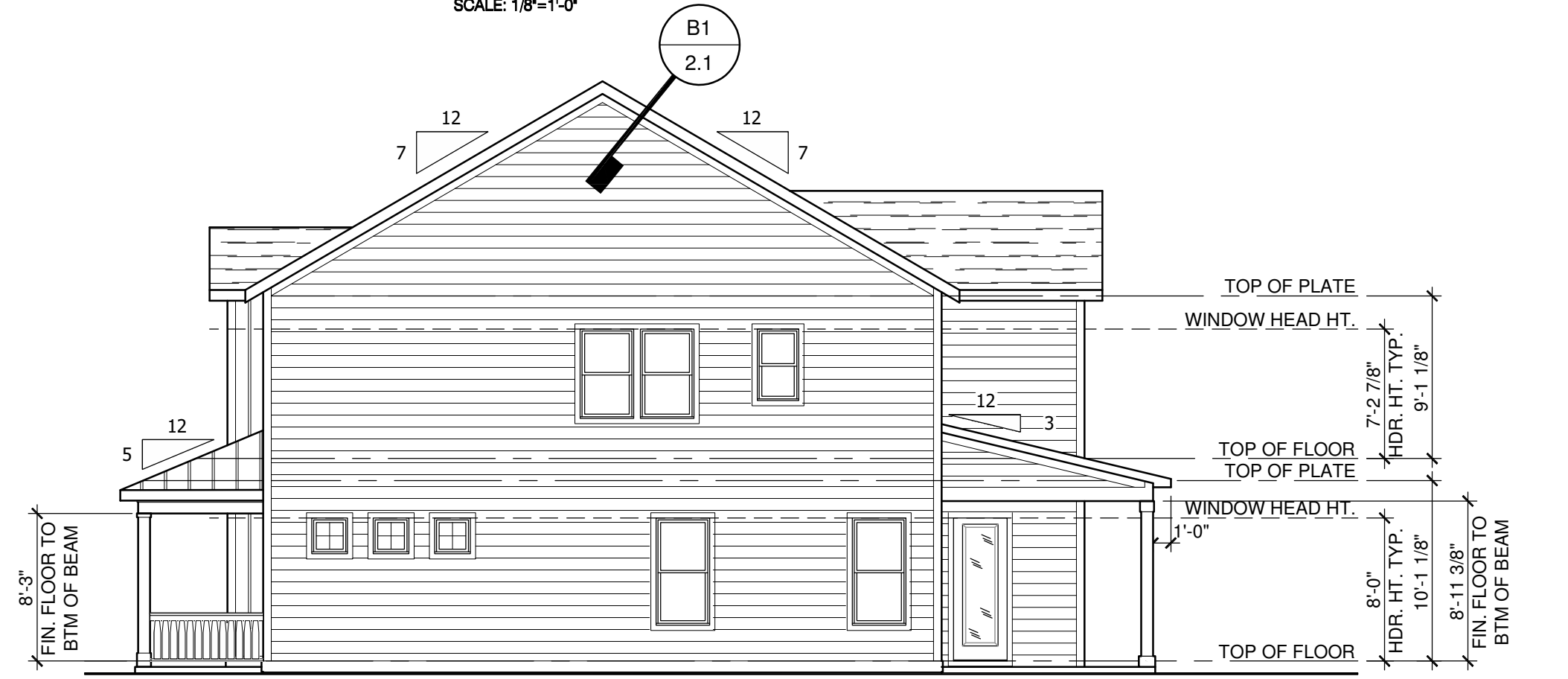
NOTES: SEE SHEET B2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B8 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



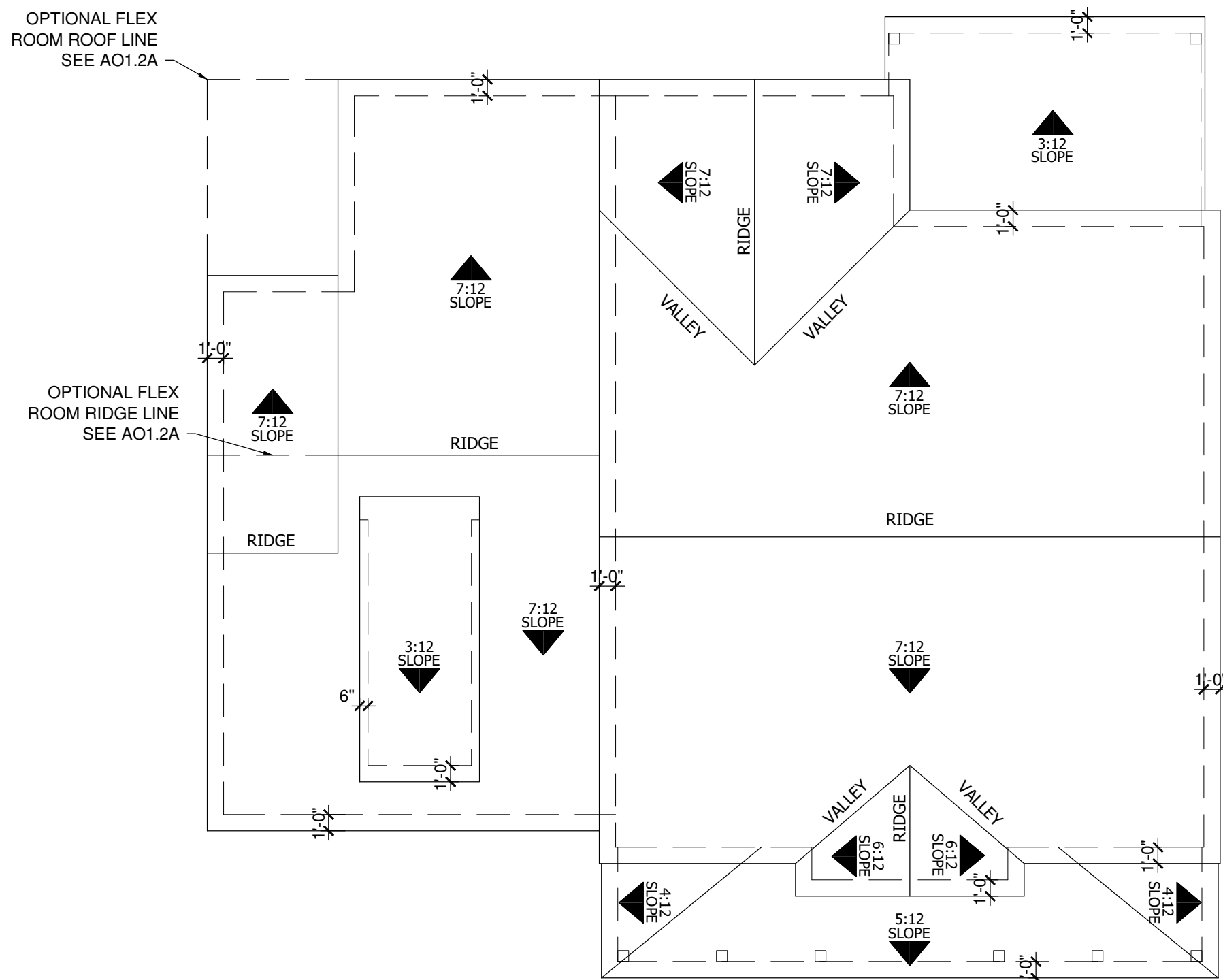
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



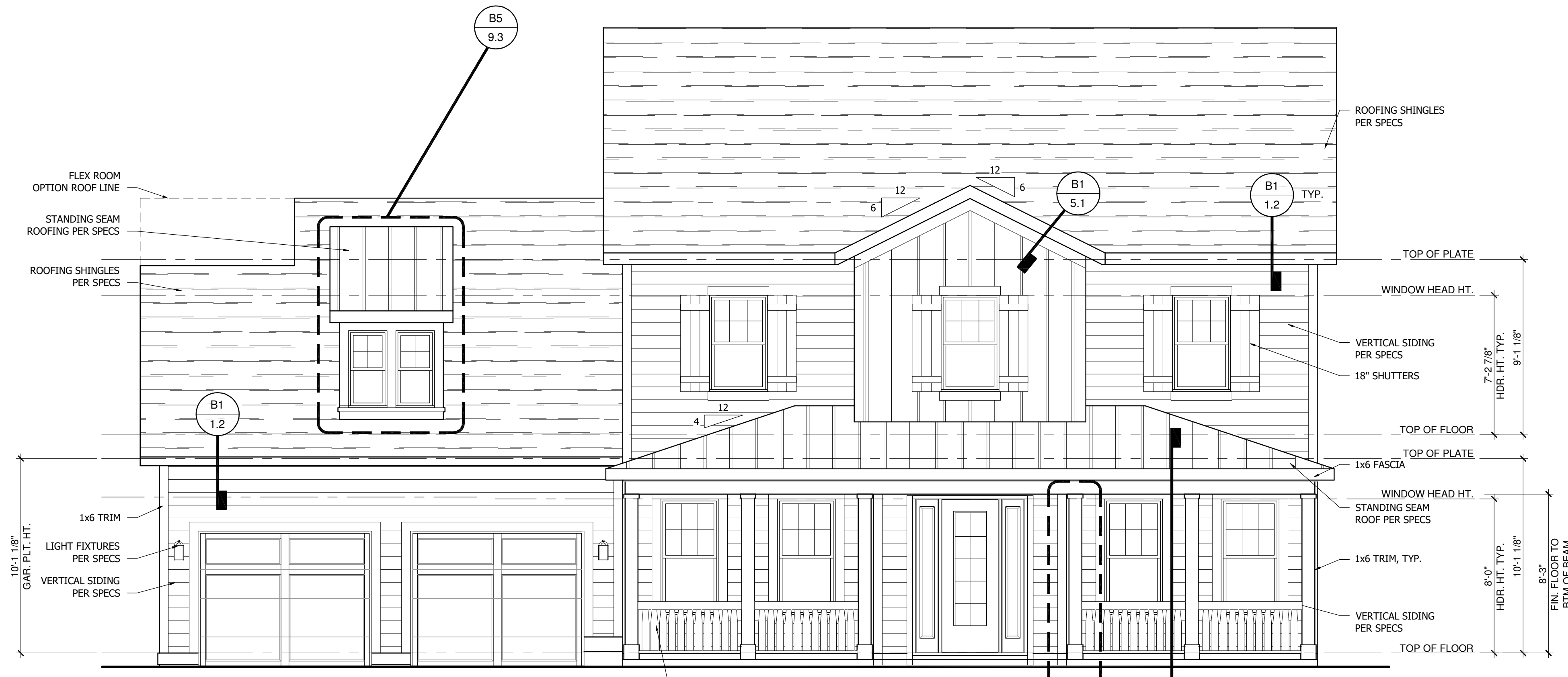
**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 466-3810  
MICHIGAN OFFICE: (248) 622-1088  
MINNESOTA OFFICE: (612) 697-9115

**ELEVATION B - PLANK COTTAGE**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE FLOORS ON 22624 SHEETS - 11X17 SHEETS REPRESENT 1/2 SCALE FLOORS

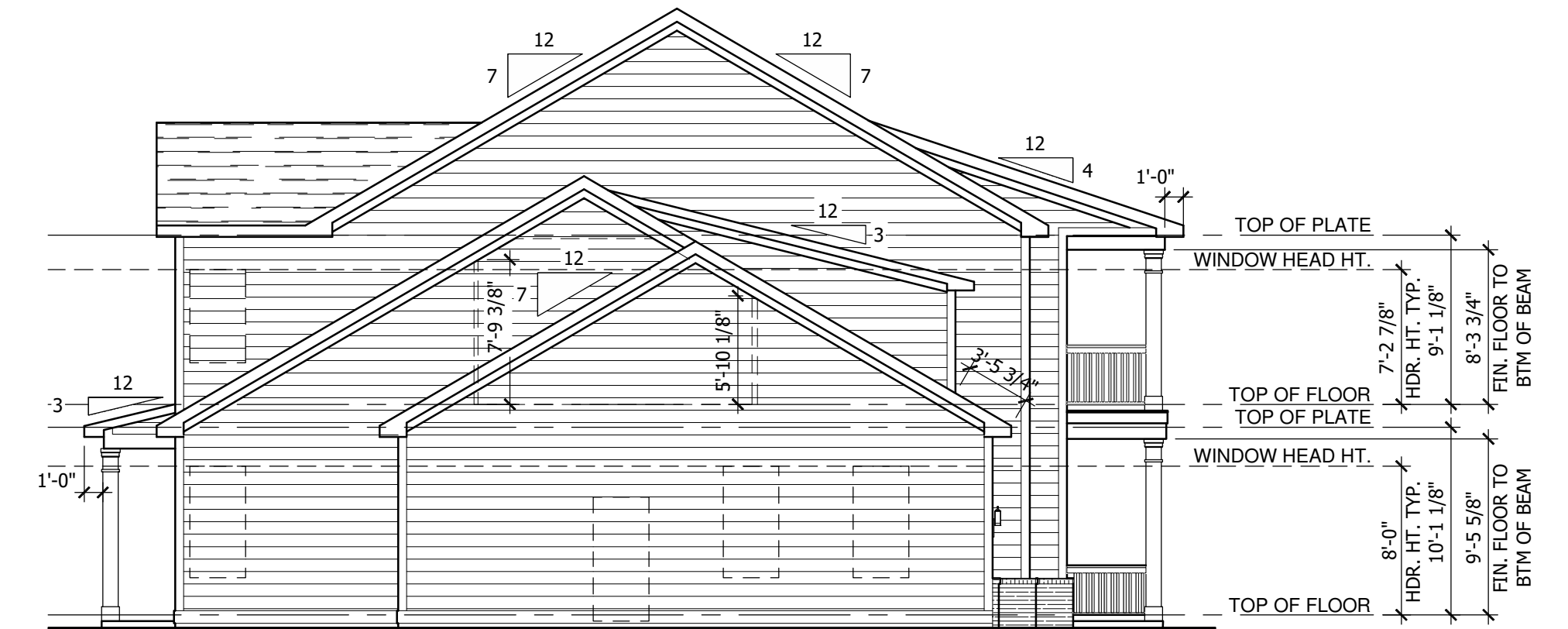
REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6003**

SHEET  
**A2.1B**

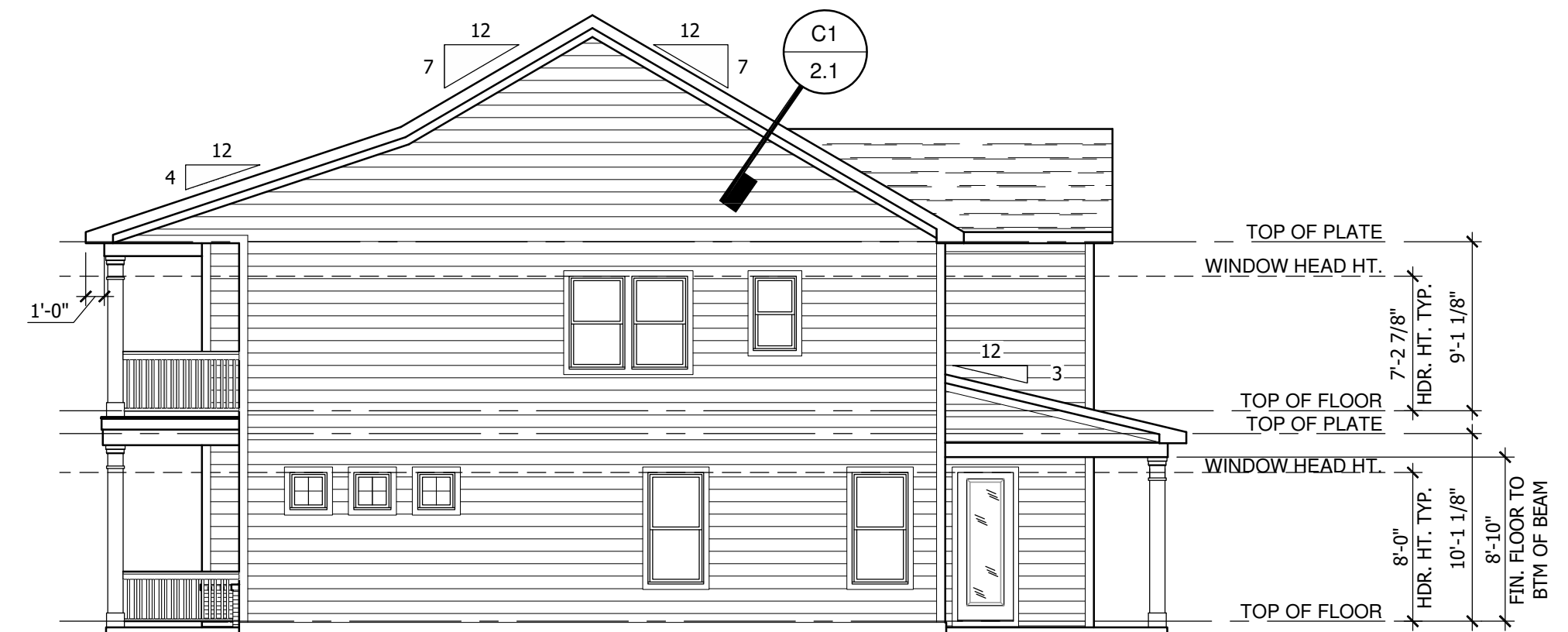
NOTES: SEE SHEET C6 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C6 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



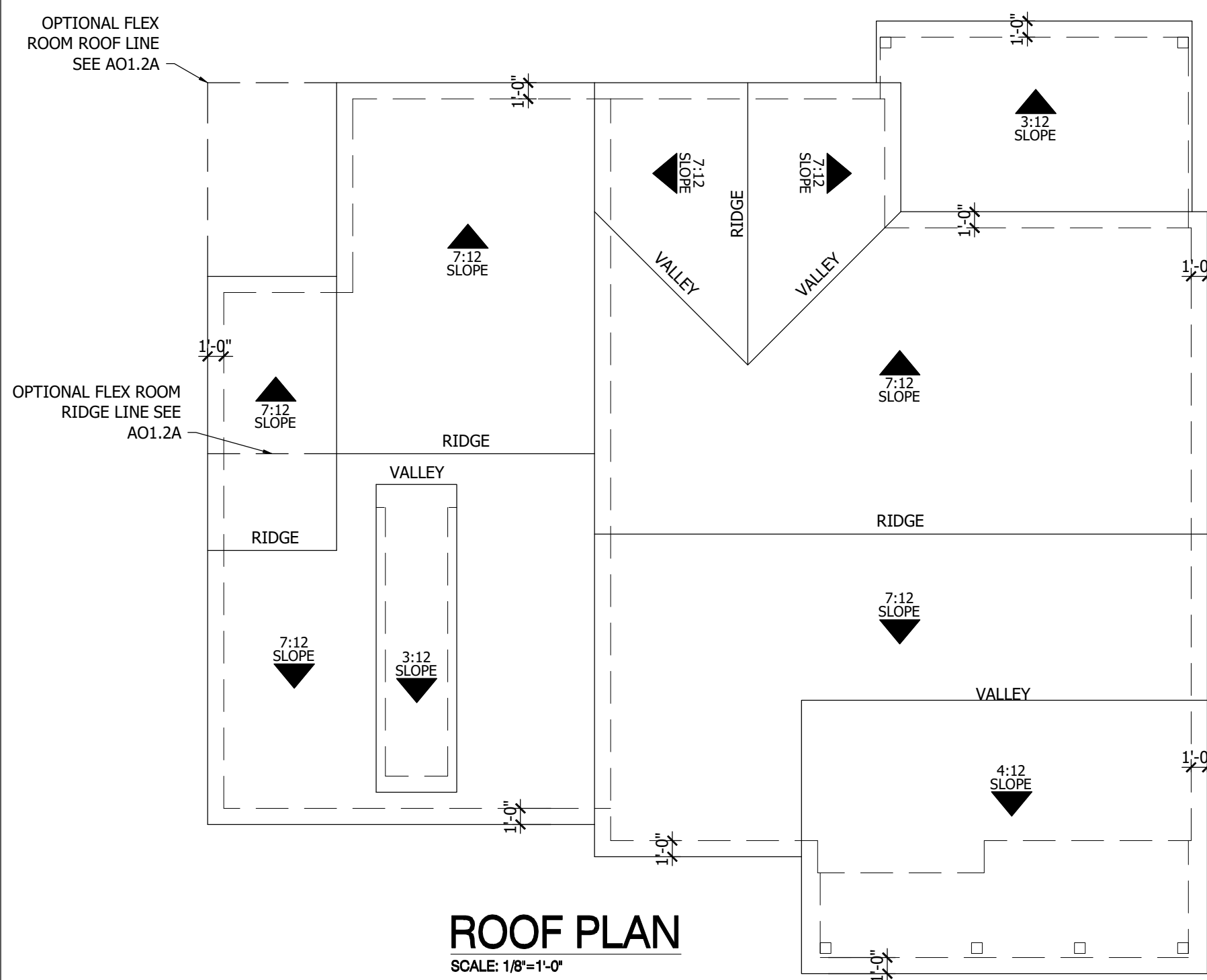
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - COASTAL  
SCALE: 1/4"=1'-0"

FIELDING HOMES  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

Fieldstone  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 607-0115

ELEVATION C - COASTAL

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

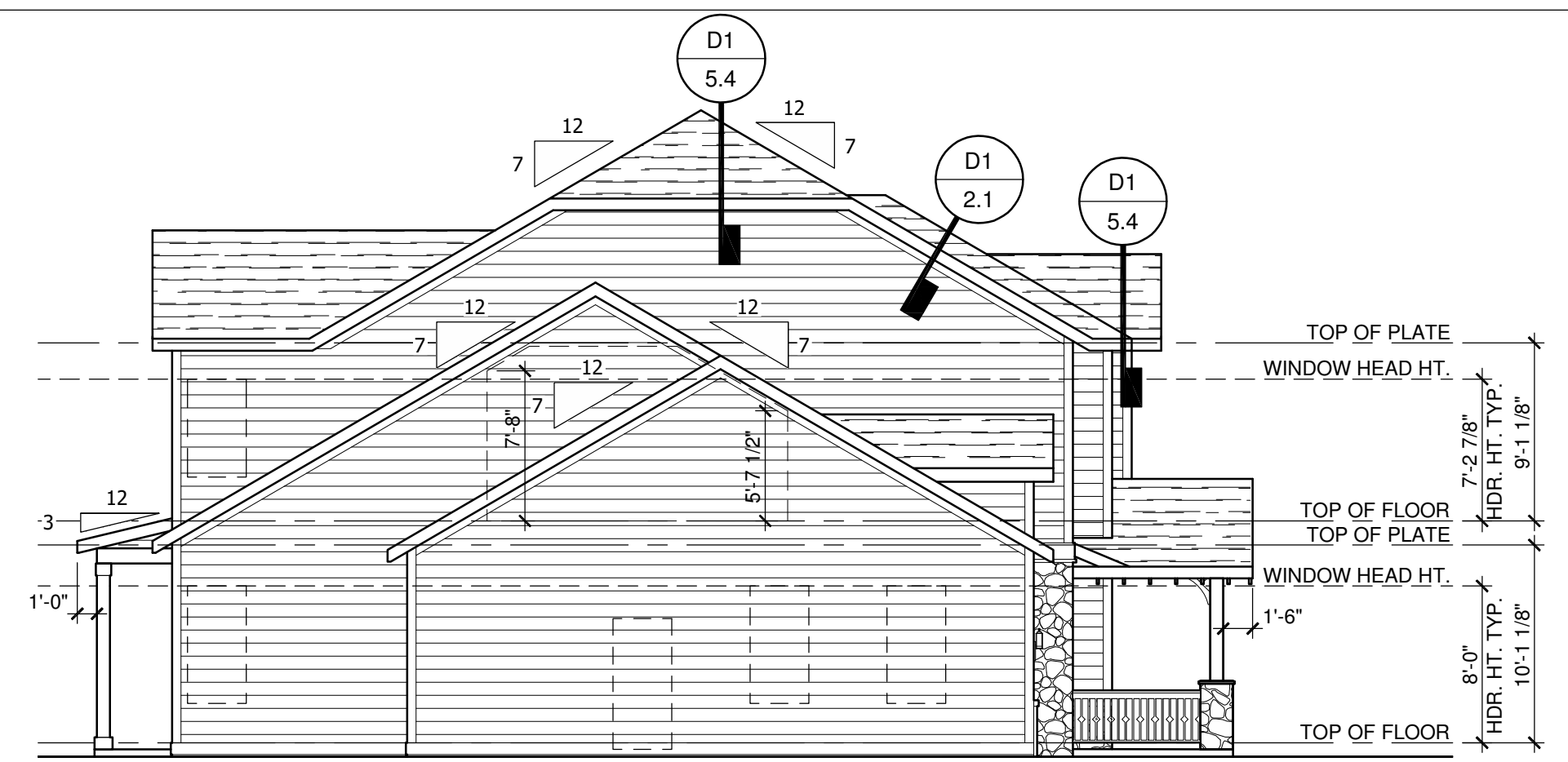
REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

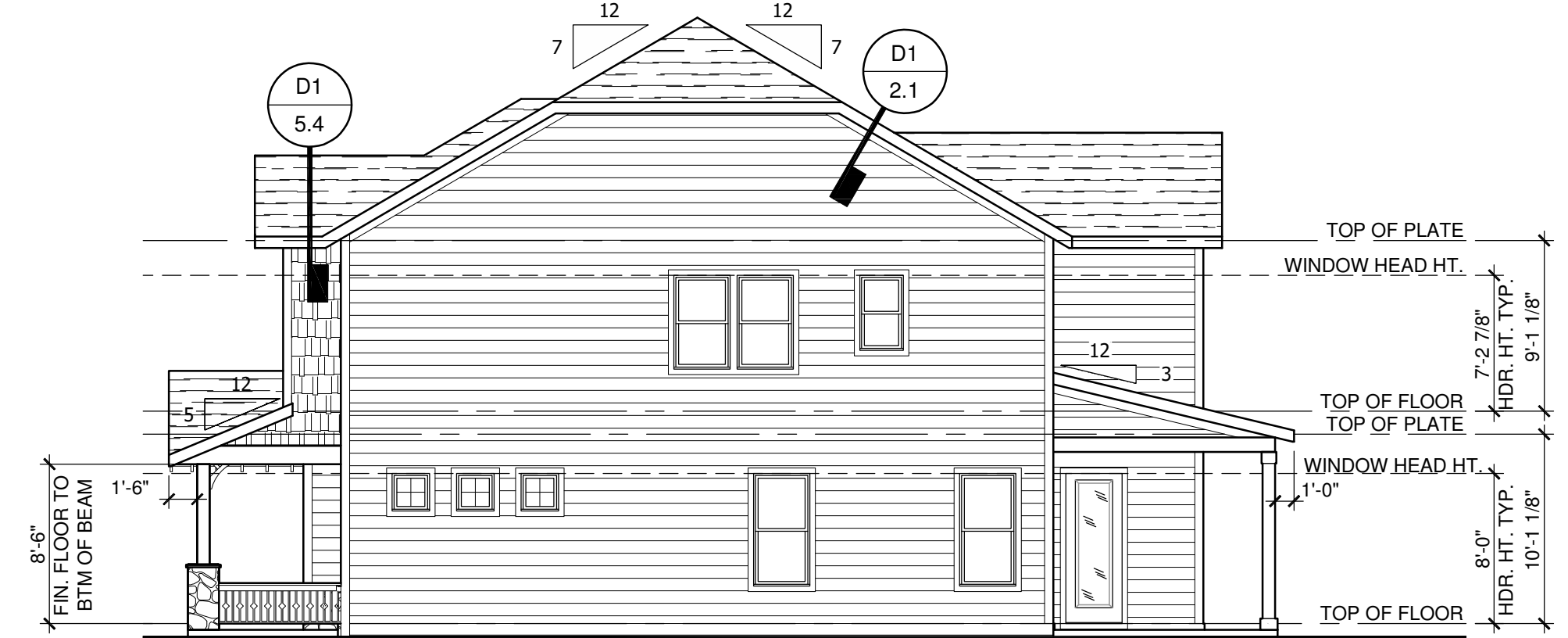
PLAN NUMBER  
**6003**

SHEET  
**A2.1C**

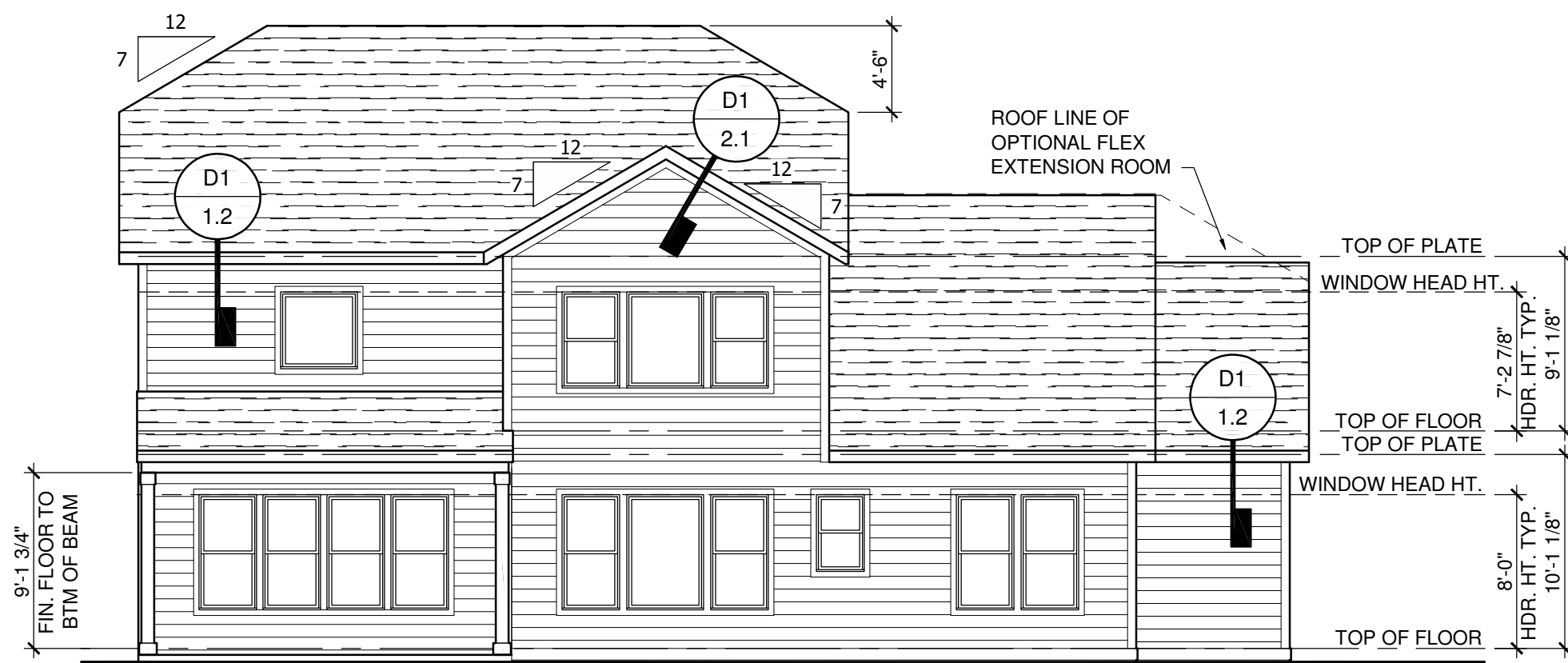
NOTES: SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET D20 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



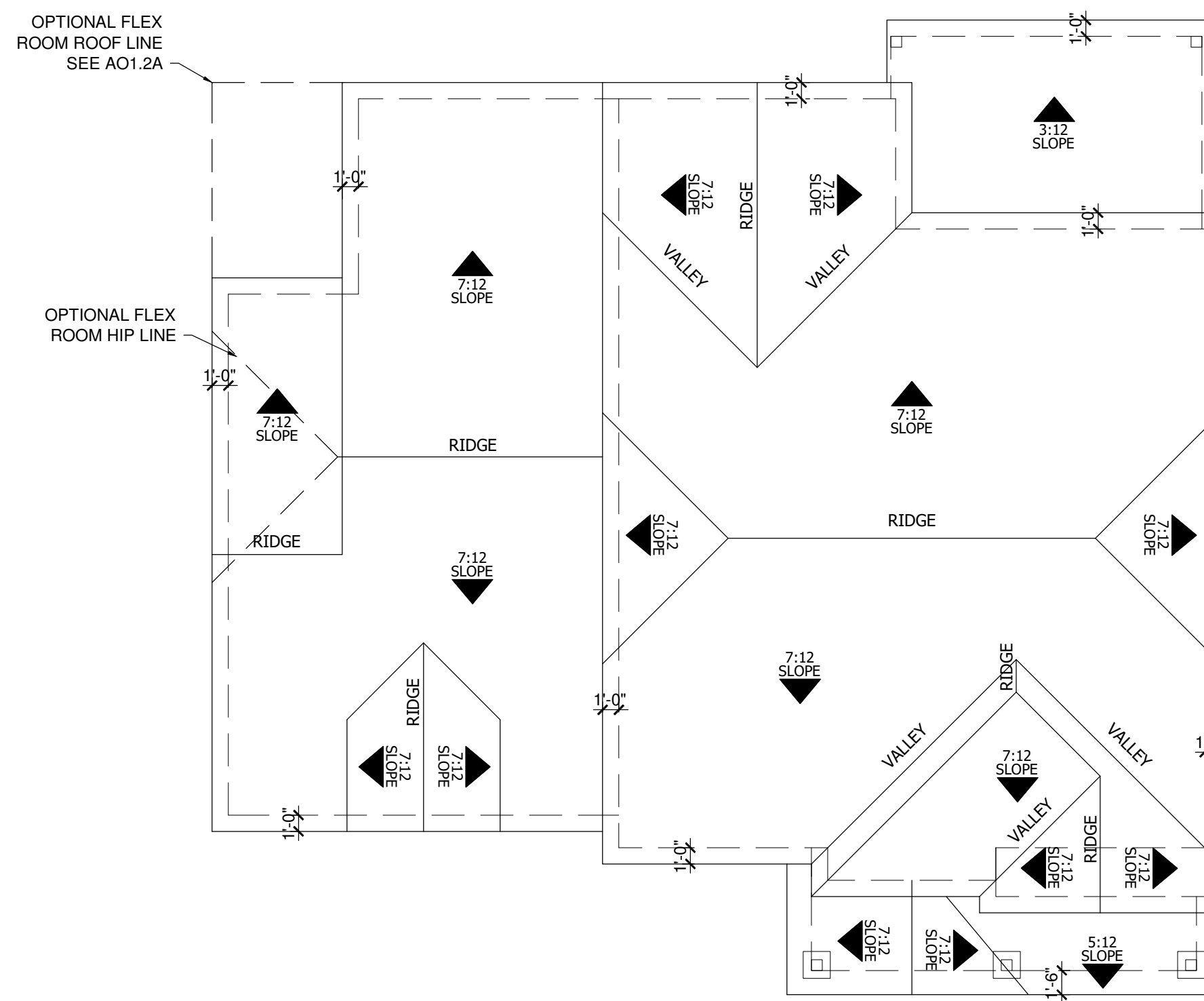
RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - SOUTHERN ARTS & CRAFTS  
SCALE: 1/4"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"

**FIELDING HOMES**  
277 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 466-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

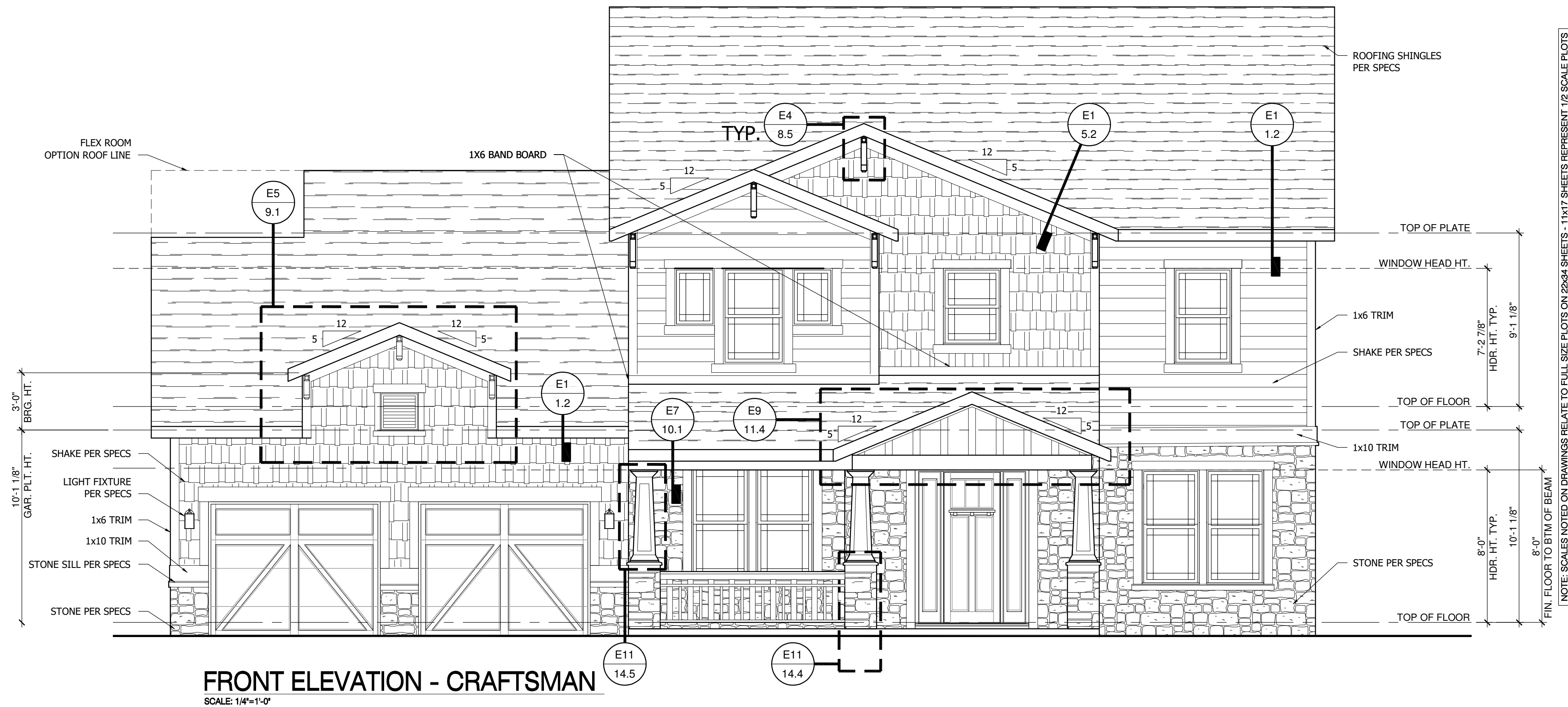
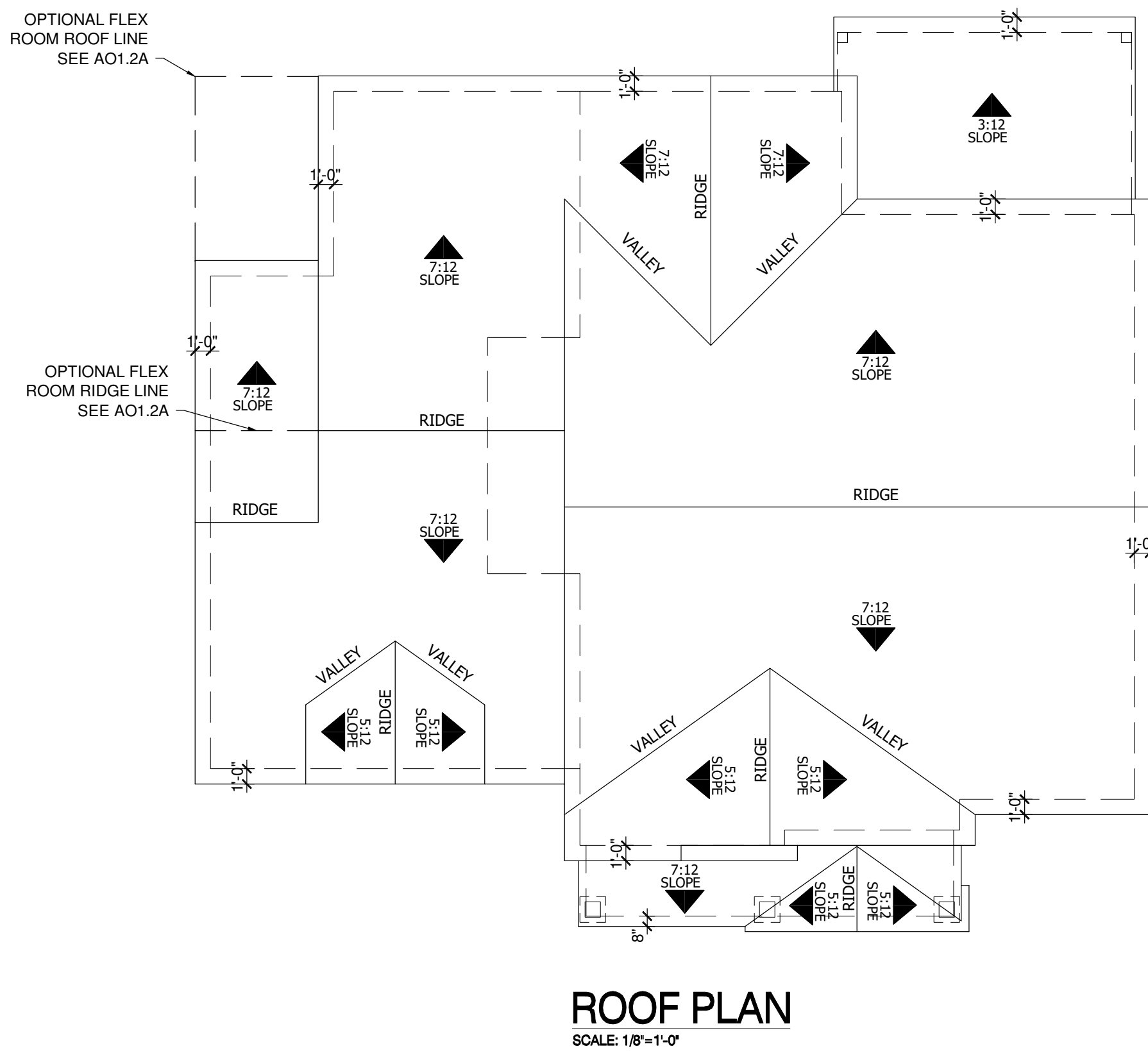
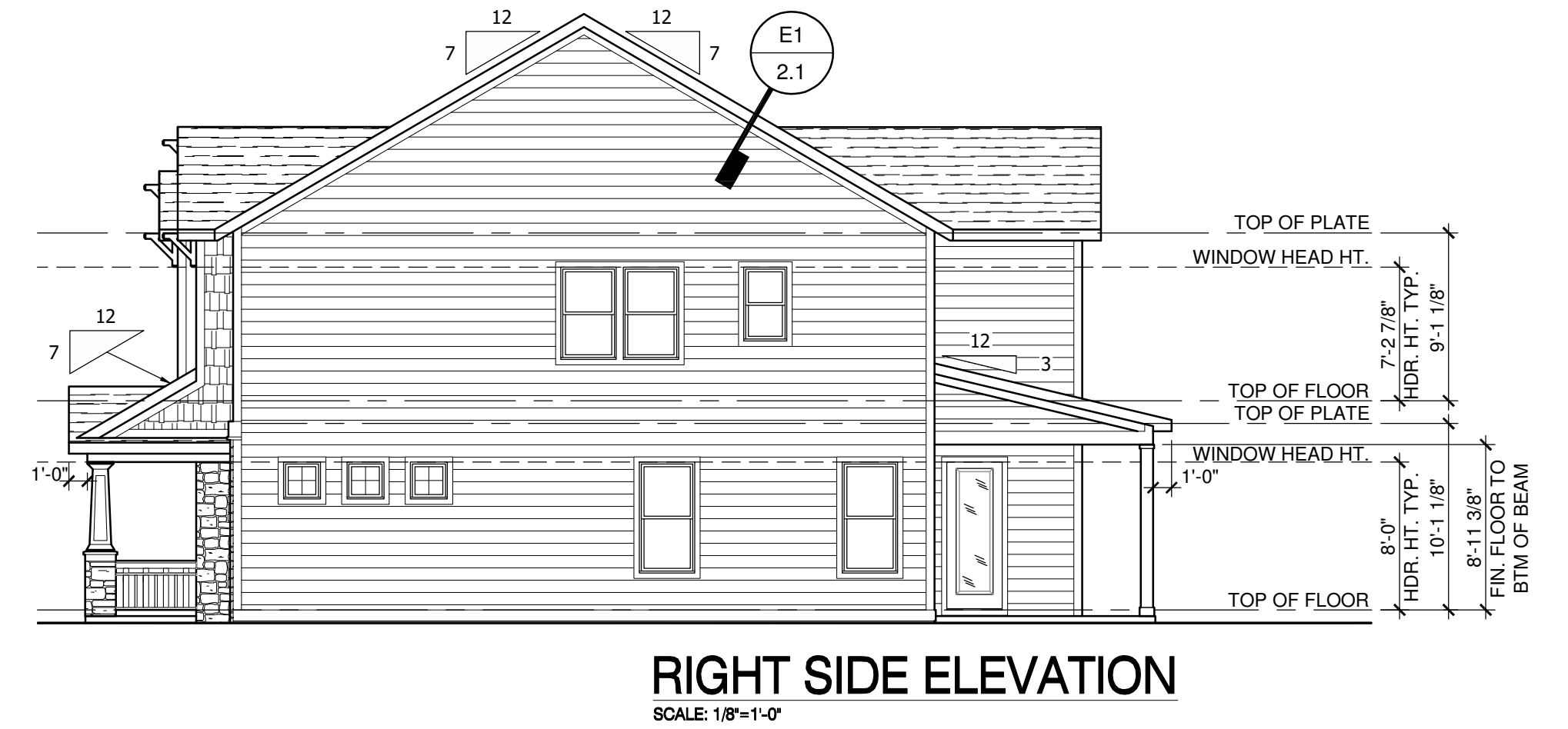
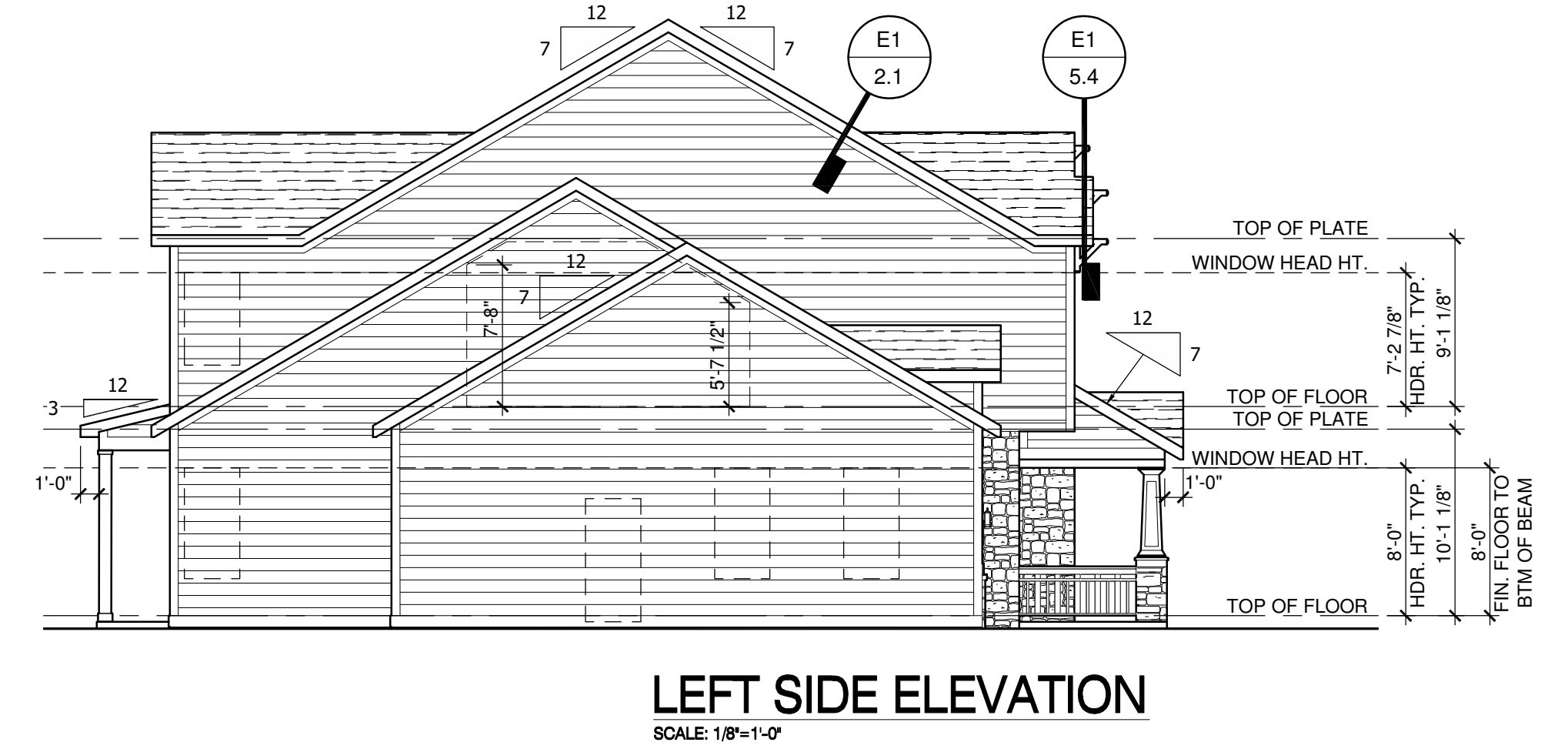
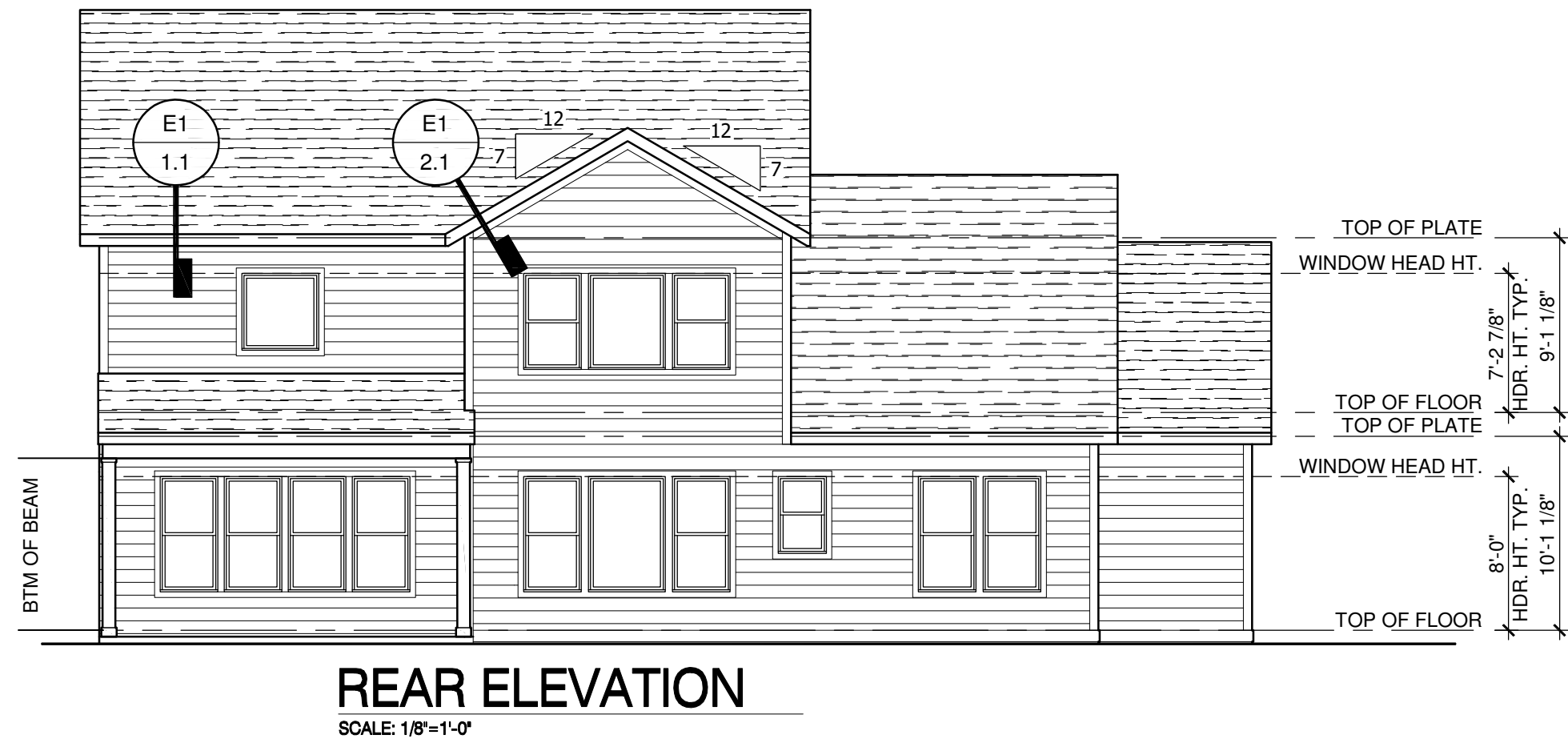
PLAN NUMBER  
**6003**

SHEET  
**A2.1D**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE FLOORS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE FLOORS



NOTES:  
 SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E10 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET E11 FOR HANDRAIL DETAILS



**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (248) 622-4085  
 MINNESOTA OFFICE: (612) 697-0115

**ELEVATION E - CRAFTSMAN**

CONTROL	RELEASE DATE	6-01-16
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

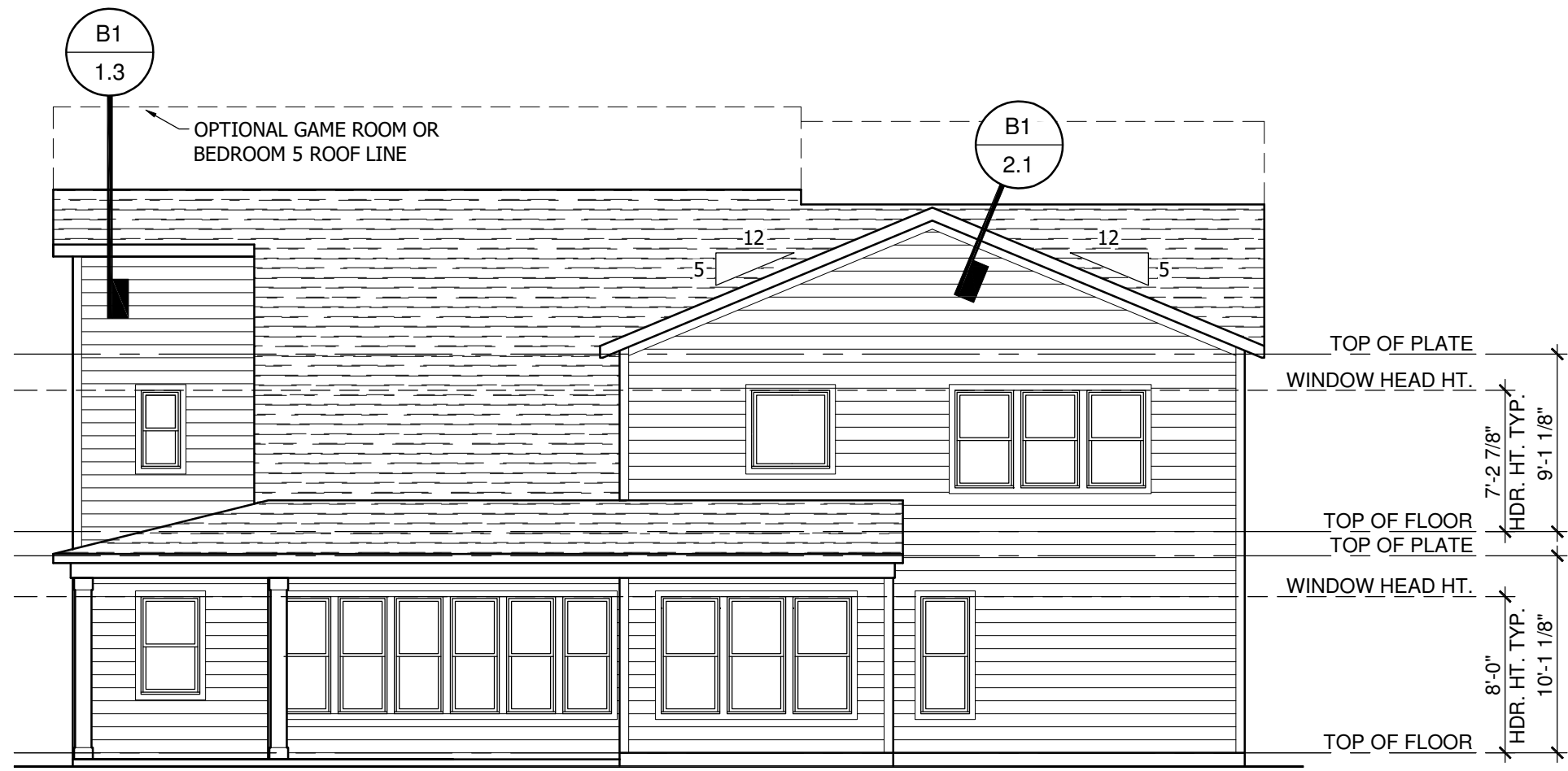
PLAN NUMBER  
**6003**

SHEET  
**A2.1E**

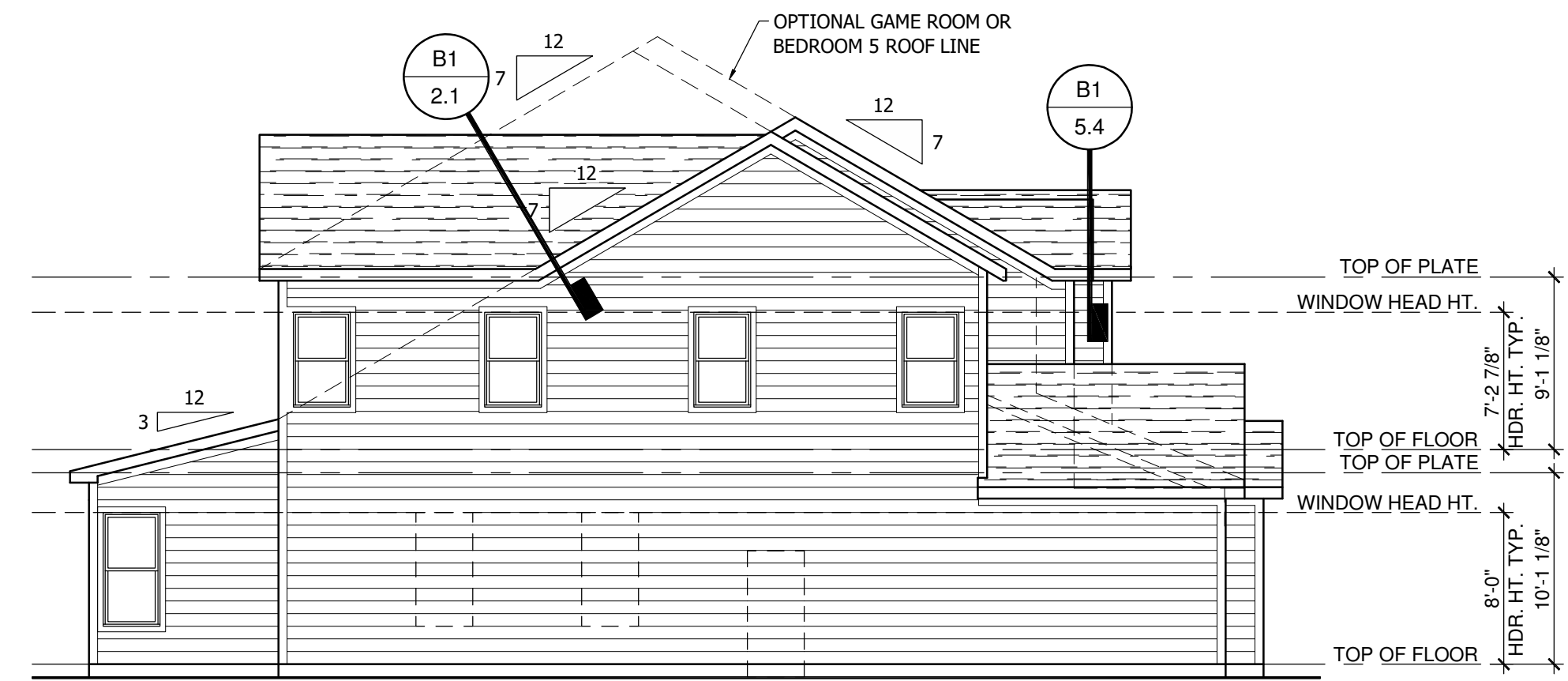
PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE FLOORS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE FLOORS

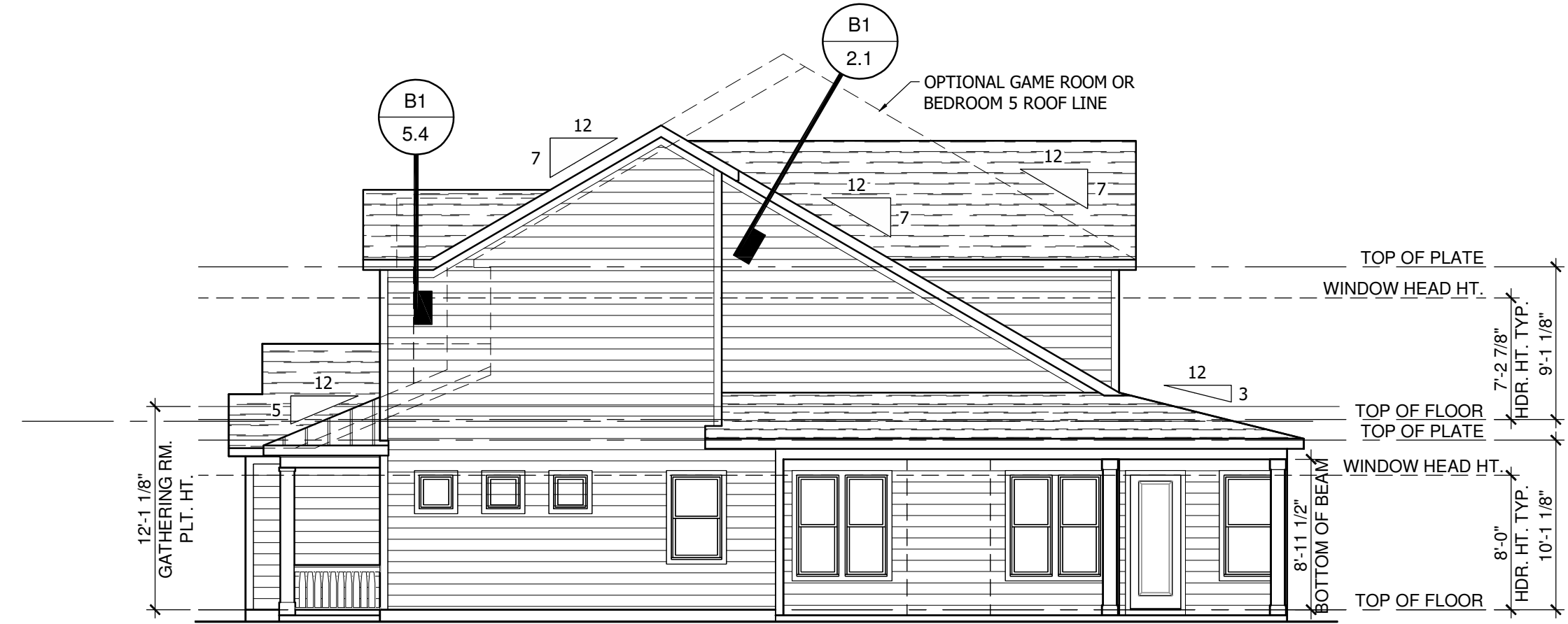
NOTES: SEE SHEET B2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B8 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



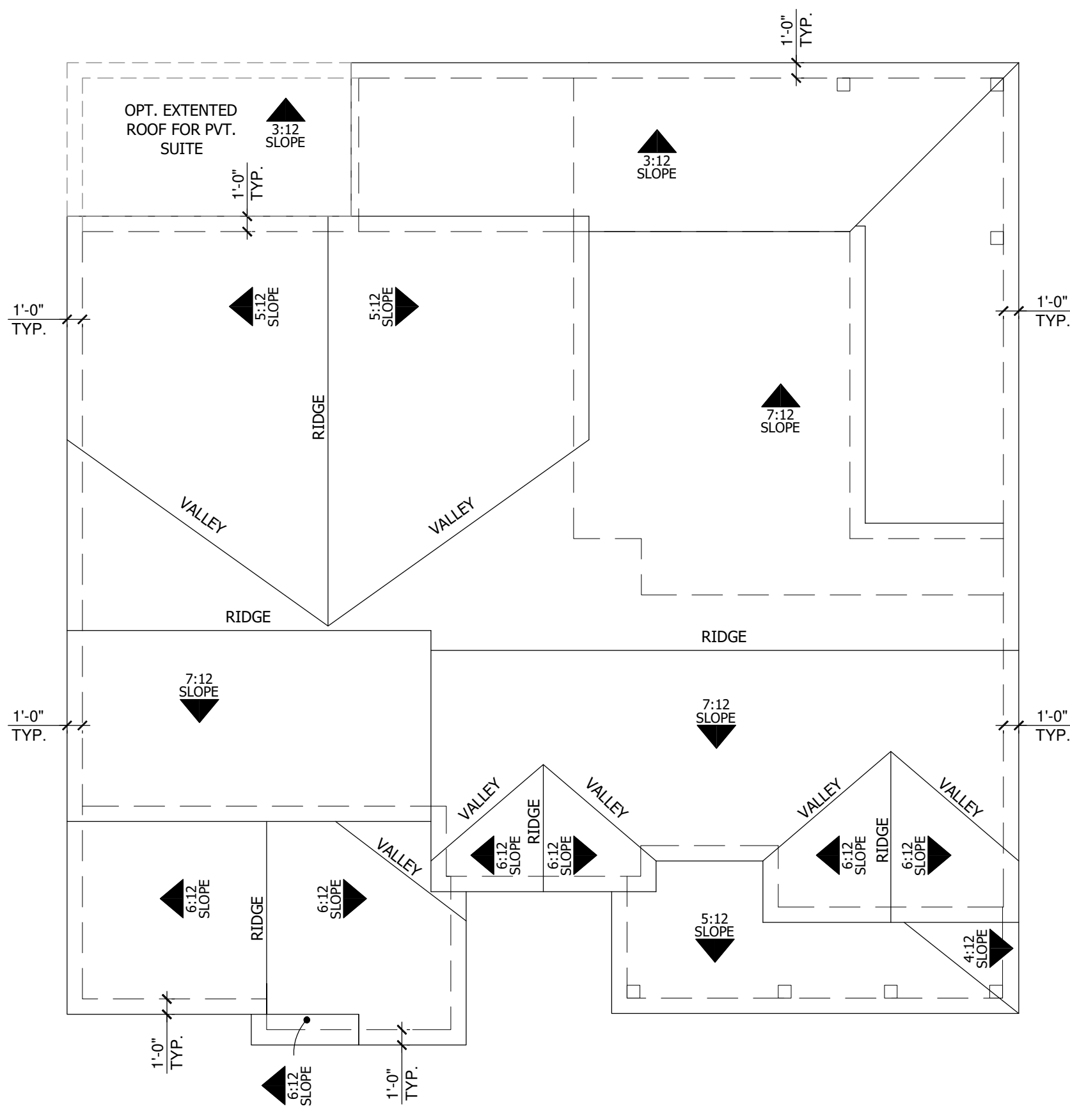
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



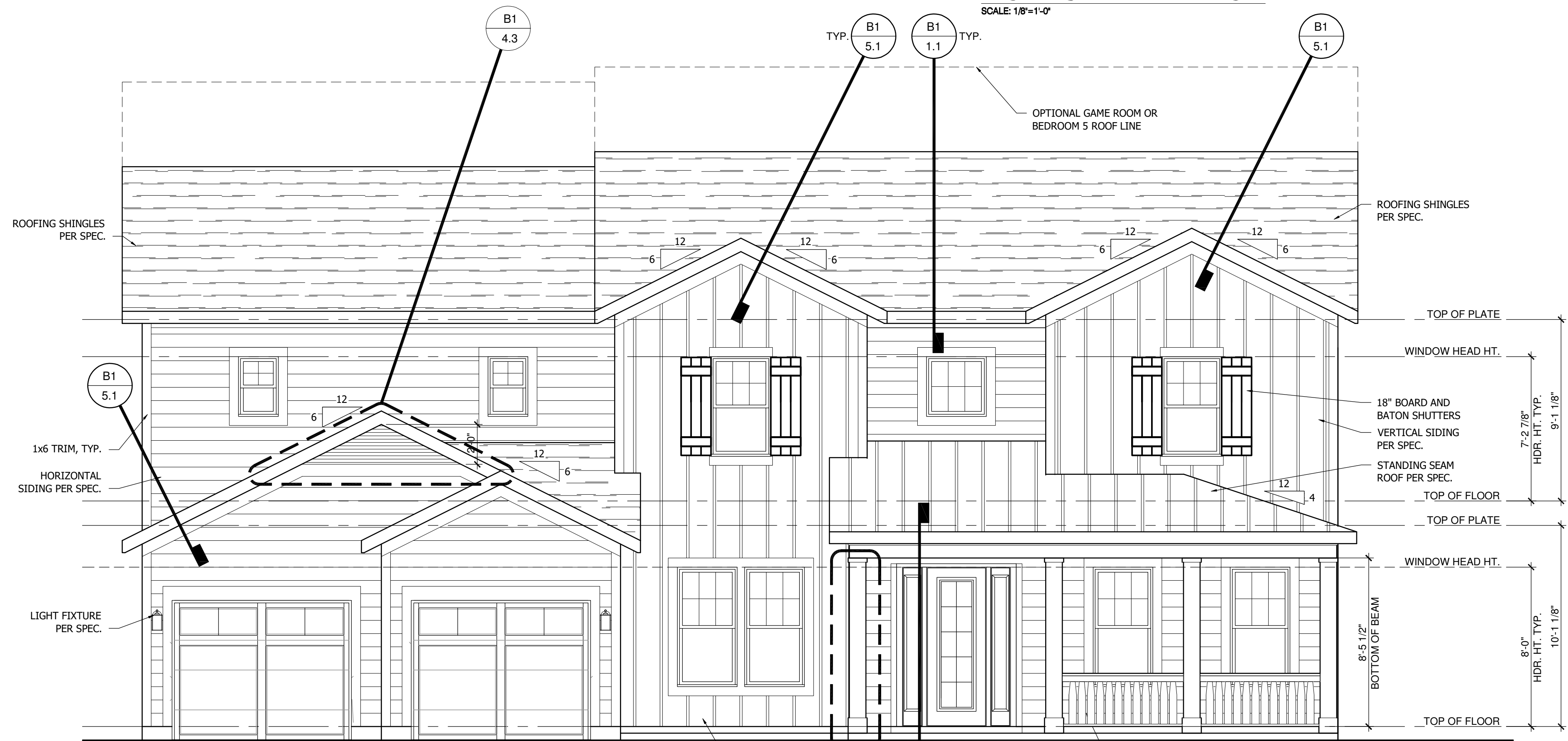
**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

**ELEVATION B - PLANK COTTAGE**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

CONTROL RELEASE DATE: 06-01-16

REV # DATE/DESCRIPTION


GARAGE HANDING

**LEFT**

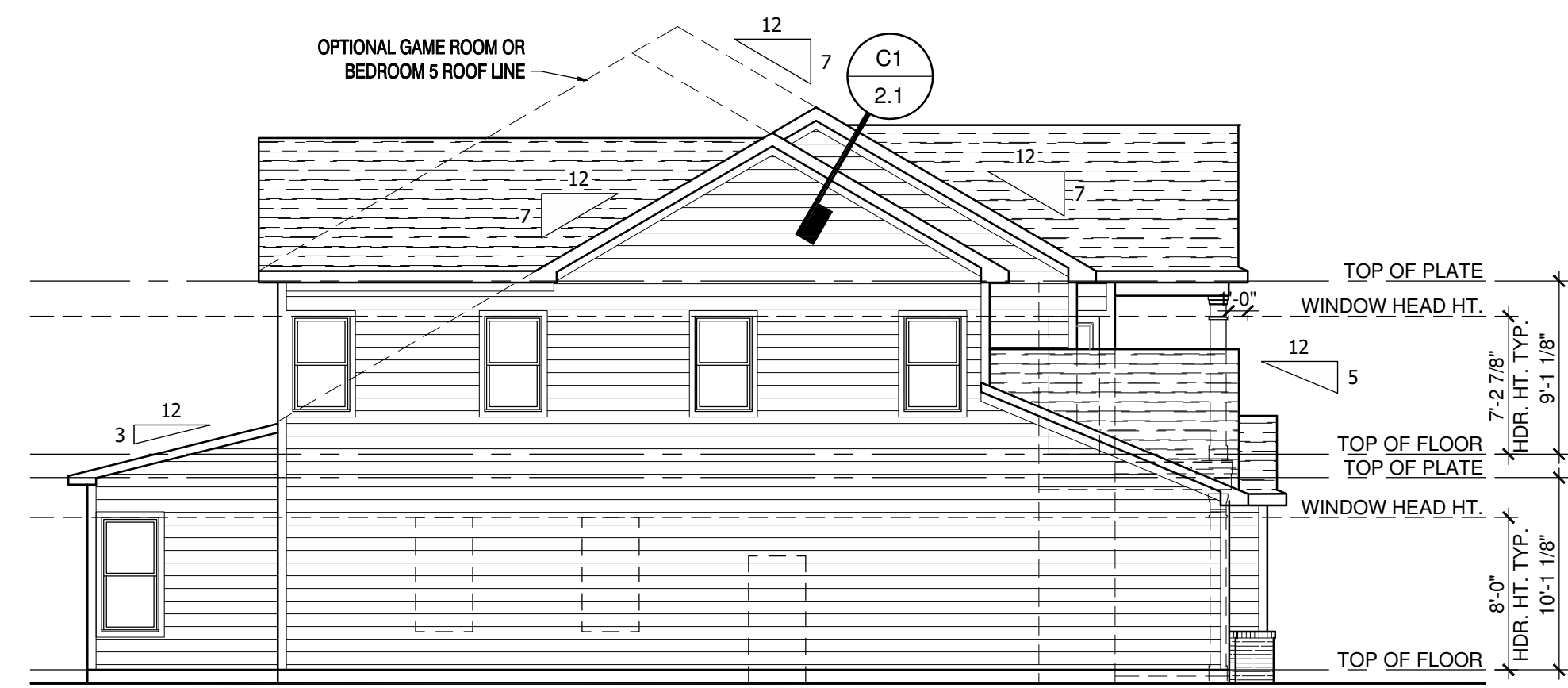
PLAN NUMBER

**6004**

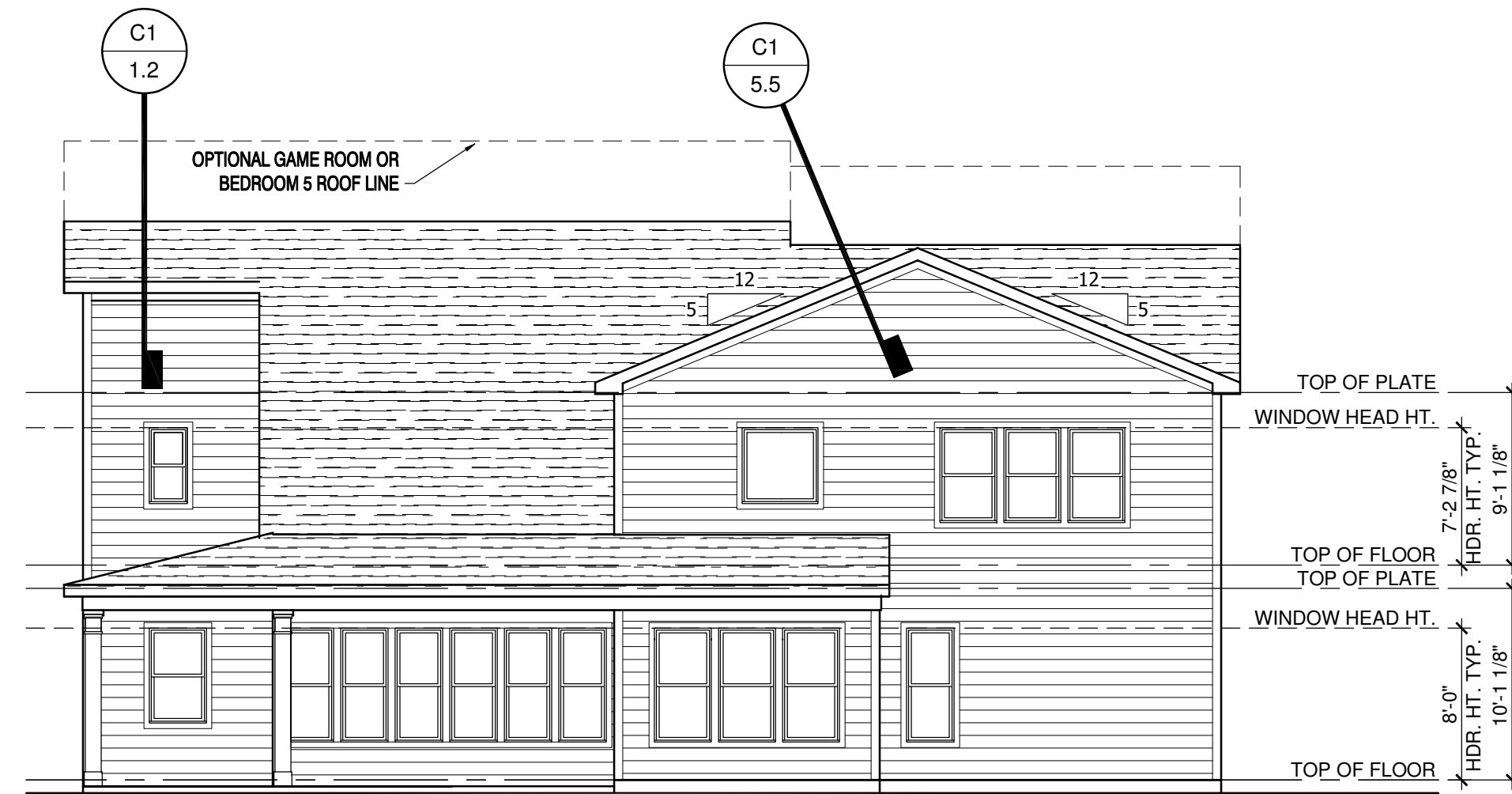
SHEET

**A2.1B**

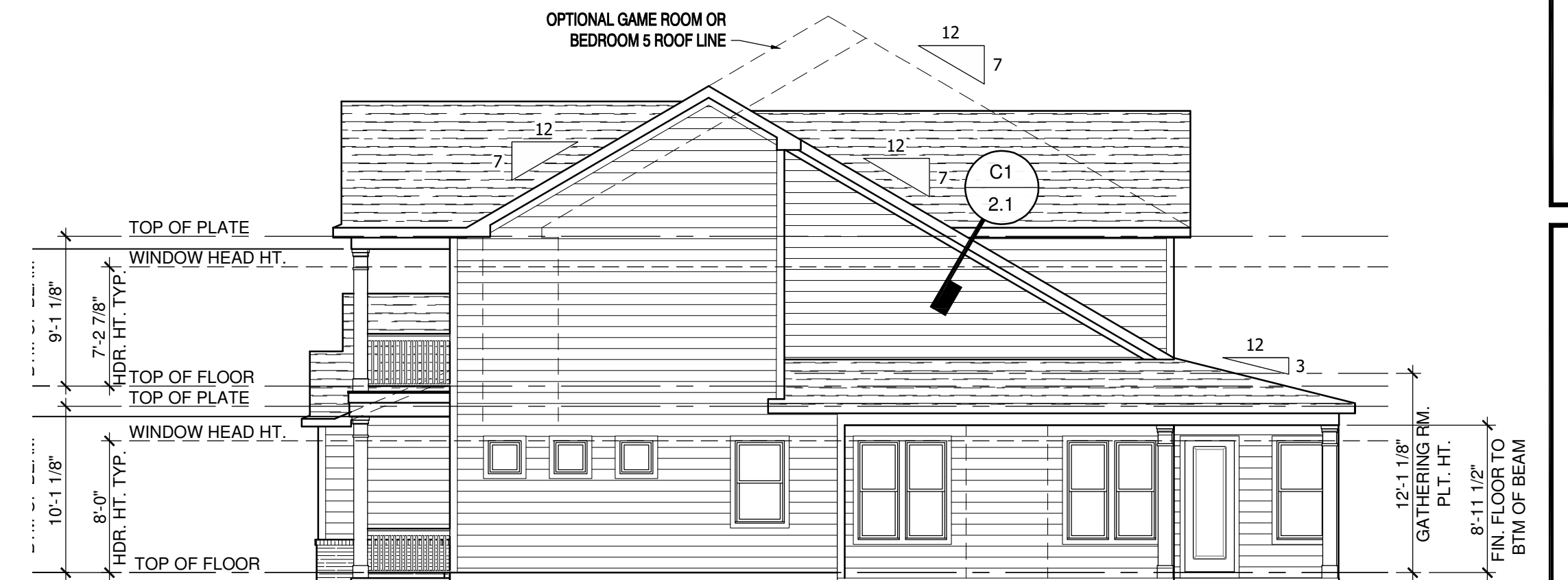
NOTES: SEE SHEET C6 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C6 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



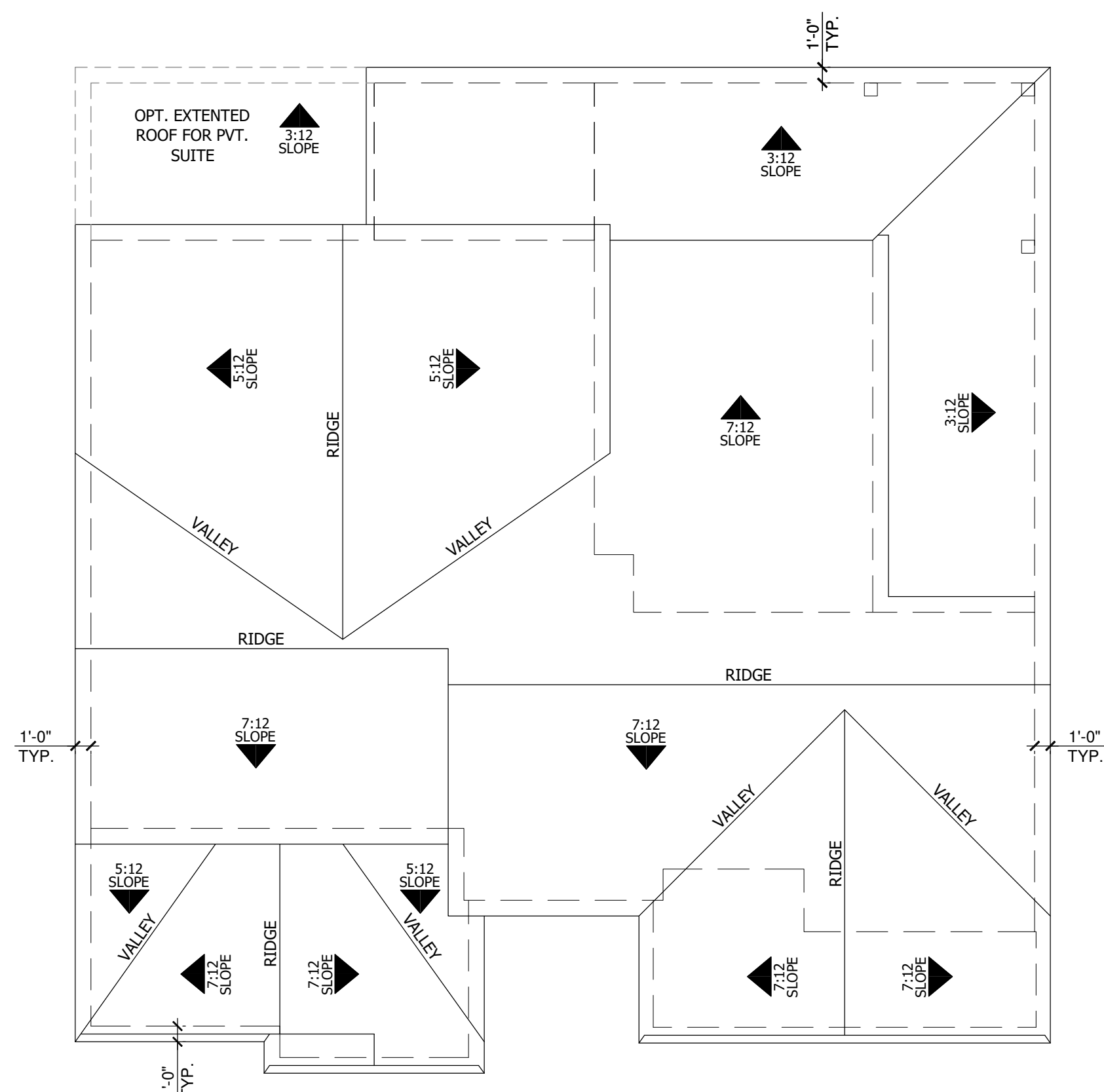
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



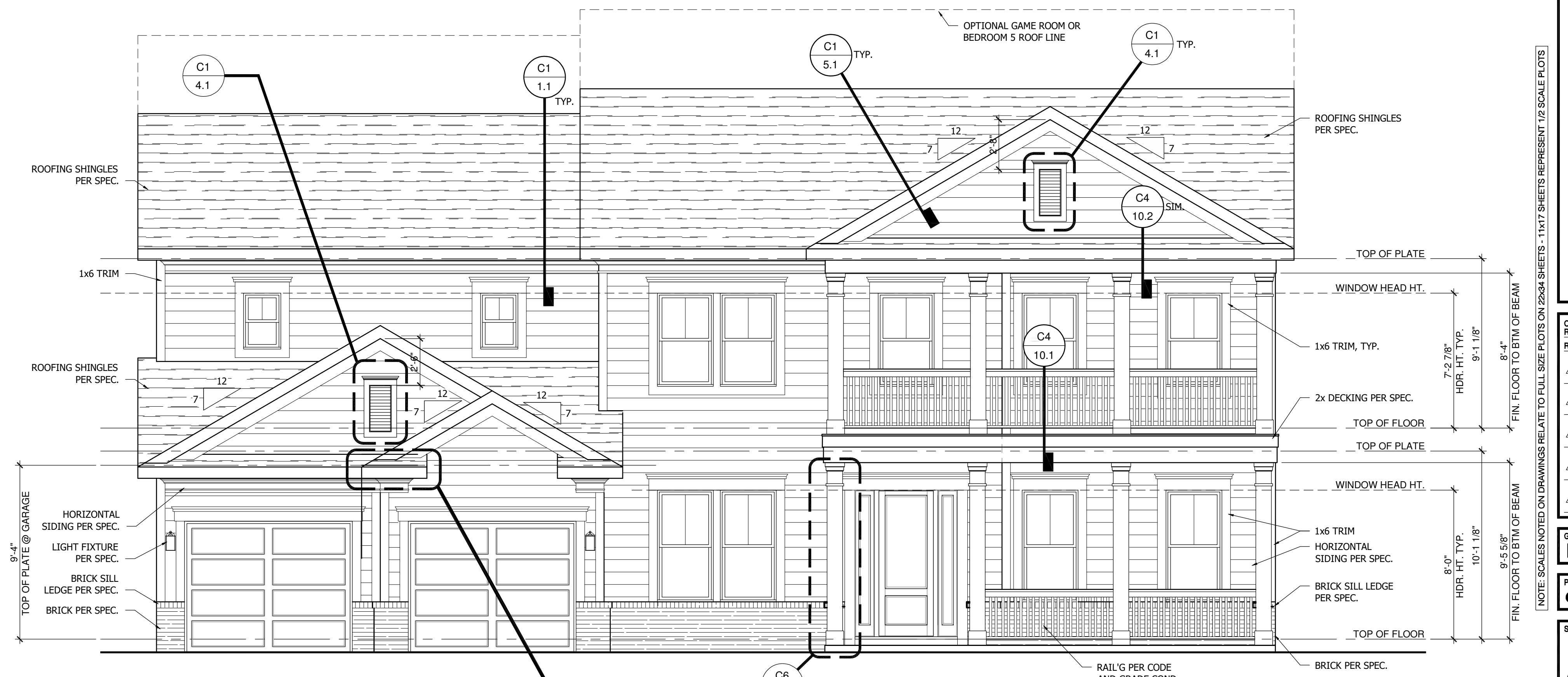
REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - COASTAL  
SCALE: 1/4"=1'-0"

FIELDING HOMES  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

Fieldstone  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-0115

ELEVATION C - COASTAL

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

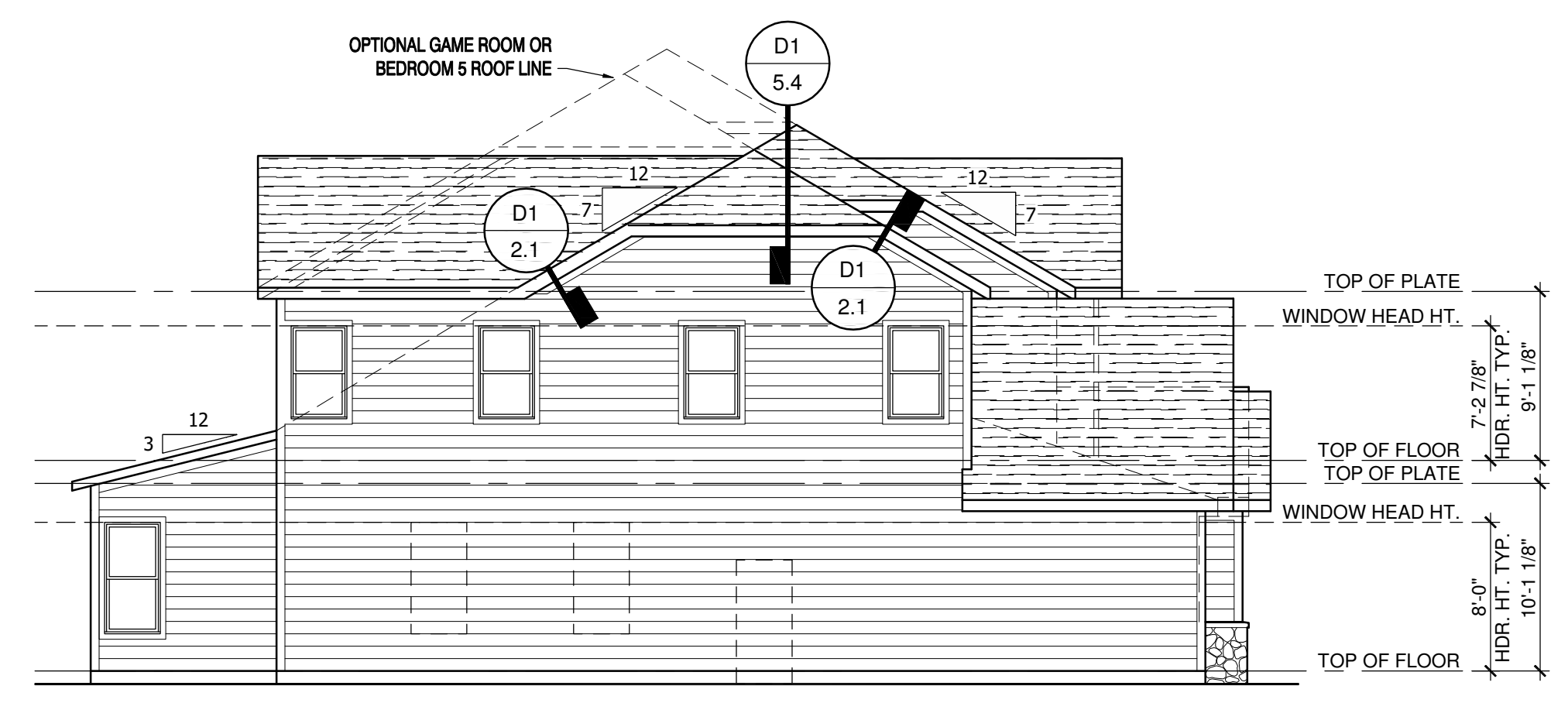
CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

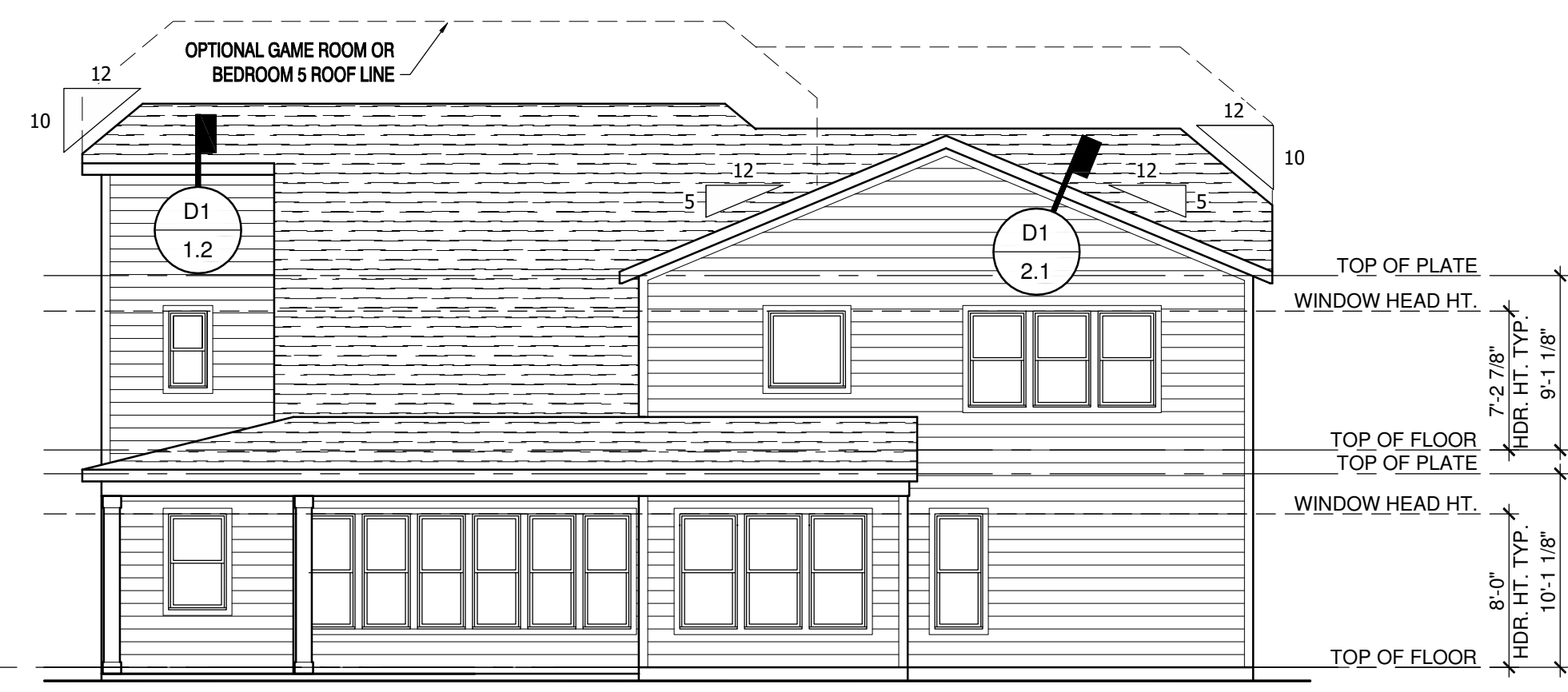
PLAN NUMBER  
**6004**

SHEET  
**A2.1C**

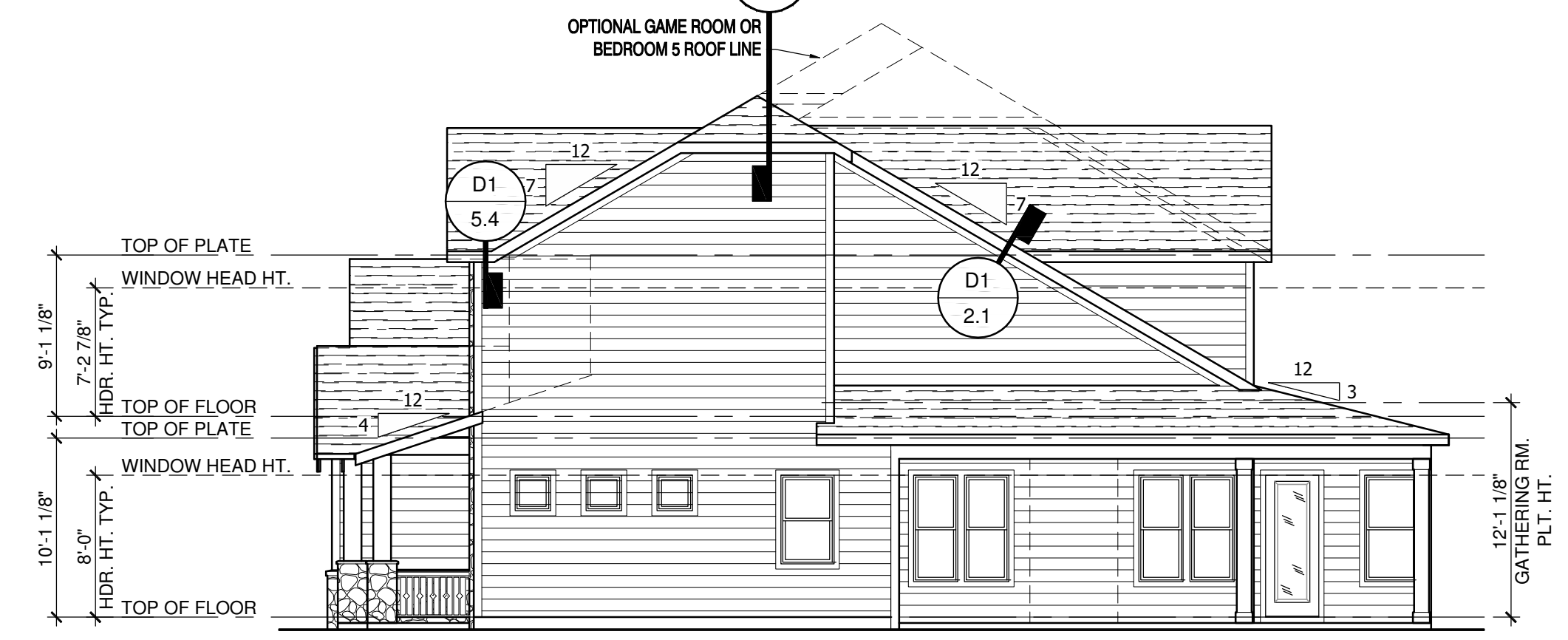
NOTES: SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET D20 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



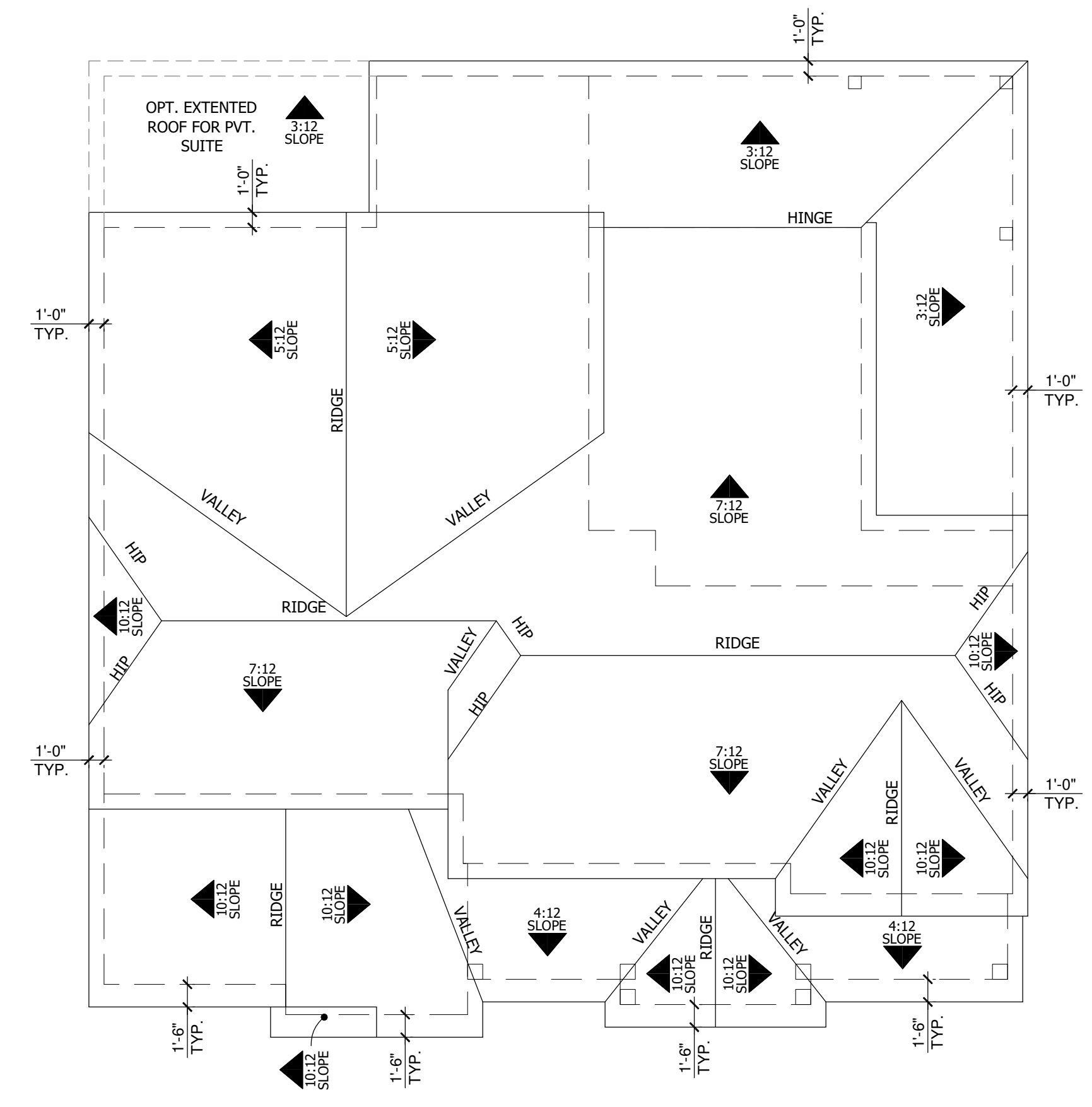
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



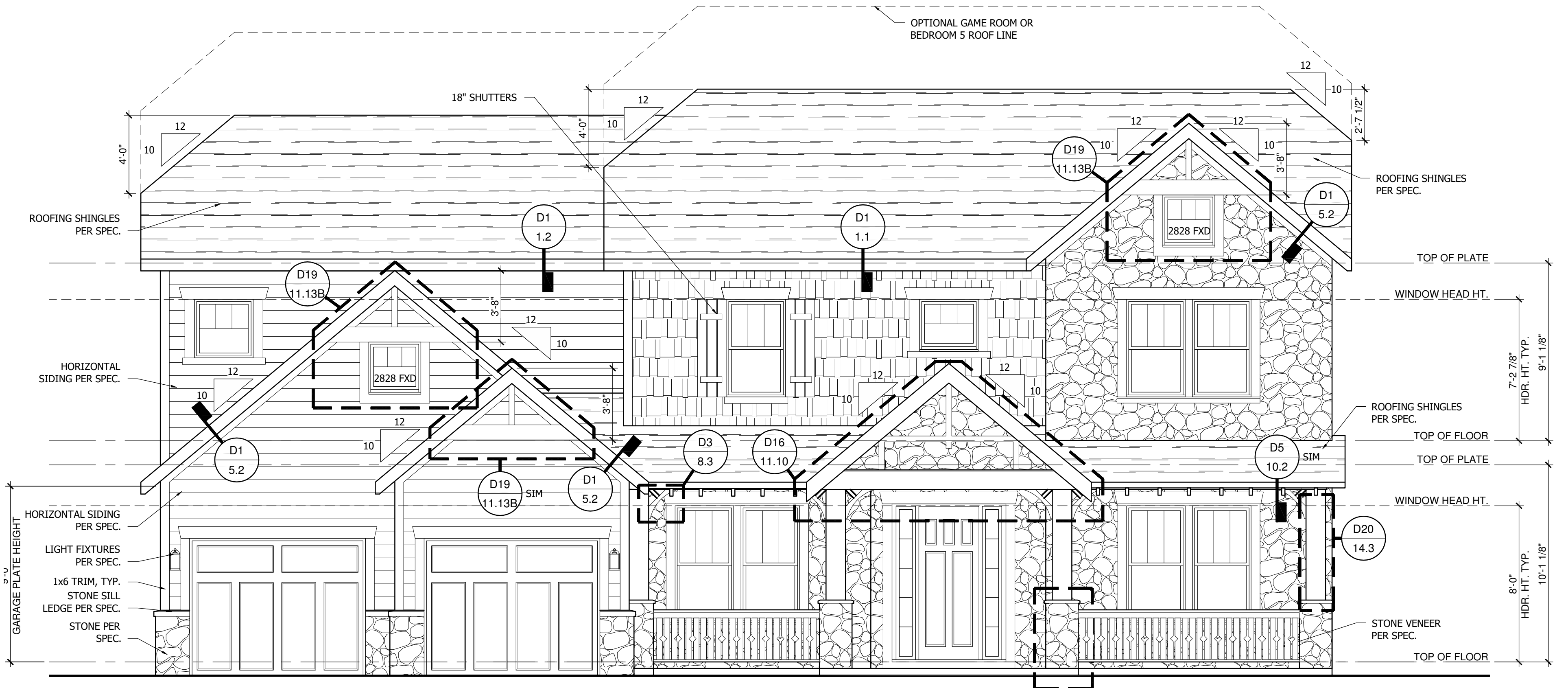
REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - SOUTHERN ARTS & CRAFTS  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MINNESOTA OFFICE: (612) 697-0115  
MICHIGAN OFFICE: (248) 622-4085

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

REV #	DATE/DESCRIPTION

CONTROL RELEASE DATE: 06-01-18  
GARAGE HANDING: LEFT  
PLAN NUMBER: 6004

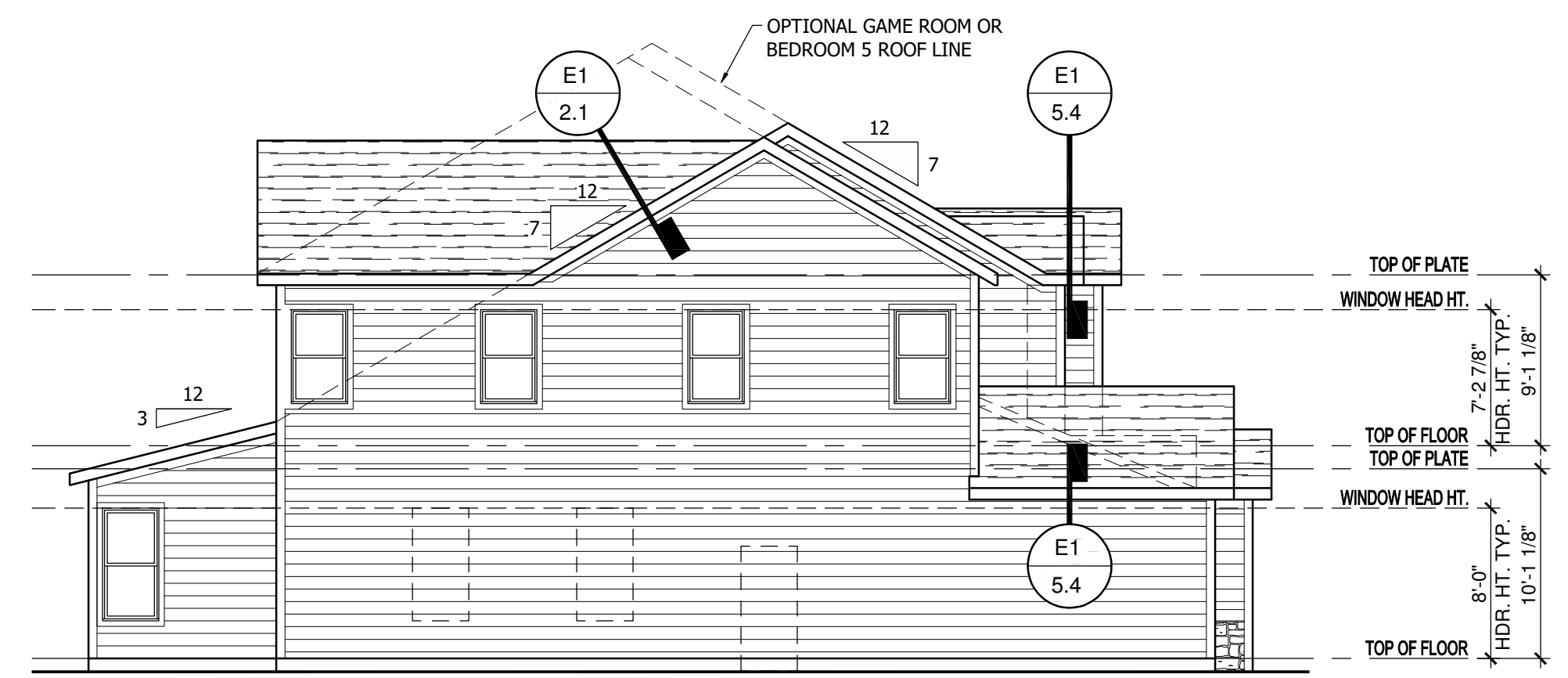
SHEET: A2.1D

PLOTTED: June 9, 2016 / Eric Peterson / SHTS\_2\_ELEVATIONS.DWG

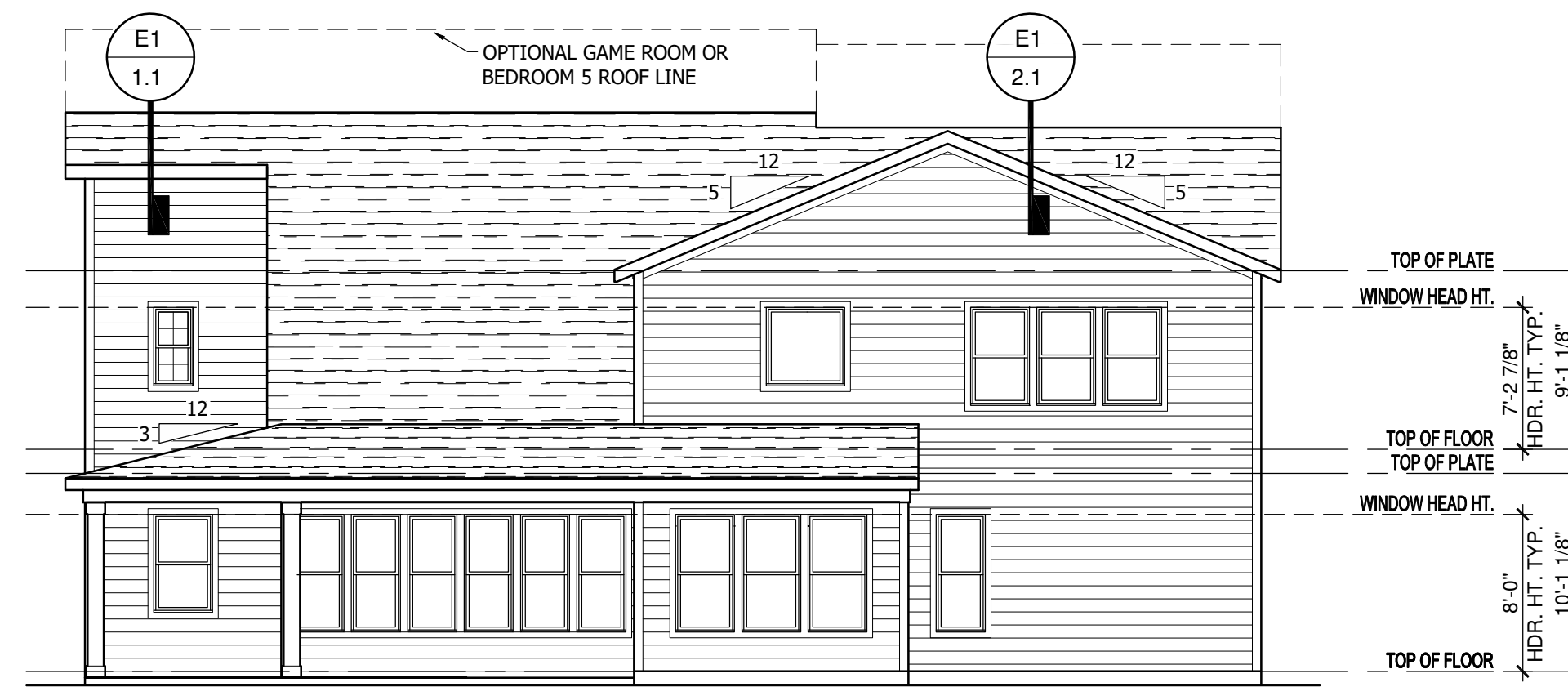
NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



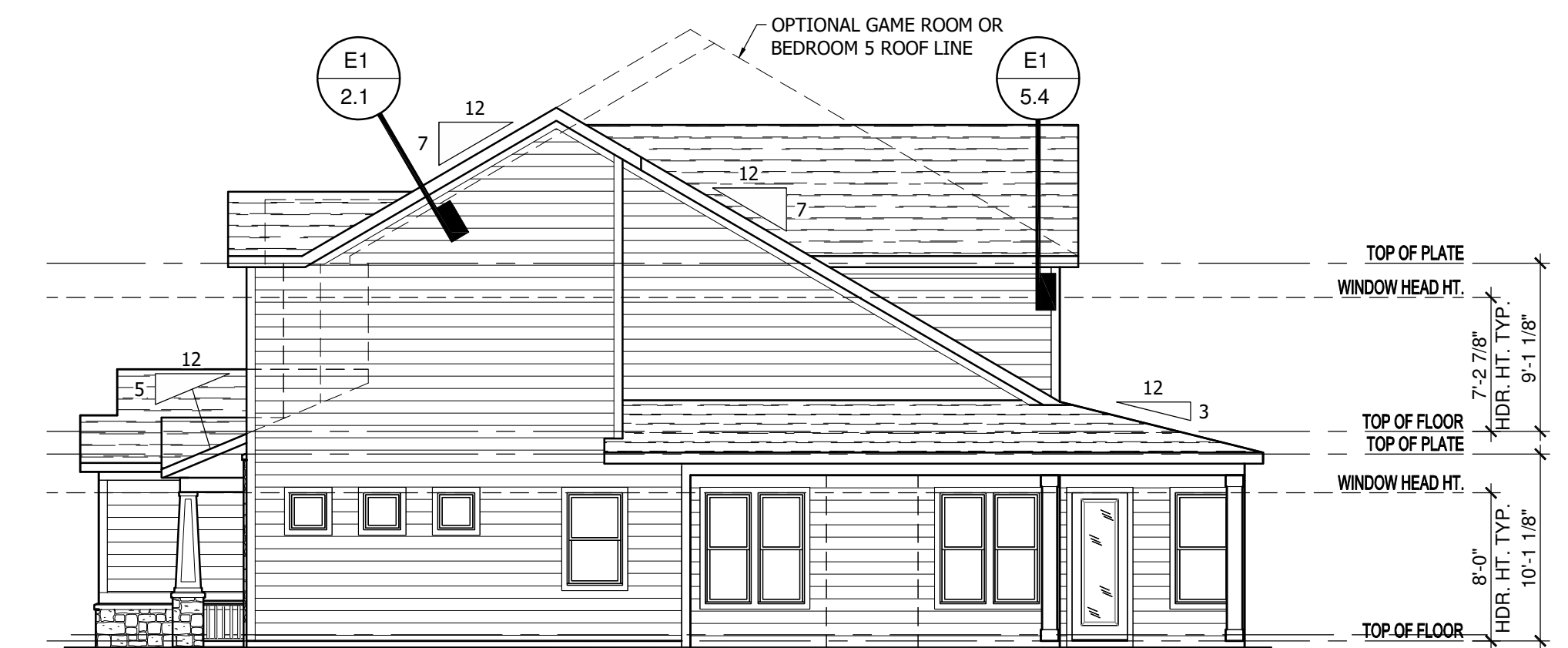
NOTES: SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E10 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET E11 FOR HANDRAIL DETAILS



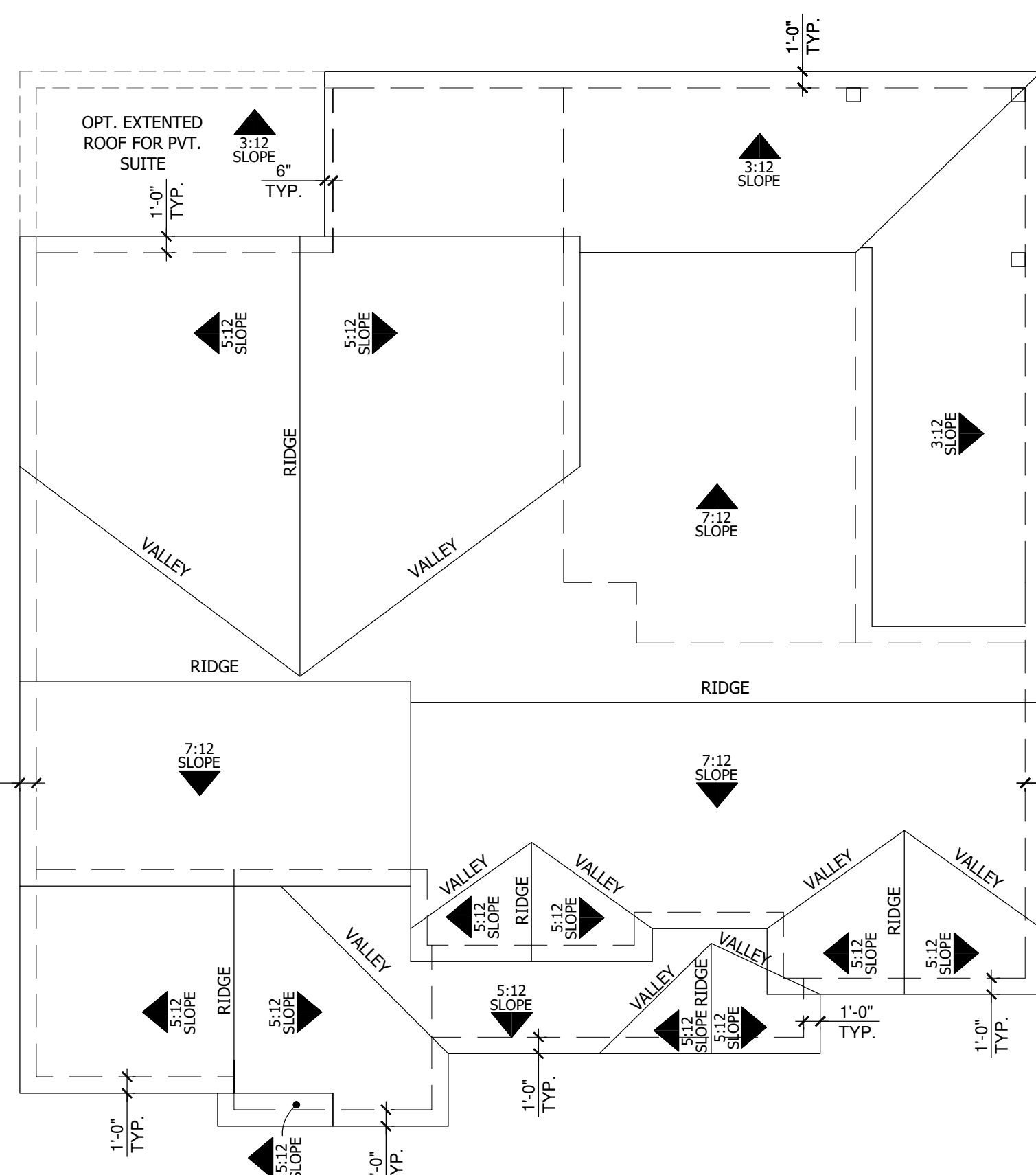
LEFT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



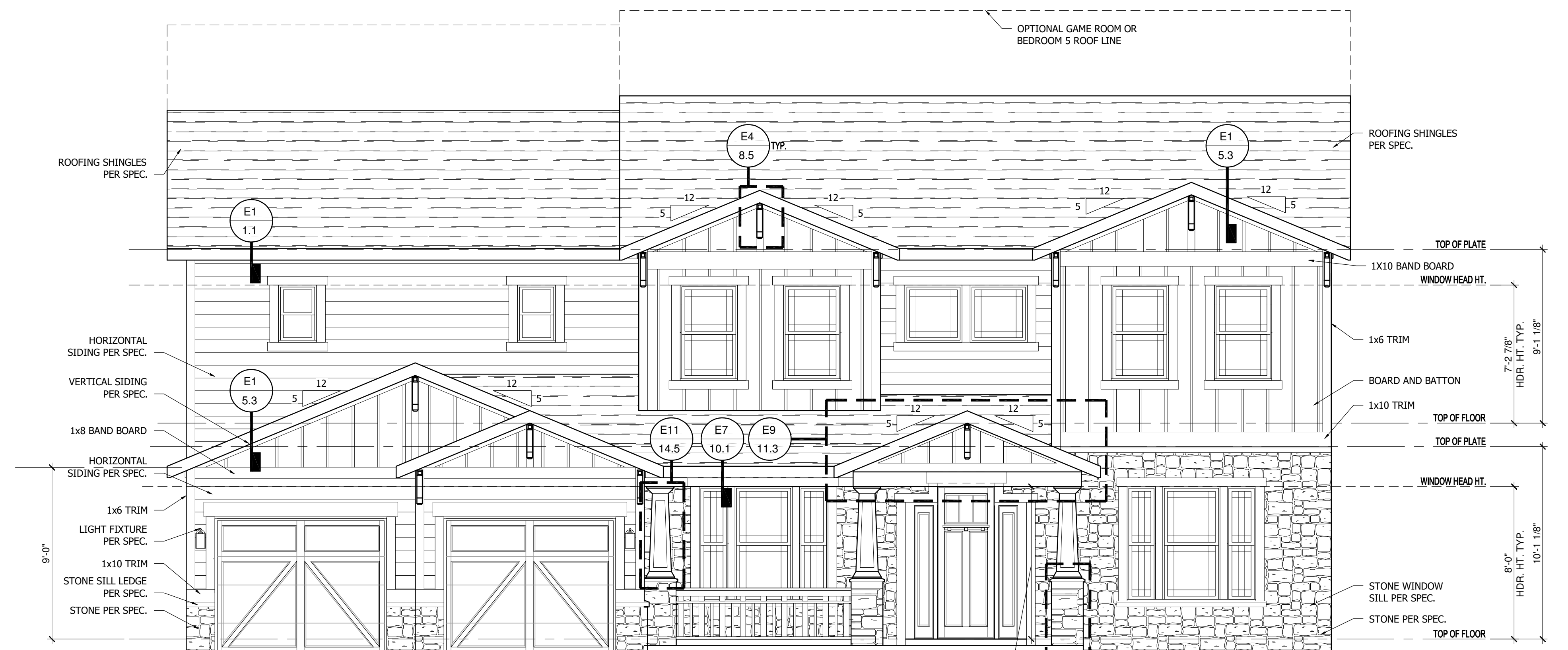
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"



FRONT ELEVATION - CRAFTSMAN  
 SCALE: 1/4"=1'-0"

FIELDING HOMES  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

Fieldstone  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (616) 622-4085  
 MINNESOTA OFFICE: (612) 697-9115

ELEVATION E - CRAFTSMAN

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

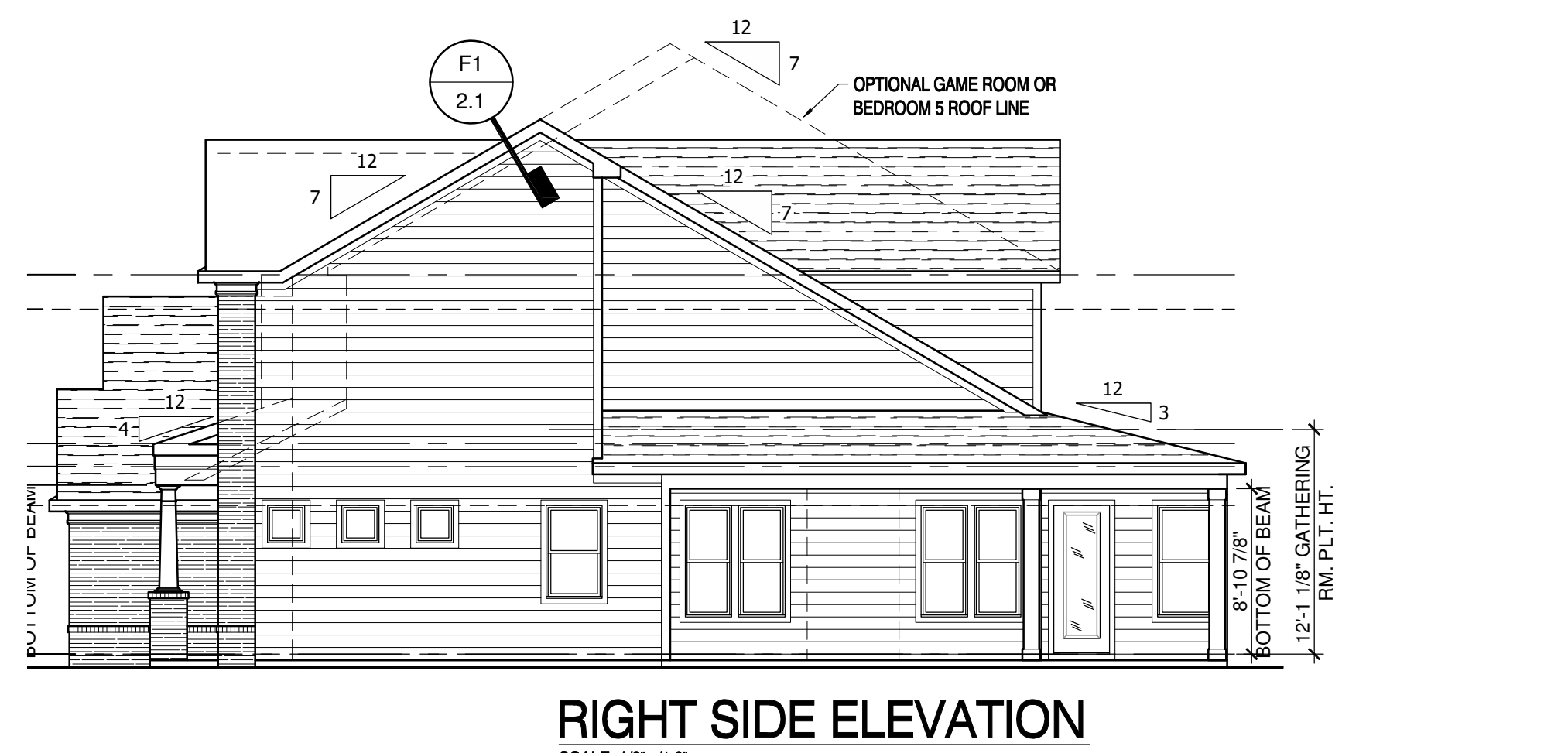
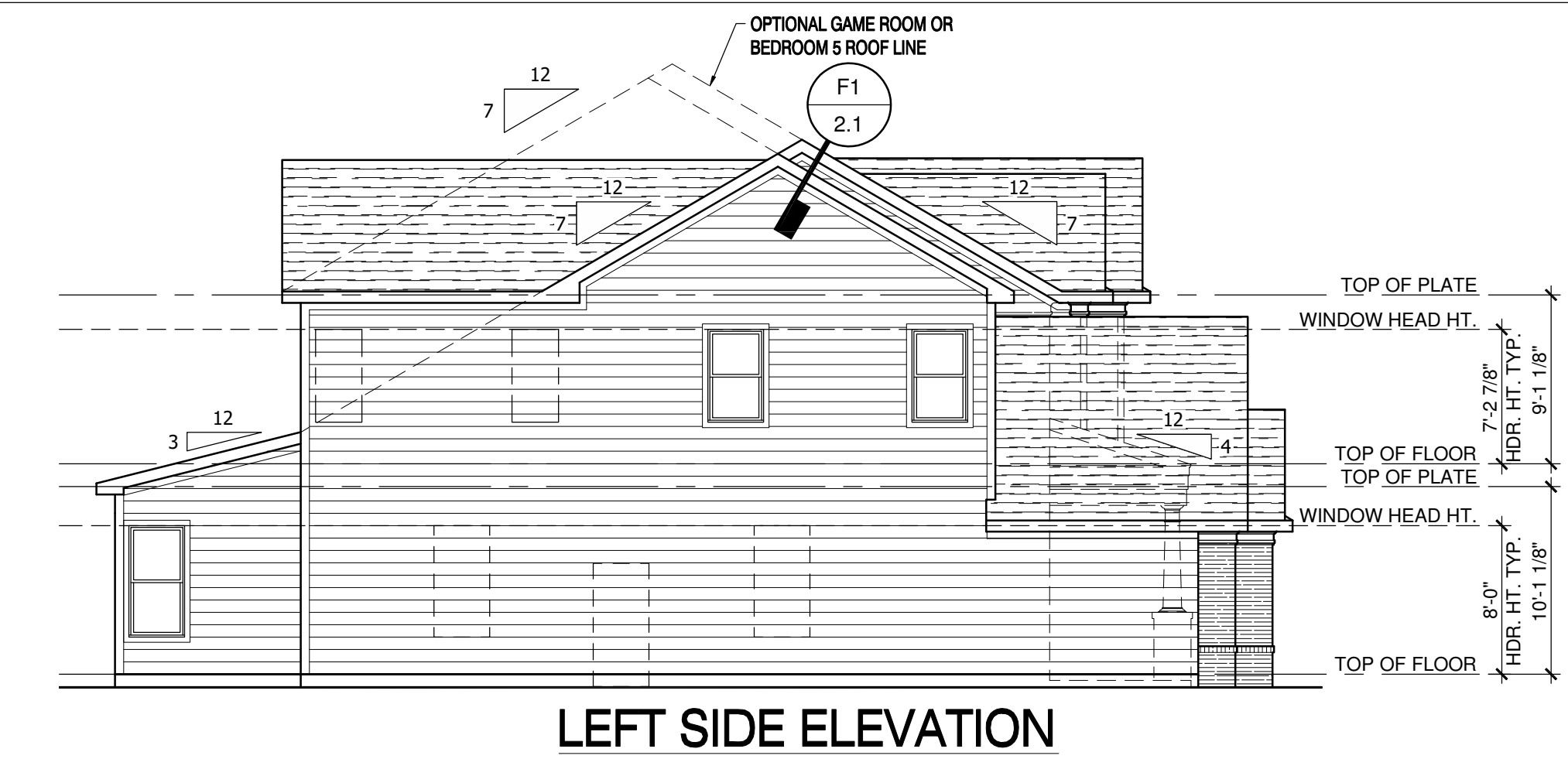
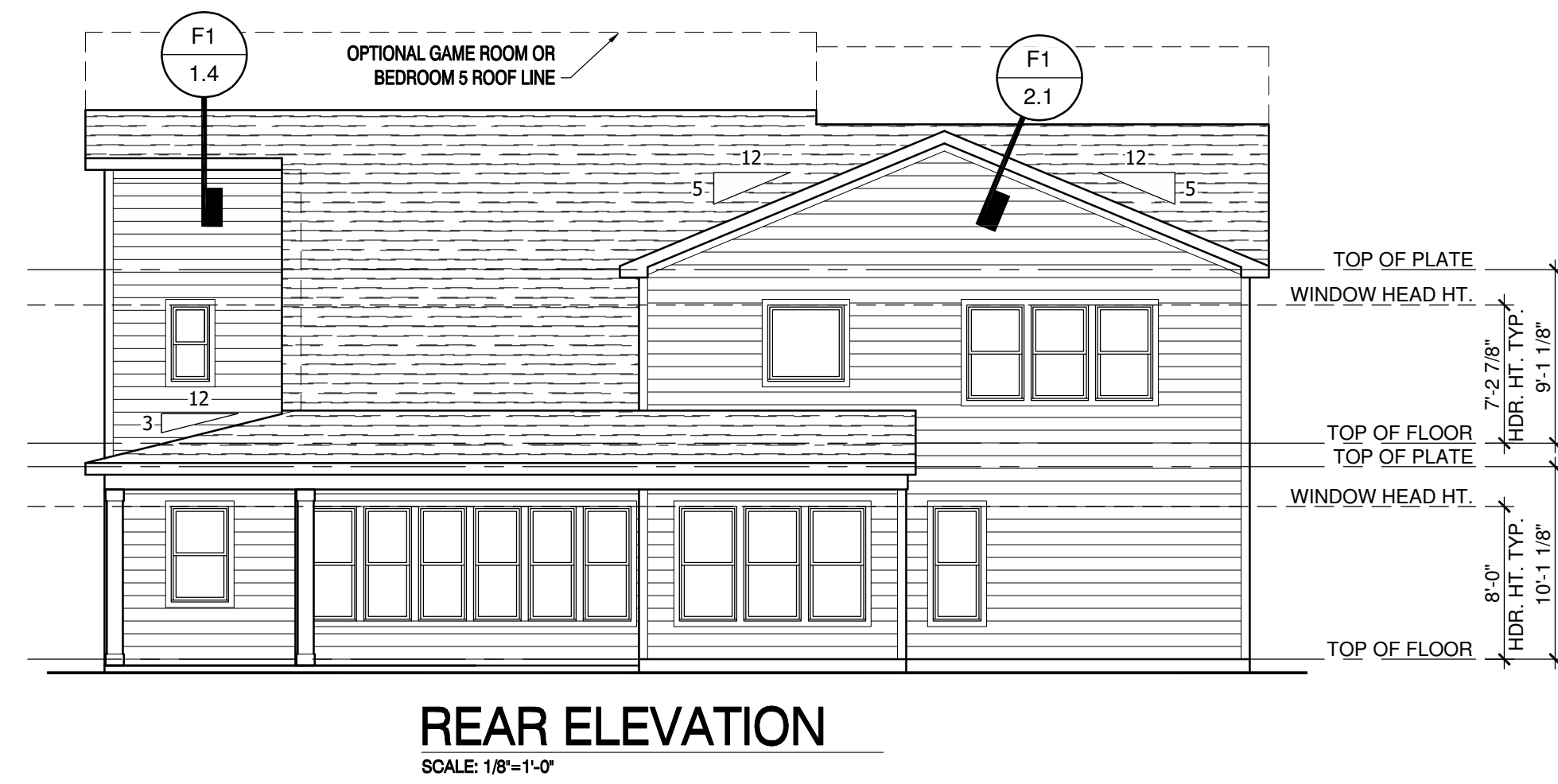
REV #	DATE/DESCRIPTION

GARAGE HANDING  
**LEFT**

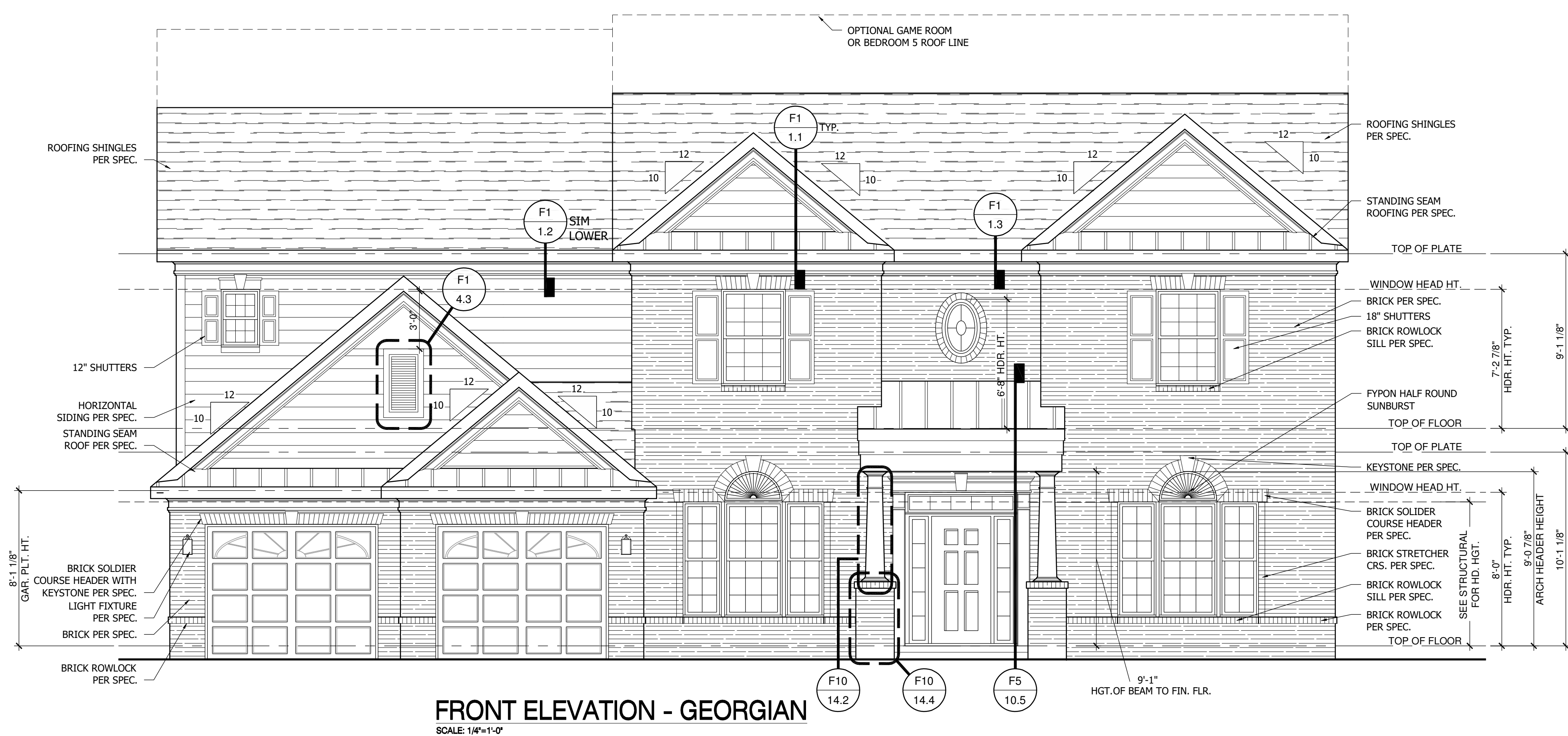
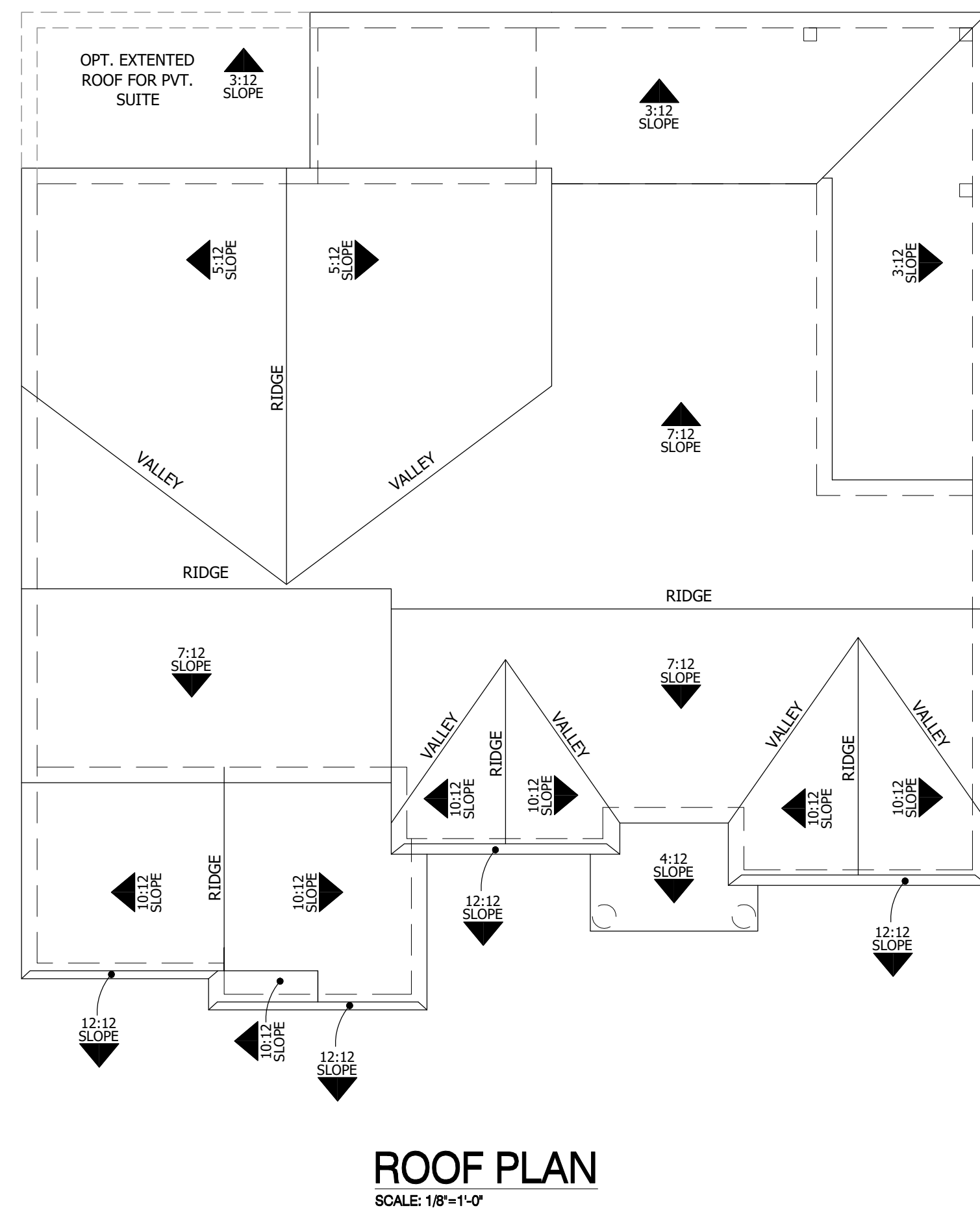
PLAN NUMBER  
**6004**

SHEET  
**A2.1E**

NOTES: SEE SHEET F2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F9 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET F10 FOR HANDRAIL DETAILS



NOTE: FOR OVERHANGS, SEE DETAILS



**FIELDING HOMES**  
 227 W. TRADE ST. SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 MINNESOTA OFFICE: (612) 697-0115  
 MICHIGAN OFFICE: (248) 622-4085  
 FLORIDA OFFICE: (813) 465-3810

**ELEVATION F - GEORGIAN**

REV #	DATE/DESCRIPTION

CONTROL RELEASE DATE: 06-01-16

**LEFT**

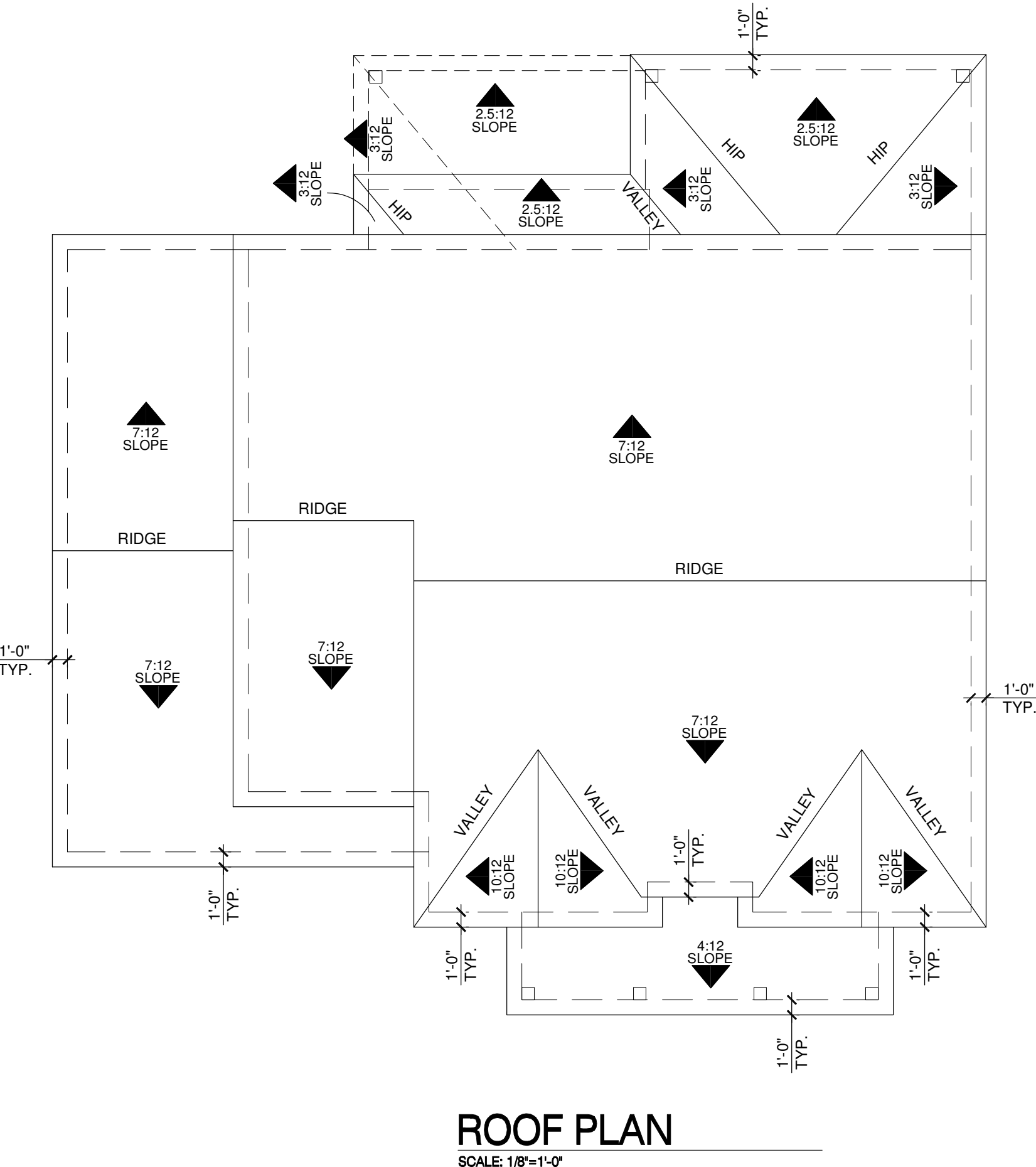
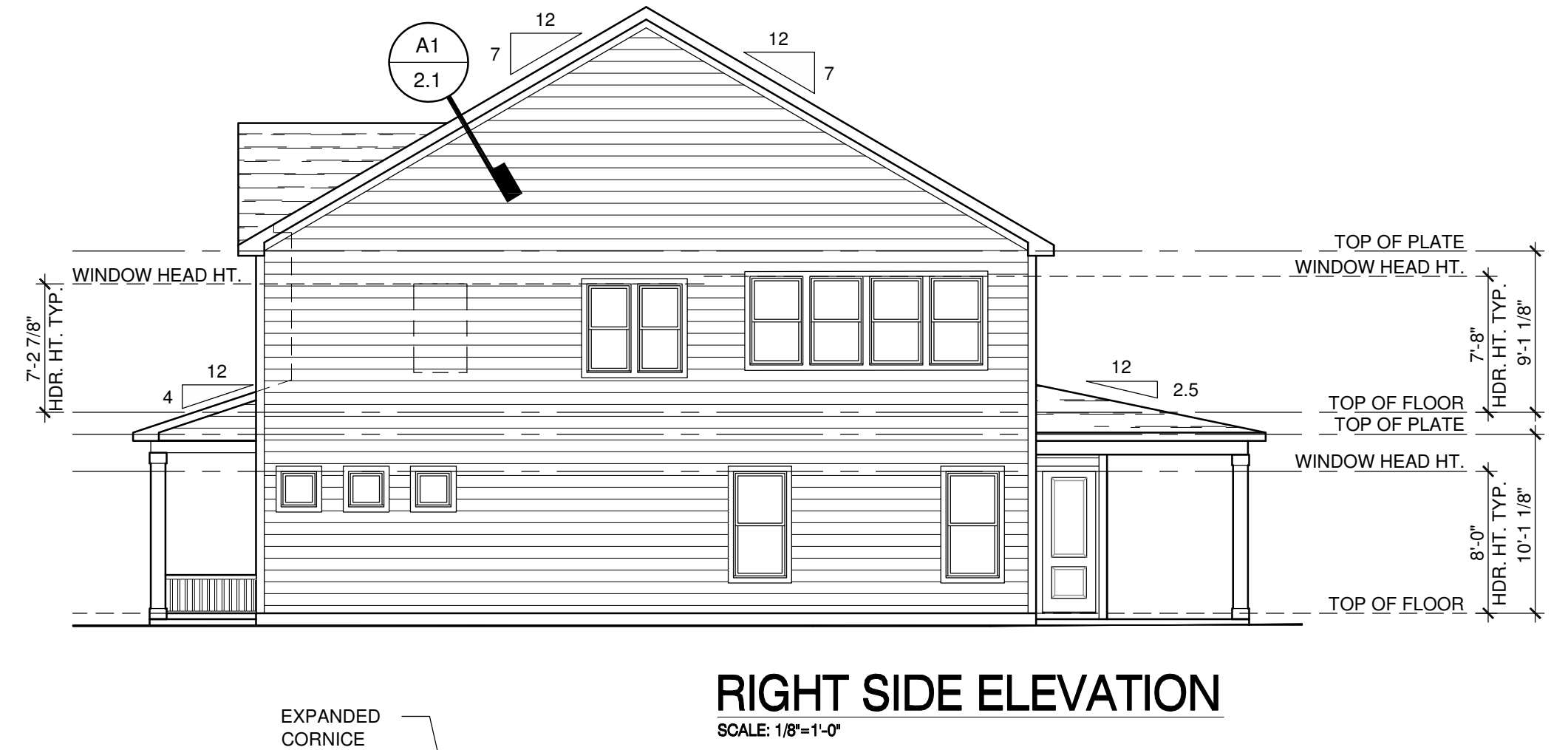
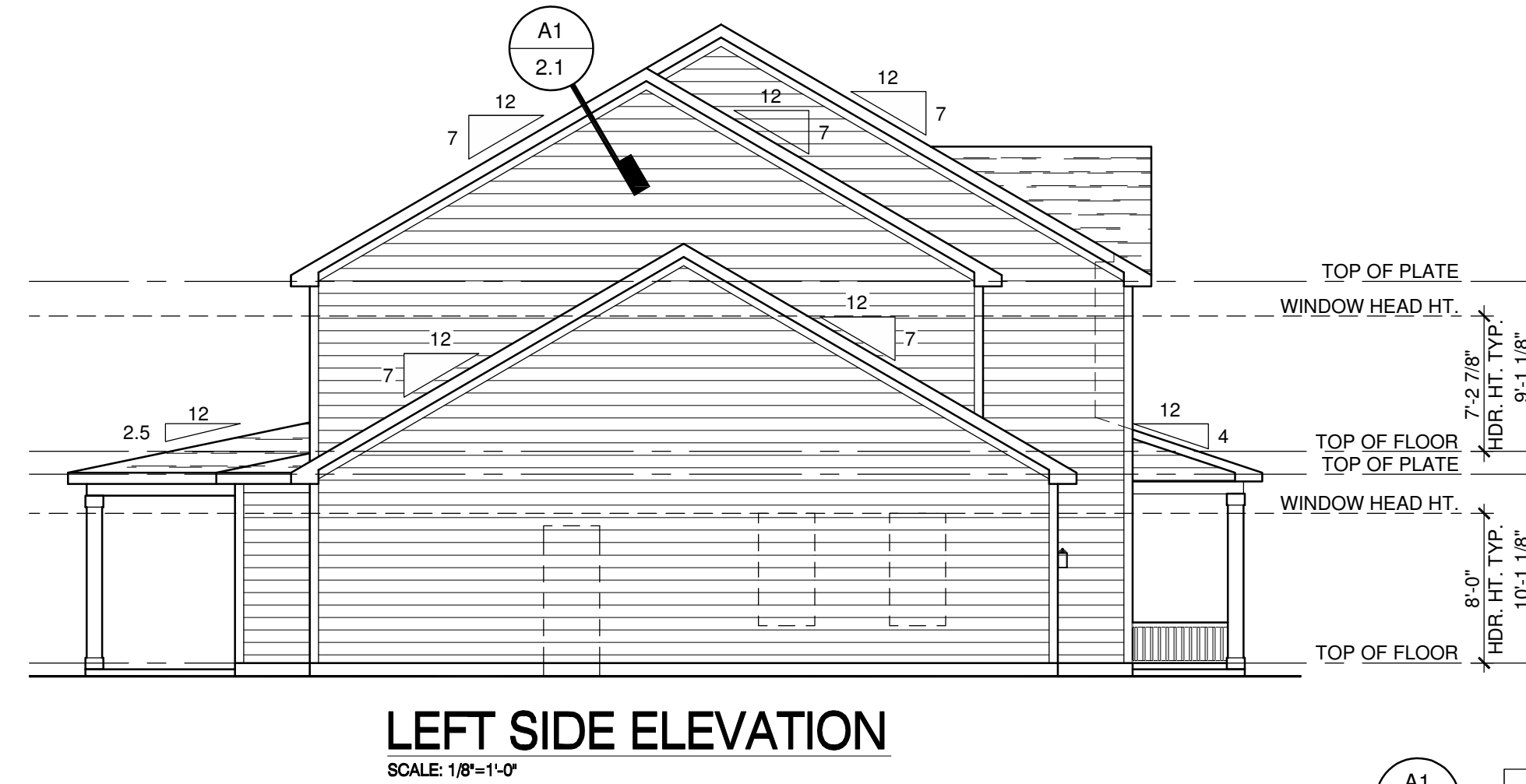
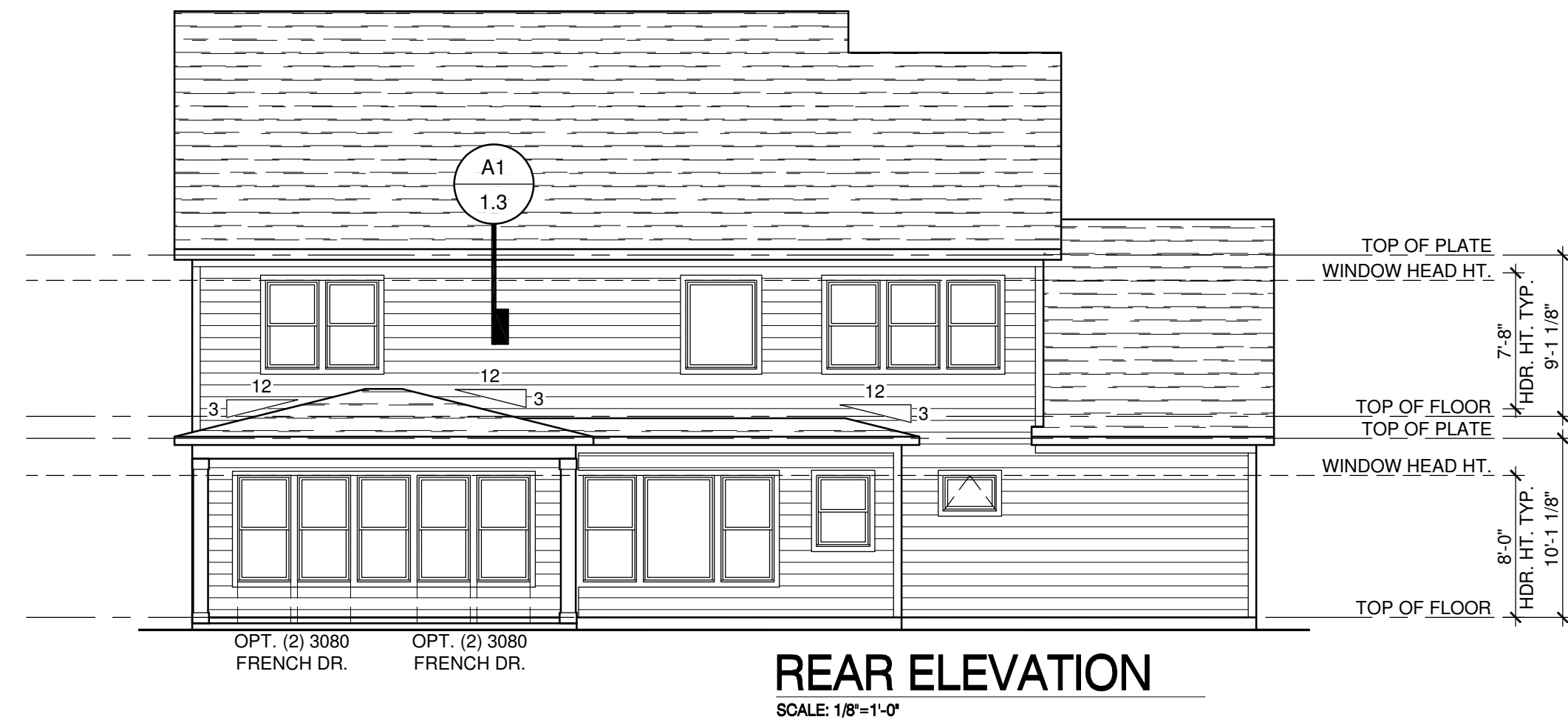
PLAN NUMBER: **6004**

SHEET: **A2.1F**

PLOTTED: June 9, 2016 / Eric Peterson / SHTS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

NOTES: SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 466-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 697-9115

**ELEVATION A - UPCOUNTRY FARMHOUSE**

REV #	DATE/DESCRIPTION

CONTROL RELEASE DATE: 06-01-18

GARAGE HANDING: **LEFT**

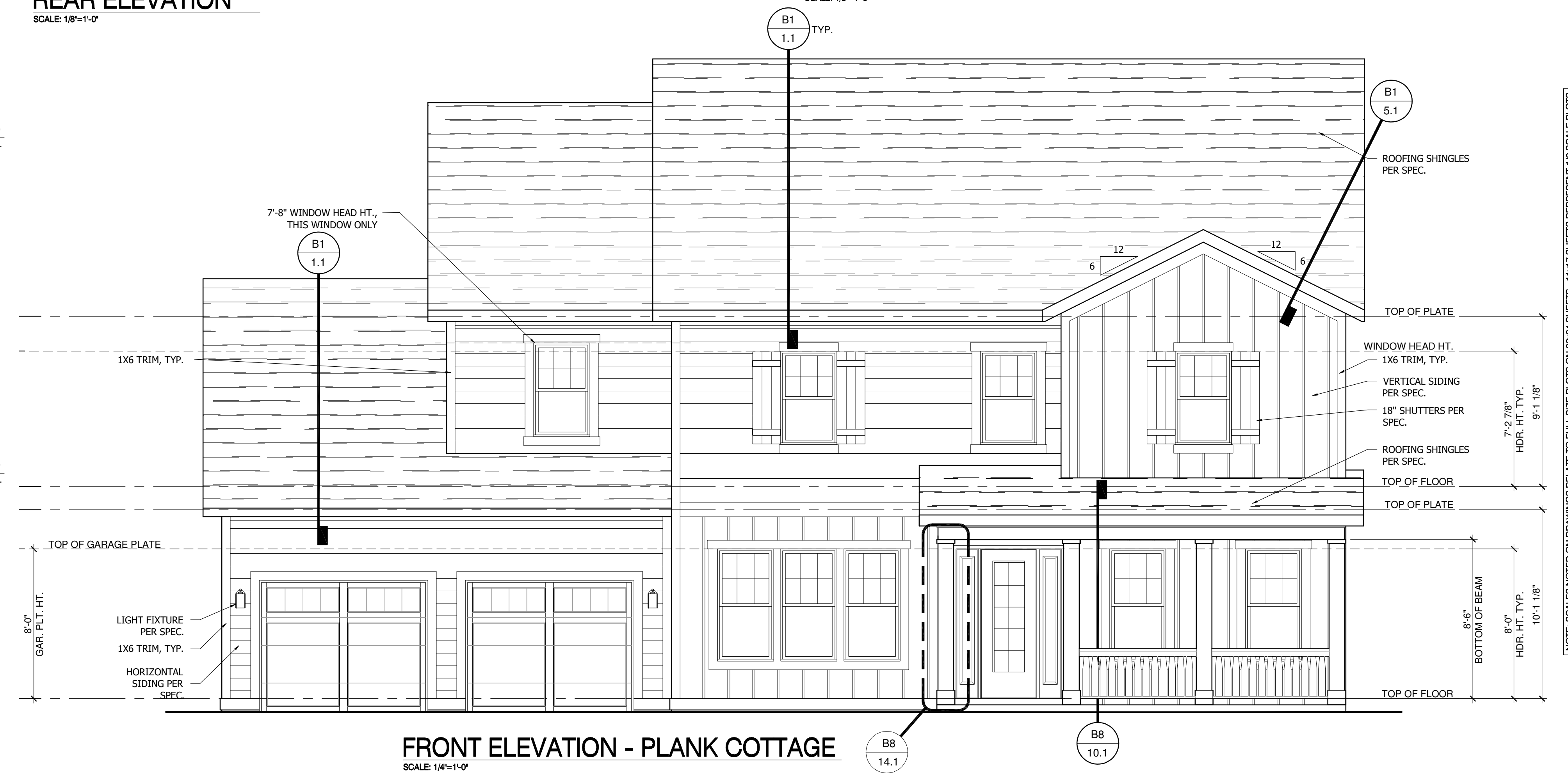
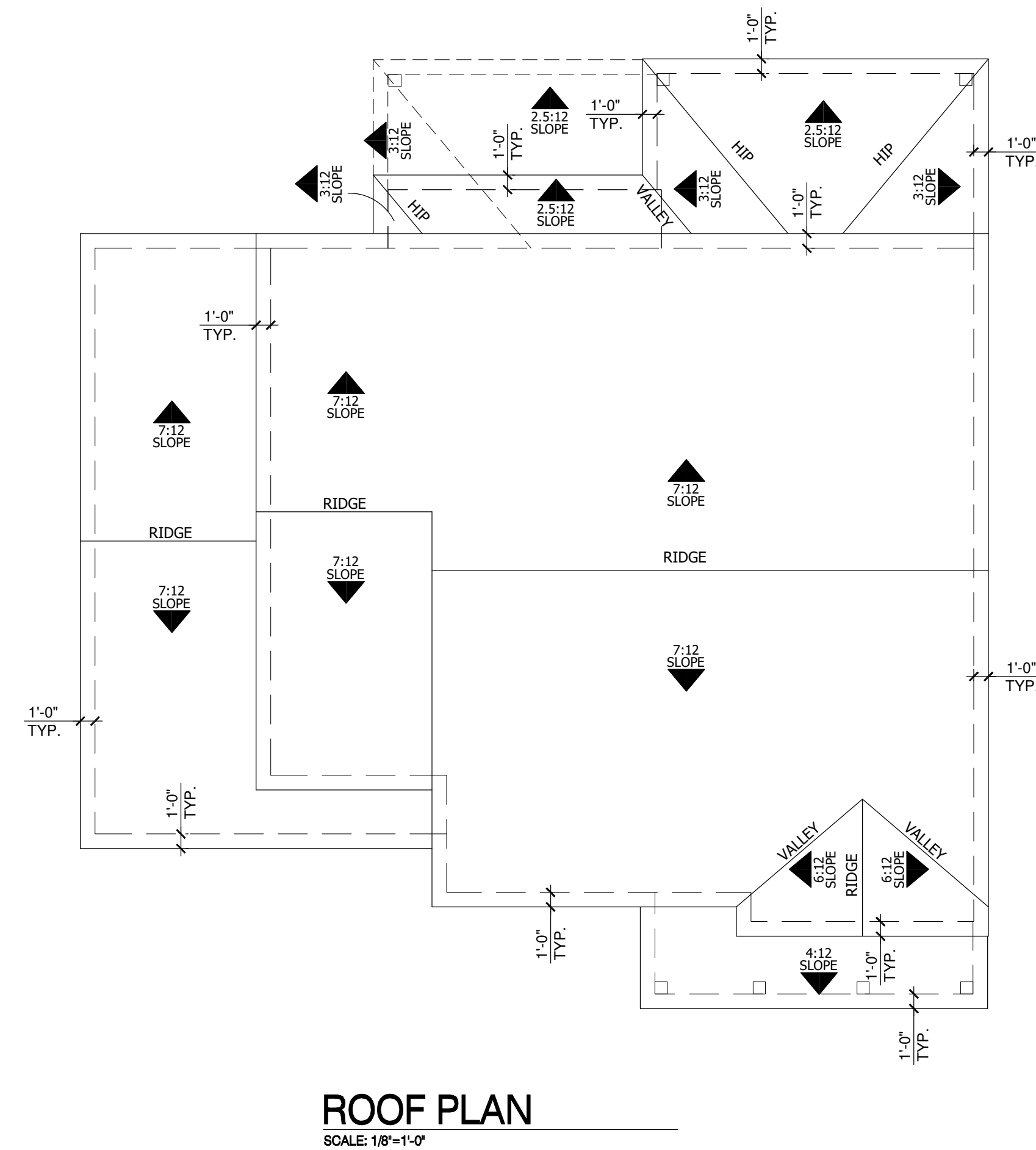
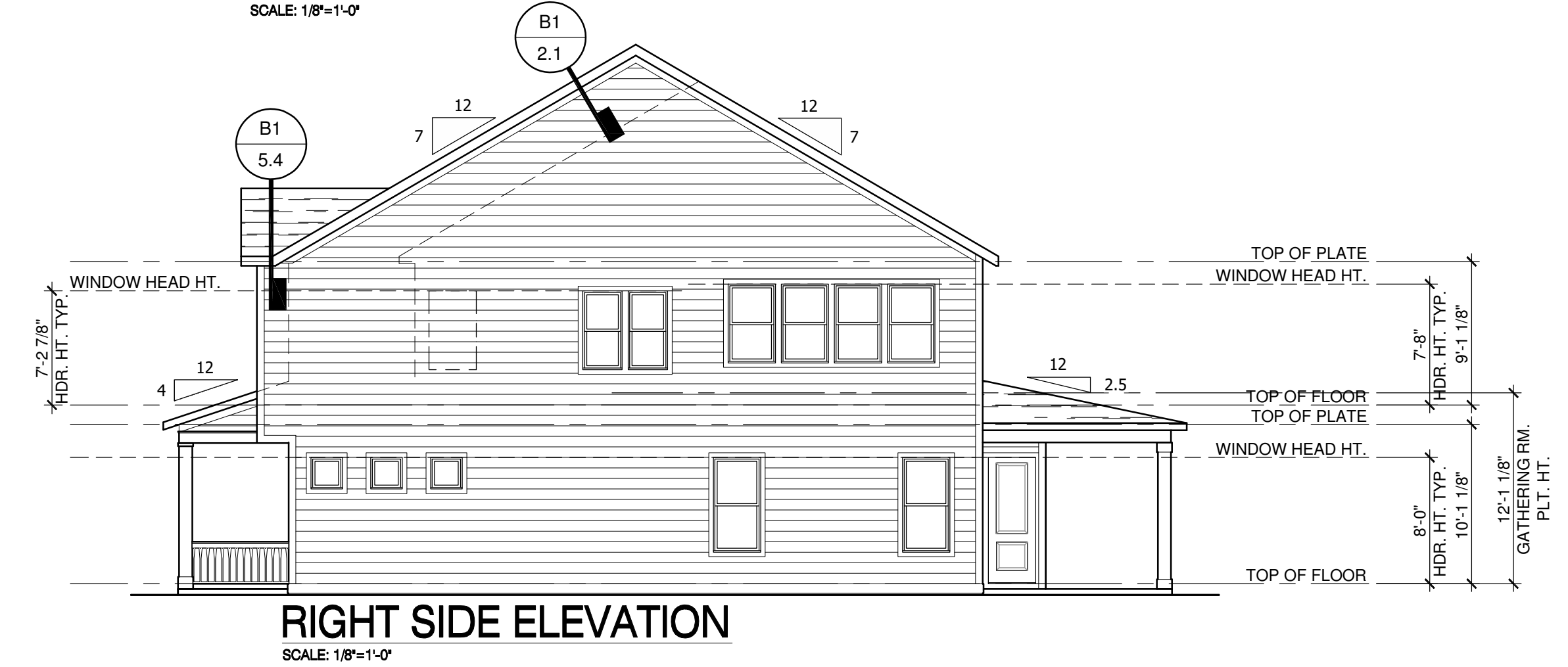
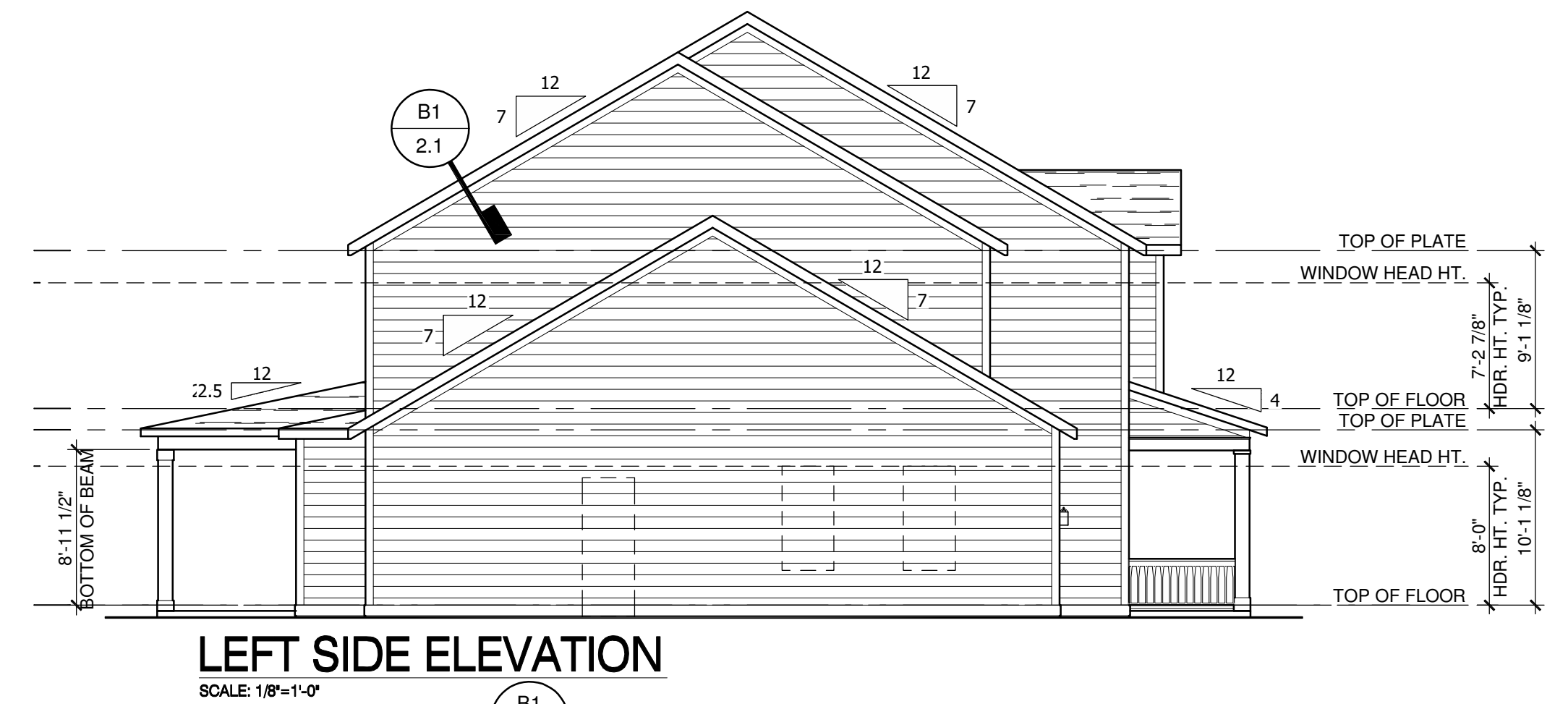
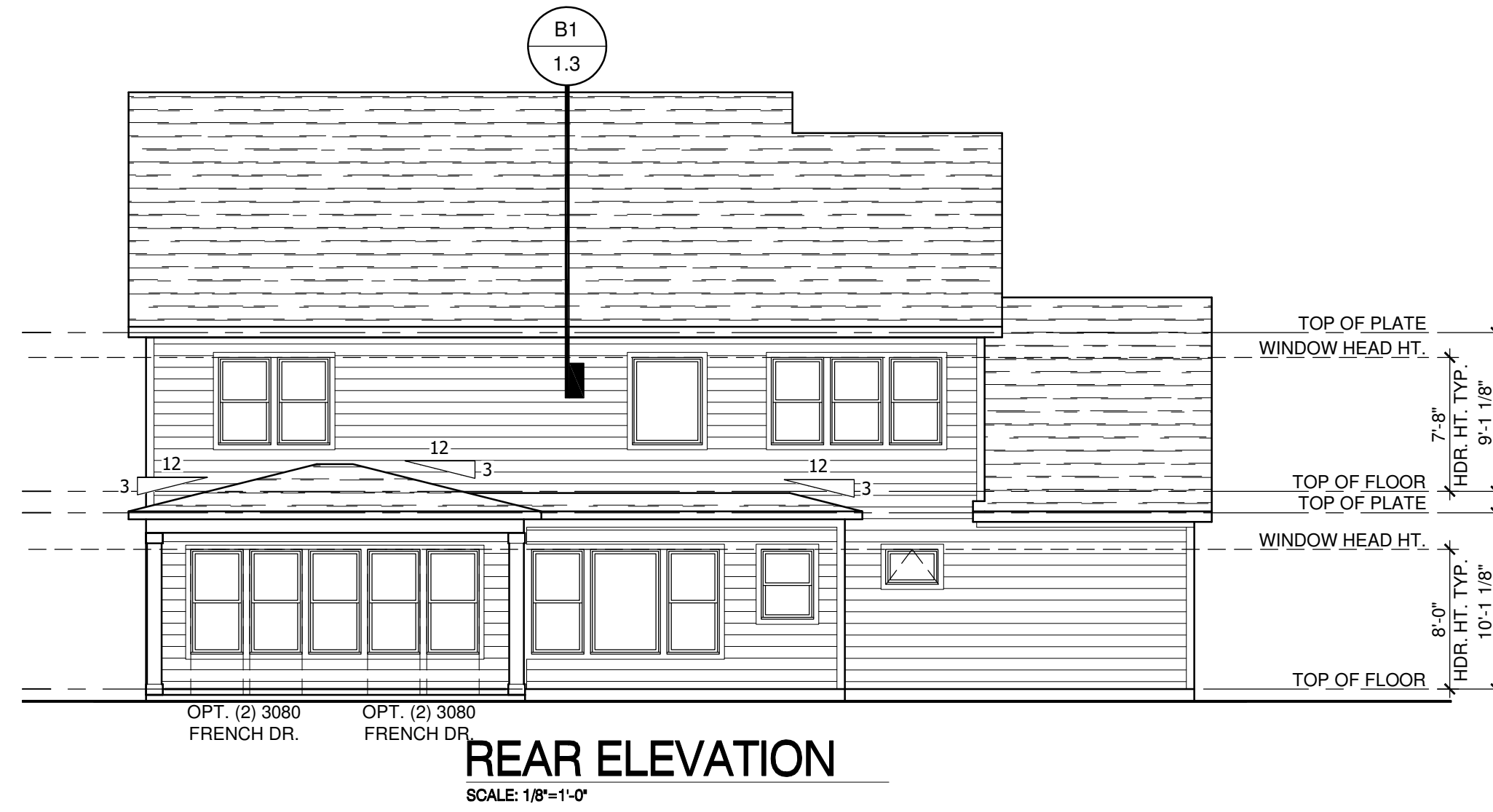
PLAN NUMBER: **6005**

SHEET: **A2.1A**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

NOTES: SEE SHEET B2 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B8 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 897-9115

**ELEVATION B - PLANK COTTAGE**

CONTROL	RELEASE DATE	06-01-18
REV #	DATE/DESCRIPTION	
△		
△		
△		
△		

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2" SCALE PLOTS

GARAGE HANDING  
**LEFT**

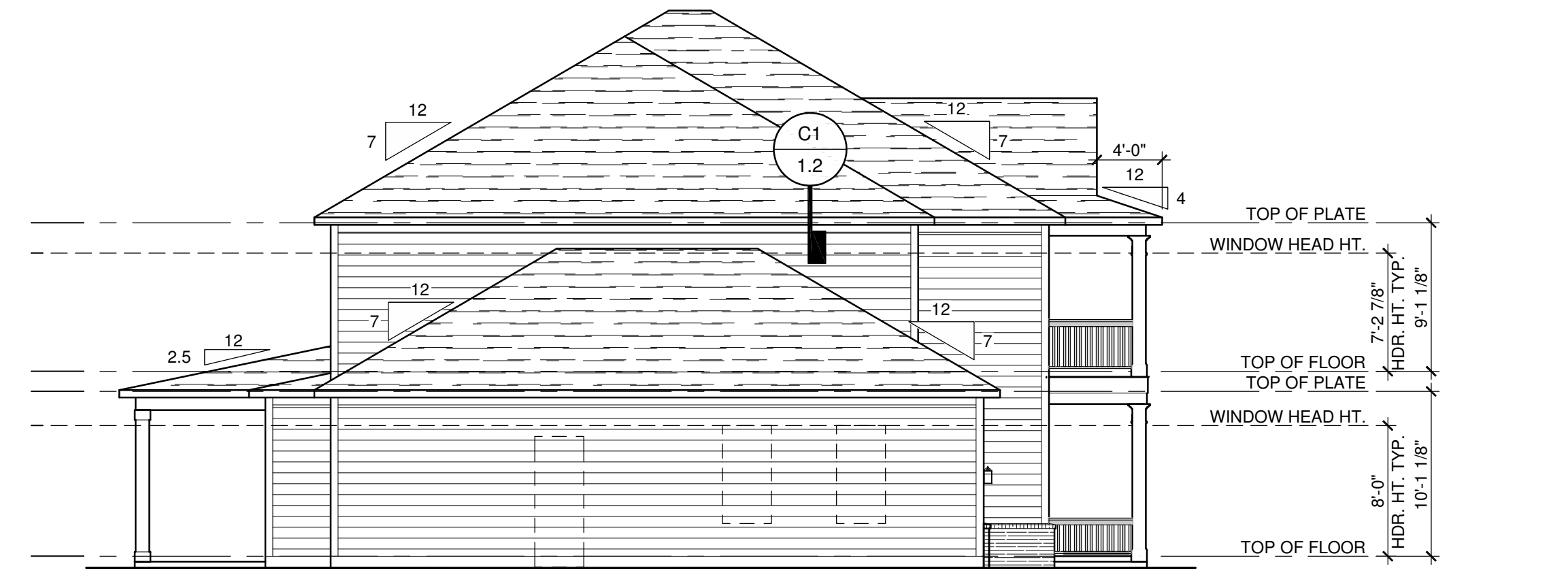
PLAN NUMBER  
**6005**

SHEET  
**A2.1B**

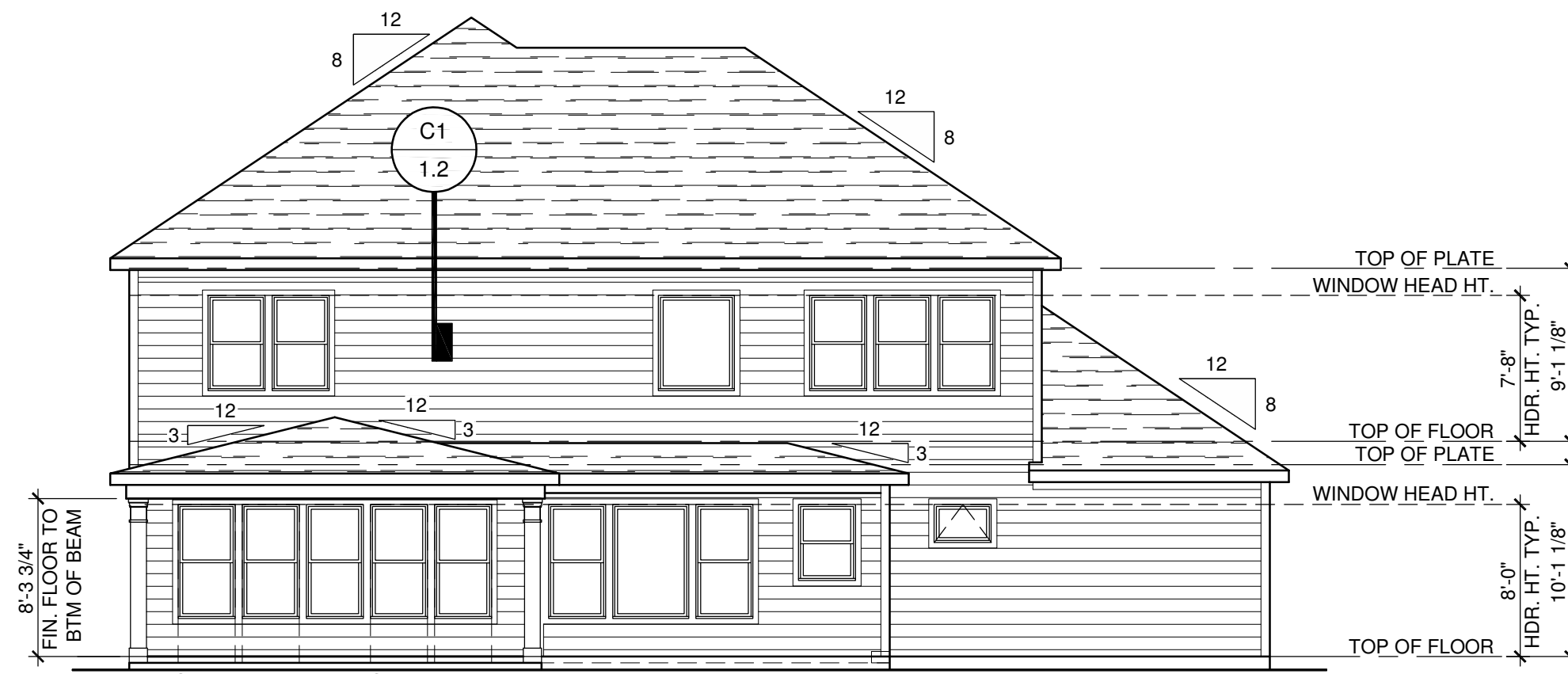
PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG



NOTES: SEE SHEET C6 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET C6 FOR HANDRAIL, GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



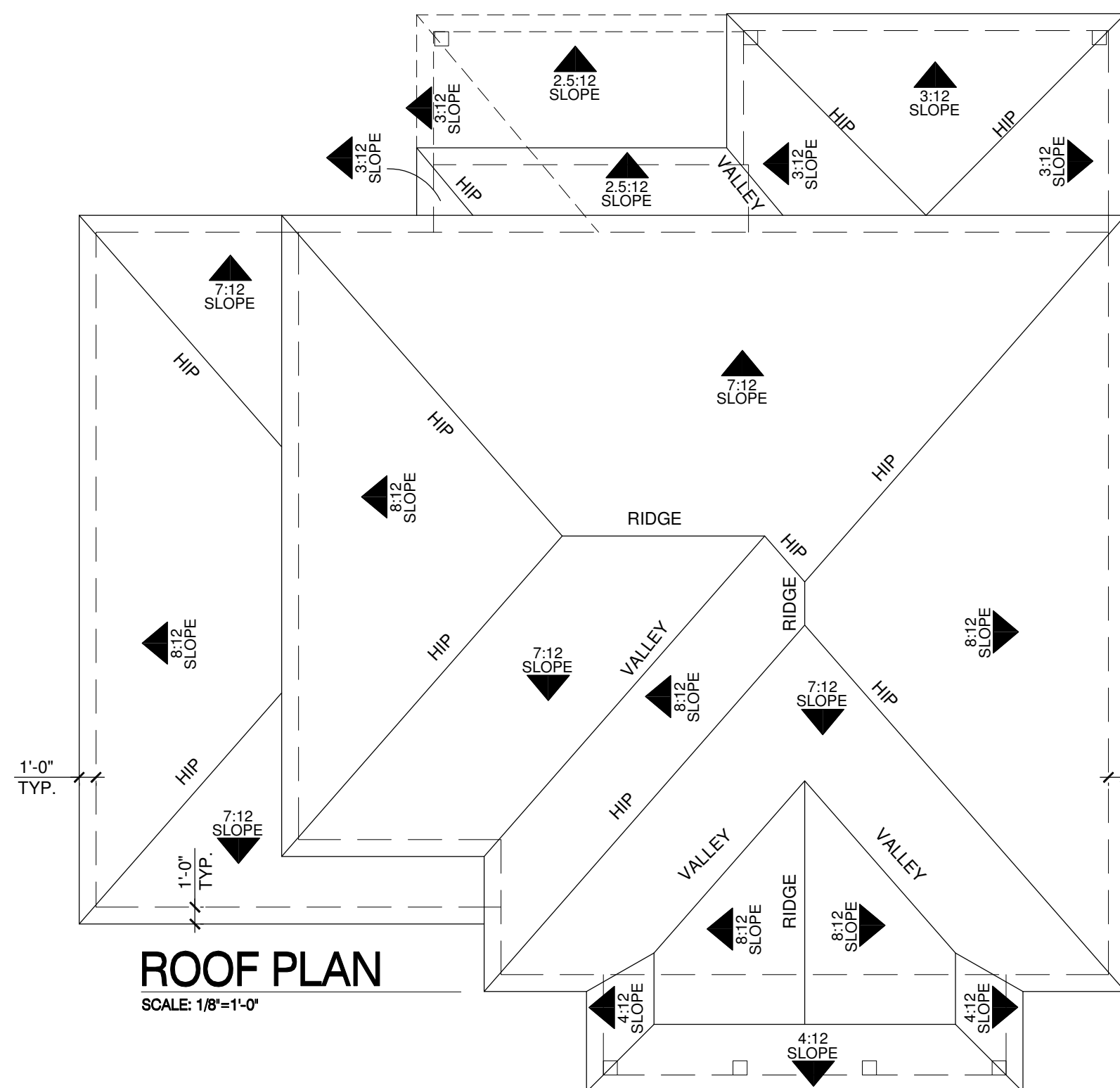
LEFT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



REAR ELEVATION  
SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



ROOF PLAN  
SCALE: 1/8"=1'-0"



FRONT ELEVATION - COASTAL  
SCALE: 1/4"=1'-0"

**FIELDING HOMES**  
227 W. TRADE ST. SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 607-0115

**ELEVATION C - COASTAL**

CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

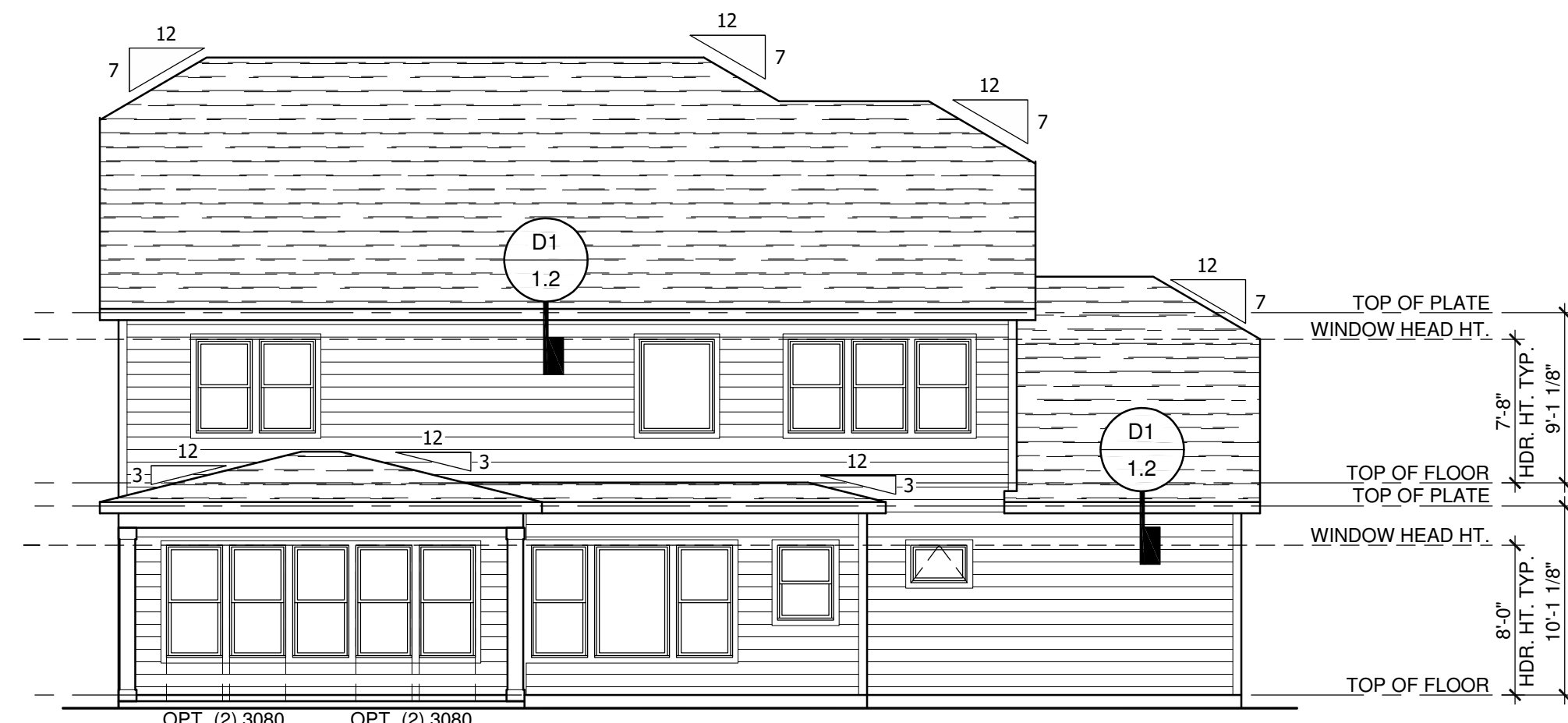
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6005**

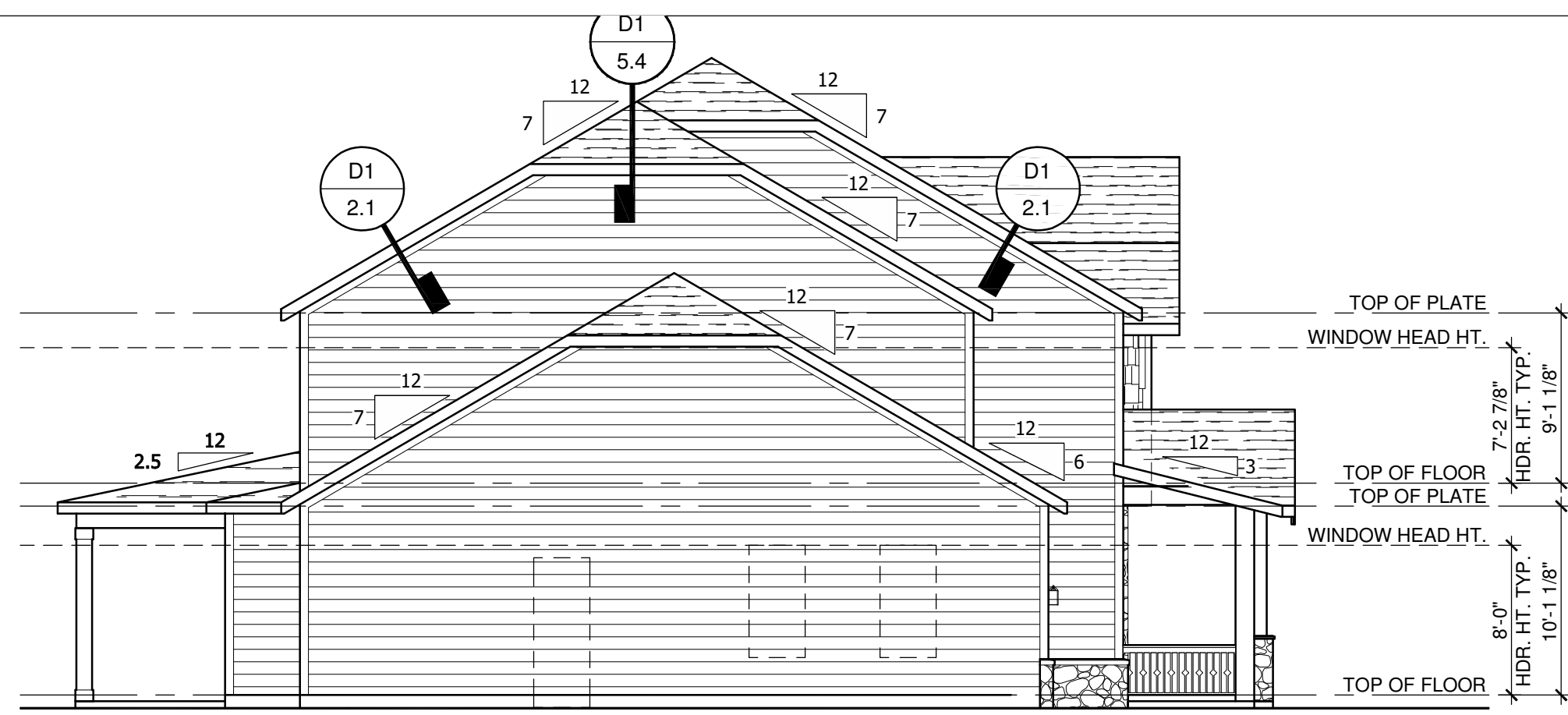
SHEET  
**A2.1C**

PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

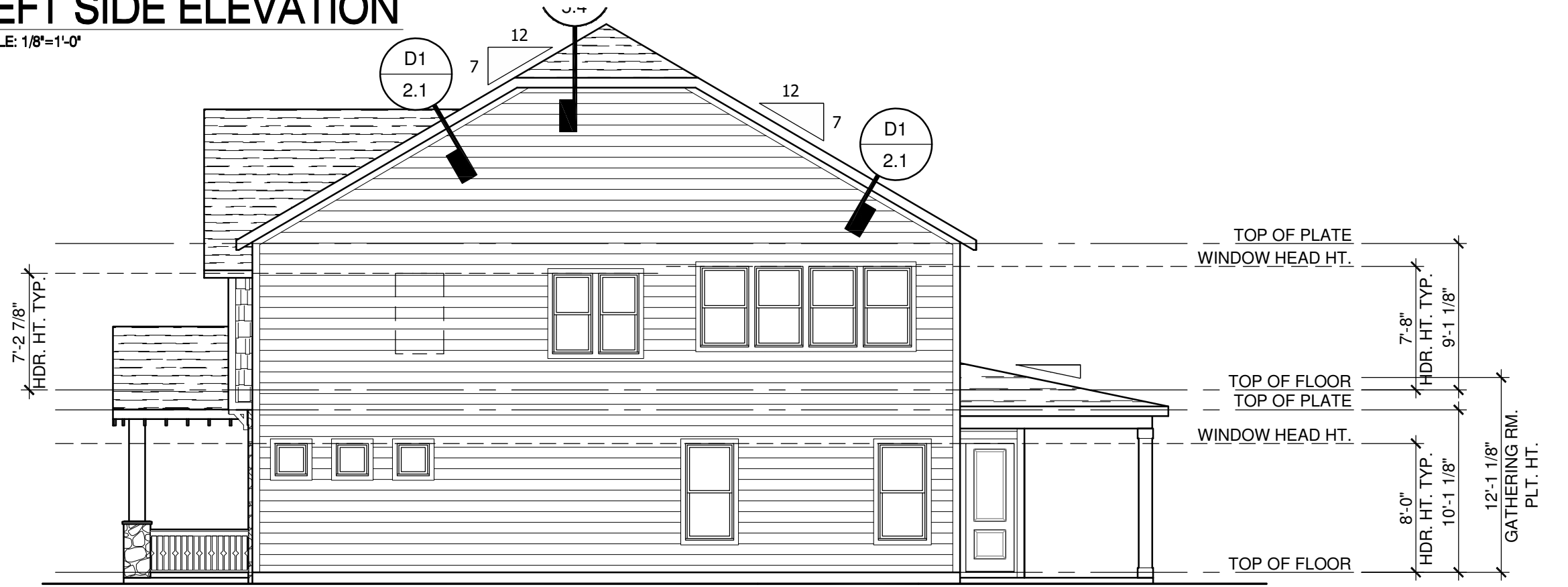
[NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS]



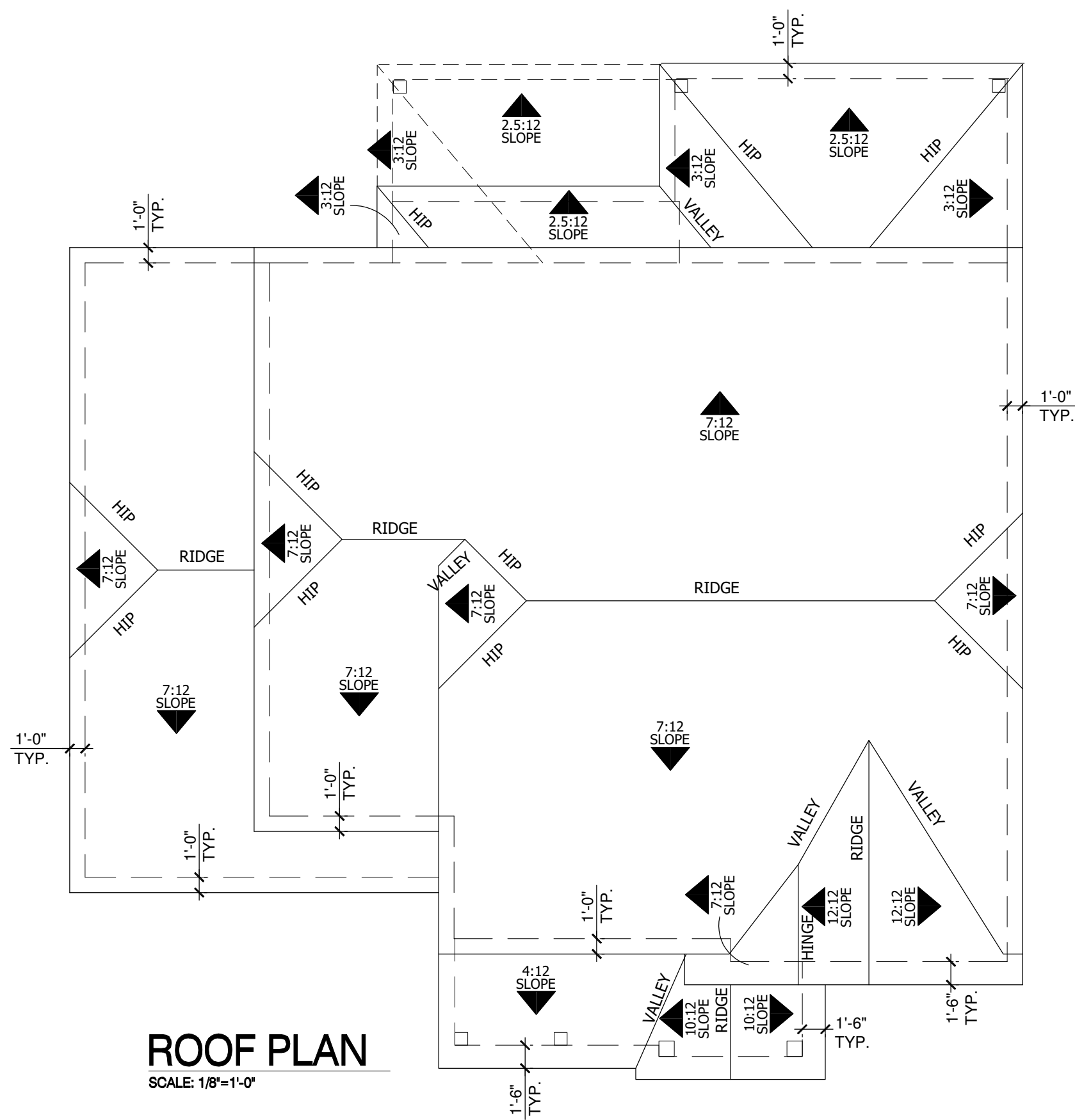
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



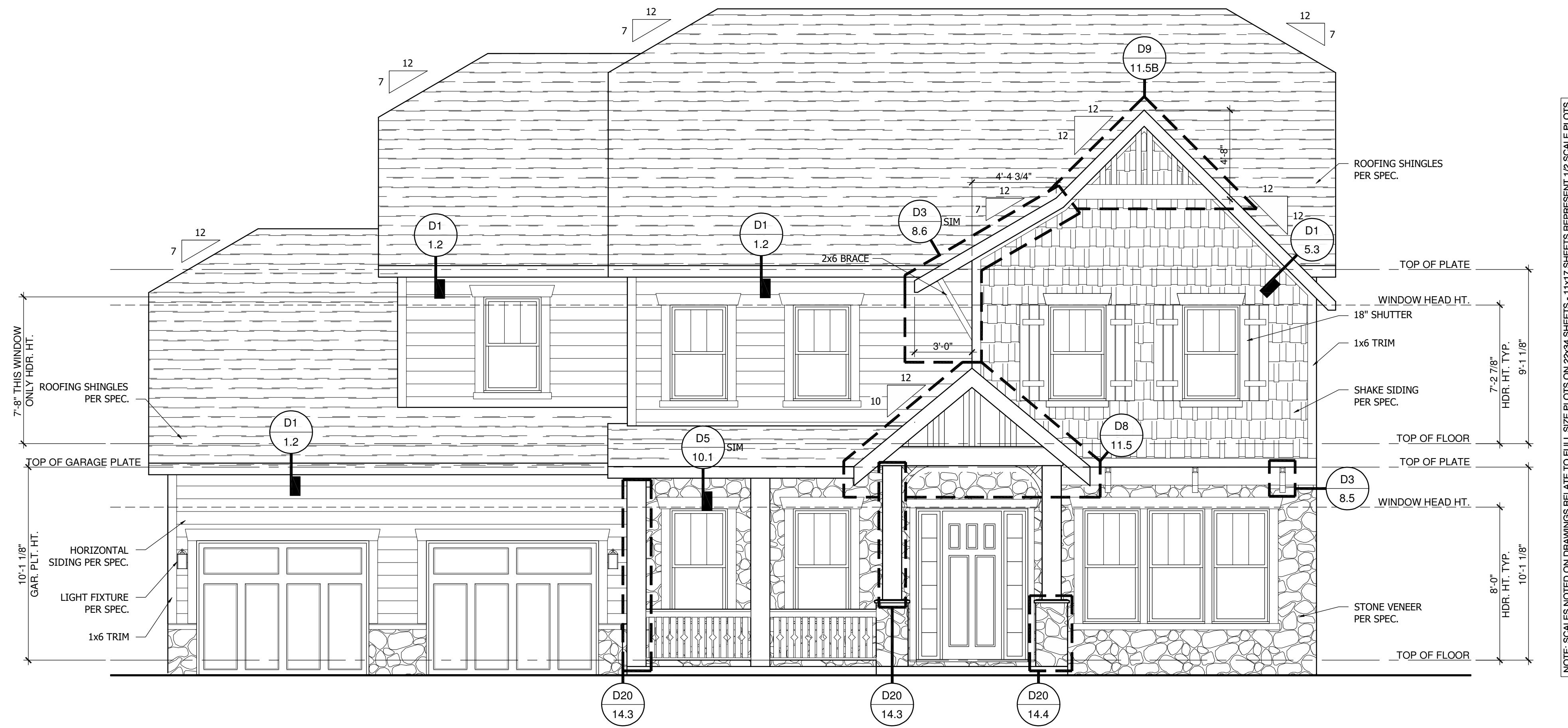
**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS & CRAFTS**  
SCALE: 1/4"=1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

**FIELDING HOMES**  
227 W. TRADE ST., SUITE 1000  
CHARLOTTE, NC 28202

**Fieldstone**  
FLORIDA OFFICE: (813) 465-3810  
MICHIGAN OFFICE: (248) 622-4085  
MINNESOTA OFFICE: (612) 607-0115

**ELEVATION D - SOUTHERN ARTS & CRAFTS**

REV #	DATE/DESCRIPTION

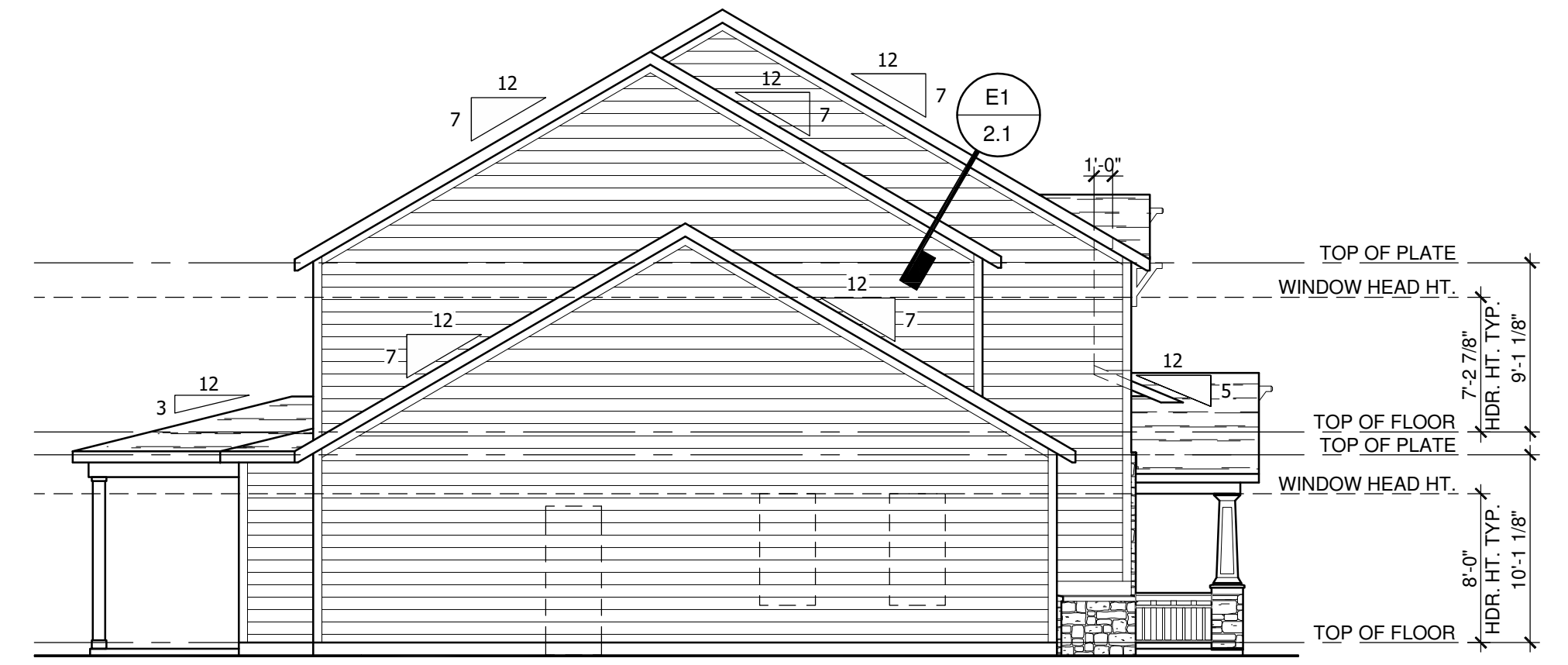
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6005**

SHEET  
**A2.1D**

PLOTTED: June 9, 2016 / Eric Peterson / SHHS\_2\_ELEVATIONS.DWG

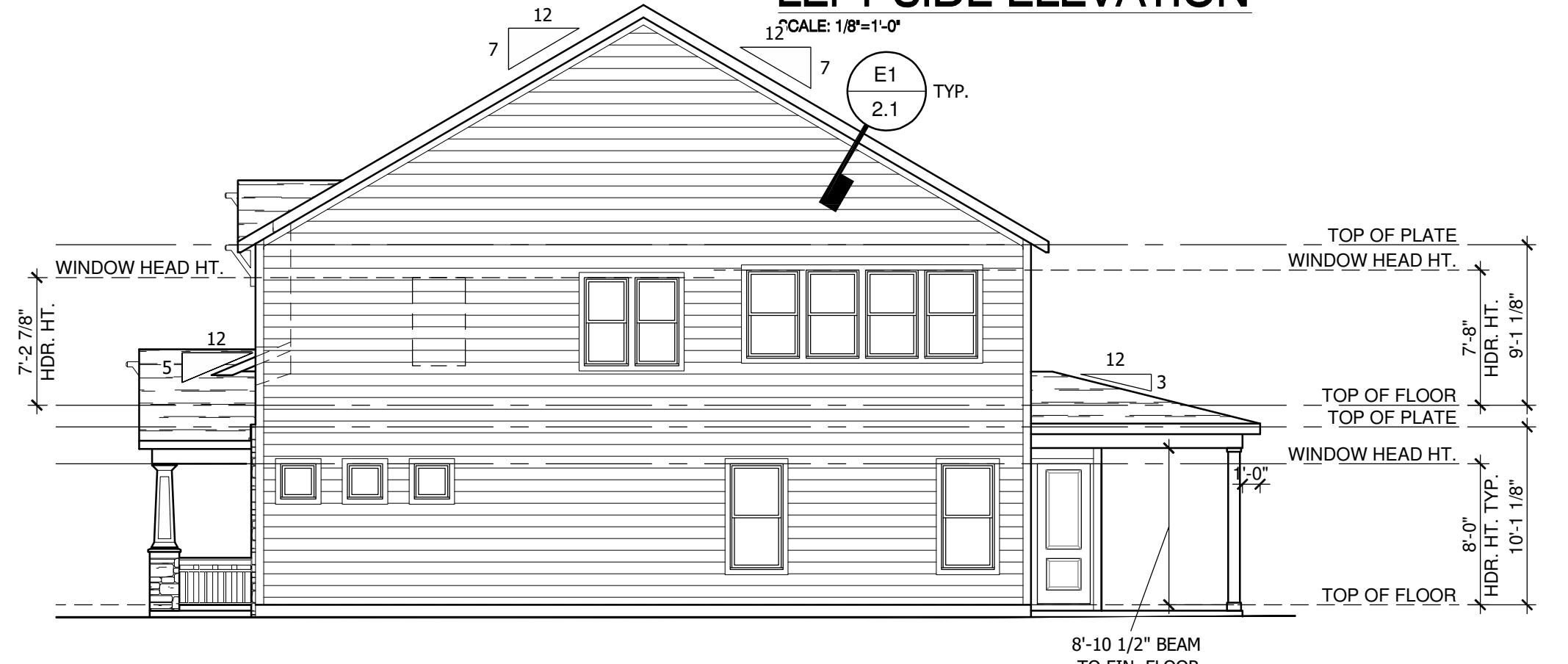
NOTES:  
 SEE SHEET E1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET E7 FOR HANDRAIL DETAILS  
 SEE SHEET E 10 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS



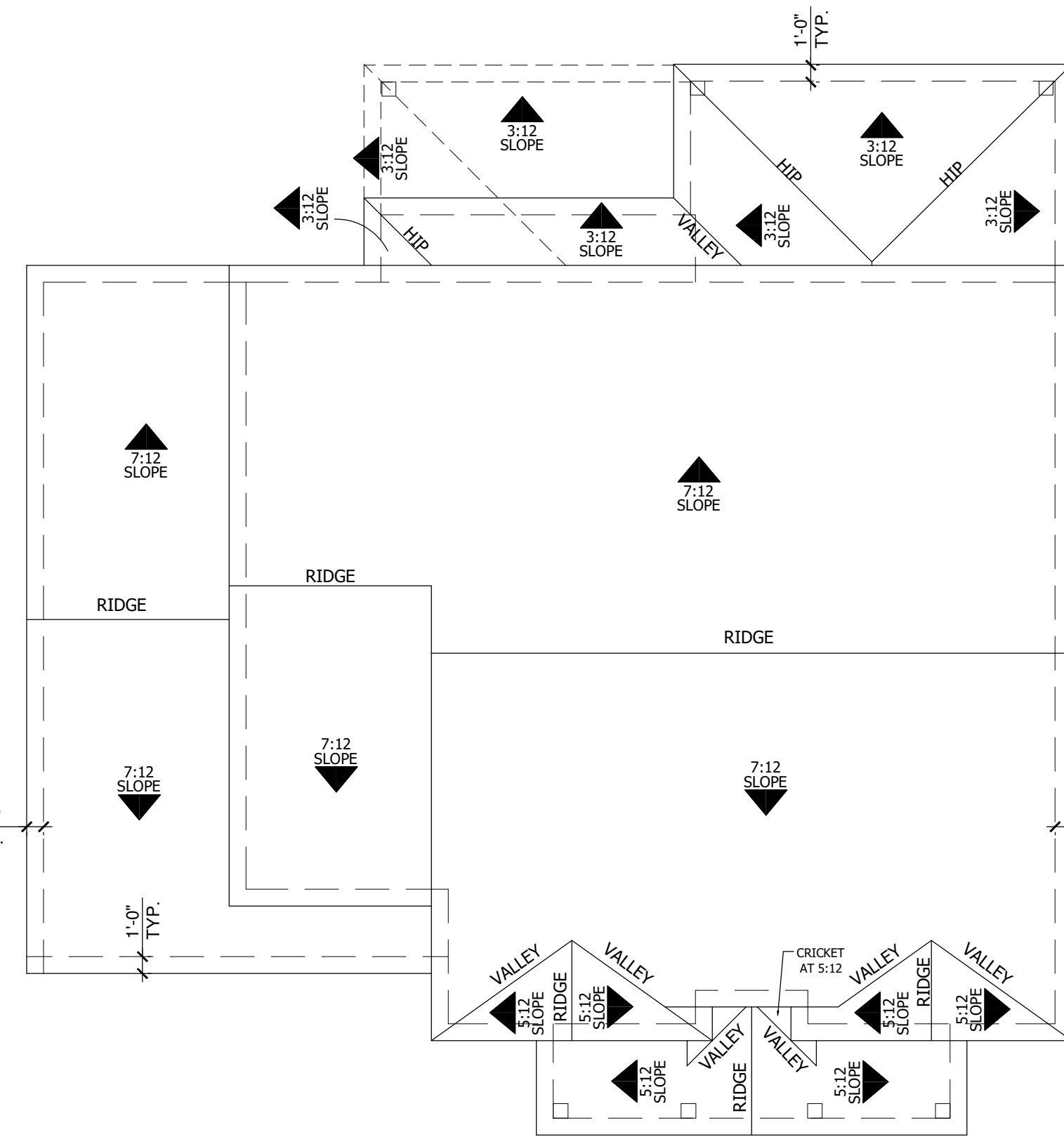
LEFT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



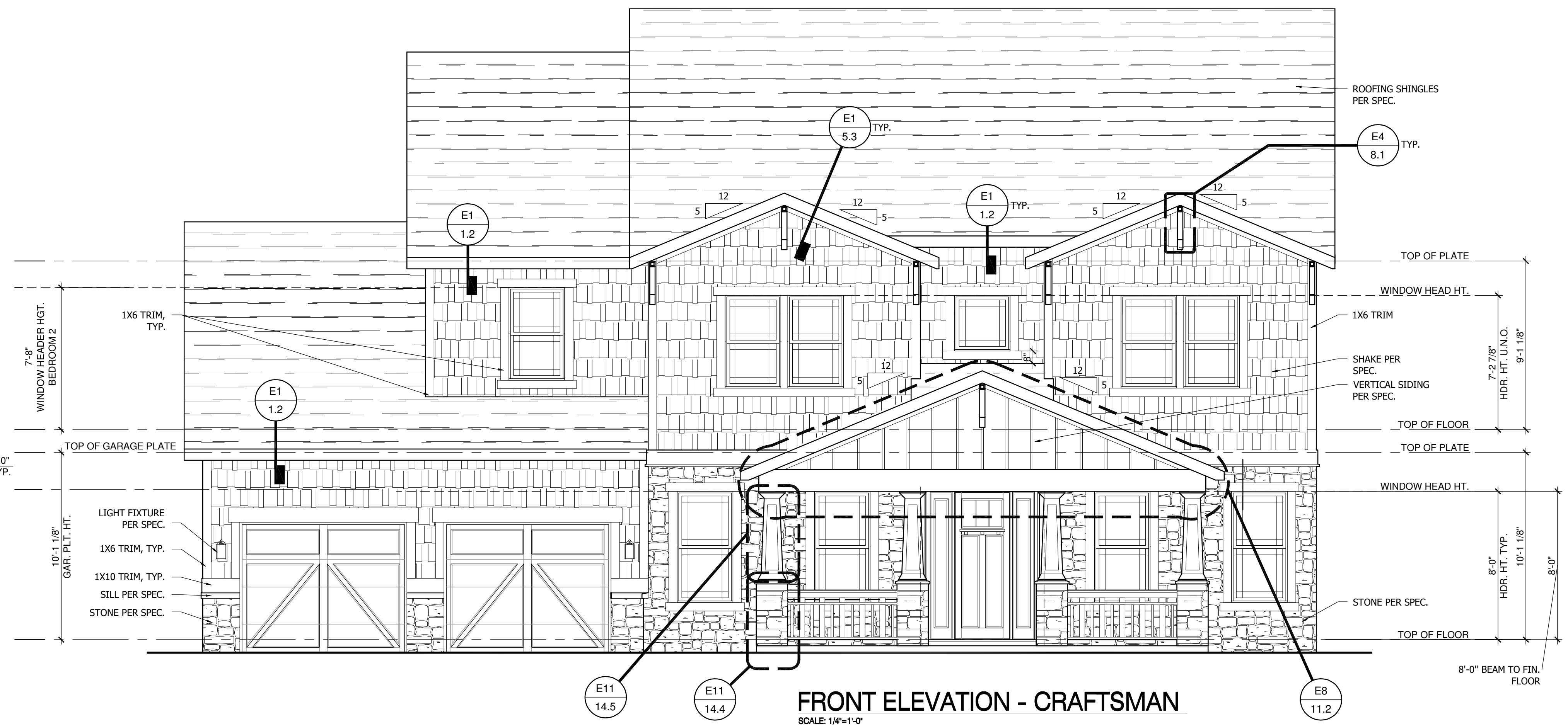
REAR ELEVATION  
 SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"



FRONT ELEVATION - CRAFTSMAN  
 SCALE: 1/4"=1'-0"

FIELDING HOMES  
 227 W. TRADE ST., SUITE 1000  
 CHARLOTTE, NC 28202

Fieldstone  
 FLORIDA OFFICE: (813) 465-3810  
 MICHIGAN OFFICE: (248) 622-4085  
 MINNESOTA OFFICE: (612) 697-0115

ELEVATION E - CRAFTSMAN

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11x17. SHEETS REPRESENT 1/2 SCALE PLOTS

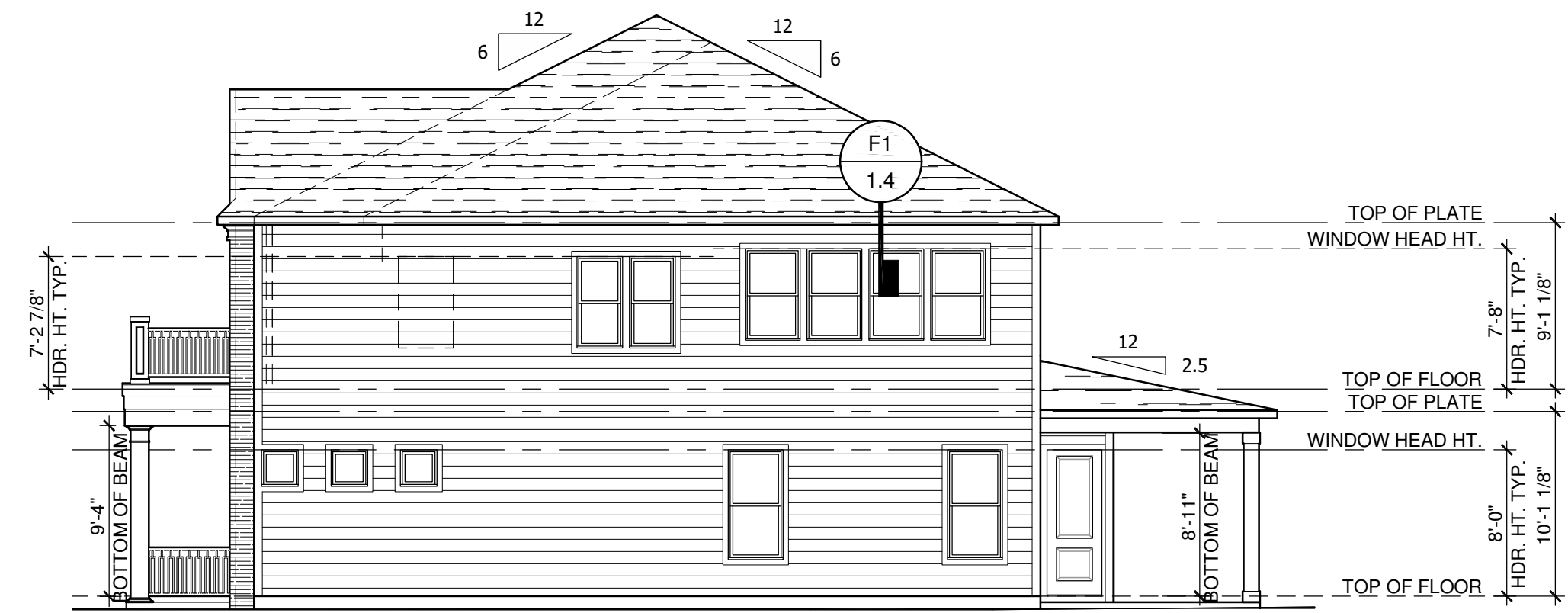
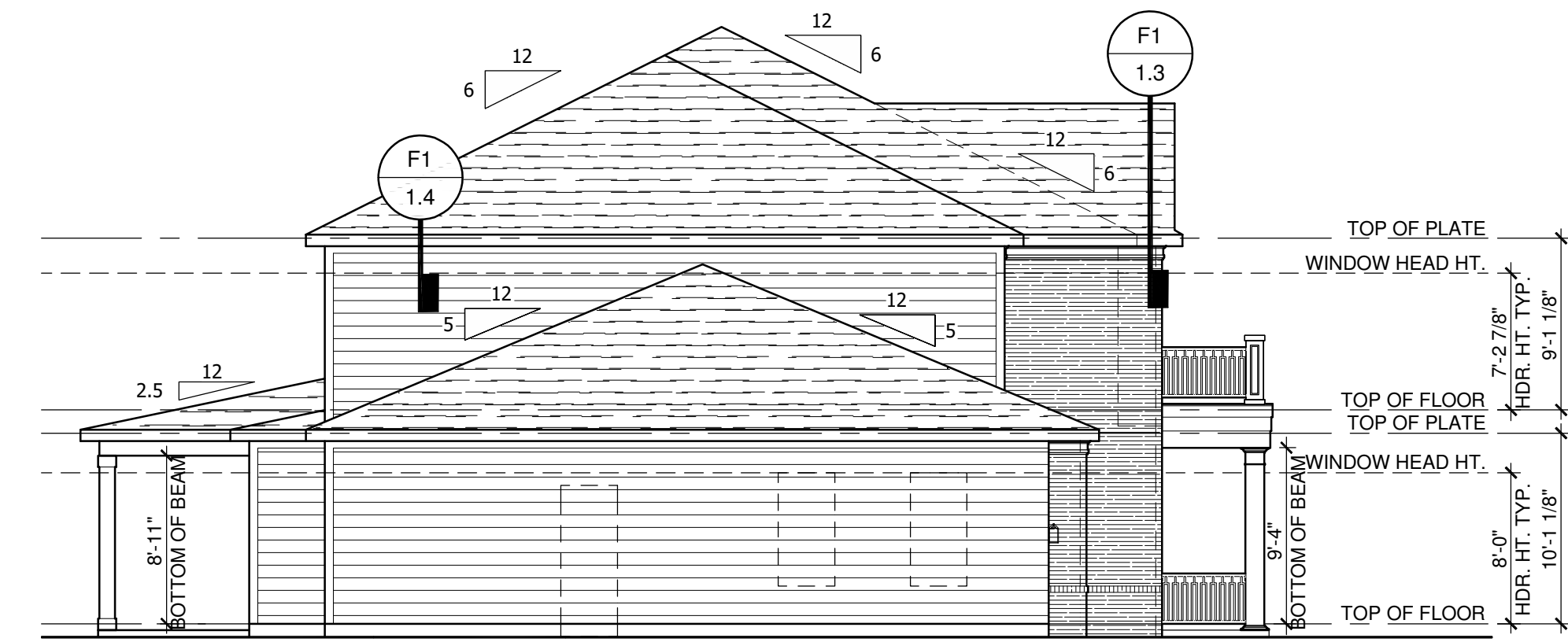
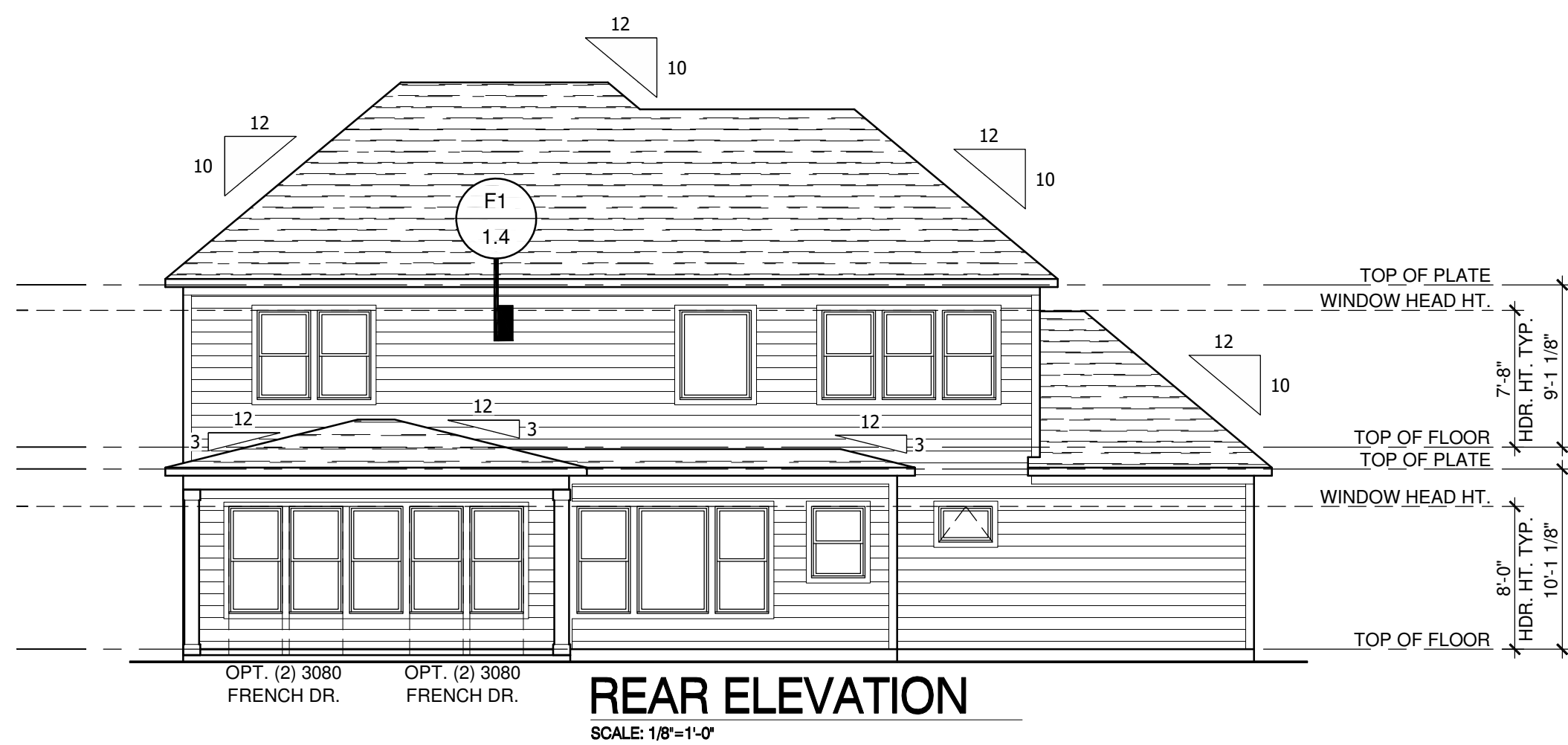
CONTROL	RELEASE DATE	06-01-16
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

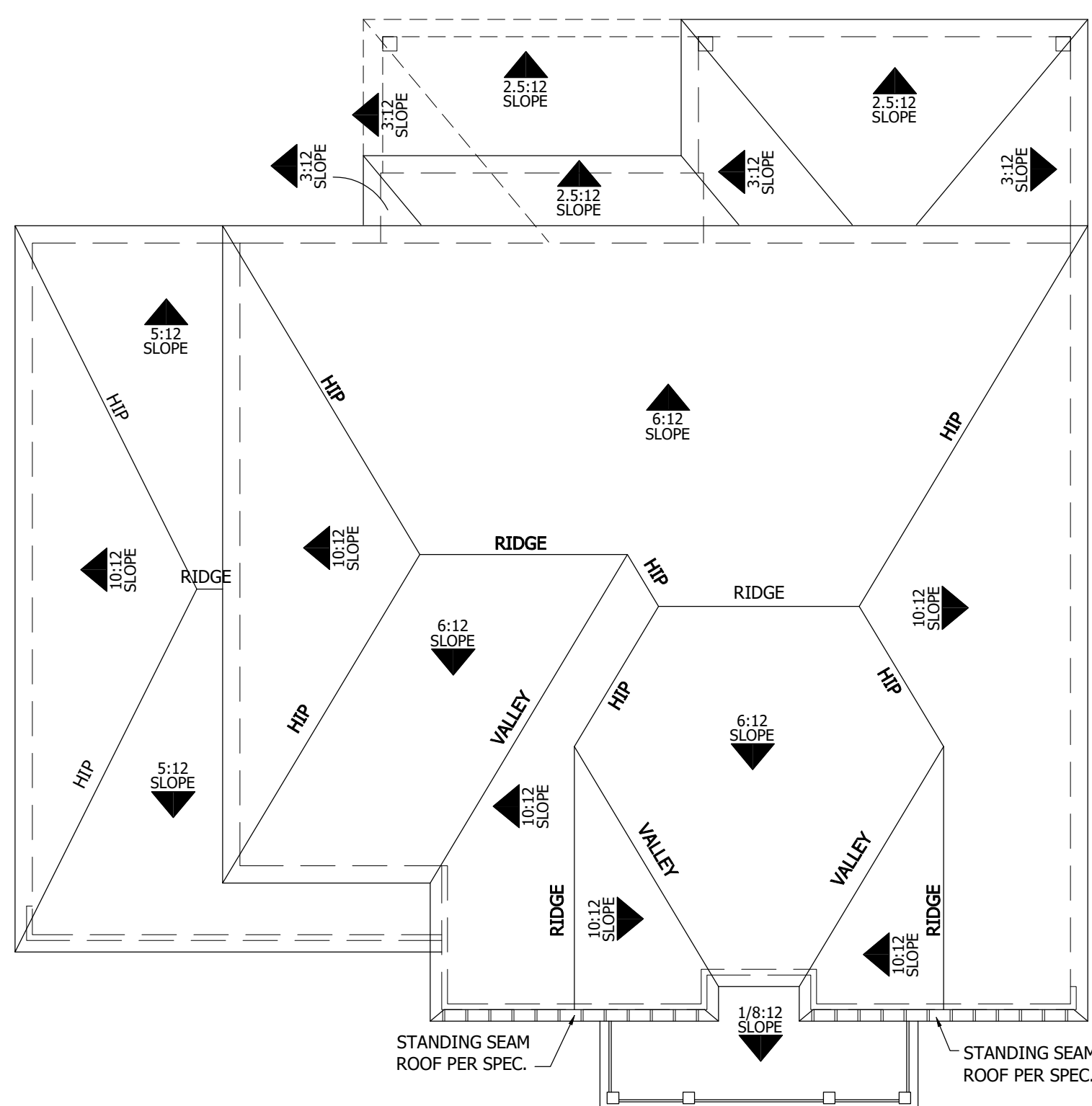
PLAN NUMBER  
**6005**

SHEET  
**A2.1E**

NOTES: SEE SHEET F2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET F9 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET F10 FOR HANDRAIL DETAILS



NOTE: FOR OVERHANGS, SEE DETAILS



**FIELDING HOMES**  
 227 W. TRADE ST., SUITE 1000  
 CHARLOTTE, NC 28202

**Fieldstone**  
 MINNESOTA OFFICE: (612) 697-0115  
 MICHIGAN OFFICE: (248) 622-4085  
 FLORIDA OFFICE: (813) 465-3810

**ELEVATION F - GEORGIAN**

CONTROL	RELEASE DATE	06-01-18
REV #	DATE/DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**6005**

SHEET  
**A2.1F**

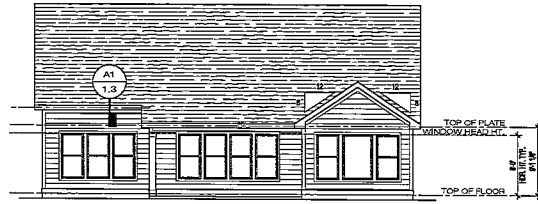
PLOTTED: June 9, 2016 / Eric Peterson / SHTS\_2\_ELEVATIONS.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22624 SHEETS - 11X17 SHEETS REPRESENT 1/2 SCALE PLOTS



**NOTES:**

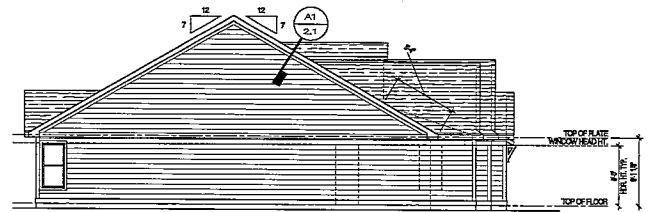
SEE SHEET A2 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET A7 FOR HANDRAIL, GARAGE DOOR  
 AND GARAGE DOOR TRIM DETAILS



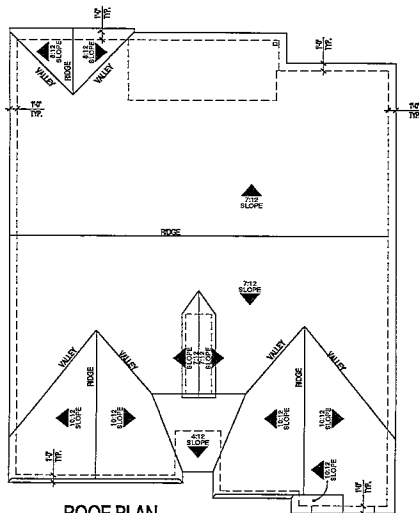
**REAR ELEVATION**  
 SCALE: 1/8"=1'-0"



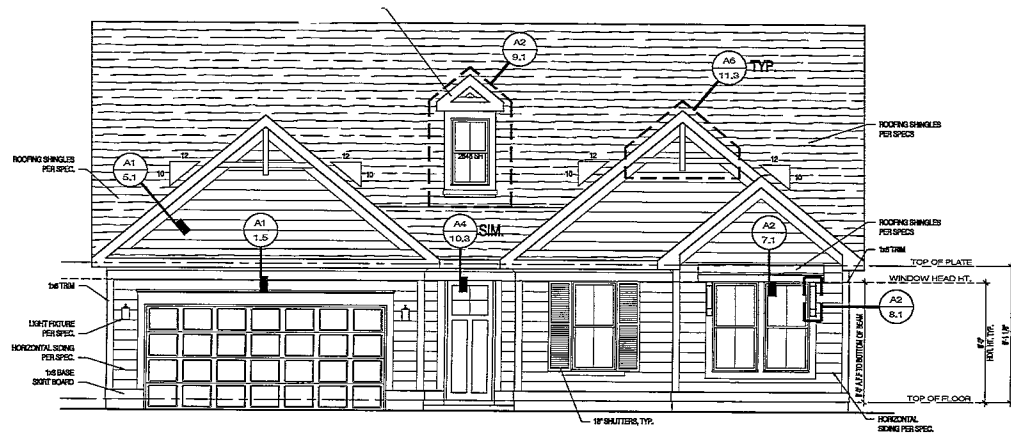
**RIGHT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
 SCALE: 1/8"=1'-0"



**ROOF PLAN**  
 SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
 SCALE: 1/8"=1'-0"

PLOTTED: Jan 20, 2018 / 1:56:38 PM / A2.1A ELEVATION - 1/8"=1'-0"

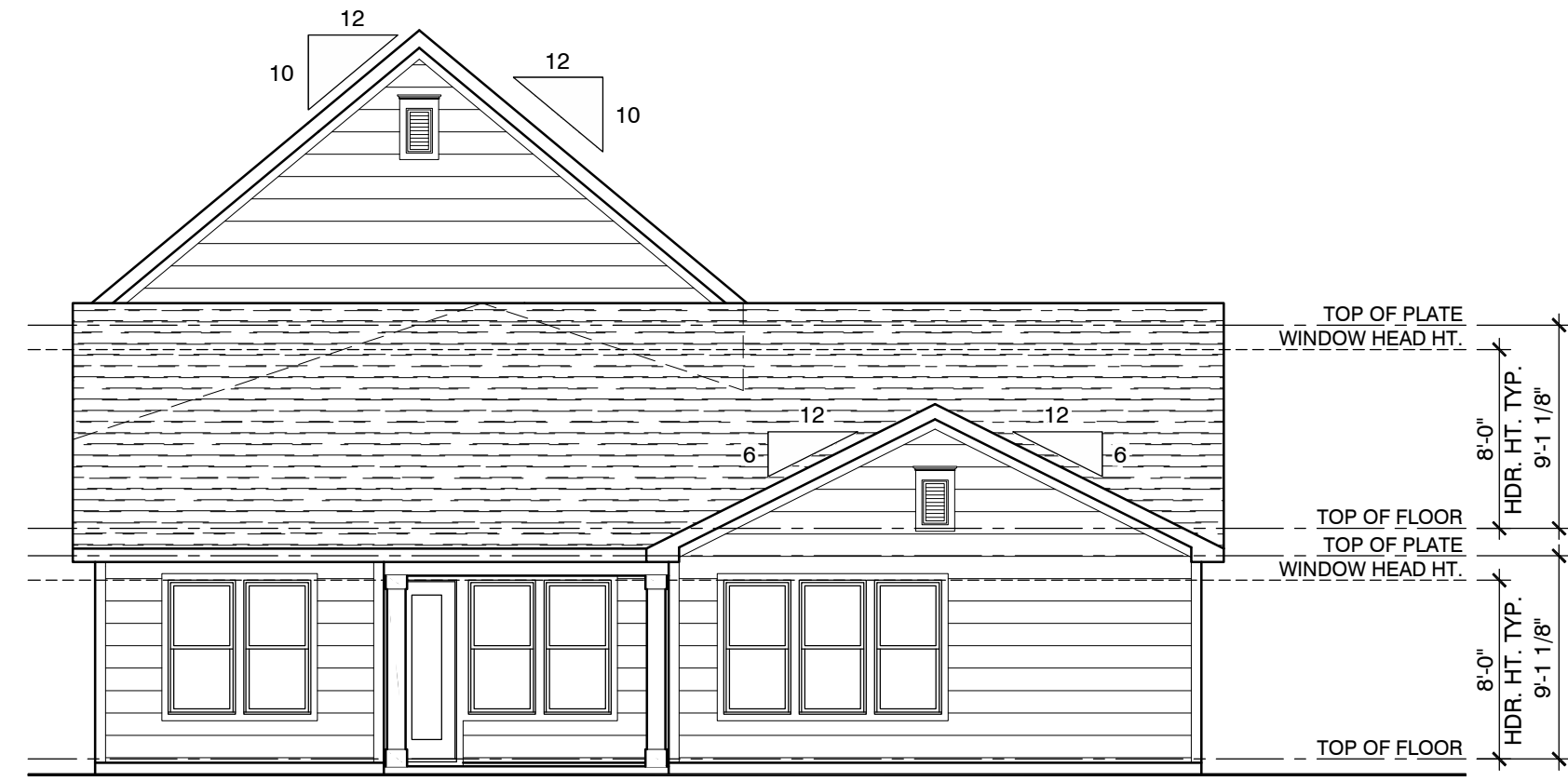
DATE: 01/20/2018 10:56:38 AM PROJECT: 1918-001-0101 SHEET: A2.1A OF 10

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/20/2018
2	ISSUED FOR PERMIT	01/20/2018
3	ISSUED FOR PERMIT	01/20/2018
4	ISSUED FOR PERMIT	01/20/2018
5	ISSUED FOR PERMIT	01/20/2018
6	ISSUED FOR PERMIT	01/20/2018
7	ISSUED FOR PERMIT	01/20/2018
8	ISSUED FOR PERMIT	01/20/2018
9	ISSUED FOR PERMIT	01/20/2018
10	ISSUED FOR PERMIT	01/20/2018

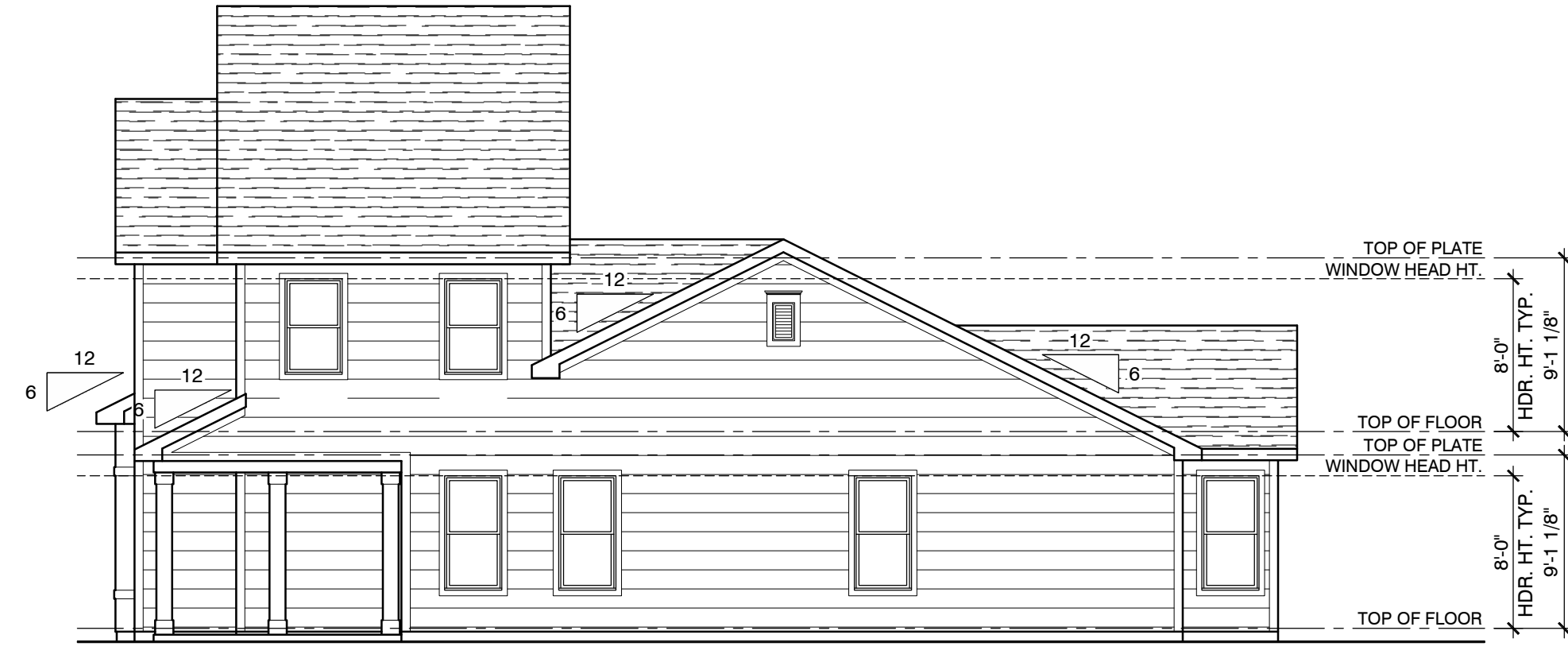
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01/20/2018
2	ISSUED FOR PERMIT	01/20/2018
3	ISSUED FOR PERMIT	01/20/2018
4	ISSUED FOR PERMIT	01/20/2018
5	ISSUED FOR PERMIT	01/20/2018
6	ISSUED FOR PERMIT	01/20/2018
7	ISSUED FOR PERMIT	01/20/2018
8	ISSUED FOR PERMIT	01/20/2018
9	ISSUED FOR PERMIT	01/20/2018
10	ISSUED FOR PERMIT	01/20/2018

PROJECT: 1918-001-0101 SHEET: A2.1A OF 10

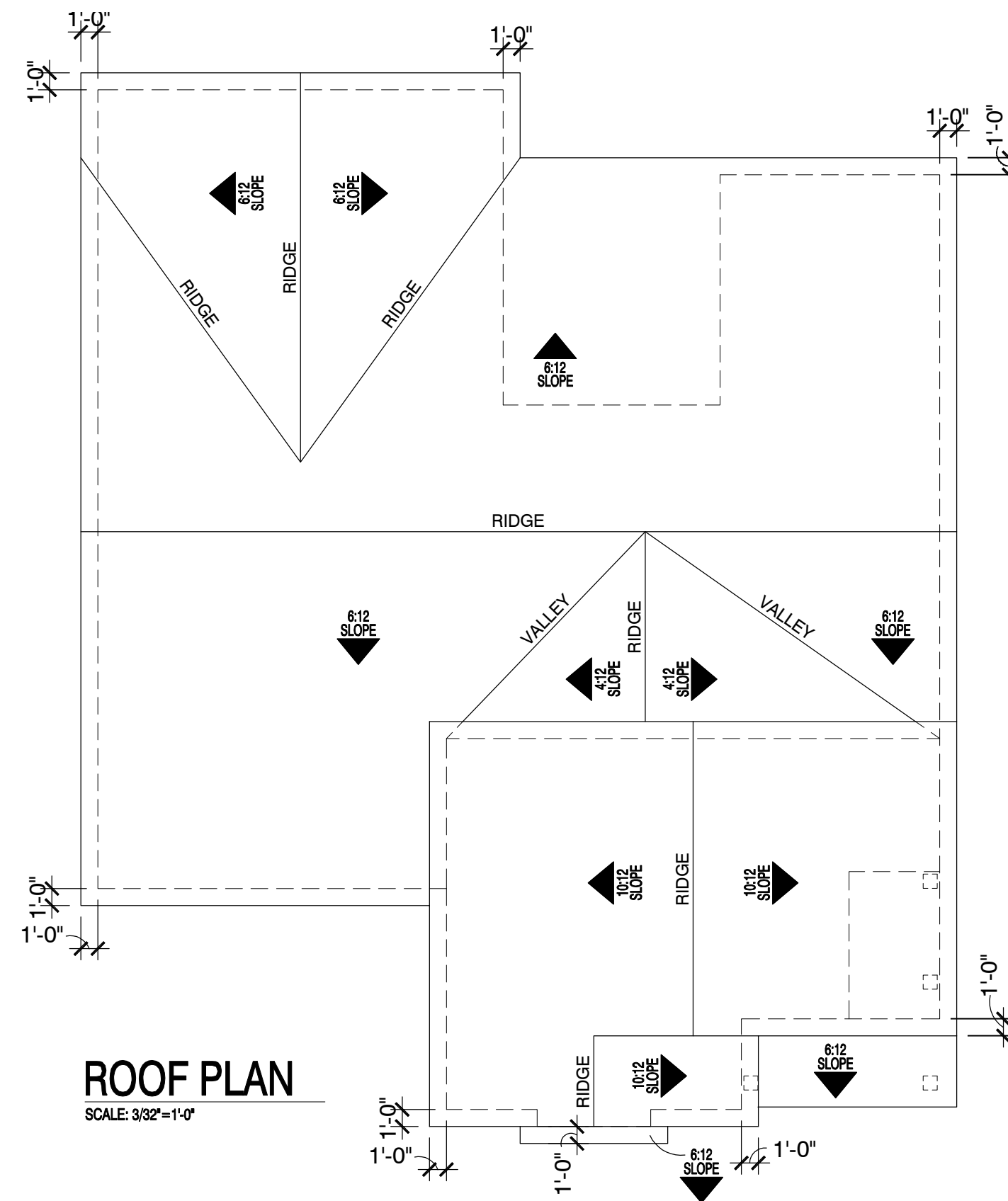
**A2.1A**



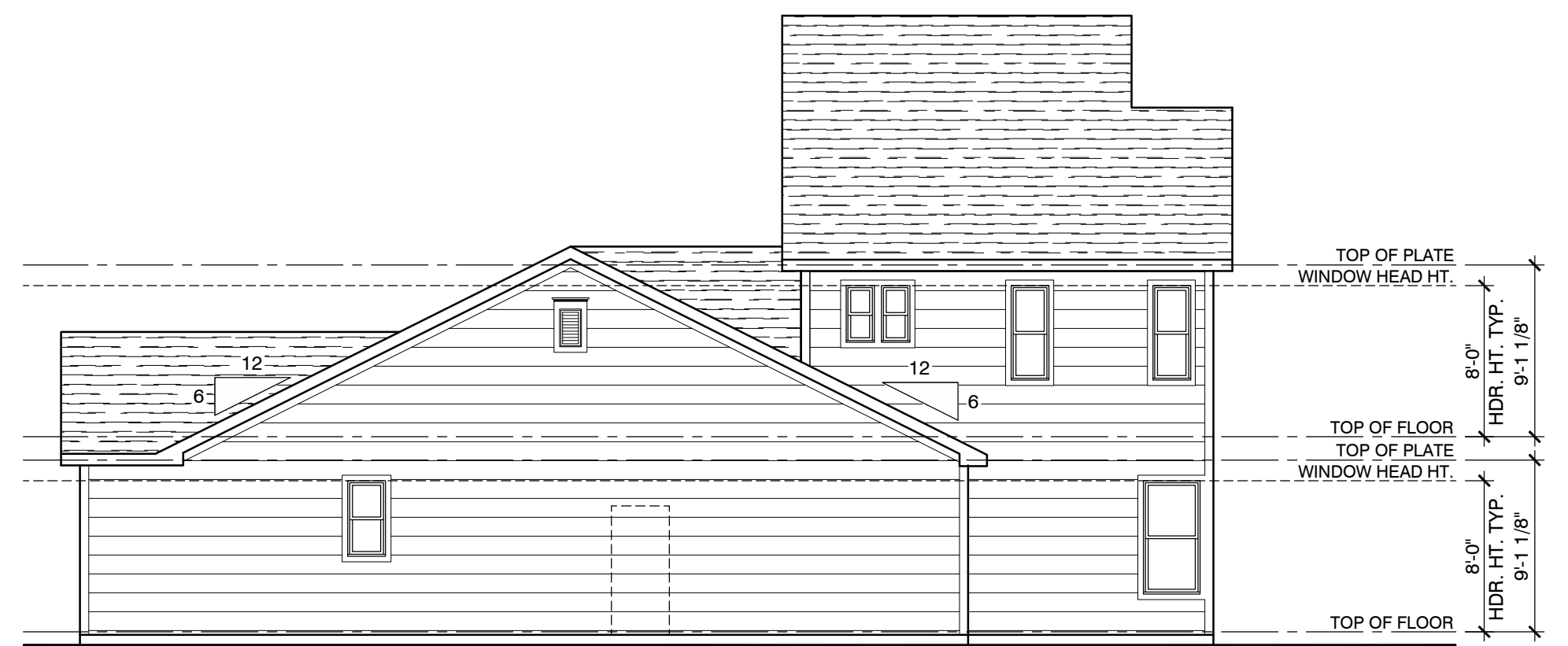
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



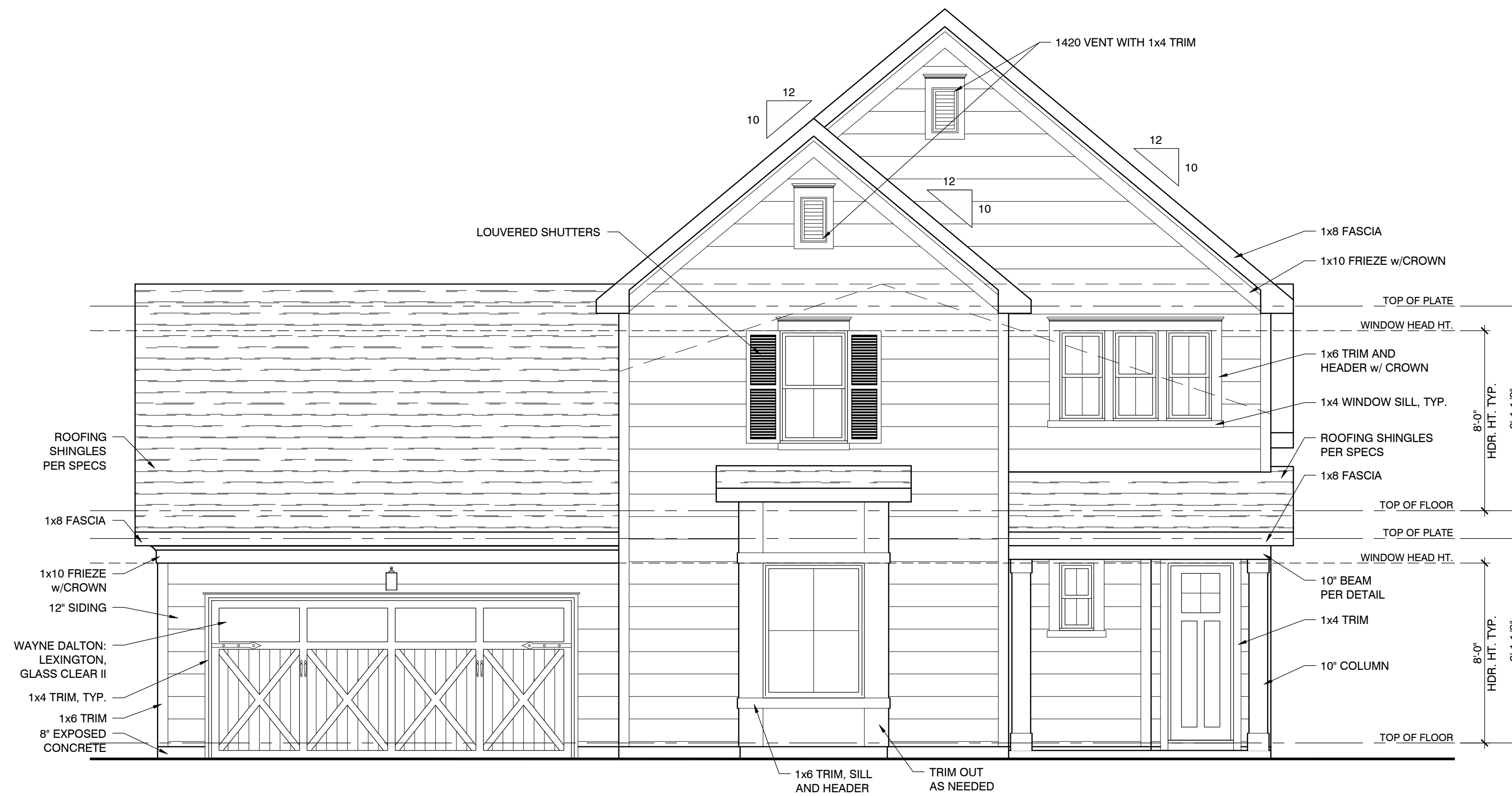
**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - UPCOUNTRY FARMHOUSE**  
SCALE: 1/4"=1'-0"

**NOTES:**  
SEE SHEET A1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET A4 FOR HANDRAIL, GARAGE DOOR  
AND GARAGE DOOR TRIM DETAILS



**Fieldstone**  
MINNESOTA OFFICE: (612) 871-0115  
MICHIGAN OFFICE: (248) 822-4035  
FLORIDA OFFICE: (813) 468-3310

**ELEVATION A -  
UPCOUNTRY FARMHOUSE**

REV #	DATE / DESCRIPTION

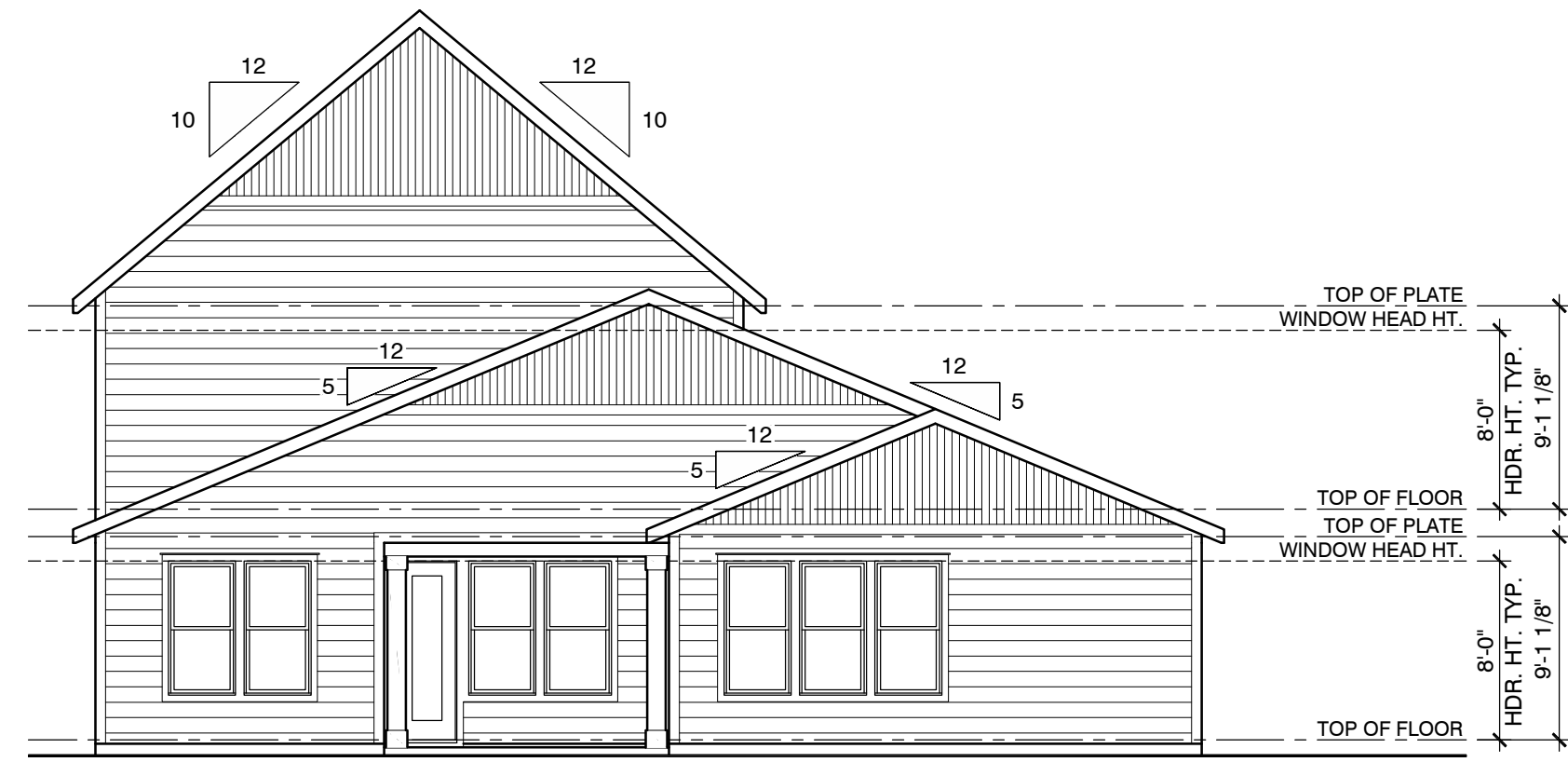
GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4911**

SHEET  
**A2.1A**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS -- 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

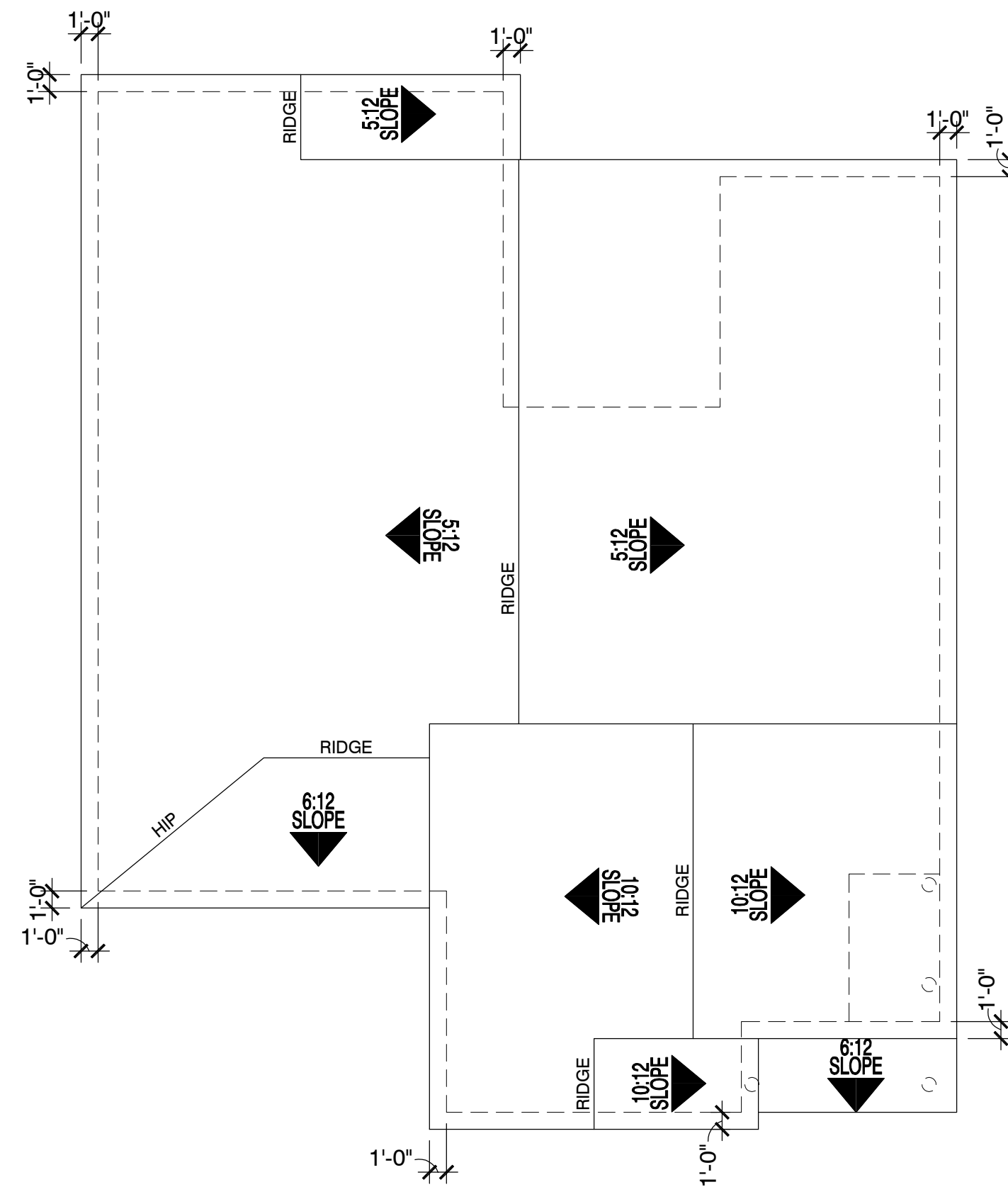
PLOTTED: September 12, 2016 / Eric Peterson / A2.1A ELEVATION - A.DWG



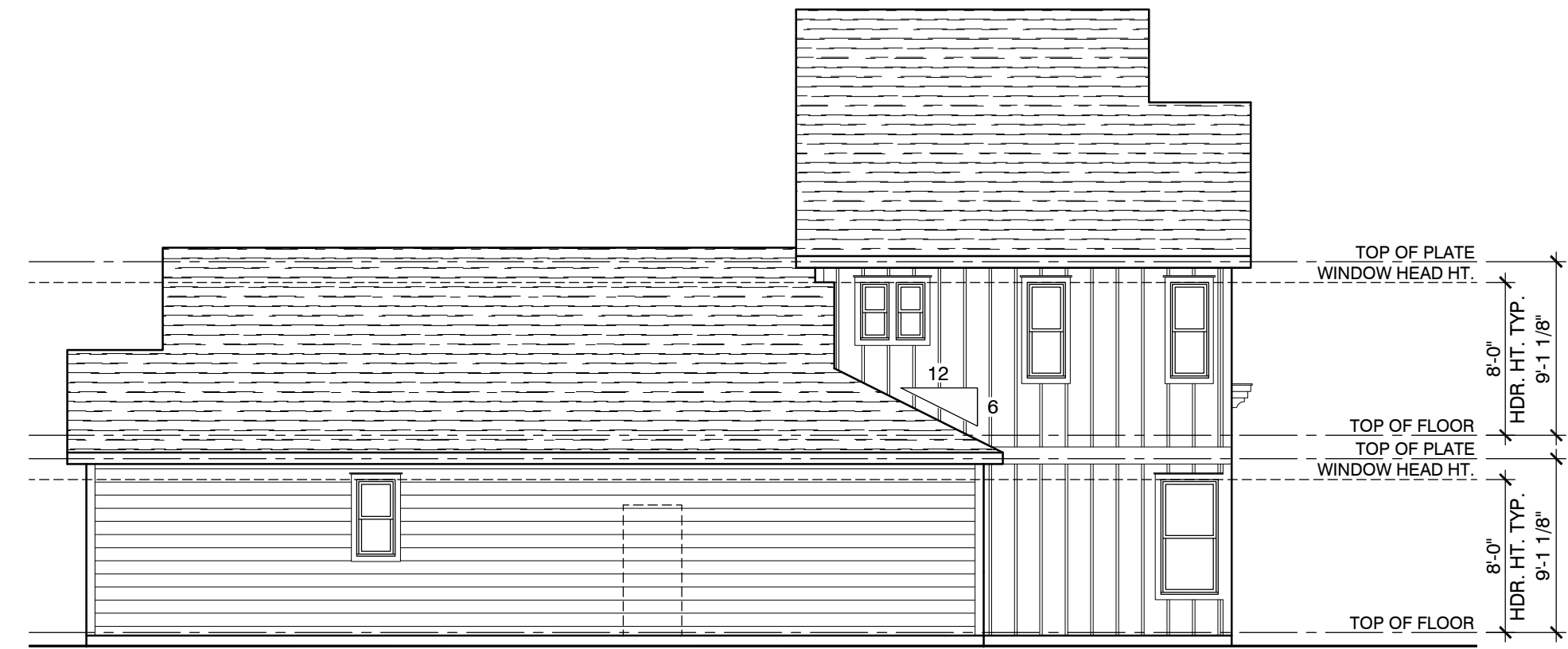
**REAR ELEVATION**  
SCALE: 1/8"=1'-0"



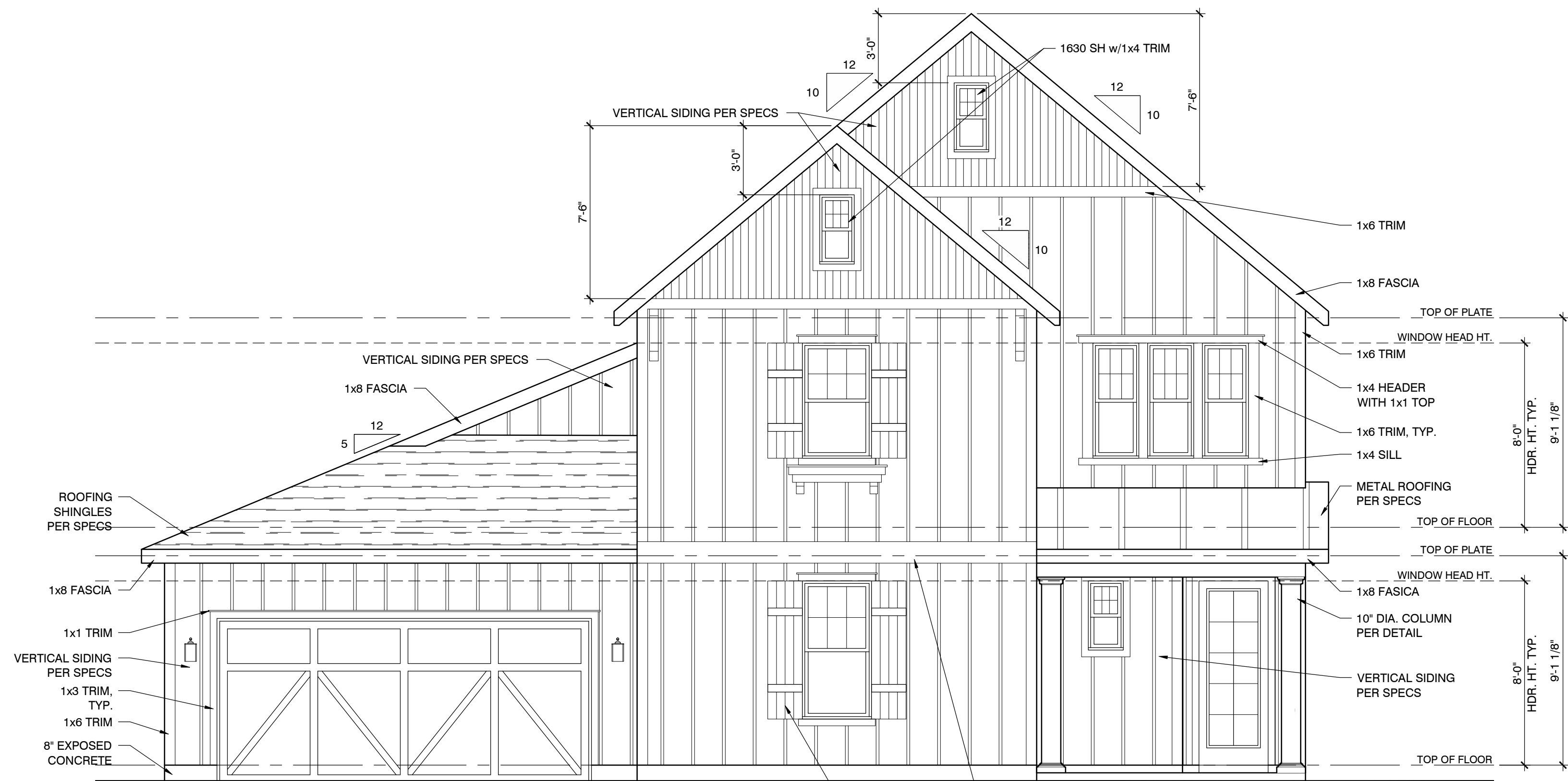
**RIGHT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**ROOF PLAN**  
SCALE: 3/32"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8"=1'-0"



**FRONT ELEVATION - PLANK COTTAGE**  
SCALE: 1/4"=1'-0"

**NOTES:**  
SEE SHEET B1 FOR ALL WINDOW TRIM DETAILS  
SEE SHEET B7 FOR HANDRAIL, GARAGE DOOR  
AND GARAGE DOOR TRIM DETAILS

CONTROL	RELEASE DATE	9-12-16
REV #	DATE / DESCRIPTION	

GARAGE HANDING  
**LEFT**

PLAN NUMBER  
**4911**

SHEET

**A2.1B**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

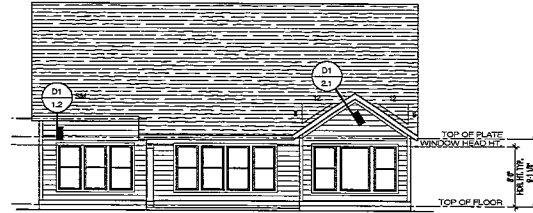




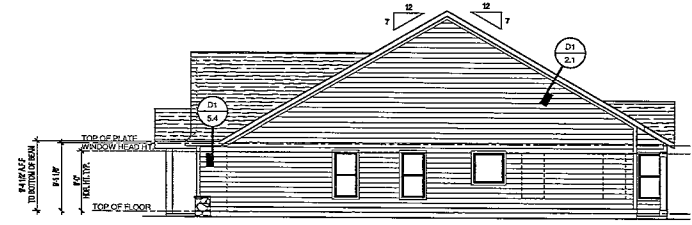


**NOTES:**

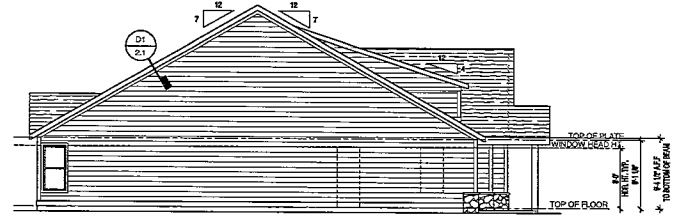
SEE SHEET D1 FOR ALL WINDOW TRIM DETAILS  
 SEE SHEET D11 FOR GARAGE DOOR AND GARAGE DOOR TRIM DETAILS  
 SEE SHEET D12 FOR HANDRAIL DETAILS



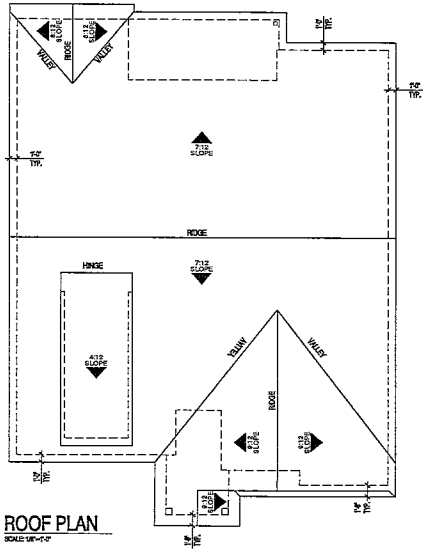
**REAR ELEVATION**  
SCALE 1/8"=1'-0"



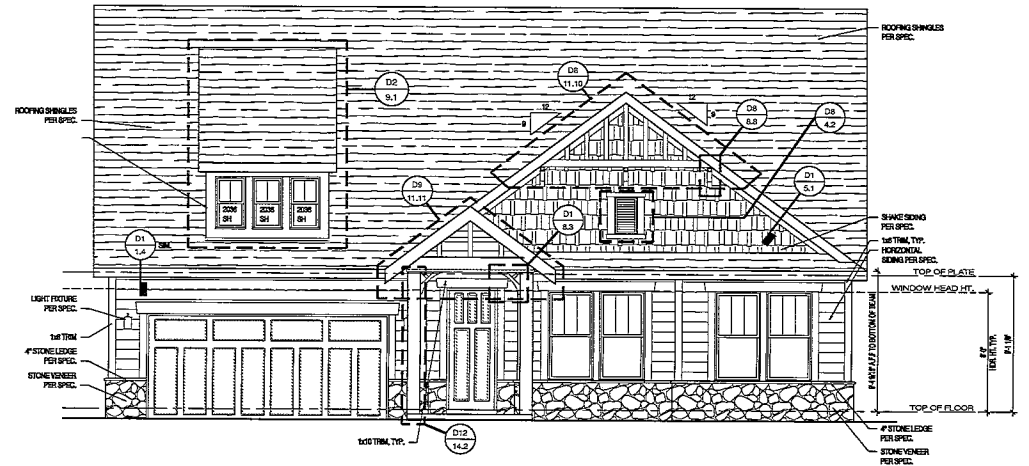
**RIGHT SIDE ELEVATION**  
SCALE 1/8"=1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/8"=1'-0"



**ROOF PLAN**  
SCALE 1/8"=1'-0"



**FRONT ELEVATION - SOUTHERN ARTS & CRAFTS**  
SCALE 1/8"=1'-0"



**ELEVATION D - SOUTHERN ARTS & CRAFTS**

DATE: 04/28/2015 10:45 AM PROJECT: 14901 SHEET: A2.1D

NO.	DESCRIPTION	DATE

PLAN NUMBER  
**14901**

HEET  
**A2.1D**

PLOTED: Jun 26, 2015 10:45 AM / User: P:\Users\j... / A2.1D (LAYOUT) - 010mg



