

# STAFF REPORT

Rezoning #19CZ15 Mt. Zion Church Rd PUD

October 15, 2019 Town Council Meeting



All property owners within three hundred (300) feet of this rezoning have been notified per UDO Sec. 2.2.11 "Public Notification".

## BACKGROUND INFORMATION:

**Location:** 2504, 2508, 2512, 2516 & 2600 Mt. Zion Church Road  
**Applicant:** Vaughn King  
**Engineer:** Jeff Roach, Peak Engineering & Design, PLLC  
**Owners:** Lector Atwater & Jerome Kenneth Atwater Heirs

## PROJECT DESCRIPTION:

**Acreeage:** +/- 11.30  
**PINs:** 0721432558, 0721433444, 0721435322, 0721434156 & 0721424940  
**Current Zoning:** Rural Residential (RR)  
**Proposed Zoning:** Planned Unit Development-Conditional Zoning (PUD-CZ)  
**2045 Land Use Map:** Medium Density Residential  
**Town Limits:** In ETJ

## ADJACENT ZONING & LAND USES:

	Zoning	Land Use
<b>North:</b>	Rural Residential (RR)	Single-family residential & Vacant
<b>South:</b>	Rural Residential (RR)	Vacant
<b>East:</b>	Planned Unit Development-Conditional Zoning (PUD-CZ #14CZ10)	Single-family residential
	Medium Density-Conditional Zoning (MD-CZ #15CZ10)	Single-family residential
	Rural Residential (RR)	Church or place of worship
<b>West:</b>	Rural Residential (RR)	Single-family residential & Vacant

## EXISTING CONDITIONS:

The site consists of five (5) parcels totaling +/- 11.30 acres. It is located on the western side of Mt. Zion Church Road. The lots are mostly vacant and wooded with a few cleared areas and patches of wetlands.

## NEIGHBORHOOD MEETING:

The applicant conducted a neighborhood meeting on June 26, 2019. The meeting report is attached to the staff report.

## 2045 LAND USE MAP:

The 2045 Land Use Map designates the site as Medium Density Residential. The applicant has proposed a rezoning to Planned Unit Development-Conditional Zoning with a maximum density of 4.1 dwelling units per acre. The density within the Medium Density Residential designation is between 3 and 7 dwelling units per acre. The proposed rezoning is a valid district within that Land Use Map designation.

## PLANNED UNIT DEVELOPMENT PLAN:

The applicant is proposing a Planned Unit Development with uses and development standards as follows:

### Proposed Uses:

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

# STAFF REPORT

Rezoning #19CZ15 Mt. Zion Church Rd PUD

October 15, 2019 Town Council Meeting



1. Accessory apartment
2. Single-family
3. Utility, minor
4. Recreation facility, private
5. Greenway
6. Park, active
7. Park, passive

## Architectural Conditions:

### Single-family residential standards:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. All single-family homes shall have a crawl space or have a raised foundation which at a minimum rises at least 20 inches from average grade across the front of the house to the finished floor level at the front door, unless they provide a first floor master bedroom. Zero-entry homes without the 20 inch rise are permitted if they provide the first floor master bedroom. Lots permitted as "zero-entry" shall be noted on the Final Plat.
3. Garage doors must have windows, decorative details or carriage-style adornments.
4. Front entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than 6 feet from the front façade or front porch. Any homes where the front entry garage protrudes more than 1 foot from the front façade or front porch shall provide one of the following additional decorative elements:
  - Window
  - Bay window
  - Decorative gable
  - Decorative cornice
  - Columns
  - Portico
  - Balcony
  - Dormer
  - Trellis
  - Arbor
6. The rear and side elevations of the units that can be seen from the right-of-way shall contain at least 3 decorative elements such as, but not limited to, the following elements:
  - Windows
  - Bay window
  - Recessed window
  - Decorative window
  - Trim around windows
  - Wrap around porch or side porch
    - Two or more building materials
    - Decorative brick/stone
    - Decorative trim
  - Decorative shake
  - Decorative air vents on gable
  - Decorative gable
  - Decorative cornice
  - Column
  - Portico
  - Balcony
  - Dormer
7. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
8. Eaves shall project at least 12 inches from the wall of the structure.
9. Front porches shall be a minimum of 6 feet deep.
10. No more than 25% of the lots may be accessed with J-driveways. There shall be no more than 3 such homes in a row on any single block. Any lots eligible for a J-driveway home shall be identified on the Final Plat.
11. All single-family detached residential homes shall be pre-configured with conduit for a solar energy system.

# STAFF REPORT

Rezoning #19CZ15 Mt. Zion Church Rd PUD

October 15, 2019 Town Council Meeting



Proposed Design Controls:	PUD Proposal
Maximum Density – Residential:	4.1 units/acre
Maximum Residential Units:	46
Minimum Lot Size:	4,000 ft <sup>2</sup>
Maximum Building Height:	45 feet
Maximum Built-Upon Area:	70%
Building Setbacks:	
Front:	5 feet
Side:	5 feet
Rear:	20 feet
Building side to side:	10 feet

## Proposed RCA & Buffers:

The project complies with the UDO requirement to preserve or establish at least 25% of the project as RCA. This application was submitted before the UDO amendment was approved to change the penalty for mass-grading single-family subdivisions from 2% to 5% RCA. The applicant could have maintained the 2% requirement, but they are proposing to follow the new 5% RCA requirement.

Buffers	PUD Proposal	UDO Requirement
North:	10' Type B	10' Type B
South:	10' Type B	10' Type B
Mt. Zion Church Rd (east):	30' Type B	10' Type A
West:	10' Type B	10' Type B

A berm will also be constructed along Mt. Zion Church Road where significant vegetation does not exist.

## Public Facilities:

Mt. Zion Church Road PUD will be served by Town of Apex water, sanitary sewer, and electrical systems. The utility design will be finalized at Master Subdivision Plan Review. A conceptual plan is included in the PUD Plan for reference. Public water is currently provided by a water main in Mt. Zion Church Road. The existing sanitary sewer is located in Firenza Drive near the intersection with Mt. Zion Church Road.

## Apex Transportation Plan/Access and Circulation:

The proposed development is consistent with the Apex Transportation Plan. The PUD proposes a single full-movement access to Mt. Zion Church Road, an existing two-lane Minor Collector Street on the Thoroughfare and Collector Street Plan. The PUD shall provide sidewalks along both sides of all internal streets. The PUD allows for future connectivity, as depicted on the plan sheets.

Consistent with the UDO, this proposal does not warrant a traffic study. However, this project shall provide for the following improvements, as coordinated with the NCDOT and the Town of Apex:

Mt. Zion Church Road:

The Developer shall construct the full frontage improvements along Mt. Zion Church Road per the adopted Town of Apex Transportation Plan. Mt. Zion Church Road is identified as a two (2) lane Minor Collector and will be constructed to meet the Town's standards and specifications.

Mt. Zion Church Road at Site Drive #1 (intersection with Medoc Mountain Point):

## STAFF REPORT

Rezoning #19CZ15 Mt. Zion Church Rd PUD

October 15, 2019 Town Council Meeting



The developer shall construct single lane eastbound and westbound approaches with stop control from the development.

### **PARKS, RECREATION, AND CULTURAL RESOURCES ADVISORY COMMISSION:**

Based on the Bike Apex and the Parks, Recreation, Greenways, and Open Space Master Plan Maps, greenways and parks are not identified on this property. On August 28, 2019, the Town of Apex Parks, Recreation, and Cultural Resources Advisory Commission recommended with Parks & Recreation staff support, the acceptance of a fee in lieu of public land dedication for the project. The fee-in-lieu for a single-family detached dwelling is \$3,395.67 per acre. The estimated total fee-in-lieu is:

$$46 \text{ single-family detached units} \quad \times \quad \$3,395.67 \quad = \quad \$156,200.82$$

### **PLANNING STAFF RECOMMENDATION:**

Planning staff recommends approval of the rezoning as submitted by the applicant.

### **PLANNING BOARD RECOMMENDATION:**

Planning Board will hear this project at their October 14, 2019 meeting. Planning Staff will convey the recommendation during the Town Council meeting scheduled for October 15, 2019.

### **ANALYSIS STATEMENT OF THE REASONABLENESS OF THE PROPOSED REZONING:**

This Statement will address consistency with the Town's comprehensive and other applicable plans, reasonableness, and effect on public interest:

The 2045 Land Use Map designates the site as Medium Density Residential. The applicant has proposed a rezoning to Planned Unit Development-Conditional Zoning with a maximum density of 4.1 dwelling units per acre. The density within the Medium Density Residential designation is between 3 and 7 dwelling units per acre. The proposed PUD-CZ zoning district is a valid district within that Land Use Map designation.

The proposed rezoning is reasonable and in the public interest because it will allow this property to develop in a way that is consistent with the surrounding areas and provides increased perimeter buffer widths over the UDO standards and sidewalks along both sides of internal streets.

### **PLANNED UNIT DEVELOPMENT DISTRICT AND CONDITIONAL ZONING STANDARDS:**

#### ***Standards***

In return for greater flexibility in site design requirements, Planned Development (PD) Districts are expected to deliver exceptional quality community designs that preserve critical environmental resources; provide high quality community amenities; incorporate creative design in the layout of buildings, Resource Conservation Area and circulation; ensure compatibility with surrounding land uses and neighborhood character; provide high quality architecture; and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure. The Planned Development (PD) Districts shall not be used as a means of circumventing the Town's adopted land development regulations for routine developments.

#### **1) *Planned Unit Development (PUD-CZ) District***

In approving a Planned Development (PD) Zoning District designation for a PUD-CZ, the Town Council shall find the PUD-CZ district designation and PD Plan for PUD-CZ demonstrates compliance with the following standards:

##### **a) *Development parameters***

- (i) The uses proposed to be developed in the PD Plan for PUD-CZ are those uses permitted in Sec. 4.2.2 Use Table.**



- (ii) The uses proposed in the PD Plan for PUD-CZ can be entirely residential, entirely non-residential, or a mix of residential and non-residential uses, provided a minimum percentage of non-residential land area is included in certain mixed use areas as specified on the 2045 Land Use Map. The location of uses proposed by the PUD-CZ must be shown in the PD Plan with a maximum density for each type of residential use and a maximum square footage for each type of non-residential use.
  - (iii) The dimensional standards in Sec. 5.1.3 *Table of Intensity and Dimensional Standards, Planned Development Districts* may be varied in the PD Plan for PUD-CZ. The PUD-CZ shall demonstrate compliance with all other dimensional standards of the UDO, North Carolina Building Code, and North Carolina Fire Code.
  - (iv) The development proposed in the PD Plan for PUD-CZ encourages cluster and compact development to the greatest extent possible that is interrelated and linked by pedestrian ways, bikeways and other transportation systems. At a minimum, the PD Plan must show sidewalk improvements as required by the Apex Transportation Plan and the *Town of Apex Standard Specifications and Standard Details*, and greenway improvements as required by the Town of Apex Parks, Recreation, Greenways, and Open Space Plan and the Apex Transportation Plan. In addition, sidewalks shall be provided on both sides of all streets for single-family detached homes.
  - v) The design of development in the PD Plan for PUD-CZ results in land use patterns that promote and expand opportunities for walkability, connectivity, public transportation, and an efficient compact network of streets. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing or proposed street system in the surrounding area indicate that a through street is not essential in the location of the proposed cul-de-sac, or where sensitive environmental areas such as streams, floodplains, and wetlands would be substantially disturbed by making road connections.
  - (vi) The development proposed in the PD Plan for PUD-CZ is compatible with the character of surrounding land uses and maintains and enhances the value of surrounding properties.
  - (vii) The development proposed in the PD Plan for PUD-CZ has architectural and design standards that are exceptional and provide higher quality than routine developments. All residential uses proposed in a PD Plan for PUD-CZ shall provide architectural elevations representative of the residential structures to be built to ensure the Standards of this Section are met.
- b) *Off-street parking and loading.* The PD Plan for PUD-CZ shall demonstrate compliance with the standards of Sec. 8.3 *Off-Street Parking and Loading*, except that variations from these standards may be permitted if a comprehensive parking and loading plan for the PUD-CZ is submitted as part of the PD Plan that is determined to be suitable for the PUD-CZ, and generally consistent with the intent and purpose of the off-street parking and loading standards.
  - c) *RCA.* The PD Plan for PUD-CZ shall demonstrate compliance with Sec. 8.1.2 *Resource Conservation Area*, except that the percentage of RCA required under Sec. 8.1.2 may be reduced by the Town Council by no more than two percent (2%) provided that:
    - (i) The PD Plan for PUD-CZ includes a non-residential component; or
    - (ii) The PD Plan for PUD-CZ has an overall density of 6 residential units per acre or more.
  - d) *Landscaping.* The PD Plan for PUD-CZ shall demonstrate compliance with the standards of Sec. 8.2



- Landscaping, Buffering and Screening*, except that variations from these standards may be permitted where it is demonstrated that the proposed landscaping sufficiently buffers uses from each other, ensures compatibility with land uses on surrounding properties, creates attractive streetscapes and parking areas and is consistent with the character of the area. In no case shall a buffer be less than one half of the width required by Sec. 8.2 or 10 feet in width, whichever is greater.
- e) *Signs*. Signage in the PD Plan for PUD-CZ shall demonstrate compliance with Sec. 8.7 *Signs*, except that the standards can be varied if a master signage plan is submitted for review and approval concurrent with the PD plan and is determined by the Town Council to be suitable for the PUD-CZ and generally consistent with the intent and purpose of the sign standards of the UDO. The master signage plan shall have design standards that are exceptional and provide for higher quality signs than those in routine developments and shall comply with Sec. 8.7.2 *Prohibited Signs*.
- f) *Public facilities*. The improvements standards and guarantees applicable to the public facilities that will serve the site shall comply with Article 7: *Subdivision* and Article 14: *Parks, Recreation, Greenways, and Open Space*.
- (i) The PD Plan for PUD-CZ demonstrates a safe and adequate on-site transportation circulation system. The on-site transportation circulation system shall be integrated with the off-site transportation circulation system of the Town. The PD Plan for PUD-CZ shall be consistent with the Apex Transportation Plan and the *Town of Apex Standard Specifications and Standard Details* and show required right-of-way widths and road sections. A Traffic Impact Analysis (TIA) shall be required per Sec. 13.19.
- (ii) The PD Plan for PUD-CZ demonstrates a safe and adequate on-site system of potable water and wastewater lines that can accommodate the proposed development, and are efficiently integrated into off-site potable water and wastewater public improvement plans. The PD Plan shall include a proposed water and wastewater plan.
- (iii) Adequate off-site facilities for potable water supply, sewage disposal, solid waste disposal, electrical supply, fire protection and roads shall be planned and programmed for the development proposed in the PD Plan for PUD-CZ, and the development is conveniently located in relation to schools and police protection services.
- (iv) The PD Plan shall demonstrate compliance with the parks and recreation requirements of Sec. Article 14: *Parks, Recreation, Greenways, and Open Space* and Sec. 7.3.1 *Privately-owned Play Lawns* if there is a residential component in the PUD-CZ.
- g) *Natural resource and environmental protection*. The PD Plan for PUD-CZ demonstrates compliance with the current regulatory standards of this Ordinance related to natural resource and environmental protection in Sec. 6.1 *Watershed Protection Overlay District*, Sec. 6.2 *Flood Damage Prevention Overlay District*, and Sec. 8.1 *Resource Conservation*.
- h) *Storm water management*. The PD Plan shall demonstrate that the post-development rate of on-site storm water discharge from the entire site shall not exceed pre-development levels in accordance with Sec. 6.1.7 of the UDO.
- i) *Phasing*. The PD Plan for PUD-CZ shall include a phasing plan for the development. If development of the PUD-CZ is proposed to occur in more than one phase, then guarantees shall be provided that project improvements and amenities that are necessary and desirable for residents of the project, or that are of benefit to the Town, are constructed with the first phase of the project, or, if this is not possible, then as early in the project as is technically feasible.

## STAFF REPORT

Rezoning #19CZ15 Mt. Zion Church Rd PUD

October 15, 2019 Town Council Meeting



- j) *Consistency with 2045 Land Use Map.* The PD Plan for PUD-CZ demonstrates consistency with the goals and policies established in the Town's 2045 Land Use.
- k) *Complies with the UDO.* The PD Plan for PUD-CZ demonstrates compliance with all other relevant portions of the UDO.

### LEGISLATIVE CONSIDERATIONS

The Town Council shall find the Planned Unit Development–Conditional Zoning designation demonstrates compliance with the following standards. 2.3.3(F):

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest.

- 1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.
- 2) *Compatibility.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.
- 3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.
- 4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use's minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.
- 5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use's minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.
- 6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use's avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.
- 7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use's effect on the health, safety, or welfare of the residents of the Town or its ETJ.
- 8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.
- 9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.
- 10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

Rezoning #19CZ15

Stillwater

Buckhorn Preserve

FIRENZA DR

KENNA CREEK BND

MT ZION CHURCH RD

MOUNT JEFFERSON TRL

MCRORY WAY

Parkside PUD

McKenzie Ridge

RICHARDSON RD

PINEOLABOG TRL

LOGAN VALLEY PATH

MACINTOSH WOODS DR

LAKE WACCANAW TRL

GREGOR OVERLOOK LN

Friendship Station PUD

WEYMOUTH WOODS TRL



## PLANNED UNIT DEVELOPMENT APPLICATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Application #: \_\_\_\_\_ Submittal Date: \_\_\_\_\_  
Fee Paid \$ \_\_\_\_\_ Check # \_\_\_\_\_

## PETITION TO AMEND THE OFFICIAL ZONING DISTRICT MAP

Project Name: Mt. Zion Church Road Assembly  
Address(es): 2504, 2508, 2512, 2516 and 2600 Mt. Zion Church Road  
PIN(s) 0721-43-2558, 0721-43-5444, 0721-43-5322, 0721-43-4156, 0721-42-4940  
Acreage: 11.30

Current Zoning: RR - Rural Residential Proposed Zoning: PUD - CZ  
Current 2045 LUM Designation: Medium Density Residential  
Requested 2045 LUM Designation: no change  
See next page for LUM amendment

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use: Acreage: \_\_\_\_\_  
Area proposed as non-residential development: Acreage: \_\_\_\_\_  
Percent of mixed use area proposed as non-residential: Percent: \_\_\_\_\_

## Applicant Information

Name: Vaughn King  
Address: PO Box 1328  
City: Cary State: NC Zip: 27512  
Phone: (919) 367-5923 E-mail: vaughnking5@gmail.com

## Owner Information

Name: See Attached List  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone: \_\_\_\_\_ E-mail: vaughnking5@gmail.com

## Agent Information

Name: Peak Engineering & Design, PLLC - Jeff Roach  
Address: 1125 Apex Peakway  
City: Apex State: NC Zip: 27502  
Phone: (919) 439-0100 E-mail: jroach@peakengineering.com  
Other contacts: Jonathan Edwards (jedwards@peakengineering.com)  
Daniel Woods (dwoods@peakengineering.com)



## **Mt. Zion Church Road PUD Assembly Property Owner Information**

Lector Marie Atwater  
2504 Mt. Zion Church Road  
Apex, NC 27502  
0721-43-2558  
2.97 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-5444  
1.16 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-5322  
1.16 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-4156  
1.41 acres

Lector Marie Atwater  
2504 Mt. Zion Church Road  
Apex, NC 27502  
0721-42-4940  
4.60 acres



**CERTIFIED LIST OF NEIGHBORING PROPERTY OWNERS**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

Provide a certified list of property owners subject to this application and all property owners within 300' of the subject property and HOA Contacts.

	Owner's Name	PIN
1.	SEE ATTACHED LIST	
2.	_____	_____
3.	_____	_____
4.	_____	_____
5.	_____	_____
6.	_____	_____
7.	_____	_____
8.	_____	_____
9.	_____	_____
10.	_____	_____
11.	_____	_____
12.	_____	_____
13.	_____	_____
14.	_____	_____
15.	_____	_____

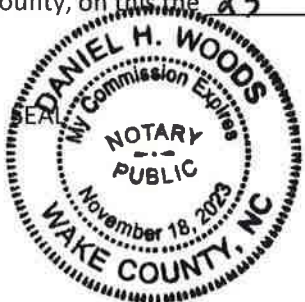
I, Jonathan Edwards, certify that this is an accurate listing of all property owners and property owners within 300' of the subject property

Date: June 24, 2019

By: *Jonathan Edwards*

COUNTY OF WAKE STATE OF NORTH CAROLINA

Sworn and subscribed before me, DANIEL WOODS, a Notary Public for the above State and County, on this the 25 day of JUNE, 2019.



*Daniel H Woods*  
Notary Public

DANIEL H WOODS  
Print Name

My Commission Expires: 11/18/23

HOLLAND, UVA R  
370 M T HOLLAND RD  
APEX NC 27523-5704  
0721328550

HOLLAND, UVA LEE RICHARDSON  
370 M T HOLLAND RD  
APEX NC 27523-5704  
0721328679

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721332548

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721334468

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721334510

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721334658

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721334685

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721334721

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721335407

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721335623

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336226

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336331

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336346

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336396

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336451

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336455

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336459

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336553

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336557

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119.  
0721336651

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721336655

CALATLANTIC GROUP, INC  
1100 PERIMETER PARK DR STE 112  
MORRISVILLE NC 27560-9119  
0721345460

WRIGHT, CHERYL RENEE WALDEN & ELTON  
ROLAND  
2732 RICHARDSON RD  
APEX NC 27502-7879  
0721422231

HOLLAND, UVA LEE RICHARDSON  
370 M T HOLLAND RD  
APEX NC 27523-5704  
0721422742

ATWATER, LECTOR MARIE  
2504 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721424940

WALDEN, JEAN HOLLOWAY  
909 POWELL DR  
RALEIGH NC 27606-1629  
0721425141

HOLLAND, UVA R  
370 M T HOLLAND RD  
APEX NC 27523-5704  
0721425439

WALDEN, JEAN HOLLOWAY  
909 POWELL DR  
RALEIGH NC 27606-1629  
0721426316

BELLA CASA HOMEOWNERS ASSOCIATION, INC  
OMEGA ASSOCIATION MANAGEMENT  
160 NE MAYNARD RD STE 210  
CARY, NC 27513-9676  
0721426883

MT ZION BAPTIST CHURCH TRUSTEES  
HEZZIE MORRISSON  
PO BOX 10  
NEW HILL NC 27562-0010  
0721427697

PALMER, KENNETH & ANNA M  
2829 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721427843

BARRETT, LATOSHA & JERMAINE L  
2830 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721427939

MT ZION BAPTIST CHURCH  
HEZZIE MORRISSON  
PO BOX 10  
NEW HILL NC 27562-0010  
0721428401

HOLDER, KEITH A & JOY R  
2825 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721428823

FALLOWS, ERIC A & SARAH  
2821 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721428892

SUBBURAYALU, KRISHNARAJ & ANUSHYA  
2826 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721428919

MT ZION BAPTIST CHURCH  
C/O HEZZIE MORRISSON  
PO BOX 10  
NEW HILL NC 27562-0010  
0721429486

SANDERS, GLADYS W  
2813 CREECH RD  
RALEIGH NC 27610-5844  
0721429597

WACHHOLZ, AARON JAMES & SARA M  
2815 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721429779

RASH, JOHN F & ALLISON K  
2820 MEDOC MOUNTAIN PT  
APEX NC 27502-9682  
0721429949

RICHARDSON, CURTIS W & JEFFREY D  
2713 RICHARDSON RD  
APEX NC 27502-7880  
0721430214

HOLLAND, UVA LEE RICHARDSON  
370 M T HOLLAND RD  
APEX NC 27523-5704  
0721431773

ATWATER, LECTOR MARIE R  
2504 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721432558

ATWATER, JEROME KENNETH HEIRS  
DONNA ATWATER  
179 ARLINGTON AVE  
JERSEY CITY NJ 07305-4438  
0721434156

ATWATER, JEROME KENNETH HEIRS  
DONNA ATWATER  
179 ARLINGTON AVE  
JERSEY CITY NJ 07305-4438  
0721435322

ATWATER, JEROME KENNETH HEIRS  
DONNA ATWATER  
179 ARLINGTON AVE  
JERSEY CITY NJ 07305-4438  
0721435444

RICHARDSON, DOROTHY MAE HEIRS CHARLES  
WALDEN  
2432 MT. ZION CHURCH RD  
APEX NC 27502-9637  
0721436885

JAKKAMPUDI, NARSIMHA K & KOPPULA, UDAYA  
REKHA 2008 GOOSE CREEK TRL APEX NC  
27502-8577  
0721437079

BELLA CASA HOMEOWNERS ASSOCIATION, INC  
OMEGA ASSOCIATION MANAGEMENT  
160 NE MAYNARD RD STE 210  
CARY NC 27513-9676  
0721437100

ARYA, ANISH & SINGH, NUPOOR  
2004 GOOSE CREEK TRL  
APEX NC 27502-8577  
0721437198

SCHUTTE, DANIEL E & ADRIENNE  
2515 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721438248

GAVRYUCHKOV, MIKHAIL & EVGENIA  
2513 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721438354

ADAMS, EDWARD PATRICK JR & APRIL  
LINEBACK  
2511 MOUNT ZION CHURCH RD  
APEX NC 27502-9636

0721438460

DIAZ, BRIAN & TRANG NGUYEN  
2509 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721438476

THOMAS, ROBERT & CAPUTO-THOMAS,  
ROSANN  
2507 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721438582

MASON, SCOTT A & KATHLEEN P  
2505 MOUNT ZION CHURCH RD  
APEX NC 27502-9636  
0721438598

BELLA CASA HOMEOWNERS ASSOCIATION, INC  
OMEGA ASSOCIATION MANAGEMENT  
160 NE MAYNARD RD STE 210  
CARY NC 27513-9676  
0721438679

BELLA CASA HOMEOWNERS ASSOCIATION, INC  
OMEGA ASSOCIATION MANAGEMENT  
160 NE MAYNARD RD STE 210  
CARY NC 27513-9676  
0721439148

SANDERS, DANIEL & CHARLA  
1989 FIRENZA DR  
APEX NC 27502-9668  
0721439619

REILLY, DANIEL THOMAS & KIMBERLY  
1985 FIRENZA DR  
APEX NC 27502-9668  
0721439668

BELLA CASA HOMEOWNERS ASSOCIATION, INC  
OMEGA ASSOCIATION MANAGEMENT  
160 NE MAYNARD RD STE 210  
CARY NC 27513-9676  
0721439827

MASAMBA, ESPERANCE &  
LUNGENI, LAMBION  
1990 FIRENZA DR  
APEX NC 27502-9667  
0721439845

KUE, XIA & JODY  
1986 FIRENZA DR  
APEX NC 27502-9667  
0721439894

RICHARDSON, ANTHONY & DELOIS  
1825 CAR CREEK RD  
SANFORD NC 27332  
0721442048

BADER, DEWAN & LITA  
2817 BLADEN LAKES CV  
APEX NC 27502-8585  
0721530405

RIEGO, DUSTIN B & BETHANY H  
2816 BLADEN LAKES CV  
APEX NC 27502-8585  
0721530477



OTTEN, CHRISTOPHER G & CASEY C  
1981 FIRENZA DR  
APEX NC 27502-9668  
0721530616

KRANZ, JENNIFER & TROY  
1977 FIRENZA DR  
APEX NC 27502-9668  
0721530665

LI, JIAN & SUN, JIANWEI  
1020 TIMBER MIST CT  
CARY NC 27519-7510  
0721530843

## DEVELOPMENT NAME APPROVAL APPLICATION

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

Fee for Initial Submittal: No Charge

Fee for Name Change after Approval: \$500\*

### Purpose

To provide a consistent and clearly stated procedure for the naming of subdivisions and/or developments and entrance roadways (in conjunction with *Town of Apex Address Policy*) so as to allow developers to define and associate the theme or aesthetics of their project(s) while maintaining the Town's commitment to preserving the quality of life and safety for all residents of Apex proper and extraterritorial jurisdiction.

### Guidelines

- ✓ The subdivision/development name shall not duplicate, resemble, or present confusion with an existing subdivision/development within Apex corporate limits or extraterritorial jurisdiction except for the extension of an existing subdivision/development of similar or same name that shares a continuous roadway.
- ✓ The subdivision/development name shall not resemble an existing street name within Apex corporate limits or extraterritorial jurisdiction unless the roadway is a part of the subdivision/development or provides access to the main entrance.
- ✓ The entrance roadway of a proposed subdivision/development shall contain the name of the subdivision/development where this name does not conflict with the Town of Apex *Road Name Approval Application* and *Town of Apex Address Policy* guidelines.
- ✓ The name "Apex" shall be excluded from any new subdivision/development name.
- ✓ Descriptive words that are commonly used by existing developments will be scrutinized more seriously in order to limit confusion and encourage distinctiveness. A list of commonly used descriptive words in Apex's jurisdiction is found below.
- ✓ The proposed subdivision/development name must be requested, reviewed and approved during preliminary review by the Town.
- ✓ A \$500.00 fee will be assessed to the developer if a subdivision/development name change is requested after official submittal of the project to the Town.\*

\*The imposed fee offsets the cost of administrative changes required to alleviate any confusion for the applicant, Planning staff, other Town departments, decision-making bodies, concerned utility companies and other interested parties. There is no charge for the initial name submittal.

### Existing Development Titles, Recurring

	Residential	Non-Residential
10 or more	Creek, Farm(s), Village(s),	Center/Centre
6 to 9	Crossing(s), Park, Ridge, Wood(s)	Commons, Park
3 to 5	Acres, Estates, Glen(s), Green*, Hills	Crossing(s), Plaza, Station, Village(s)

\*excludes names with Green Level

**DEVELOPMENT NAME APPROVAL APPLICATION**

Application #: \_\_\_\_\_ Submittal Date: \_\_\_\_\_

**Proposed Subdivision/Development Information**

Description of location: north and east of Richardson Road, west side of Mt. Zion Church Road

Nearest intersecting roads: Mt. Zion Church Road and Medoc Mountain Point

Wake County PIN(s): 0721-43-2558, 0721-43-5444, 0721-43-5322, 0721-43-4156, 0721-42-4940

Township: Buckhorn

**Contact Information (as appropriate)**

Contact person: Peak Engineering & Design, PLLC - Jeff Roach

Phone number: (919) 439-0100 Fax number: (919) 439-6411

Address: 1125 Apex Peakway, Apex, NC 27502

E-mail address: jroach@peakengineering.com

Owner: Vaughn King

Phone number: (919) 376-5923 Fax number: \_\_\_\_\_

Address: PO Box 1328, Cary, NC 27512

E-mail address: vaughnking5@gmail.com

**Proposed Subdivision/Development Name**

1<sup>st</sup> Choice: Project name to be determined during Master Subdivision Plan submittal

2<sup>nd</sup> Choice (Optional): \_\_\_\_\_

**Town of Apex Staff Approval:**

\_\_\_\_\_  
Town of Apex Planning Department Staff

\_\_\_\_\_  
Date

**TOWN OF APEX UTILITIES OFFER AND AGREEMENT**

Application #: \_\_\_\_\_ Submittal Date: \_\_\_\_\_

**Town of Apex  
73 Hunter Street  
P.O. Box 250 Apex, NC 27502  
919-249-3400**

WAKE COUNTY, NORTH CAROLINA CUSTOMER SELECTION AGREEMENT

Mt. Zion Church Road PUD Assembly

\_\_\_\_\_  
(the "Premises")

The Town of Apex offers to provide you with electric utilities on the terms described in this Offer & Agreement. If you accept the Town's offer, please fill in the blanks on this form and sign and we will have an Agreement once signed by the Town.

Vaughn King, the undersigned customer ("Customer") hereby irrevocably chooses and selects the Town of Apex (the "Town") as the permanent electric supplier for the Premises. Permanent service to the Premises will be preceded by temporary service if needed.

The sale, delivery, and use of electric power by Customer at the Premises shall be subject to, and in accordance with, all the terms and conditions of the Town's service regulations, policies, procedures and the Code of Ordinances of the Town.

Customer understands that the Town, based upon this Agreement, will take action and expend funds to provide the requested service. By signing this Agreement the undersigned signifies that he or she has the authority to select the electric service provider, for both permanent and temporary power, for the Premises identified above.

Any additional terms and conditions to this Agreement are attached as Appendix 1. If no appendix is attached this Agreement constitutes the entire agreement of the parties.

Acceptance of this Agreement by the Town constitutes a binding contract to purchase and sell electric power.

Please note that under North Carolina General Statute §160A-332, you may be entitled to choose another electric supplier for the Premises.

Upon acceptance of this Agreement, the Town of Apex Electric Utilities Division will be pleased to provide electric service to the Premises and looks forward to working with you and the owner(s).

ACCEPTED:

CUSTOMER: Vaughn King

TOWN OF APEX

BY: [Signature]  
Authorized Agent

BY: \_\_\_\_\_  
Authorized Agent

DATE: 6-28-19

DATE: \_\_\_\_\_

**AGENT AUTHORIZATION FORM**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

N/F Lector Marie Atwater \_\_\_\_\_ is the owner of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 2504 Mt. Zion Church Road, Apex, NC 27502 (PIN 0721-43-2558)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach (Peak Engineering & Design)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)

Douglas Brown, POA  
for Lector Marie Atwater  
Type or print name

06/29/2019  
Date

\_\_\_\_\_  
Type or print name Date

\_\_\_\_\_  
Type or print name Date

Attach additional sheets if there are additional owners.

**\*Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

**AGENT AUTHORIZATION FORM**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

N/F Jerome Kenneth Atwater Heirs \_\_\_\_\_ is the owner of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 2508 Mt. Zion Church Road, Apex, NC 27502 (PIN 0721-43-5444)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

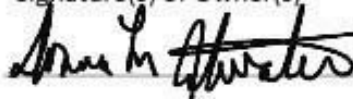
Agent Name: Jeff Roach (Peak Engineering & Design)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)



Donna Atwater

6/28/2019

Type or print name

Date

Type or print name

Date

Type or print name

Date

Attach additional sheets if there are additional owners.

**\*Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

# AGENT AUTHORIZATION FORM

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

N/F Jerome Kenneth Atwater Heirs \_\_\_\_\_ is the owner of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 2512 Mt. Zion Church Road, Apex, NC 27502 (PIN 0721-43-5322)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

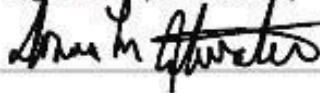
Agent Name: Jeff Roach (Peak Engineering & Design)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)



Donna Atwater

Type or print name

6/28/2019

Date

Type or print name

Date

Type or print name

Date

Attach additional sheets if there are additional owners.

**\*Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**

# AGENT AUTHORIZATION FORM

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

N/F Jerome Kenneth Atwater Heirs \_\_\_\_\_ is the owner of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 2516 Mt. Zion Church Road, Apex, NC 27502 (PIN 0721-43-4156)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

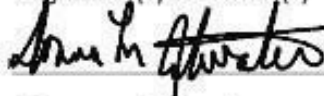
Agent Name: Jeff Roach (Peak Engineering & Design)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)



Donna Atwater

Type or print name

6/28/2019

Date

\_\_\_\_\_  
Type or print name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Type or print name

\_\_\_\_\_  
Date

Attach additional sheets if there are additional owners.

**\*Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**



**AGENT AUTHORIZATION FORM**

Application #: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

N/F Lector Marie Atwater \_\_\_\_\_ is the owner of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning
- Site Plan
- Subdivision
- Variance
- Other: \_\_\_\_\_

The property address is: 2600 Mt. Zion Church Road, Apex, NC 27502 (PIN 0721-42-4940)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach (Peak Engineering & Design)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)

Douglas Brown, POA  
for Lector Marie Atwater  
Type or print name

06/29/2019  
Date

\_\_\_\_\_  
Type or print name Date

\_\_\_\_\_  
Type or print name Date

Attach additional sheets if there are additional owners.

**\*Owner of record as shown on the latest equalized assessment rolls of Wake County. (An option to purchase does not constitute ownership). If ownership has been recently transferred, a copy of the deed must accompany this authorization.**



June 11, 2019

Dear Neighbor,

Pursuant to Town of Apex standards, you are invited to a neighborhood meeting to introduce and discuss the development of property located on the west side of Mt. Zion Church Road near the intersection with Richardson Road. The Neighborhood meeting is an opportunity to discuss the project with the neighbors and other interested parties prior to any submittals to the Town of Apex. This meeting also allows the development team to better understand the history of the property and identify possible impacts with the development.

Collectively known as “Townes at Bella”, the ~11.30 acres are currently owned by two (2) different property owners. The project proposes 65 townhomes on 11.30 acres. Initial submittal for the zoning with the Town of Apex is slated for July.

The following items will be discussed at the meeting:

1. Zoning
2. Master Subdivision Plan

**Meeting Information:**

Applicant: Vaughn King  
Contact information: Jeff Roach; Peak Engineering & Design  
[jroach@peakengineering.com](mailto:jroach@peakengineering.com)  
Meeting date: June 26, 2019  
Meeting time: 5:00 pm  
Meeting address: 237 N. Salem Street, Apex, NC 27502 (Halle Cultural Art Center)

The meeting will begin at 5:00 pm and will conclude when all the questions have been answered. If you have any questions about the proposed development, do not hesitate to contact our office at (919) 439-0100 any time prior to the meeting.

# NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

June 11, 2019

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at  
2504, 2508, 2512, 2516 and 2600 Mt. Zion Church Road      0721-43-2558; -5444; -5322; -4156, 0721-42-4940  
Address(es)      PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. The Neighborhood Meeting is intended as a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at [www.apexnc.org](http://www.apexnc.org).

A Neighborhood Meeting is required because this project includes (check all that apply):

- Rezoning (including Planned Unit Development);
- Major Site Plan;
- Master Subdivision Plan (excludes minor or exempt subdivision); or
- Special Use Permit

The following is a description of the proposal (also see attached map(s) and/or plan sheet(s)):

The rezoning and the Master Residential Subdivision Plan of the five (5) properties located along the western side of Mt. Zion Church Road for the development of residential properties.

Estimated submittal date:      July 1, 2019

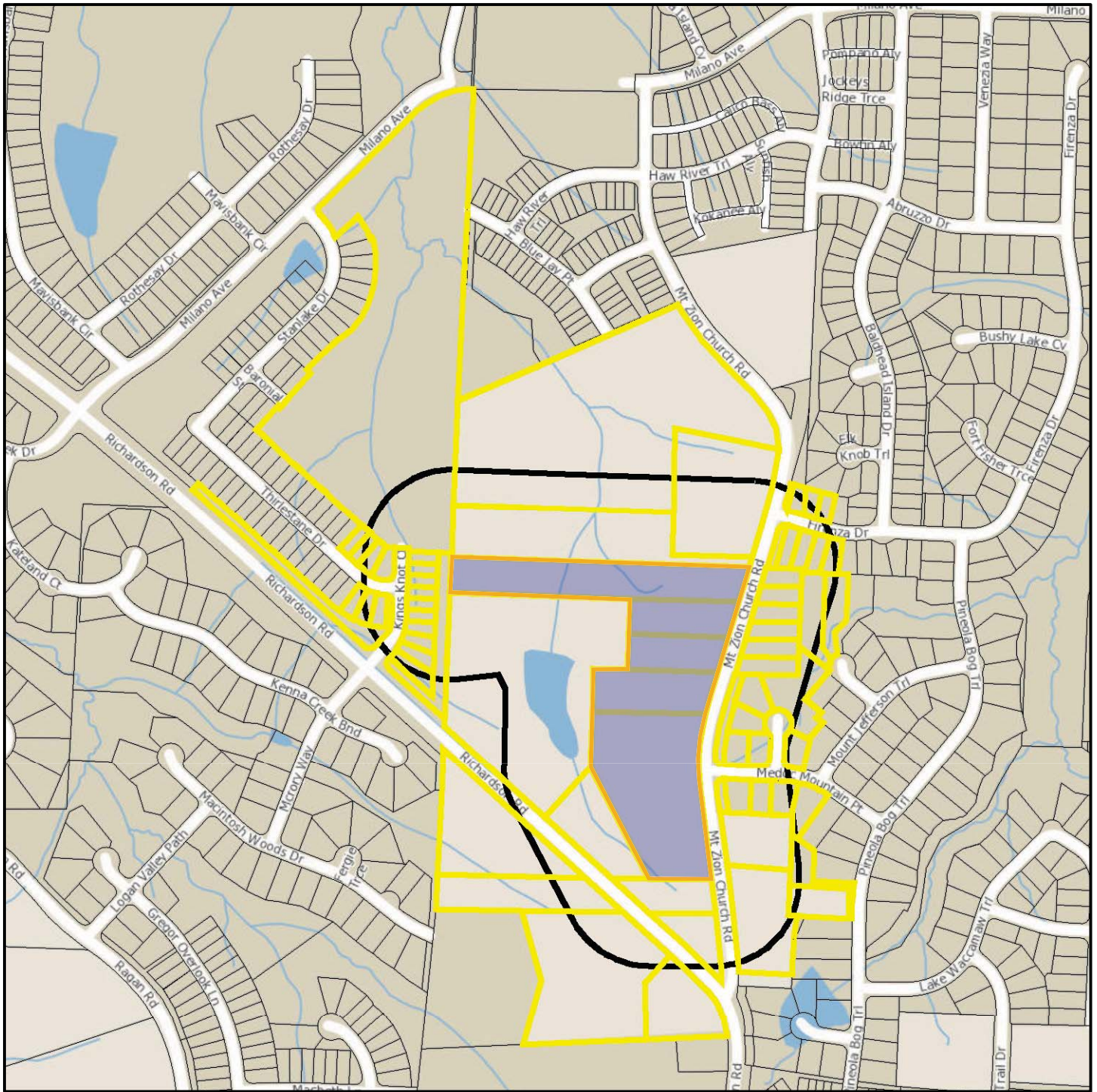
## MEETING INFORMATION:

Property Owner(s) name(s):	Atwater Family and Heirs (multiple property owners)
Applicant(s):	Peak Engineering & Design, PLLC - Jeff Roach & Vaughn King
Contact information (email/phone):	(919) 439-0100 jroach@peakengineering.com
Meeting Address:	237 N. Salem Street, Apex, NC 27502, (Halle Cultural Arts Center)
Date of meeting*:	June 26, 2019
Time of meeting*:	5:00 pm -

## MEETING AGENDA TIMES:

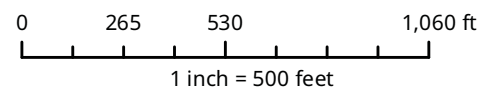
Welcome:	5:00 pm - 5:10 pm
Project Presentation:	5:10 pm - 5:30 pm
Question & Answer:	5:30 pm -

\*Meetings shall occur between 5:00 p.m. - 9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180/Planning>.



### Mt. Zion Church Road - 300' Buffer

 Properties being rezoned



***Disclaimer***

*iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.*

# PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

## Development Contacts:

Project Name: Townes at Bella (Mt. Zion Church Road PUD Assembly)  
 Location: Mt. Zion Church Road north of Richardson Road, west of Medoc Mountain Point  
 Property PIN: see meeting notification Acreage/Square Feet: see meeting notification  
 Zoning: PUD-CZ Subdivision/Development: \_\_\_\_\_

Property Owner: Atwater Family and Heirs  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Developer: Vaughn King  
 Address: PO Box 1328  
 City: Cary State: NC Zip: 27512  
 Phone: (919) 376-5923 Fax: \_\_\_\_\_ Email: vaughnking5@gmail.com

Engineer: Peak Engineering & Design, PLLC - Jeff Roach  
 Address: 1125 Apex Peakway  
 City: Apex State: NC Zip: 27502  
 Phone: (919) 439-0100 Fax: (919) 439-6411 Email: jroach@peakengineering.com

Builder (if known): N/A  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

## Town of Apex Department Contacts

Planning Department Main Number (Provide development name to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planner	(919) 249-7468
Public Works - Transportation Russell Dalton, Senior Transportation Engineer	(919) 249-3358
Water Resources Department Mike Deaton, Stormwater & Utility Engineering Manager Stan Fortier, Senior Engineer (Sedimentation & Erosion Control)	(919) 249-3413 (919) 249-1166
Electric Utilities Division Rodney Smith, Electric Technical Services Manager	(919) 249-3342



## **Mt. Zion Church Road PUD Assembly Property Owner Information**

Lector Marie Atwater  
2504 Mt. Zion Church Road  
Apex, NC 27502  
0721-43-2558  
2.97 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-4156  
1.41 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-5444  
1.16 acres

Lector Marie Atwater  
2504 Mt. Zion Church Road  
Apex, NC 27502  
0721-42-4940  
4.60 acres

Jerome Kenneth Atwater Heirs  
ATTN: Donna Atwater  
179 Arlington Avenue  
Jersey City, NC 07305  
0721-43-5322  
1.16 acres

# NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Address: 227 N. Salem Street , Apex, NC 27502 (The Halle Cultural Arts Center)  
 Date of meeting: June 26, 2019 Time of meeting: 5:00 pm  
 Property Owner(s) name(s): see owner documents in application package  
 Applicant(s): Peak Engineering & Design, PLLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	MARTIN BURKE	2722 Masonboro Farm Rd	919 609 6842		
2.	Brian Diaz	2509 Mt Zion Church Rd	860 690 2239		
3.	CHRISTACIA		919 356 5377		
4.	Anthony F. Richardson	1825 Carr <sup>St</sup> Blvd	919 352 2219		
5.	Wayne Richardson	2713 Richardson	919-302-8248		
6.	Patrick Adams	2511 Mount Zion Church	919.422.4681		
7.	Richard Kirk	2712 Mount Jefferson Trl.	919-452-0576		
8.	Sara Hansen	2815 Medoc Mt. Pt.	919-252-7967		
9.	LaDawn Sanders	518 Hogan Farm Rd. Apex	919.924.6129		m ✓
10.	Jennifer Gregg	2809 Medoc Mountain Pt.	919-480-7036		✓
11.	Robert + Rosann Thomas	2507 Mt Zion Church Rd	919-355-2665		✓
12.	Terry Mahaffey	109 Teresian Ct	206-724-2948		✓
13.	Garrett Offen	1981 Firenze Dr.	919 943 0568		✓
14.	Cathel Brewer	8132 Hunnicutt Blvd	919-362-5838		✓

Use additional sheets, if necessary.

# NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Address: 227 N. Salem Street , Apex, NC 27502 (The Halle Cultural Arts Center)  
 Date of meeting: June 26, 2019 Time of meeting: 5:00 pm  
 Property Owner(s) name(s): see owner documents in application package  
 Applicant(s): Peak Engineering & Design, PLLC

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Francesca Cain	2515 Mt Zion Ln Road	919-961-5491		✓
2.	Steve Watson	2515 Mt Zion Ln Road	919-559-4778		
3.	Keith Holder	2825 Medoc MtN Pt	919-903-7004		
4.	Scott Mason	2505 Mount Zion Church	440-796-6791		✓
5.	Uva Holland/Shaib	390 Mt. Holland Rd	919-362-6851		
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					

Use additional sheets, if necessary.



# SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): See previous zoning application documentation  
Applicant(s): Peak Engineering & Design - Jeff Roach  
Contact information (email/phone): vaughnking5@gmail.com or jroach@peakengineering.com  
Meeting Address: 227 N. Salem Street, Apex, NC 27502 (Halle Cultural Arts Center)  
Date of meeting: June 26, 2019 Time of meeting: 5:00

Please summarize the questions/comments and your response from the Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

SEE ATTACHED MEETING REPORT

Applicant's Response:

---

---

---

Question/Concern #2:

Applicant's Response:

---

---

---

Question/Concern #3:

Applicant's Response:

---

---

---

Question/Concern #4:

Applicant's Response:

---

---

---

## SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s):	See previous zoning application documentation	
Applicant(s):	Peak Engineering & Design - Jeff Roach	
Contact information (email/phone):	vaughnking5@gmail.com or jroach@peakengineering.com	
Meeting Address:	227 N. Salem Street, Apex, NC 27502 (Halle Cultural Arts Center)	
Date of meeting:	June 26, 2019	Time of meeting: 5:00

Please summarize the questions/comments and your response from the Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

The Mt. Zion Church Road zoning and Master Subdivision neighborhood meeting started at 5:00 pm with a brief introduction of Peak Engineering & Design, the project, the location, and general housekeeping items including the sign-in sheets and handouts. This was followed up by a discussion related to what zoning and Master Subdivision Plans are, the timing of the project, and what our role is for the project. This led into the presentation of the proposed Zoning (10 minutes) followed by discussions related to the Master Subdivision Plan (10 minutes). The floor was then opened up to questions and an open discussions with questions and answers with the group. Following are the questions and a summary of responses (some of the questions and responses were long-winded and therefore condensed for clarity/space):

1. What is the area labeled "Future Development" in the northern portion of the property?
  - A. This area is set aside for future roadway connections between properties north and south of the assembly. Final designation of this property will be coordinated with staff during the MSP process.
2. Will the trees in the buffers survive construction?
  - A. The project does not propose to remove trees within the buffers unless they are dead, dying, or diseased.
3. Can the product be single family homes instead of townhomes?
  - A. The developer/builder are looking for a townhome product in this location.
4. What do you mean by staff? Are you referring to Planning Department?
  - A. Planning, Engineering, Transportation, Public Works, Fire, and Building Inspections. These are the staff groups which attend the pre-application meetings.
5. How will the project deal with the increase in traffic?
  - A. The project proposed 65 lots or less. The project proposes to widen Mt. Zion Church Road to the Minor Collector Street standard per the adopted Apex Transportation Plan. The addition of 65 lots in this area is a minor addition to a location which is currently not experiencing heavy traffic congestion.
6. Have you ever tried to get out onto Mt. Zion Road because of the neighborhood traffic?
  - A. I have and did not have any issues. I believe there are times when traffic is heavier than normal, but to express concerns related to 65 homes on a Minor Collector (Mt. Zion Church Road) is not a heavy burden on the infrastructure.

7. Where is Friendship Station?
  - A. We showed the neighbors the location of Friendship Station on the exhibits.
8. There were comments related to the existing traffic on Richardson Road and Mt. Zion Church Road.
  - A. A question was not asked about traffic along the streets, more of a statement from the property owner related to the speed of traffic, people walking pets on Mt. Zion Church Road (on the street), and the nature of Mt. Zion Church Road today and in the future.
9. Can you change the access to the site?
  - A. The alignment of the main entrance to align with Medoc Mountain Point cannot change. The second point of access in the northern corner of the property will remain until future development extends the streets to align with Firenza Drive.
10. What does minor collector mean?
  - A. A minor collector is a street designation which specifies the street should expect more vehicles than neighborhood streets, have a slightly higher speed (possibly), and act as a funnel to the larger streets (larger streets being Major Collectors, Thoroughfares, and Interstates).
11. Is the Town of Apex proposing to take ownership of Mt. Zion Church Road from NCDOT?
  - A. That is unknown at this time. This project will be required to rezone and annex to the centerline of Mt. Zion Church Road. Maintenance of Mt. Zion Church Road in the future is unknown but the question will be asked to staff. Discussion was had concerning the 6 properties which front on Mt. Zion Church Road (2505 – 2515 Mt. Zion Church Road) and the maintenance of the minor collector.
12. What else can the property be zoned for in this area?
  - A. In general, the 2045 Land Use Map sets the future use as medium density residential. This would permit a Medium Density or PUD zoning with uses that include – but may not be limited to – single family homes, townhomes attached, townhomes detached, duplexes, family home care, church, day care, school public or private, greenway, active or passive parks, Recreation facility private (pool and clubhouse) uses.
13. Will there be apartments on the property?
  - A. No – apartments are not proposed here and the 2045 Land Use Map does not support.
14. Can you please explain Milano Avenue?
  - A. Milano Avenue is an east-west collector street that runs through Bella Casa north of this project. Mt. Zion Church Road currently extends north to Milano Avenue. Buckhorn Preserve – west of this project – is extending Milano Avenue to Richardson Road. The Town of Apex's Electrical Facility on Milano Avenue will make the final Milano Avenue connection to link up from Evans Road (east) to Richardson Road (west). Mt. Zion's connection to Milano will provide multiple options for vehicles in the area.
15. What is the width of the required frontage buffer along Mt. Zion Church Road?
  - A. Minimum buffer is 30' – and 30' is proposed (with a berm in certain areas).
16. What is the RCA? And where is it proposed?
  - A. Resource Conservation Area (RCA) as a townhome development is proposed at 25% per the UDO. Location of the RCA will be determined during the concept sketches and future MSP designs.

17. What is the maximum density for the area?
  - A. Maximum density is 6.0 units/acre per Medium Density on the 2045 Land Use Map. The project proposes 65 lots with an overall density ~5.80 units/acre.
18. How temporary is the temporary street?
  - A. This “temporary” street will be removed once the property to the north redevelops with an extension to Mt. Zion Church Road at Firenza Drive. The timing of the removal of the “temporary” drive is unknown as well.
19. Will the project be paying a fee in lieu for parks?
  - A. Most likely yes with the recent purchase of the ~23 acres on Olive Farm Road by the Town of Apex for a future park site. This project will be reviewed by the Parks, Recreation, and Cultural Resources Advisory Commission prior to the zoning hearings.
20. On widening, will there be sidewalks?
  - A. Yes, sidewalk will be added on the west side of Mt. Zion Church Road for the project’s frontage.
21. Will there be sidewalks on the other (east) side of Mt. Zion Church Road?
  - A. No. Only installation on the west side or project frontage.
22. Will you extend the sidewalk to the Richardson Road/Mt. Zion Church Road intersection?
  - A. Sidewalk is currently not proposed to extend from the project to Richardson Road. We will discuss this option with the developer to see if this is something that can be done without creating conflict in the zoning or construction/right-of-way issues.
23. Will there be a berm along Mt. Zion Church Road?
  - A. We are evaluating the existing vegetation along Mt. Zion Church Road to determine if a berm can be installed without removing significant numbers of trees or large trees. In general, the project will provide some form of a berm along Mt. Zion Church Road where feasible.
24. Is there access to Richardson Road or Buckhorn Preserve for the driveway access?
  - A. The properties do not have access to Richardson Road and Buckhorn Preserve did not provide a stub street which would benefit these properties.
25. If a signal was installed at the Richardson Road/Mt. Zion Church Road intersection, would it work?
  - A. At this time, the area does not meet warrants for a traffic signal. It is impossible to determine when/if a signal would ever be warranted at this location. A signal is more likely to be approved at Richardson/Humie Olive with either the future school construction or with the Friendship Station construction.
26. Where will the kids go to school?
  - A. The closest schools are Friendship HS, Friendship MS, and Apex Elementary/Olive Chapel Elementary. With the new Friendship ES slated for construction, all three schools will serve this area. There are currently no caps on the Friendship schools but Wake County could adjust this in the future.
27. Will the rezoning de-value current homes?
  - A. We are not experts in the appraisal of homes. Other residential townhomes projects have not de-valued existing properties but that is something that is unknown to the engineer.

28. Why can't the Town of Apex stop townhomes?
- A. Townhomes are currently a market-driven product which future homeowners are looking to purchase. There are single family homes, townhomes, apartments, and duplexes which provide living space – the market decides when there are too many of any one product.
29. Were you hired by the owner?
- A. I have been retained by the developer to represent the property owners in the zoning and future design for the properties.
30. Who will the builder be? (One neighbor asked for it NOT to be a specific building – not to be named)
- A. That is unknown.
31. Can the townhomes be limited to a 2 story homes?
- A. We have limited the height of the townhomes to 42' which is the height needed for townhomes or single family homes to construction 2 stories (18" first floor rise, 2 floors, and roof pitch/storage areas).
32. Will you be responsible for landscaping?
- A. The engineer/landscape architect will design the landscaping. The Developer will direct the design of the landscaping. The building will be responsible for the installation of the approved landscaping per plan.
33. Will this project have a higher quality landscaping?
- A. The property owner recently purchased in Parkside at Bella Casa and did not have the quality landscaping which was expected. We have asked the homeowner to send pictures of "high quality" vs "low quality" landscaping to see what the concern is. We have agreed to larger buffers along Mt. Zion Church Road with a berm where possible, the frontage of the project will be establish for higher quality landscaping. This "higher quality" will be defined in conjunction with the property owners and designed during the Master Subdivision Plan process, not zoning.
34. Will there be a stop sign at access points or internal to the project?
- A. Yes, a stop sign will be installed at the exits to Mt. Zion Church Road and there will be stop signs internal to the project.
35. Can one of the streets be moved?
- A. During zoning, we do not provide street locations. During Master Subdivision Plan, we can adjust the layout to provide the best project possible while still meeting Town of Apex standards.
36. What is the point of this meeting?
- A. This meeting is to explain the process, the project, and product while gathering information from residents which will see the development. The questions will be gathered, answers provided, and included in the zoning submittal for Planning Board and Town Council review during the zoning process.
37. Who determines the product?
- A. The builders that are interested in the property and area will direct the development group to the product which the market is requesting in this area.
38. Who can I contact about the project? Town of Apex?
- A. A list of Town of Apex contacts were provided at the meeting. Staff will know about the project but will not know details until after the July 1, 2019 zoning submittal.

39. Who approves rezoning?
- A. Town Council approves the zoning request.
40. Are you willing to pre-wire homes for solar power?
- A. Yes – that is a commitment in the PD Text for the project.
41. Will the electrical poles be effected by the widening on Mt. Zion Church Road?
- A. We do not know at this time. The hope is to avoid relocated any existing power poles.
42. When will the project begin?
- A. That is hard to tell with the zoning yet to be submitted. We will start the rezoning process on July 1, 2019 and follow the Town’s guidelines for review through zoning, MSP, and Construction Documents.
43. How long to complete the project?
- A. From the initial zoning submittal to the start of construction is typically 15-18 months – but that time varies based upon review times or other administrative delays in the process.
44. Why are you putting forth the maximum density to benefit the development while only committing to the minimums for neighbors?
- A. The project is following the Town’s requirements for items such as RCA, buffers, streets, density, etc. In a number of these items, we will exceed the Town’s standards but will not confirm that until the project is in MSP and CD review.
45. What are the blue lines on the map?
- A. This is in reference to the cyan/blue line that was included on the meeting exhibits. This box was inadvertently left on the plan.
46. The way it is zoned, what could be developed on the property?
- A. Under the current RR zoning district, the properties would each be permitted to support one (1) single family home at this time.
47. What are the 5 lots included in the development?
- A. The maps were referenced to show the attendees the location of the 5 lots which are included in the current zoning/MSP request.
48. Where is the church?
- A. This is in reference to the Mount Zion Baptist Church at the corner of Mt. Zion Church Road and Richardson Road. The property was identified on the meeting exhibits.
49. Who would own the land on future development along the property to the north?
- A. That property will remain with the builder/developer to support future development connectivity west of this project.
50. What is to stop non-residents from jumping the fence at the Bella Casa Community pools?
- A. Nothing. There is nothing to stop residents from gaining access to the pools except signage, cameras, and police support.
51. How will non-Bella Casa residents be kept out of the Bella Casa pools?
- A. Lifeguards are on duty at the pools and it is their job – from other projects we deal with – to keep non-residents from using the pools.
52. What can stop someone from jumping in the surrounding ponds?
- A. Nothing. The property owner to the west has a large farm pond and is concerned. This is an issue that has come up in the past and requires parental control of future residents of the development.

53. Is there a BMP (SCM)?
- A. Yes – an SCM is shown on the northern side of the property. The type, size, and design standards will meet Town of Apex requirements for this location and treatment standards.
54. Will there be irrigation on berms?
- A. We have not committed to berms along Mt. Zion Church Road but are looking into options. If the existing vegetation is not well established, the developer will agree to the installation of a berm with landscaping for the 30' Mt. Zion Church Road frontage. If there are existing trees to be preserved, a berm will not be installed in those locations.
55. Can we make it a requirement to have a longer warranty on landscaping?
- A. This is not a zoning condition as the installation of landscaping is always covered by a 1-year warranty for installation. If the developer lets the landscaping die, they will replant the dead vegetation 12-months later.
56. Where can I find the rezoning application once it is submitted?
- A. On the Town's website under the "Interactive Development" tab will be a map. After the zoning package is submitted, the documents will be updated within a week or two.
57. Can the developers buy more land and move the temporary street to align with Firenza Drive?
- A. The developer has looked at the N/F Dorothy Mae Richardson Heirs (part of the Charles Walden tracts) but is unable to determine if there is a clean chain of title to the property. A number of previous developers/builders have looked at the properties only to walk away without solving the chain of title issues.
58. Who were the planners at the pre submittal meeting?
- A. Answered the question with Amanda Bunce, Lauren Staudenmaier, Sarah Rayfield, Shelly Mayo, and Liz Loftin. Planning Department contact is on the hand-out from the meeting.
59. Staff doesn't live here, poor planning in town.
- A. No response except to say that development patterns in Apex were recently reviewed with Advance Apex, Bike Apex, and the 2045 Land Use Plan/Map update. Clarified that some of the staff lives in Apex and may or may not live in the Bella Casa/Buckhorn/Friendship area.
60. What does Apex do to bring in businesses?
- A. Explained the role of the Economic Development Director and the Chamber of Commerce in attracting new non-residential and residential developments.
61. What is the approval rate for a project like this from Town Council?
- A. If a project is going to be denied, it is usually pulled from the Council's agenda before public hearings. Denials at Town Council hearings are therefore limited based upon review by staff through the application process.
62. What is your success rate on rezonings with the Town of Apex?
- A. We typically do not take projects to Town Council that don't make sense and do not have staff support. With that said, our success rate is high. But to follow that up, "we work our ass off to assure the project meets Town requirements, adopted plans, and will be a contributor to the existing neighborhoods."

63. Is the multi-colored part of the zoning map?

A. This is in reference to the 2045 LUM showing Friendship Station with 3 different land use options and the Christian Chapel Church property (Humie Olive Road at Richardson Road) shown as either Commercial Services or Medium Density Residential. Explain what the different colors on the 2045 LUM represent.

64. Where is the church?

A. The location of the church was identified on the maps.

65. Will a Target be coming to the area?

A. That is a question not related to this project but a Target in the Friendship area is unknown.

66. Is this the application you will be using, how do you answer the Legislative Consideration questions with a straight face? (Garrett Otten asked the question from the back of the room)

A. Although not aware of what application Mr. Otten had, the Legislative Considerations as not part of the PUD zoning application. It appears the application that Mr. Otten had was a different zoning application – not a PUD application. To respond to the questions from other zonings, this project meets the Legislative Considerations from the other zoning documents from the Town of Apex.

67. Is the project going to be part of the Bella Casa HOA? If not, can you remove Bella from the name?

A. We have removed “Townes at Bella” at this time. Final project name will be coordinated with the development and future building group.

68. Do churches have rights? Can the Town of Apex condemn the church?

A. This is in reference to the church at Mt. Zion and Richardson Road. Yes – the church has the same rights than any private property owner has to buy and sell, on not. The Town of Apex can use condemnation powers on any property owner but that is not in the discussions for the this project.

69. On the maps, what is the “PEAK” at the bottom of the sheets?

A. Engineering company that is working with the development team to entitle the project.

70. Who is the developer?

A. The development group is represented by Vaughn King – who was in attendance at the meeting.

71. Who is the builder?

A. A builder has not be selected for the project.

72. I thought Peak was a realty company?

A. Peak Engineering & Design is not a realty company (although there is a Peak Realty in Apex).

73. Have you approached the surround lots?

A. The developer has spoken to a number of property owners in the area. There are chain of title issues with some properties which have caused people to avoid the area.

74. What’s next?

A. Zoning submittal on July 1<sup>st</sup>. Review with staff with a Planning Board/Town Council public hearing in 3-4 months.

75. What is the timing of the council meeting?

A. Discussion insued related to the zoning submittal (July 1<sup>st</sup>) through a full project design which could take 15-18 months.

At the conclusion of the group meeting, the neighbors broke up into groups, some asking questions, some talking amongst themselves, and others leaving the meeting. There were a number of clarifications provided one-on-one but nothing more related to additional conditions or concerns about the project beyond what was asking during the larger group setting. The meeting wrapped up at 6:55 pm when all the neighbors left the Halle Cultural Arts Center.



# AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Jonathan Edwards, do hereby declare as follows:  
Print Name

1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7 *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners within 300 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at 227 N. Salem Street, Apex, NC 27502 (Halle Cultural Arts Center) (location/address) on June 26, 2019 (date) from 5:00 (start time) to 7:00 (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

June 27, 2019  
Date

By Jonathan Edwards

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, DANIEL H WOODS, a Notary Public for the above State and County, on this the 27 day of JUNE, 20 19.



Daniel H Woods  
Notary Public  
DANIEL H. WOODS  
Print Name

My Commission Expires: 11/18/23

Project Identification and Legal Description

**Mt. Zion Church Road Assembly Property**

Apex, Buckhorn Township  
Wake County, North Carolina

The Mt. Zion Church Road Assembly Property is identified by the following owner names and Wake County GIS PIN #'s; N/F Lector Marie Atwater (PIN 0721-43-2558), N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5444), N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5322), N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-4156), N/F Lector Marie Atwater (PIN 0721-42-4940), located on the east side of Mt. Zion Church Road S.R. 1146.

The POINT OF BEGINNING is an existing point in the centerline of Mt. Zion Church Road S.R. 1146 in the northeastern corner of the property N/F Lector Marie Atwater (PIN 0721-43-2558) being the common property corner with N/F Uva Holland property (PIN 0721-43-1773);  
thence S 17°05'10" W for 126.21' along the centerline to an existing point at the corner of a shared property, said property being N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5444);  
thence S 17°05'10" W for 126.44' along the centerline to an existing point at the corner of a shared property, said property being N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5322);  
thence S 17°05'10" W for 126.74' along the centerline to an existing point at the corner of a shared property, said property being N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-4156);  
thence S 17°32'19" W for 37.67' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 16°50'50" W for 106.63' along the centerline to an existing point at the corner of a shared property, said property being N/F Lector Marie Atwater (PIN 0721-42-4940);  
thence S 17°21'16" W for 14.53' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 13°35'39" W for 24.45' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 12°11'19" W for 27.69' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 9°42'02" W for 25.70' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 5°58'28" W for 18.72' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 4°04'17" W for 21.04' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 0°03'44" W for 19.93' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 2°00'47" E for 17.34' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 3°01'51" E for 21.23' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 3°21'47" E for 8.69' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 3°21'56" E for 27.38' along the centerline of Mt. Zion Church Road S.R. 1146;

thence S 5°58'11" E for 33.30' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 5°24'23" E for 38.01' along the centerline of Mt. Zion Church Road S.R. 1146;  
thence S 7°49'41" E for 196.19' along the centerline to an existing point at the corner of a shared property, said property being N/F Uva Holland property (PIN 0721-42-5439);  
thence N 89°07'25" W for 245.17' along the shared property line, said property being N/F Uva Holland property (PIN 0721-42-5439) to a shared point with N/F Uva Holland property (PIN 0721-42-5439) and N/F Uva Holland property (PIN 0721-42-2742);  
thence N 27°29'51" W for 209.55' along the shared property line; said property being N/F Uva Holland property (PIN 0721-42-2742) to a shared point with N/F Curtis Richardson property (PIN 0721-43-0214);  
thence N 27°50'57" W for 224.50' along the shared property line; said property being N/F Uva Holland property (PIN 0721-42-2742) to a shared point with N/F Curtis Richardson property (PIN 0721-43-0214);  
thence N 1°46'58" E for 192.84' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared point with N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-4156);  
thence N 1°49'38" E for 149.07' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared;  
thence S 87°57'07" E for 117.90' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared point said property being N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5322);  
thence N 2°21'50" E for 122.20' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared point said property being N/F Jerome Kenneth Atwater Heirs (PIN 0721-43-5444);  
thence N 2°21'51" E for 122.05' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared point said property being N/F Lector Marie Atwater (PIN 0721-43-2558);  
thence N 88°04'20" W for 623.91' along the shared property line; said property being N/F Curtis Richardson property (PIN 0721-43-0214) to a shared point said property being N/F CalAtlantic Group Inc. (PIN 0721-33-6396);

thence N 2°26'52" E for 122.00' along the shared property line; said property being N/F CalAtlantic Group Inc. (PIN 0721-33-6396) to a shared point said property being N/F Uva Holland property (PIN 0721-43-1773);

thence S 88°04'22" E for 1059.89' along the common property line with N/F Uva Holland property (PIN 0721-43-1773) to a shared existing point in the centerline of Mt. Zion Church Road S.R. 1146, said point being the POINT OF BEGINNING.

Said property includes 492,224 square feet or 11.30 acres.

The property hereinabove described was acquired by the referencing Wake County GIS information.

# **Mt. ZION CHURCH ROAD ASSEMBLY**

**A PLANNED UNIT DEVELOPMENT**

**PD PLAN**

**Rezoning Case #19CZ15**

**July 1, 2019**

**Revised: August 9, 2019**

**Revised: September 4, 2019**

**Revised: October 1, 2019**

**Project Contact:**

**Vaughn King**

**PO Box 1328**

**Cary, NC 27512**

**[vaughnking5@gmail.com](mailto:vaughnking5@gmail.com)**

**Civil Engineering & Land Planning:**

**Jeff Roach, P.E.**

**Peak Engineering & Design, PLLC**

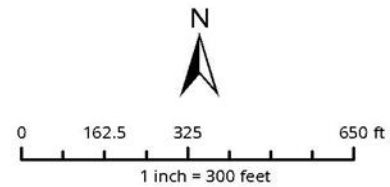
## **Table of Contents**

Section 1:	Table of Contents
Section 2:	Vicinity Map
Section 3:	Project Data
Section 4:	Purpose Statement
Section 5:	Permitted Uses
Section 6:	Description, Density and Dimensional Standards
Section 7:	Architectural Standards
Section 8:	Parking and Loading
Section 9:	Resource Conservation Area (RCA)
Section 10:	Landscaping
Section 11:	Signage
Section 12:	Public Facilities
Section 13:	Pedestrian Circulation System and Amenities
Section 14:	Parks and Recreation
Section 15:	Natural Resources and Environmental Protection
Section 16:	Stormwater Management
Section 17:	Phasing
Section 18:	Plan Consistency
Section 19:	Compliance with the Unified Development Ordinance (UDO)

## Exhibits

**Section 2: Vicinity Map**

Mt. Zion Church Road Assembly is a group of five (5) properties located along the western side of Mt. Zion Church Road; north of Richardson Road, south of Milano Avenue, directly east of Firenza Drive and Medoc Mountain Point. The property is bordered to the north and south by existing large lot residential properties; to the east by the Bella Casa subdivision; to the west is the Buckhorn Preserve subdivision (currently under construction).





**Section 3: Project Data**

Project name: Name is TBD  
 Mt. Zion Church Road Assembly - Planned Unit Development

**Property Owners:**

Lector Atwater 2504 Mt. Zion Church Road Apex, NC 27502 PIN 0721-43-2558 (2.97 acres)	Jerome Kenneth Atwater Heirs 2512 Mt. Zion Church Road Apex, NC 27502 PIN 0721-43-5322 (1.16 acres)
Jerome Kenneth Atwater Heirs 2508 Mt. Zion Church Road Apex, NC 27502 PIN 0721-43-3444 (1.16 acres)	Jerome Kenneth Atwater Heirs 2516 Mt. Zion Church Road Apex, NC 27502 PIN 0721-43-4156 (1.41 acres)
Lector Atwater 2600 Mt. Zion Church Road Apex, NC 27502 PIN 0721-42-4940 (4.6 acres)	

**Project Contact:**

Vaughn King  
 PO Box 1328  
 Cary, NC 27512  
 (919) 376-5923  
[vaughnking@gmail.com](mailto:vaughnking@gmail.com)

**Prepared by:**

Jeff Roach, P.E.  
 Peak Engineering & Design, PLLC  
 1125 Apex Peakway  
 Apex, NC 27502  
 (919) 439-0100  
[jroach@peakengineering.com](mailto:jroach@peakengineering.com)

**Zoning:**

Existing Zoning: Rural Residential (RR)  
 Proposed Zoning: Planned Unit Development – Conditional Zoning (PUD-CZ)

**Land Use Map:**

2045 Land Use Map Designation: Medium Density Residential  
 Proposed Land Use: Medium Density Residential < 6 units/acre  
 Total Project Area: 11.30 acres (per Wake County GIS & Deeds/Plats)

Legal descriptions for the properties being rezoned were assembled from available plats, deeds, and other Wake County GIS data. This information is public and provided within the zoning application packet.



#### **Section 4: Purpose Statement**

Mt. Zion Church Road Assembly is a proposed Planned Unit Development (PUD) located outside of the Apex corporate limits yet inside the ETJ. The project proposes:

- Forty-six (46) single-family residential lots currently

Prior to Construction Document approval, the properties will be annexed to obtain Town services. The PUD parameters are outlined per UDO Section 2.3.4(F)(1)(a)(i - vi) and answered in various locations within the PD Text document. Specifically, the PD Text and associated documents will:

- Permit uses which are compatible with the surround development pattern
- Permit uses which are compatible with Section 4.2.2 – Use Table of the UDO
- Offer additional residential options in western Apex
- Provide dimensional standards that are consistent with the UDO, and where modifications are required, said modifications will be included within the PD Text and subject to Town Council approval
- Provide a high quality residential development which is linked through a network of streets and pedestrian walkways which promote connectivity and a healthy lifestyle
- Provide high quality residential homes to enhance the value of surround properties.

All site-related standards of the PD Text and PUD documents are consistent with a Conditional Zoning (CZ) District as established by UDO section 2.3.3 – Conditional Zoning Districts. The proposed development is:

- consistent with the 2045 Land Use Map for use and density;
- assures the transition of uses from surrounding developments and vacant properties;
- vehicular connectivity is established for future developments; and
- pedestrian connectivity is provided or stubbed for future extensions.

The project is consistent with the Town’s adopted development standards including the 2045 Land Use Map, Transportation Plan, Construction Specifications and Details, the Parks, Recreation, Greenways and Open Space Master Plan, and other adopted plans as coordinated with Town staff.

#### **Section 5: Permitted Uses**

The rezoned lands may be used for, and only for, the uses listed below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

1. Accessory apartment
2. Single-family
3. Utility, minor
4. Recreation facility, private
5. Greenway
6. Park, active
7. Park, passive

**Section 6: Description, Density and Dimensional Standards**

The project will comply with the standards as established by UDO Section 5.1.3 or as noted within the PD Text for the project. The following dimensional standards are for the development of the property as **single-family detached homes**:

Single-Family Development Standards

Proposed maximum density:	4.10 units/acre (includes R/W, RCA, open space & lots)
Maximum number of lots:	46 lots
Maximum built-upon percentage:	70%
Minimum lot width:	40'
Minimum lot depth:	90'
Minimum lot size:	4,000 SF
Maximum building height:	45 feet

**Building setbacks:**

- Front setback: 10 feet from R/W
- Garage setback: 20 feet from back of sidewalk, or back of curb where no sidewalk exists
- Side setback: 3 feet min. (no aggregate)
- Side setback, corner: 10 feet
- Rear setback: 10 feet

## **Section 7: Architectural Standards**

### Single-family residential standards:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. All single-family homes shall have a crawl space or have a raised foundation which at a minimum rises at least 20 inches from average grade across the front of the house to the finished floor level at the front door, unless they provide a first floor master bedroom. Zero-entry homes without the 20 inch rise are permitted if they provide the first floor master bedroom. Lots permitted as “zero-entry” shall be noted on the Final Plat.
3. Garage doors must have windows, decorative details or carriage-style adornments.
4. Front entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than 6 feet from the front façade or front porch. Any homes where the front entry garage protrudes more than 1 foot from the front façade or front porch shall provide one of the following additional decorative elements:
  - Window
  - Bay window
  - Decorative gable
  - Decorative cornice
  - Columns
  - Portico
  - Balcony
  - Dormer
  - Trellis
  - Arbor
6. The rear and side elevations of the units that can be seen from the right-of-way shall contain at least 3 decorative elements such as, but not limited to, the following elements:
 

<ul style="list-style-type: none"> <li>• Windows</li> <li>• Bay window</li> <li>• Recessed window</li> <li>• Decorative window</li> <li>• Trim around the windows</li> <li>• Wrap around porch or side porch</li> </ul>	<ul style="list-style-type: none"> <li>• Two or more building materials</li> <li>• Decorative brick/stone</li> <li>• Decorative trim</li> <li>• Decorative shake</li> <li>• Decorative air vents on gable</li> </ul>	<ul style="list-style-type: none"> <li>• Decorative gable</li> <li>• Decorative cornice</li> <li>• Column</li> <li>• Portico</li> <li>• Balcony</li> <li>• Dormer</li> </ul>
---	--	--
7. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
8. Eaves shall project at least 12 inches from the wall of the structure.
9. Front porches shall be a minimum of 6 feet deep.
10. No more than 25% of the lots may be accessed with J-driveways. There shall be no more than 3 such homes in a row on any single block. Any lots eligible for a J-driveway home shall be identified on the Final Plat.
11. All single-family detached residential homes shall be pre-configured with conduit for a solar energy system.

**Section 8: Parking and Loading**

Parking will comply with the Town of Apex UDO Section 8.3 for the single-family development. Parking may be provided within an enclosed garage, within driveways, or on a designated parking pad. For residential driveways to count as required parking, they shall be a minimum of 12 feet wide and 20 feet long as measured from the back of the sidewalk or, where no sidewalk exists, the back of the curb. Cluster Box Unit or Mail Kiosk parking shall be calculated per UDO Section 8.3 standards and provided around the appropriate device

**Section 9: Resource Conservation Area (RCA)**

The Mt. Zion Church Road Assembly is located south and/or west of Highway 540 and is therefore required to meet the standards of UDO Section 8.1.2 to preserve or establish a minimum of 25% Resource Conservation Area (RCA) for the project. An additional 5% RCA is required for the single-family residential project if the site is mass graded. The project will protect perimeter buffers, environmentally sensitive areas, stream buffers, wetlands, and other locations where significant trees can provide wildlife habitat. The final RCA locations and acreage will be provided during the Master Subdivision Plan review.

**Section 10: Landscaping**

Perimeter buffers shall be established or protected to preserve the nature of the surrounding properties. The following buffers shall apply to the project’s perimeter:

- Northern boundary (N/F Uva Holland): 10 foot Type ‘B’
- Southern Boundary (vacant): 10 foot Type ‘B’
- Western Boundary (vacant): 10 foot Type ‘B’
- Eastern Boundary (Minor Collector - Mt. Zion Church Road): 30 foot Type ‘B’

**Collector Street Buffers along Mt. Zion Church Road:**

The UDO requires a 10 foot Type A buffer along a Minor Collector Road. The buffer width has been increased to provide a larger buffer while maintaining existing vegetation in the Type ‘B’ buffer standards. A berm will also be constructed along Mt. Zion Church Road where significant vegetation does not exist. Where significant vegetation exists, the berm will not be installed.

Landscaping within the new lots, open space, SCMs, and along streets will comply with various UDO sections including Section 8.2 for buffers, building plantings, foundation plantings and tree preservation around the perimeter of the site and within stream buffers/environmentally sensitive site areas.

**Section 11: Signage**

All signage will comply with the applicable standards and requirements of UDO Section 8.7. Signage for residential developments shall be coordinated with staff during the appropriate Master Subdivision Plan and/or Master Signage Plan approval.

## **Section 12: Public Facilities**

The project will extend existing public facilities to serve the site. All public facilities and infrastructure shall comply with the Town of Apex Sewer and Water Master Plans and the Town of Apex Standards and Specifications. Facilities include:

### Water:

Water will be provided by connecting to an existing Town of Apex water main in Mt. Zion Church Road and extended throughout the project. Town water will be stubbed to adjacent properties to future connectivity. The design team will coordinate with staff to locate and size the necessary extensions during the Master Subdivision and Construction Document review phases.

### Sanitary Sewer:

The existing sanitary sewer is located in Firenza Drive near the intersection with Mt. Zion Church Road. The project will evaluate the sewer connectivity for current and future development within the area for extensions as required per the UDO and Town Design Specification. The design shall be coordinated with Town of Apex staff during the Master Subdivision Plan and Construction Document phases.

### Streets:

The project proposes potential access and future connections as depicted on the PUD Preliminary Layout and is subject to final determination during the Master Subdivision Plan review. The final alignment of all internal streets shown within the Master Subdivision Plans will be coordinated with staff and consistent with the UDO.

### Other Utilities:

Electric service shall be provided by the Town of Apex in conjunction with the appropriate staff. Gas, telephone, and cable shall be provided by the builder as coordinated with the appropriate utility companies.

### Transportation:

Per UDO Section 13.19, a Traffic Impact Analysis (TIA) is not required as the project will generate less than 1,000 daily and/or 100 peak hour vehicle trips. Based upon discussions with staff, the project has agreed to construct the following roadway improvements. Said improvements will be coordinated with NCDOT as Mt. Zion Church Road is a State Maintained road at this time. Any deviation from Town of Apex Standards for the NCDOT roadway will be coordinated with Apex prior to installation.

#### Mt. Zion Church Road:

1. The Developer shall construct the full frontage improvements along Mt. Zion Church Road per the adopted Town of Apex Transportation Plan. Mt. Zion Church Road is identified as a two (2) lane Minor Collector Street and will be constructed to meet the Town's standards and specifications.

#### Mt. Zion Church Road at Site Drive #1 (intersection with Medoc Mountain Point)

1. The development shall construct single lane eastbound and westbound approaches with stop control from the development.

### **Section 13: Pedestrian Circulation System and Amenities**

Per UDO Section 2.3.4(F)(1), sidewalks shall be provided on both sides of all internal streets and along the frontage of any public roads which the development abuts. Per the Bike Apex Plan, a sidewalk is shown on the west side of Mt. Zion Church Road and will be installed in conjunction with the frontage improvements. Additional project amenities including open space, play lawns, greenway connections, and/or multi-use paths will be evaluated with staff to provide a walkable neighborhood

### **Section 14: Parks and Recreation**

Based upon the Bike Apex and the Parks, Recreation, Greenways, and Open Space Master Plan Map, greenways and parks are not identified on this property. On August 28, 2019, the Town of Apex Parks, Recreation and Cultural Resources Advisory Commission recommended with Parks & Recreation staff support, the acceptance of a fee in lieu of public land dedication for the project. The final fee in lieu amount will be confirmed during the Master Subdivision Plan review and approval through Technical Review Committee (TRC).

*Figure 1: Bike Apex and Advance Apex*

- Existing Sidewalks\*
- - - Proposed Sidewalks\*
- Existing Pedestrian/  
Vehicle Bridge
- Existing Pedestrian  
Underpass
- Existing Signalized  
Pedestrian Crossing
- Future Pedestrian Crossing
- Existing Greenway
- - - Proposed Greenway
- Existing Sidepath
- - - Proposed Sidepath
- - - Proposed Streetside Greenway
- Existing Bike Lanes
- Proposed Bike Lanes
- Proposed Paved Shoulders
- Proposed Bicycle Shared  
Lane Markings, "Bicycle May  
Use Full Lane" Signage &  
Speed Limit Reduction
- Private Greenway



### **Section 15: Natural Resources and Environmental Protection**

Mt. Zion Church Road is located within the Town’s Primary Watershed Protection Overlay District. This area is currently located in Wake County and will be annexed into Apex to obtain public utilities and Town services. The area is currently undeveloped and has a number of creeks and streams containing stream buffers and other environmentally sensitive areas. No portion of the property is located within a Special Flood Hazard areas as identified by FEMA FIRM Maps 37200721000J dated May 2, 2006. No historical structures are identified within the property boundary pursuant to the North Carolina State Historic Preservation Office’s website.

### **Section 16: Stormwater Management**

The project will contain a new Stormwater Control Measures (SCM) per Apex standards. The site is located within the Jordan Lake drainage basin and Apex’s Primary Watershed Overlay District and is therefore required to meet applicable standards of UDO Section 6.1. The project will utilize approved structural devices (SCMs) to control stormwater and sediment laden runoff, including detention ponds, retention ponds, bioretention cells, wetlands, underground devices, or other State recognized SCMs. The design Engineer will provide SCM routing in conjunction with the Town of Apex Stormwater and Utility Engineering staff to ensure compliance with appropriate requirements.

### **Section 17: Phasing**

The project consists of residential units, streets, utility services, landscaping, stormwater controls, and other site design features. This project is expected to be developed in a single phase, but multiple phases may be needed depending on conditions discovered during the review of the Master Subdivision Plan and Construction Drawings. Off-site roadway improvements shall be clearly delineated and identified for construction during the Master Subdivision Plan and Construction Drawing review process.

### **Section 18: Plan Consistency**

The proposed zoning for the Mt. Zion Church Road Assemble complies with the 2045 Land Use Map designation for this area as a Medium Density Residential Development. The proposed project density does not exceed 6.0 units/acre. The project will meet the requirements of the Transportation Master Plan, Advance Apex, Bike Apex, the Parks, Recreation, Greenways, and Open Space Master Plan, along with other Town of Apex adopted plans which direct development, as amended from time-to-time.

*Figure 2: 2045 Land Use Map*



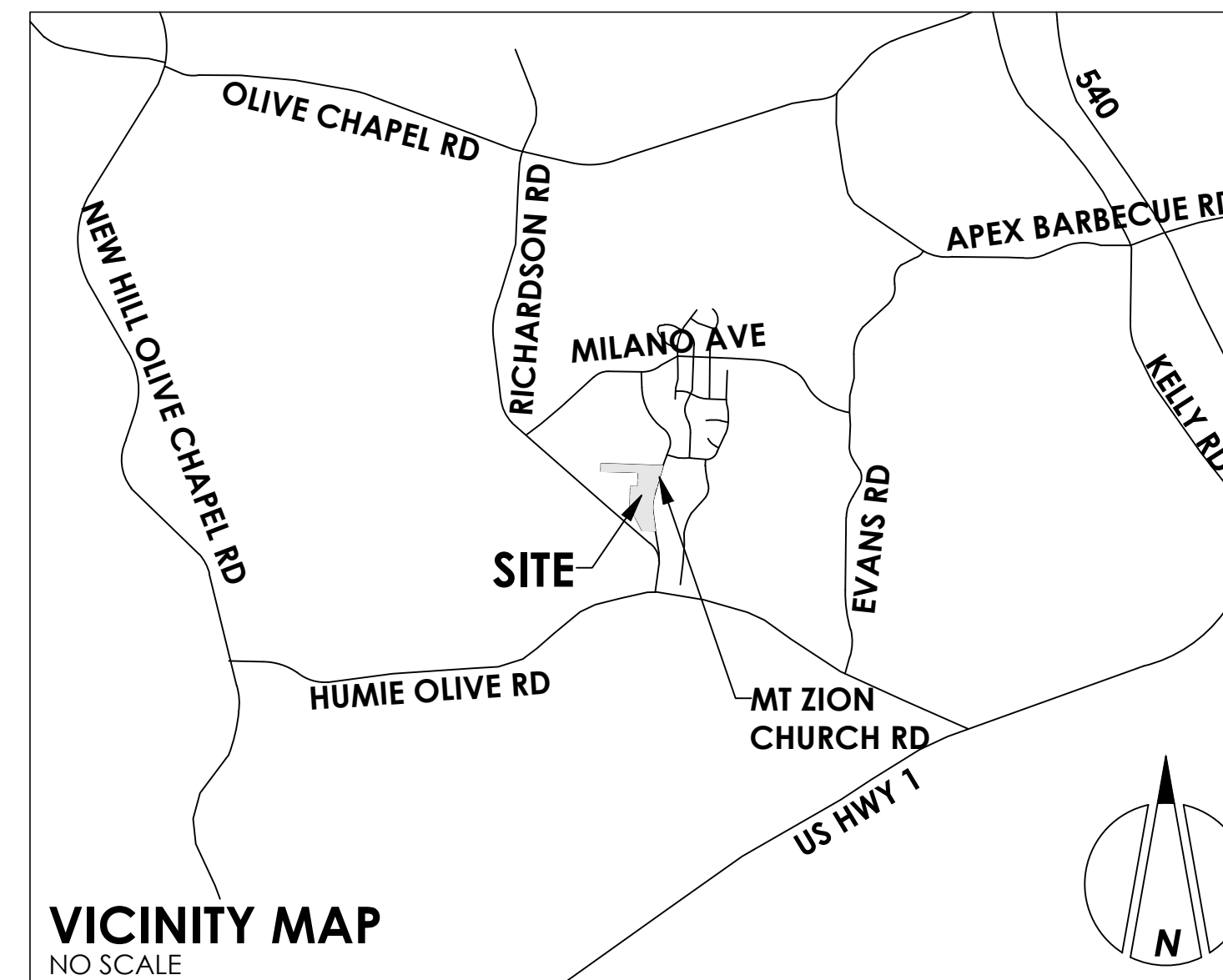
### **Section 19: Compliance with the Unified Development Ordinance**

Mt. Zion Church Road Assembly will comply with the relevant standards of the Town of Apex's Unified Development Ordinance and other development related standards. Any deviation from standards shall be approved by staff, Planning Board, or Town Council representatives throughout the zoning and design development processes as required.



# PLANNED UNIT DEVELOPMENT MT. ZION CHURCH ROAD ASSEMBLY

2600 MT. ZION ROAD  
APEX, NORTH CAROLINA  
PROJECT NUMBER: 190202  
DATE: JULY 1, 2019



## INDEX OF DRAWINGS:

- C000 COVER SHEET
- C001 EXISTING CONDITIONS
- C002 EXISTING CONDITIONS WITH TOPO
- C100 CONCEPTUAL SITE PLAN
- C200 CONCEPTUAL UTILITY PLAN

## PARKS AND RECREATION SITE DATA TABLE:

DATE REVIEWED BY PRCR ADVISORY COMMISSION: AUGUST 28, 2019

FEE-IN-LIEU:  
SINGLE-FAMILY DETACHED UNITS - \$3,395.67 / UNIT  
SINGLE-FAMILY ATTACHED UNITS - \$2,273.79 / UNIT  
MULTI-FAMILY UNITS - \$2,002.00 / UNIT

TOTAL FEE-IN-LIEU: TBD DURING FINAL MASTER SUBDIVISION PLAN REVIEW  
ACRES OF LAND DEDICATION: 0.0 ACRES  
PUBLIC GREENWAY TRAIL CONSTRUCTION:  YES  NO

The Parks, Recreation, and Cultural Resources Advisory Commission recommended a fee-in-lieu of land dedication for the project at their August 28, 2019 meeting.

## SITE INFORMATION:

Property Owner/Site Address	PIN	REID	Map Number	Deeded Acreage	Deed Book/Plat Book & Page
Lector Atwater 2504 Mt. Zion Church Road Apex, NC 27502	0721-43-2558	0002622	072103	2.97	DB 1758 PG 00143
Jerome Kenneth Atwater Heirs 2508 Mt. Zion Church Road Apex, NC 27502	0721-43-3444	0150542	072103	1.16	DB - PG -
Jerome Kenneth Atwater Heirs 2512 Mt. Zion Church Road Apex, NC 27502	0721-43-5322	0059759	072103	1.16	DB - PG -
Jerome Kenneth Atwater Heirs 2516 Mt. Zion Church Road Apex, NC 27502	0721-43-4156	0149562	072103	1.41	DB - PG -
Lector Atwater 2600 Mt. Zion Church Road Apex, NC 27502	0721-42-4940	0149560	072103	4.6	DB 3621 PG 855

**Total Deeded Acreage: 11.30 acres**

Each existing property owns to the centerline of Mt. Zion Church Road

Zoning:	PUD-CZ (Planned Unit Development - Conditional Zoning)
2045 Land Use Map:	Medium Density Residential
Existing Use:	Vacant & Single Family Residential
Proposed Uses:	Single-Family Detached
Township:	Buckhorn
Flood Zone Information:	Firm Panel 3720072100J dated May 2, 2006 does not show the presence of flood zones on properties.
Watershed Information:	Primary Watershed Protection Overlay District, Beaver Creek Basin, Cape Fear River Basin.
Historical:	Per the NC SHPO, no historical structures are located within the project boundary.
Annexation:	Project will be annexed prior to Construction Document approval

## Single Family Development Standards

- Proposed maximum density: 4.10 units/acre (includes R/W, RCA, open space & lots)
  - Maximum number of lots: 46 lots
  - Maximum built-upon percentage: 70%
  - Minimum lot width: 40'
  - Minimum lot depth: 90'
  - Minimum lot size: 4,000 SF
  - Maximum building height: 45 feet
- Building setbacks:
- Front setback: 10 feet from R/W
  - Garage setback: 20 feet from back of sidewalk, or back of curb where no sidewalk exists
  - Side setback: 3 feet min. (no aggregate)
  - Side setback, corner: 10 feet
  - Rear setback: 10 feet

DEVELOPER/OWNER  
**VAUGHN KING**  
PO BOX 1328  
CARY, NC 27512  
E: VAUGHNKING5@GMAIL.COM

ENGINEER/LAND PLANNER  
**PEAK ENGINEERING & DESIGN, PLLC**  
JEFF ROACH, P.E.  
1125 APEX PEAKWAY  
APEX, NC 27502  
Phone (919) 439-0100  
www.PeakEngineering.com

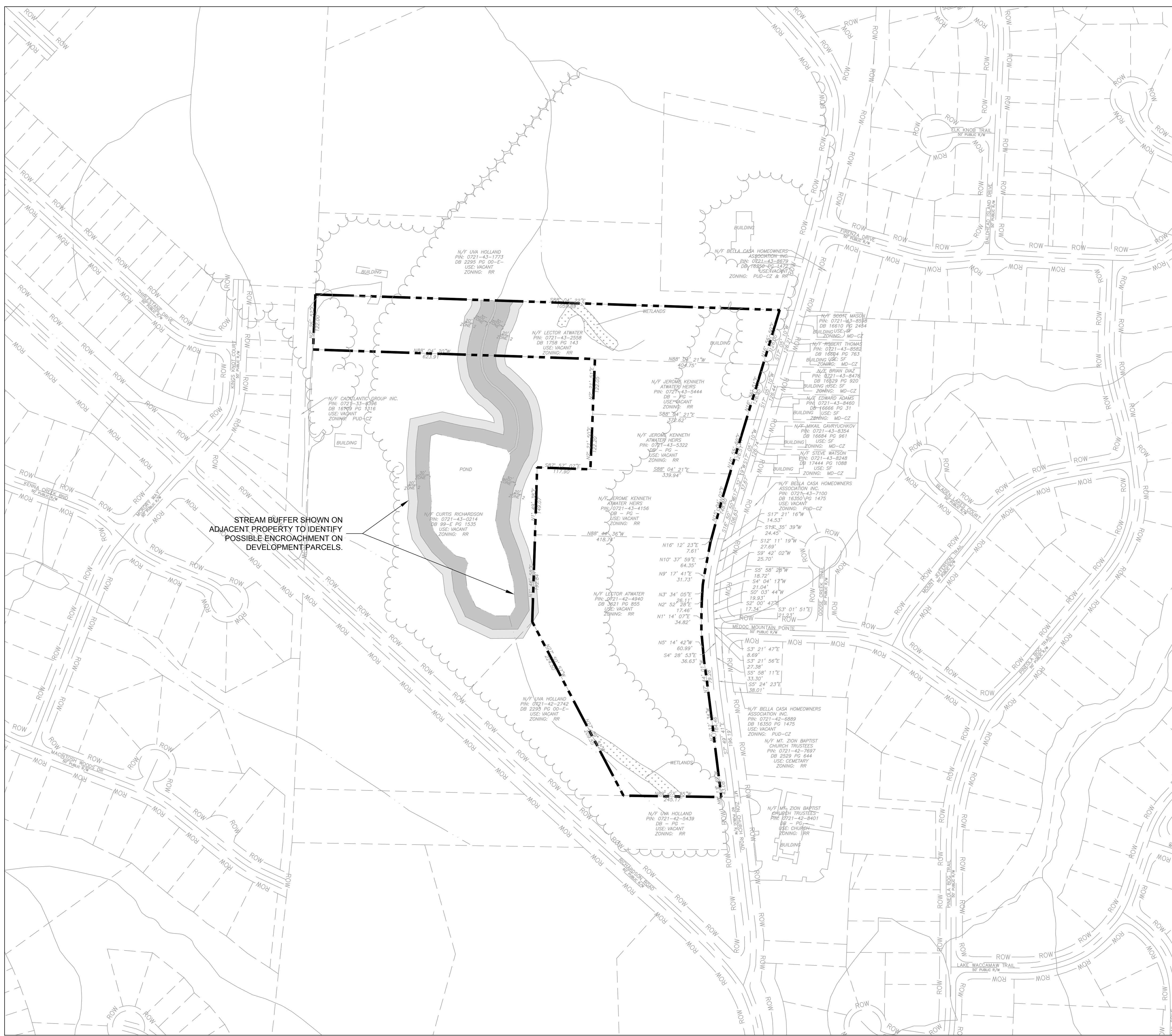
ENVIRONMENTAL CONSULTANT  
**SOIL & ENVIRONMENTAL CONSULTANTS (S&EC)**  
STEVEN BALL, RF, PWS  
8412 FALLS OF NEUSE ROAD SUITE 104  
RALEIGH, NC 27615  
Phone (919) 846-5900  
www.SandEC.com

NO.	DATE	REVISION
1	August 13, 2019	Issue 100 Final Review Comments
2	September 5, 2019	Issue 100 Final Review Comments
3	October 1, 2019	Issue 100 Final Review Comments

title:  
**COVER SHEET**

proj #:  
**190202**  
date:  
**July 1, 2019**  
dwg by: chkd by:  
**JE JR**  
scale:  
**As Noted**  
sheet:

**C000**  
Planned Unit  
Development



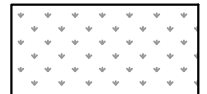


STREAM BUFFER SHOWN ON ADJACENT PROPERTY TO IDENTIFY POSSIBLE ENCROACHMENT ON DEVELOPMENT PARCELS.

- NOTES:**
1. THERE ARE NO CONTRIBUTING HISTORICAL STRUCTURES WITHIN THE PROJECT BOUNDARY.
  2. SUBJECT PROPERTIES KNOWN AS PARCEL IDENTIFICATION NUMBERS (PINS): AS SHOWN ON SHEET C000.
  3. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER AND THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY A DEED OF EASEMENT PRIOR TO UTILITY INFRASTRUCTURE CONSTRUCTION APPROVAL. THESE EASEMENTS SHALL BE DEDICATED TO THE TOWN OF APEX AND LABELED "TOWN OF APEX PUBLIC UTILITY EASEMENT".
  4. NO PERSON SHALL PLACE ANY PART OF A STRUCTURE, ANY PERMANENT EQUIPMENT, OR IMPONDMENT UPON TOWN OF APEX PUBLIC UTILITY EASEMENTS, PROHIBITED STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO: BUILDINGS, HOUSES, AIR CONDITIONING UNITS, HEAT PUMP UNITS, DECKS, GARAGES, STORAGE/TOOL SHEDS, SWIMMING POOLS, WALLS, RETAINING WALL, MECHANISMS/APURTANCES AND FENCES. UPON PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DEPARTMENT, FENCES MAY PERMITTED ACROSS EASEMENTS, PROVIDED THAT AN ACCESS GATE IS INSTALLED FOR THE FULL WIDTH OF THE EASEMENT.
  5. NO PERSON SHALL PLANT TREES, SHRUBS, OR OTHER PLANTS WITHIN A TOWN OF APEX PUBLIC UTILITY EASEMENT WITHOUT PRIOR WRITTEN APPROVAL FROM THE PUBLIC WORKS DEPARTMENT.
  6. ANY AND ALL STREET SIGNS SHALL ONLY BE PROVIDED AND INSTALLED BY THE TOWN OF APEX.
  7. FIRM PANEL 3720072100J EFFECTIVE 5-2-2006 DOES NOT SHOW THE PRESENCE OF FLOOD ZONES ON PROPERTIES.
  8. WATERSHED INFORMATION: PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT, BEAVER CREEK BASIN, CAPE FEAR RIVER BASIN.

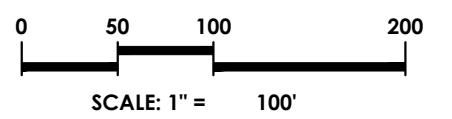
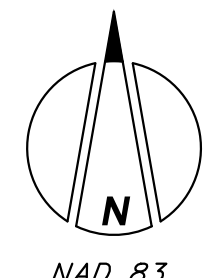
BOUNDARY INFORMATION OBTAINED FROM WAKE COUNTY GIS, DEED AND PLAT DESCRIPTIONS, APEX LIDAR, AND OTHER AVAILABLE DATA SOURCES. FINAL BOUNDARY AND SURVEY DOCUMENTS WILL BE PROVIDED DURING THE MASTER SUBDIVISION PLAN DESIGN PHASE OF THE DEVELOPMENT.

**STREAM BUFFERS**

-  30' ZONE 1 BUFFER
-  20' ZONE 2 BUFFER
-  WETLANDS

 PROJECT PERIMETER BOUNDARY

**ENVIRONMENTAL FEATURES NOTE:**  
 STREAM BUFFERS WERE OBTAINED FROM APEX WATERSHED PROTECTION OVERLAY DISTRICT MAP, USGS MAPPING, AND WAKE COUNTY SOILS SURVEY. A FINAL JURISDICTIONAL DETERMINATION (JD) MAP WILL BE PREPARED AND PROVIDED TO STAFF FOR APPROVAL CONCURRENCE.

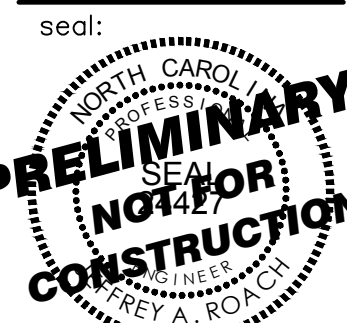


**1** EXISTING CONDITIONS  
 SCALE: 1" = 100'



NC License #P-0673

project: **MT. ZION CHURCH ROAD ASSEMBLY**  
**2600 MT. ZION CHURCH ROAD**  
**BUCKHORN TOWNSHIP**  
**APEX, NORTH CAROLINA 27502**



NO.	DATE	BY	REVISION
1	August 13, 2019	JE	Issue 100% Final Review Comments
2	September 5, 2019	JE	Issue 100% Final Review Comments
3	October 1, 2019	JR	Issue 100% Final Review Comments

title: **EXISTING CONDITIONS**

proj #: **190202**  
 date: **July 1, 2019**  
 dwg by: **JE**  
 chkd by: **JR**  
 scale: **As Noted**

sheet: **C001**  
 Planned Unit Development



**NOTES:**

1. THERE ARE NO CONTRIBUTING HISTORICAL STRUCTURES WITHIN THE PROJECT BOUNDARY.
2. SUBJECT PROPERTIES KNOWN AS PARCEL IDENTIFICATION NUMBERS (PINs): AS SHOWN ON SHEET C000.
3. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER AND THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY A DEED OF EASEMENT PRIOR TO UTILITY INFRASTRUCTURE CONSTRUCTION APPROVAL. THESE EASEMENTS SHALL BE DEDICATED TO THE TOWN OF APEX AND LABELED "TOWN OF APEX PUBLIC UTILITY EASEMENT".
4. NO PERSON SHALL PLACE ANY PART OF A STRUCTURE, ANY PERMANENT EQUIPMENT, OR IMPONDEMENT UPON TOWN OF APEX PUBLIC UTILITY EASEMENTS, PROHIBITED STRUCTURES INCLUDE, BUT ARE NOT LIMITED TO: BUILDINGS, HOUSES, AIR CONDITIONING UNITS, HEAT PUMP UNITS, DECKS, GARAGES, STORAGE/TOOL SHEDS, SWIMMING POOLS, WALLS, RETAINING WALL, MECHANISMS/APURTANCES AND FENCES. UPON PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DEPARTMENT. FENCES MAY PERMITTED ACROSS EASEMENTS, PROVIDED THAT AN ACCESS GATE IS INSTALLED FOR THE FULL WIDTH OF THE EASEMENT.
5. NO PERSON SHALL PLANT TREES, SHRUBS, OR OTHER PLANTS WITHIN A TOWN OF APEX PUBLIC UTILITY EASEMENT WITHOUT PRIOR WRITTEN APPROVAL FROM THE PUBLIC WORKS DEPARTMENT.
6. ANY AND ALL STREET SIGNS SHALL ONLY BE PROVIDED AND INSTALLED BY THE TOWN OF APEX.
7. FIRMA PANEL 3720072100J EFFECTIVE 5-2-2006 DOES NOT SHOW THE PRESENCE OF FLOOD ZONES ON PROPERTIES.
8. WATERSHED INFORMATION: PRIMARY WATERSHED PROTECTION OVERLAY DISTRICT, BEAVER CREEK BASIN, CAPE FEAR RIVER BASIN.

BOUNDARY INFORMATION OBTAINED FROM WAKE COUNTY GIS, DEED AND PLAT DESCRIPTIONS, APEX LIDAR, AND OTHER AVAILABLE DATA SOURCES. FINAL BOUNDARY AND SURVEY DOCUMENTS WILL BE PROVIDED DURING THE MASTER SUBDIVISION PLAN DESIGN PHASE OF THE DEVELOPMENT.

**STREAM BUFFERS**

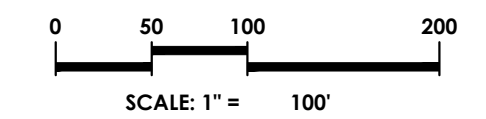
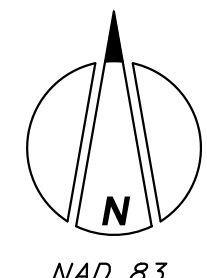
30' ZONE 1 BUFFER

20' ZONE 2 BUFFER

WETLANDS

PROJECT PERIMETER BOUNDARY

**ENVIRONMENTAL FEATURES NOTE:**  
 STREAM BUFFERS WERE OBTAINED FROM APEX WATERSHED PROTECTION OVERLAY DISTRICT MAP, USGS MAPPING, AND WAKE COUNTY SOILS SURVEY. A FINAL JURISDICTIONAL DETERMINATION (JD) MAP WILL BE PREPARED AND PROVIDED TO STAFF FOR APPROVAL CONCURRENCE.

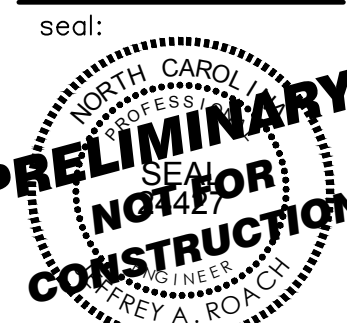


**1** EXISTING CONDITIONS WITH TOPO  
 SCALE: 1" = 100'



NC License #P-0673

project: **MT. ZION CHURCH ROAD ASSEMBLY**  
**2600 MT. ZION CHURCH ROAD**  
**BUCKHORN TOWNSHIP**  
**APEX, NORTH CAROLINA 27502**

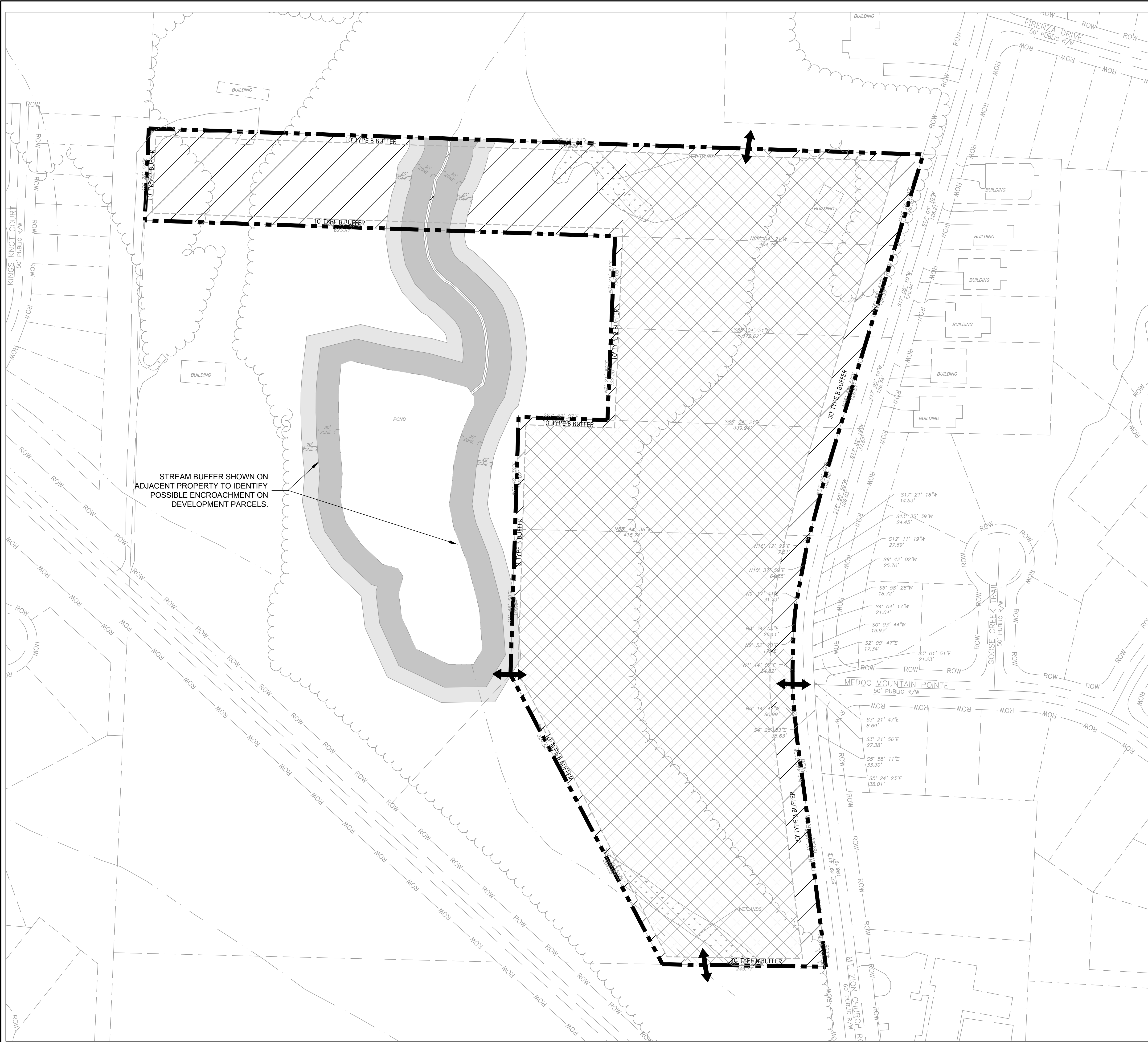


NO.	DATE	BY	REVISION
1	August 13, 2019	JE	Issue For Public Comments
2	September 5, 2019	JE	Issue For Public Comments
3	October 1, 2019	JR	Issue For Public Comments

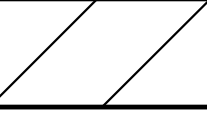


title: **EXISTING CONDITIONS WITH TOPO**



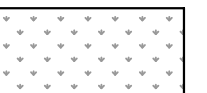
proj #: **190202**  
 date: **July 1, 2019**  
 dwg by: **chkd by: JE JR**  
 scale: **As Noted**

sheet: **C002**  
 Planned Unit Development



STREAM BUFFER SHOWN ON ADJACENT PROPERTY TO IDENTIFY POSSIBLE ENCROACHMENT ON DEVELOPMENT PARCELS.

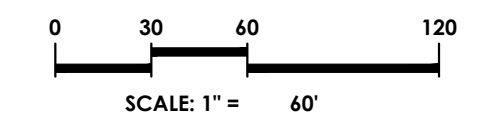
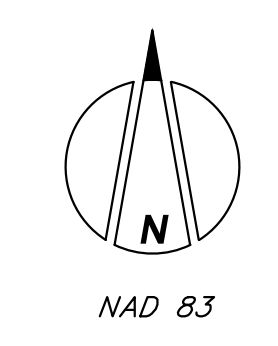
-  PRELIMINARY RESOURCE CONSERVATION AREA
-  PRELIMINARY DEVELOPMENT AREA
-  PRELIMINARY STREET CONNECTIONS

- STREAM BUFFERS
-  30' ZONE 1 BUFFER
  -  20' ZONE 2 BUFFER
  -  WETLANDS

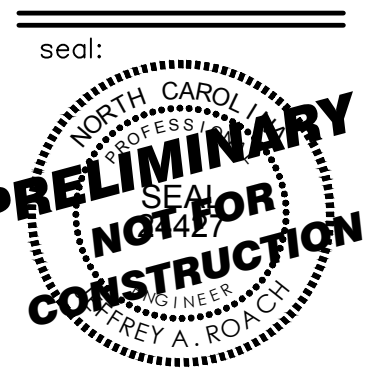
PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY

 PROJECT PERIMETER BOUNDARY

ENVIRONMENTAL FEATURES NOTE:  
 STREAM BUFFERS WERE OBTAINED FROM APEX WATERSHED PROTECTION OVERLAY DISTRICT MAP, USGS MAPPING AND WAKE COUNTY SOILS SURVEY. A FINAL JURISDICTIONAL DETERMINATION (JD) MAP WILL BE PREPARED AND PROVIDED TO STAFF FOR APPROVAL CONCURRENCE.



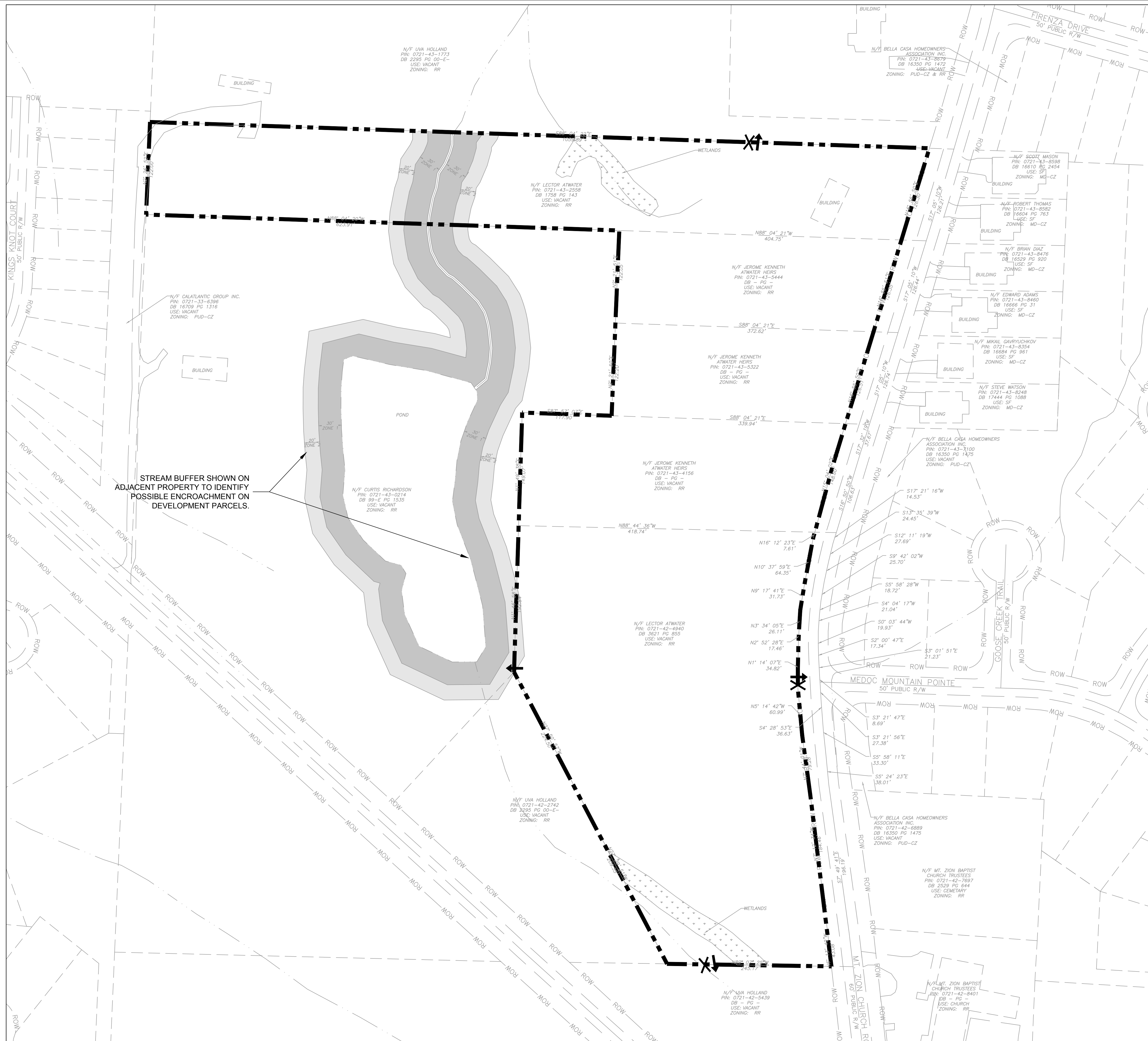
**1** CONCEPTUAL SITE PLAN  
 SCALE: 1" = 60'



NO.	DATE	BY	REVISION
1	August 13, 2019	JE	Issue for Public Review Comments
2	September 5, 2019	JE	Issue for Public Review Comments
3	October 1, 2019	JR	Issue for Public Review Comments

title:  
**CONCEPTUAL SITE PLAN**

proj #: **190202**  
 date: **July 1, 2019**  
 dwg by: **JE** chkd by: **JR**  
 scale: **As Noted**  
 sheet:



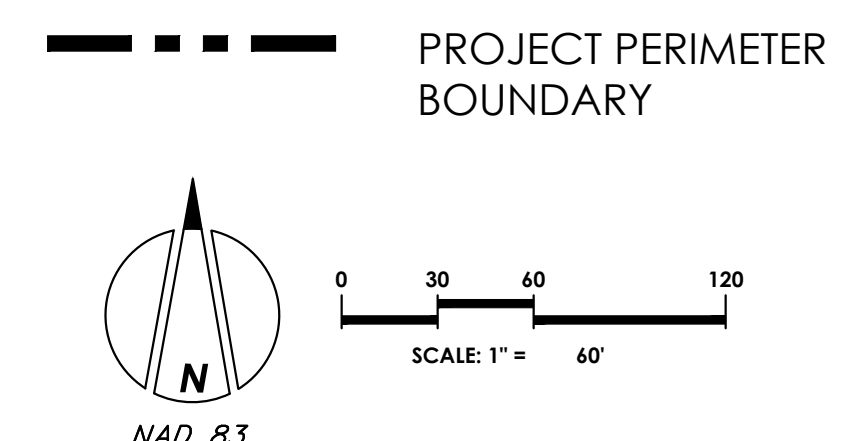
STREAM BUFFER SHOWN ON ADJACENT PROPERTY TO IDENTIFY POSSIBLE ENCROACHMENT ON DEVELOPMENT PARCELS.

- NOTES:
1. THE PROJECT IS REQUEST FULL TOWN OF APEX UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SERVICES. THE FINAL LOCATION AND TIMING OF THE REFERENCED SERVICES SHALL BE COORDINATED WITH TOWN STAFF.
  2. THE PROJECT IS NOT PROPOSING PRIVATE SEWAGE DISPOSAL.
  3. THE LOCATION OF LOTS, STREETS, OPEN SPACE, RESOURCE CONSERVATION AREAS, STORMWATER CONTROLS, AND OTHER SITE IMPROVEMENTS ARE ILLUSTRATIVE ONLY AND WILL BE COORDINATED WITH STAFF DURING THE MASTER SUBDIVISION PLAN REVIEW PROCESS.
  4. THE PROJECT WILL COMPLY WITH TOWN OF APEX STANDARDS AND SPECIFICATIONS AS OUTLINED WITHIN THE DESIGN AND DEVELOPMENT MANUAL, THE REZONING PD TEXT, AND UNIFIED DEVELOPMENT ORDINANCE (UDO).

- ↑ PROPOSED WATER CONNECTION
- ✕ PROPOSED SEWER CONNECTION

- STREAM BUFFERS
- 30' ZONE 1 BUFFER
  - 20' ZONE 2 BUFFER
  - WETLANDS

ENVIRONMENTAL FEATURES NOTE:  
 STREAM BUFFERS WERE OBTAINED FROM APEX WATERSHED PROTECTION OVERLAY DISTRICT MAP, USGS MAPPING, WAKE COUNTY SOILS SURVEY A FINAL JURISDICTIONAL DETERMINATION (JD) MAP WILL BE PREPARED AND PROVIDED TO STAFF FOR APPROVAL CONCURRENCE.

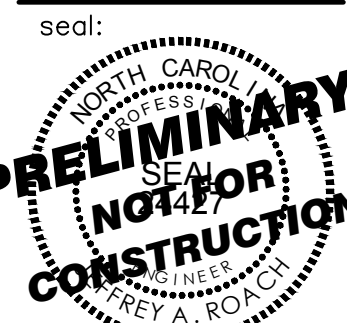


**1** CONCEPTUAL UTILITY PLAN  
 C200 SCALE: 1"= 60'



NC License #P-0673

project: **MT. ZION CHURCH ROAD ASSEMBLY**  
 2600 MT. ZION CHURCH ROAD  
 BUCKHORN TOWNSHIP  
 APEX, NORTH CAROLINA 27502



NO.	DATE	REVISION
1	August 13, 2019	Issue 100 Final Review Comments
2	September 5, 2019	Issue 102 Final Review Comments
3	October 1, 2019	Issue 103 Final Review Comments

title:  
**CONCEPTUAL UTILITY PLAN**

proj #:  
 190202  
 date:  
 July 1, 2019  
 dwg by: chkd by:  
 JE JR  
 scale:  
 As Noted



## **EXHIBITS**

### **I. COVER SHEET (Sheet C000)**

The Cover Sheet contains contact information, vicinity map, site design guidelines, and required Town of Apex notes and descriptions.

### **II. EXISTING CONDITIONS (Sheet C001)**

The existing conditions plan includes the base site items, zoning of adjacent properties, boundary, environmental features, and existing conditions around the property.

### **III. EXISTING CONDITIONS – TOPO (Sheet C002)**

The existing conditions (topo) plan includes all items from the C001 sheet and adds the existing topography. The C002 sheet also reduces the scale to allow for a more detailed review.

### **IV. CONCEPTUAL SITE PLAN (Sheet C100)**

This sheet includes standard site notes, site infrastructure, vehicular connectivity locations, buffers, areas proposed for development, and preliminary RCA designed areas.

### **V. CONCEPTUAL UTILITY PLAN (Sheet C200)**

The Conceptual Utility Plan shows the preliminary location for connection to existing water, sewer, and stormwater as well as the existing infrastructure for said services. The final design will be completed to the Apex standards at the time of Master Subdivision submittal.

Single-family residential standards:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. All single-family homes shall have a crawl space or have a raised foundation which at a minimum rises at least 20 inches from average grade across the front of the house to the finished floor level at the front door.
3. A maximum of 100% of the single-family detached residential units may be permitted as “zero-entry” homes without the 20 inch rise from average grade across the front of the property to the finished floor elevation. All “zero-entry” homes shall also provide first floor master bedrooms. Lots permitted as “zero-entry” shall be noted on the Final Plat.
4. Garage doors must have windows, decorative details or carriage-style adornments.
5. Front entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
6. The garage cannot protrude more than 6 feet from the front façade or front porch. Any homes where the front entry garage protrudes more than 1 foot from the front façade or front porch shall provide one of the following additional decorative elements:
  - Window
  - Bay window
  - Decorative gable
  - Decorative cornice
  - Columns
  - Portico
  - Balcony
  - Dormer
  - Trellis
  - Arbor
7. The rear and side elevations of the units that can be seen from the right-of-way shall contain at least 3 decorative elements such as, but not limited to, the following elements:
 

<ul style="list-style-type: none"> <li>• Windows</li> <li>• Bay window</li> <li>• Recessed window</li> <li>• Decorative window</li> <li>• Trim around the windows</li> <li>• Wrap around porch or side porch</li> </ul>	<ul style="list-style-type: none"> <li>• Two or more building materials</li> <li>• Decorative brick/stone</li> <li>• Decorative trim</li> <li>• Decorative shake</li> <li>• Decorative air vents on gable</li> </ul>	<ul style="list-style-type: none"> <li>• Decorative gable</li> <li>• Decorative cornice</li> <li>• Column</li> <li>• Portico</li> <li>• Balcony</li> <li>• Dormer</li> </ul>
---	--	--
8. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
9. Eaves shall project at least 12 inches from the wall of the structure.
10. Front porches shall be a minimum of 6 feet deep.
11. No more than 25% of the lots may be accessed with J-driveways. There shall be no more than 3 such homes in a row on any single block. Any lots eligible for a J-driveway home shall be identified on the Final Plat.
12. All single-family detached residential homes shall be pre-configured with conduit for a solar energy system.

### Single-Family Home Color Palette (Sherwin Williams)

Color selection shall generally be consistent and similar to the colors shown below.

#### Primary Colors

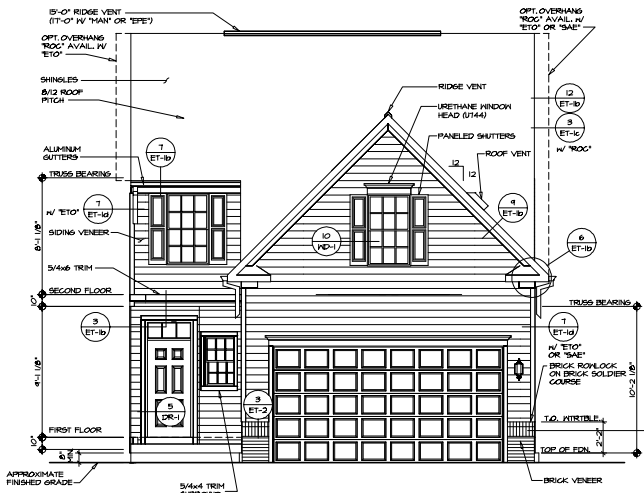


#### Accent Colors

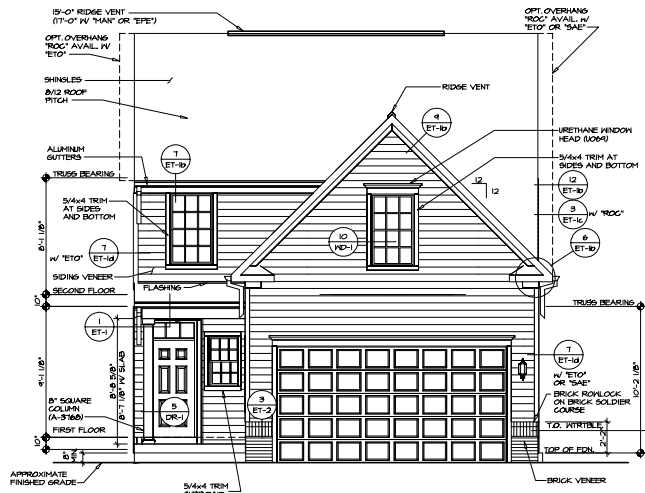


White may also be used as a primary, trim, or accent color with any palette variations

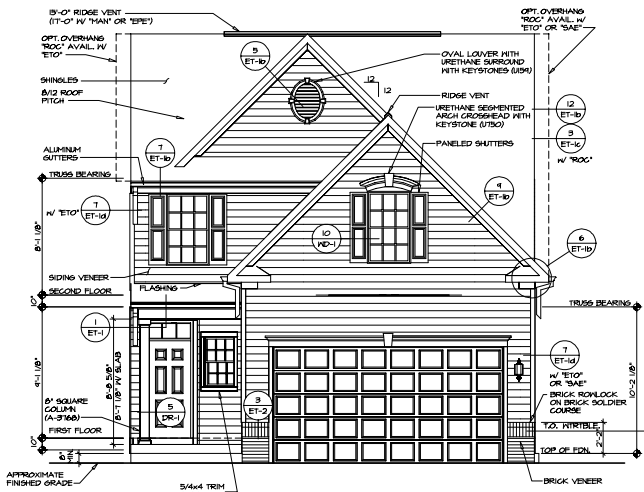




1 FRONT ELEVATION "A"  
 SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION "B"  
 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION "C"  
 SCALE: 1/4" = 1'-0"

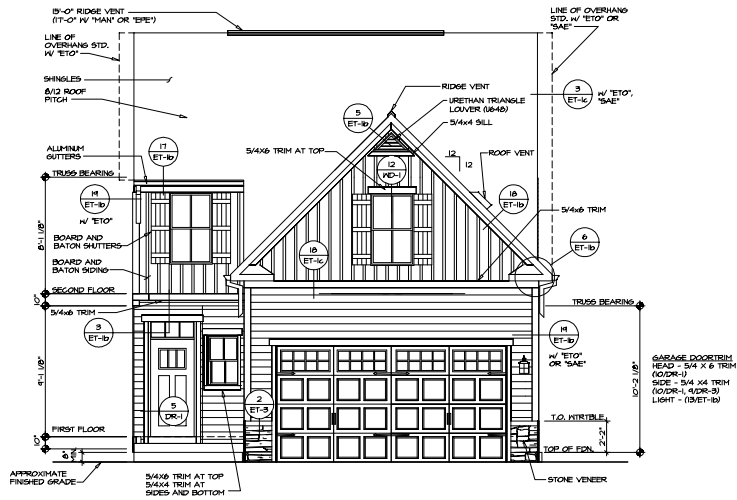
The garage cannot protrude more than 6' in front of the porch or front facade. Building elevations are required to meet Architectural conditions per the zoning commitments.

REVISIONS

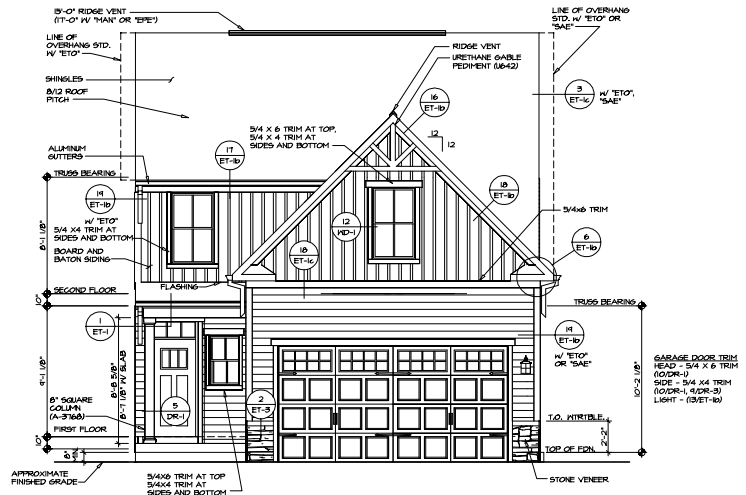
DATE



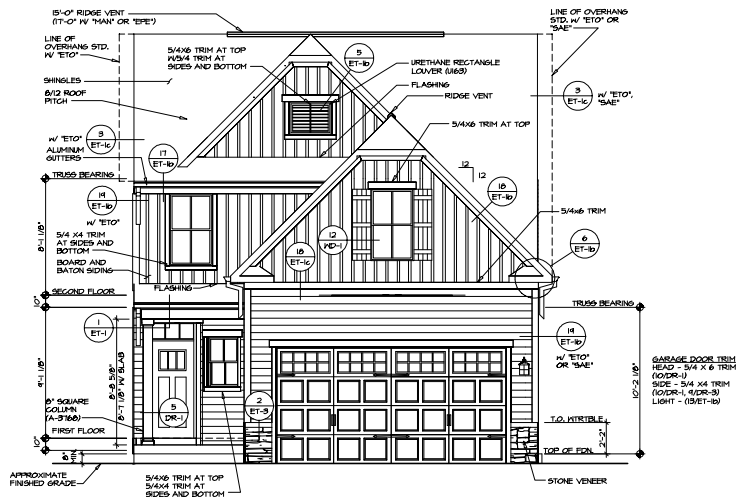
SHEET NO.	001	DATE	11/6/2017
OWNER	ALBERT	DRAWN BY	PV
PROJECT TITLE	FRONT ELEVATION	DATE	11/6/2017
NO. OF SHEETS	4	DATE	11/6/2017
ELEVATION "A"		DATE	11/6/2017
ELEVATION "B"		DATE	11/6/2017
ELEVATION "C"		DATE	11/6/2017



1 FRONT ELEVATION "K"  
A-1 SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION "L"  
A-1 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION "M"  
A-1 SCALE: 1/4" = 1'-0"

The garage cannot protrude more than 6' in front of the porch or front facade. Building elevations are required to meet Architectural conditions per the zoning commitments.

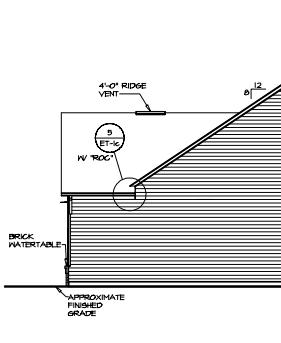
NOTE:  
GARAGE DOOR GLASS  
DESIGN MAY VARY BY  
MANUFACTURER

SHEET NO. <b>A-1</b>	DATE 11/6/2017	SCALE 1/4" = 1'-0"	PROJECT 150
	DRAWN BY MAY	CHECKED BY ELK	DATE 11/6/2017
	DESIGNED BY MAY	DATE 11/6/2017	PROJECT 150
	PROJECT TITLE FRONT ELEVATION	DATE 11/6/2017	PROJECT 150
PROJECT TITLE FRONT ELEVATION	DATE 11/6/2017	PROJECT 150	PROJECT 150
PROJECT TITLE FRONT ELEVATION	DATE 11/6/2017	PROJECT 150	PROJECT 150
PROJECT TITLE FRONT ELEVATION	DATE 11/6/2017	PROJECT 150	PROJECT 150

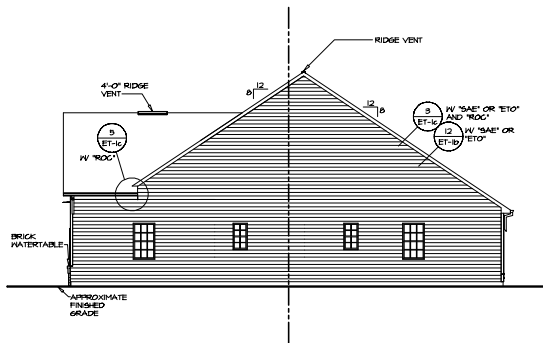


NVR  
NVR, Inc.  
5455 Praireville, MS 39206  
601.477.1111

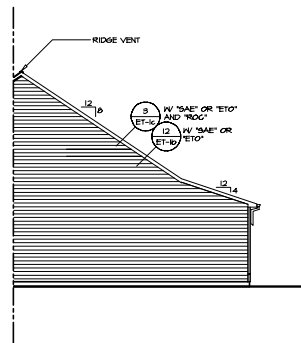
REVISIONS	REMARKS



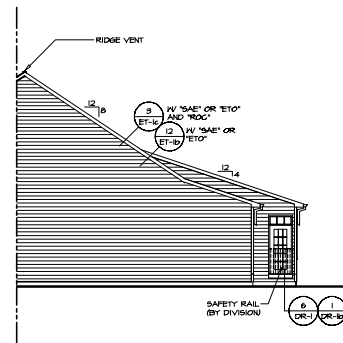
**7 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION B "TEL"



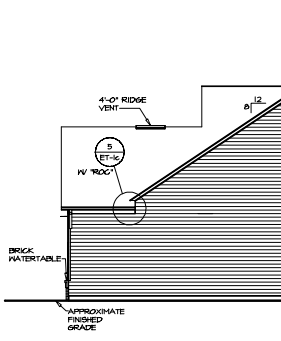
**1 RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION "ELA"  
 OPT. WINDOWS END UNIT SIDE "YGG"



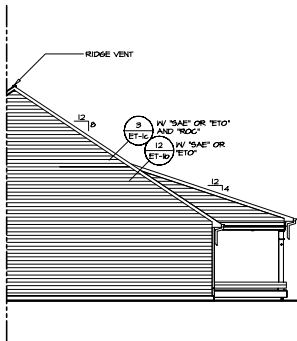
**2 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" OPT. LUXURY OWNER'S SUITE "TEL"



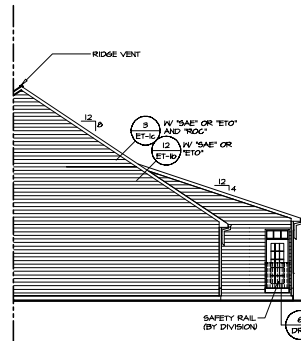
**3 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" OPT. SUNROOM "TEL"  
 OPT. LUXURY OWNER'S SUITE "TEL"



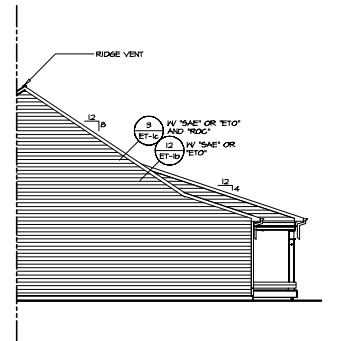
**8 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION C "TEL"



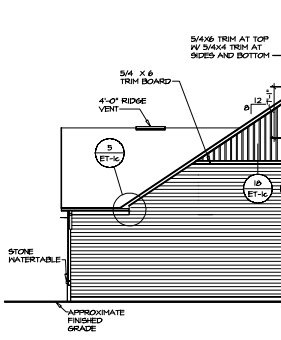
**4 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" OPT. COVERED PORCH "TEL"



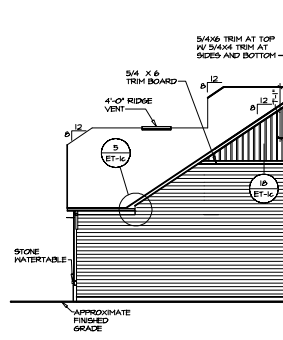
**5 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" OPT. SUNROOM "TEL"



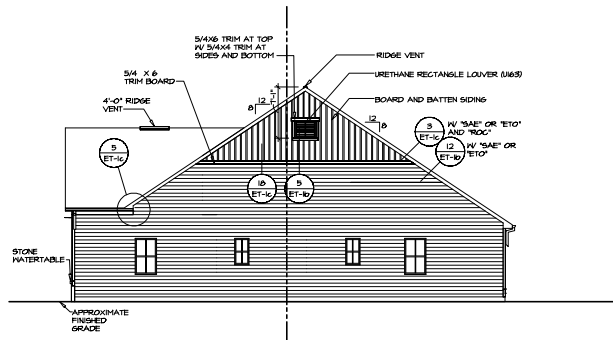
**6 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" OPT. COVERED PORCH "TEL"  
 OPT. LUXURY OWNER'S SUITE "TEL"



**9 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION L "TEL"



**10 PARTIAL RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION M "TEL"



**11 RIGHT SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0" ELEVATION K "TEL"  
 OPT. WINDOWS END UNIT SIDE "YGG"

REMARKS

REV. NO. DATE

1. This set, including contract, drawings, specifications, and any addenda, shall constitute the entire agreement between the parties. No oral agreement or understanding shall be binding on either party. In the event of a conflict between the drawings, specifications, and addenda, the order of precedence shall be: 1. Addenda, 2. Specifications, 3. Drawings, 4. Contract Documents. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary insurance and bonding. The contractor shall be responsible for obtaining all necessary licenses and registrations. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary insurance and bonding. The contractor shall be responsible for obtaining all necessary licenses and registrations.



DATE: 11/6/2017

SCALE: 1/8" = 1'-0"

ONE UNIT BUILDING

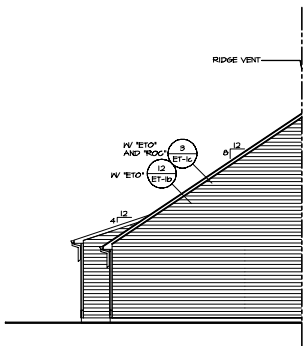
6

6

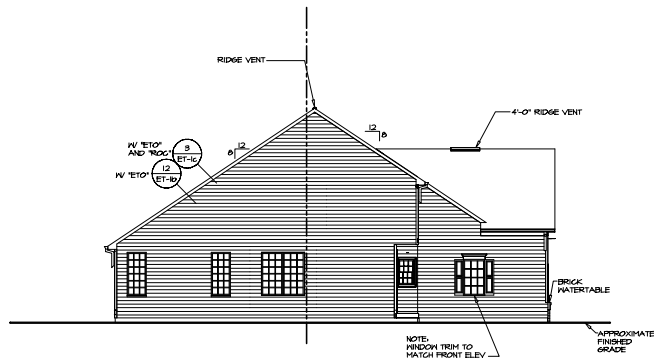
6

6

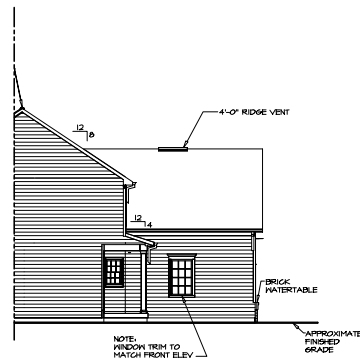
6



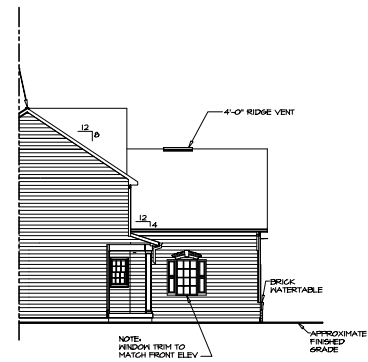
1 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 OPT. LUXURY OWNER'S SUITE TELB



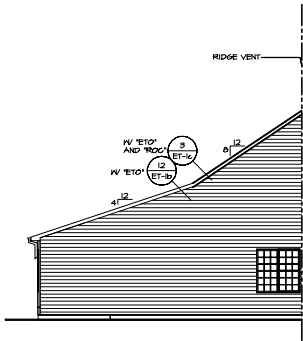
1 LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION A TELA  
 OPT. WINDOWS/ GREAT ROOM SIDE YEB  
 OPT. WINDOW DINING ROOM SIDE YEB



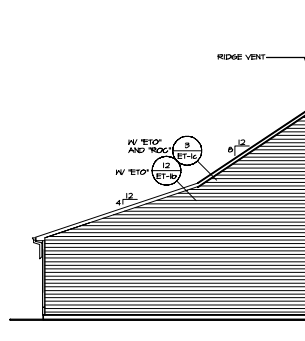
2 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION B TELB



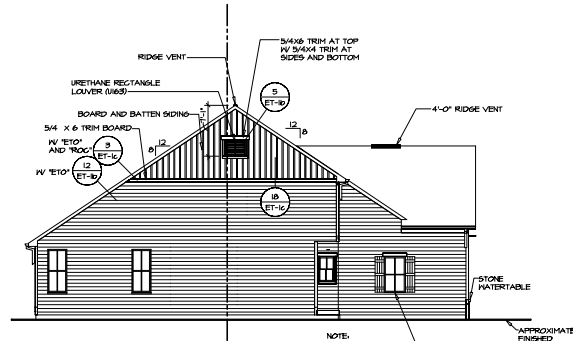
3 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION C TELC



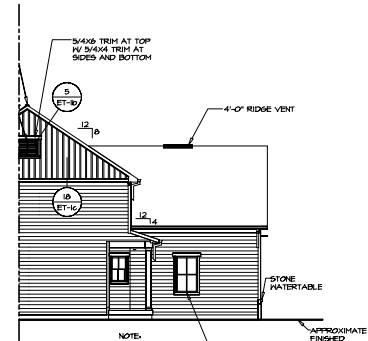
5 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 OPT. SUNROOM TAMB  
 OPT. LUXURY OWNER'S SUITE TELB  
 OPT. WINDOW DINING ROOM SIDE YEB



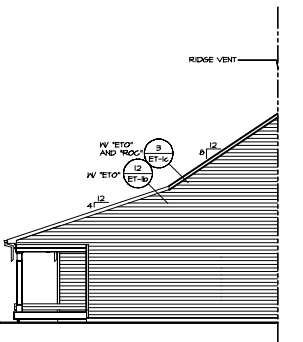
6 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 OPT. SUNROOM TAMB



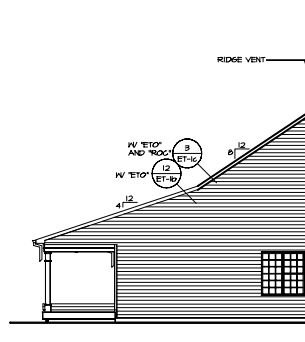
7 LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION K TELK  
 OPT. WINDOWS/ GREAT ROOM SIDE YEB



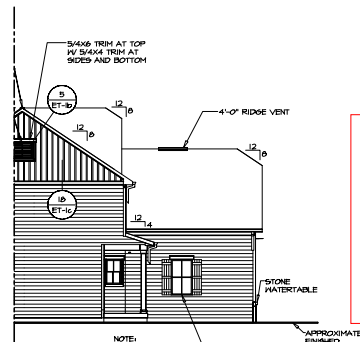
8 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION L TELL



4 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 OPT. COVERED PORCH TELP



10 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 OPT. COVERED PORCH TELP  
 OPT. LUXURY OWNER'S SUITE TELB  
 OPT. WINDOW DINING ROOM SIDE YEB



11 PARTIAL LEFT SIDE ELEVATION  
 SCALE: 1/8" = 1'-0"  
 ELEVATION M TELM

The garage cannot protrude more than 6' in front of the porch or front facade. Building elevations are required to meet Architectural conditions per the zoning commitments.

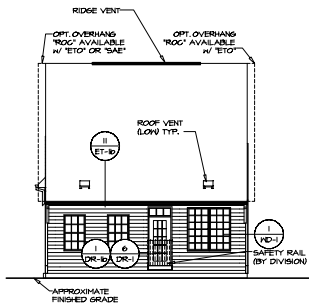
REV. NO.	DATE	REMARKS

1/8" = 1'-0" ARCHITECTURAL ELEVATIONS  
 NVR ARCHITECTURE  
 1500 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1100  
 WWW.NVRARCHITECT.COM

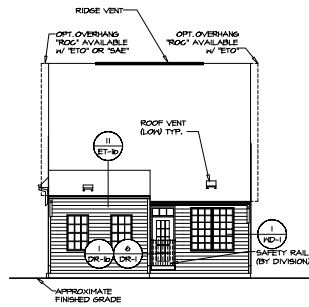


SET NO. 04/00  
 DATE 11/6/2017  
 DRAWN BY PIV  
 CHECKED BY  
 DATE 11/6/2017  
 PIVON ESCOFFIER  
 ONE INT. BUILDING  
 ETO

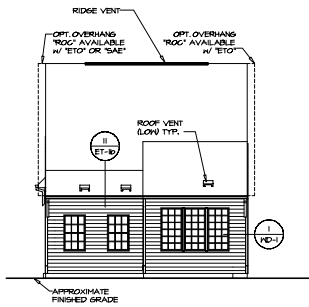
SHEET NO. 04/VALVERT  
 DRAWING TITLE  
 A-2 LEFT SIDE ELEVATION  
 PROJECT DESCRIPTION  
 ONE INT. BUILDING  
 7



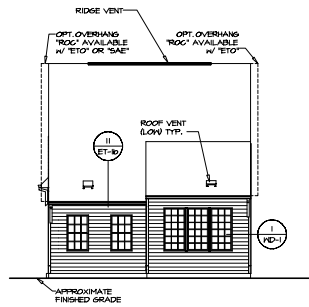
1 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



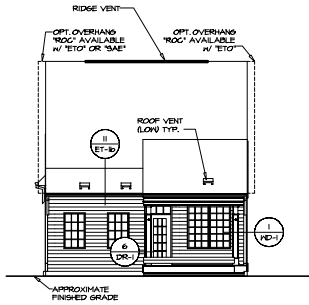
2 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. LUXURY OWNER'S SUITE 'TEL'



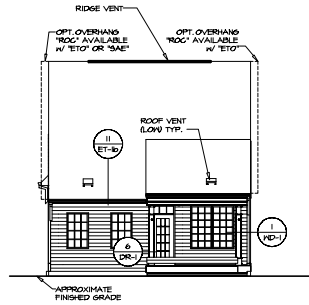
3 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. SUNROOM 'MAN' W/ OPT. LUXURY OWNER'S SUITE 'TEL'



4 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. SUNROOM 'MAN'



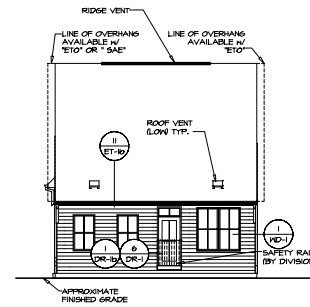
5 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. COVERED PORCH 'EPH' W/ OPT. LUXURY OWNER'S SUITE 'TEL'



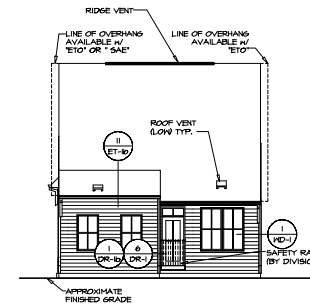
6 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. COVERED PORCH 'EPH'

SHOWN IN ELEVATION 'A-26' '1-1'

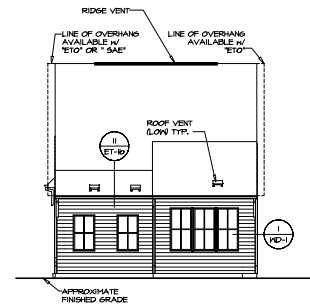
SHOWN IN ELEVATION 'A-26' '1-1'



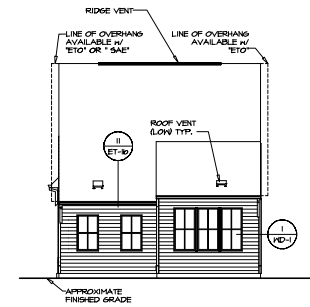
7 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



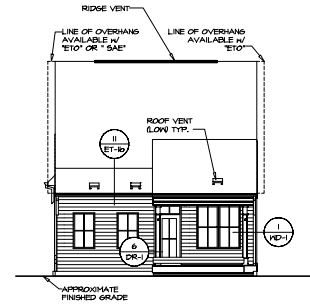
8 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. LUXURY OWNER'S SUITE 'TEL'



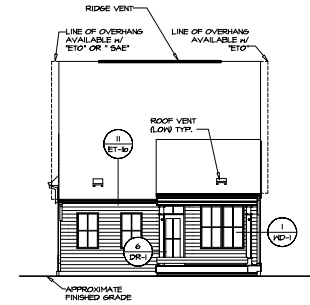
9 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. SUNROOM 'MAN' W/ OPT. LUXURY OWNER'S SUITE 'TEL'



10 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. SUNROOM 'MAN'



11 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. COVERED PORCH 'EPH' W/ OPT. LUXURY OWNER'S SUITE 'TEL'



12 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. COVERED PORCH 'EPH'

REV.	NO.	DATE	REMARKS

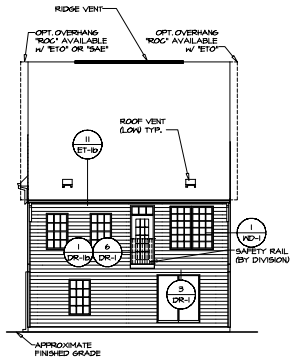
ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT. THIS DRAWING IS THE PROPERTY OF NVR, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF NVR, INC.

**NVR**  
NVR, Inc. 100  
5815 Peachtree Lake Dr., Suite 100  
Atlanta, GA 30342

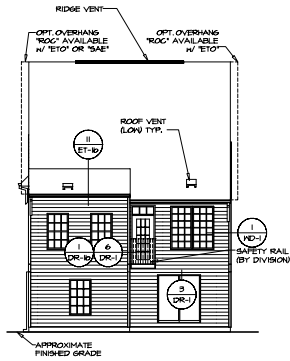
SHEET NO. 02  
DRAWING TITLE  
DATE: 11/6/2017

REAR ELEVATION  
OPTION DESCRIPTION  
A-26  
0

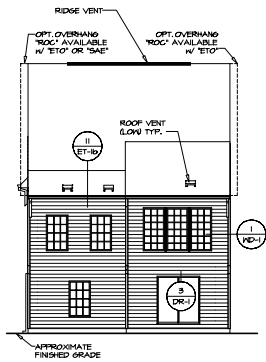
11/6/2017 10:58 AM



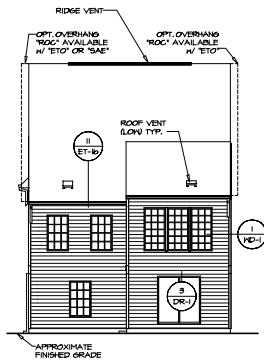
1 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



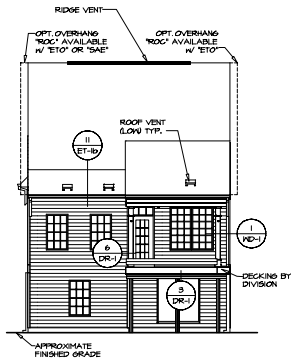
2 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. LUXURY OWNER'S SUITE "BLB"



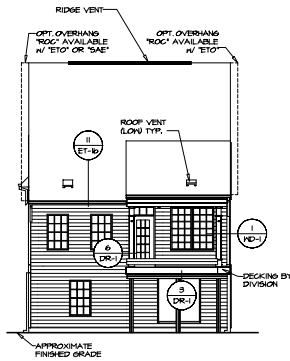
3 REAR ELEVATION  
SCALE: 1/8" = 1'-0" SUNROOM "MAN" OPT. LUXURY OWNER'S SUITE "BLB"



4 REAR ELEVATION  
SCALE: 1/8" = 1'-0" SUNROOM "MAN"



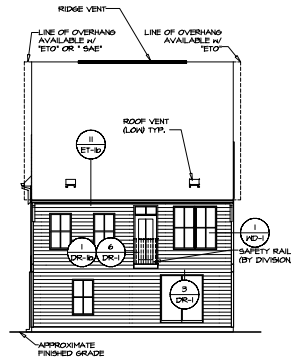
5 REAR ELEVATION  
SCALE: 1/8" = 1'-0" COVERED PORCH "EP" OPT. LUXURY OWNER'S SUITE "BLB"



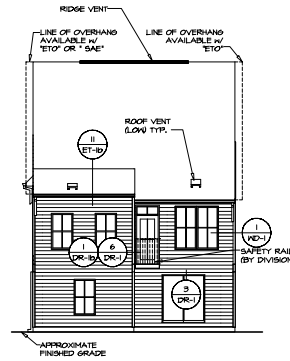
6 REAR ELEVATION  
SCALE: 1/8" = 1'-0" COVERED PORCH "EP"

SHOWN IN ELEVATION "A" "B" "C"

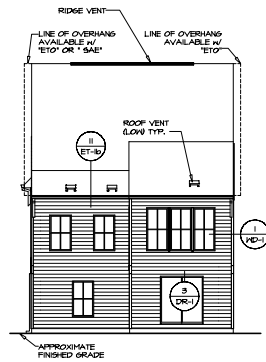
SHOWN IN ELEVATION "C" "L" "R"



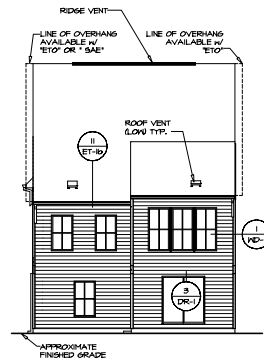
7 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



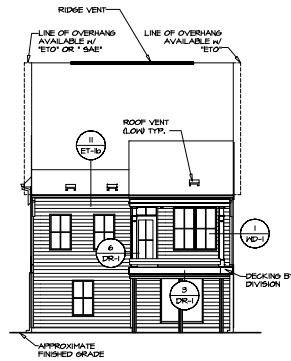
8 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. SLIDING GLASS DOOR WALKOUT BASEMENT "DGC" OPT. LUXURY OWNER'S SUITE "BLB"



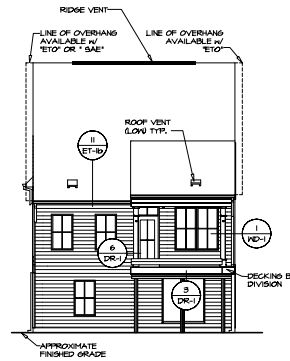
9 REAR ELEVATION  
SCALE: 1/8" = 1'-0" SUNROOM "MAN" OPT. LUXURY OWNER'S SUITE "BLB"



10 REAR ELEVATION  
SCALE: 1/8" = 1'-0" SUNROOM "MAN"



11 REAR ELEVATION  
SCALE: 1/8" = 1'-0" COVERED PORCH "EP" OPT. LUXURY OWNER'S SUITE "BLB"



12 REAR ELEVATION  
SCALE: 1/8" = 1'-0" OPT. COVERED PORCH "EP"

REMARKS

1. This drawing is for informational purposes only. It is not intended to be used for construction. The contractor is responsible for verifying all dimensions and conditions on the job site. The architect is not responsible for any errors or omissions in this drawing.



SET NO. 02/00  
DRAWING TITLE  
DATE: 11/6/2017

REAR ELEVATION  
DRAWN BY: JAC  
CHECKED BY: JAC

COVERED PORCH "EP"  
OPT. LUXURY OWNER'S SUITE "BLB"

11/17/18 10:28 AM



Cobalt Elevation



The garage cannot protrude more than 6' in front of the porch or front facade. Building elevations are required to meet Architectural conditions per the zoning commitments.

## Garnet Elevation





The garage cannot protrude more than 6' in front of the porch or front facade. Building elevations are required to meet Architectural conditions per the zoning commitments.

## Sapphire Elevation



Sienna Elevation



Elevation A - Traditional



Elevation B - Farmhouse



Elevation C - Low Country



Elevation D - Craftsman



Elevation E - Cottage



Elevation F - Traditional  
Enhanced



Elevation G - Farmhouse  
Enhanced



Elevation H - Craftsman  
Enhanced



Elevation J - Traditional  
Full Brick



Elevation K - Cottage  
Full Brick/Stone



**TOWN OF APEX**  
POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

## PUBLIC NOTIFICATION OF PUBLIC HEARINGS

### CONDITIONAL ZONING #19CZ15 Mt. Zion Church Road PUD

Pursuant to the provisions of North Carolina General Statutes Section 160A-364 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Planning Board and Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

**Applicant:** Vaughn King  
**Authorized Agent:** Jeff Roach, Peak Engineering & Design, PLLC  
**Property Addresses:** 2504, 2508, 2512, 2516, & 2600 Mt. Zion Church Rd.  
**Acreage:** ± 11.3  
**Property Identification Numbers (PINs):** 0721432558, 0721435444, 07214355322, 0721434156, & 0721424940  
**Existing 2045 Land Use Map Designation:** Medium Density Residential  
**Existing Zoning of Property:** Rural Residential (RR)  
**Proposed Zoning of Property:** Planned Unit Development-Conditional Zoning (PUD-CZ)

**Public Hearing Location:** Apex Town Hall  
73 Hunter Street, Apex, North Carolina  
Council Chambers, 2<sup>nd</sup> Floor

**Planning Board Public Hearing Date and Time:** October 14, 2019 4:30 P.M.  
**Town Council Public Hearing Date and Time:** October 15, 2019 7:00 P.M.

#### Vicinity Map:



Property owners within 300 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may appear at the public hearing and be heard with respect to the application. Maps showing the location for the above site(s) to be considered in addition to a copy of the [2045 Land Use Map](#) can be inspected at the Apex Town Hall or call 919-249-3426, Department of Planning and Community Development for further information. To view the petition and related documents on-line: <http://www.apexnc.org/DocumentCenter/View/28214>.

Published Dates: September 20, 2019 – October 15, 2019

Dianne F. Khin, AICP  
Planning Director



## TOWN OF APEX

POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

## PUBLIC NOTIFICATION OF PUBLIC HEARINGS

### CONDITIONAL ZONING #19CZ15 Mt. Zion Church Road PUD

Pursuant to the provisions of North Carolina General Statutes Section 160A-364 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Planning Board and Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

**Applicant:** Vaughn King

**Authorized Agent:** Jeff Roach, Peak Engineering & Design, PLLC

**Property Addresses:** 2504, 2508, 2512, 2516, & 2600 Mt. Zion Church Rd.

**Acreage:** ± 11.3

**Property Identification Numbers (PINs):** 0721432558, 0721435444, 07214355322, 0721434156, & 0721424940

**Existing 2045 Land Use Map Designation:** Medium Density Residential

**Existing Zoning of Property:** Rural Residential (RR)

**Proposed Zoning of Property:** Planned Unit Development–Conditional Zoning (PUD-CZ)

**Public Hearing Location:** Apex Town Hall  
73 Hunter Street, Apex, North Carolina  
Council Chambers, 2<sup>nd</sup> Floor

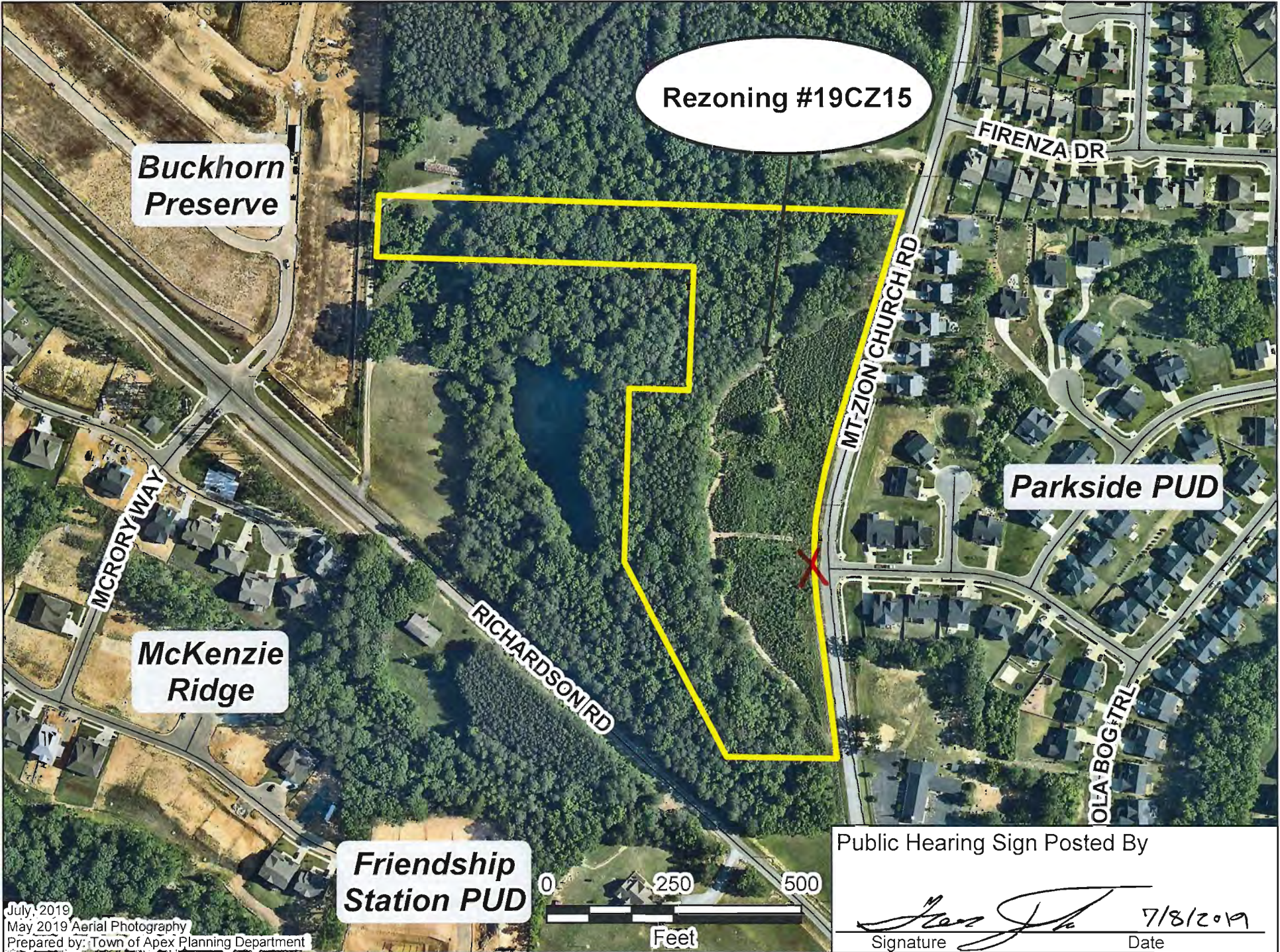
**Planning Board Public Hearing Date and Time:** October 14, 2019 **4:30 P.M.**

**Town Council Public Hearing Date and Time:** October 15, 2019 **7:00 P.M.**

#### Vicinity Map:



Property owners within 300 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may appear at the public hearing and be heard with respect to the application. Maps showing the location for the above site(s) to be considered in addition to a copy of the [2045 Land Use Map](#) can be inspected at the Apex Town Hall or call 919-249-3426, Department of Planning and Community Development for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/28214>.



Rezoning #19CZ15

Buckhorn Preserve

FIRENZA DR

MT-ZION CHURCH RD

Parkside PUD

MCRORY WAY

McKenzie Ridge

RICHARDSON RD

OLA BOG TRL

Friendship Station PUD



Public Hearing Sign Posted By

*[Signature]*  
Signature

7/8/2019  
Date



**TOWN OF APEX**

POST OFFICE BOX 250  
APEX, NORTH CAROLINA 27502  
PHONE 919-249-3426

**AFFIDAVIT CERTIFYING  
Public Notification – Written (Mailed) Notice**

Section 2.2.11

Town of Apex Unified Development Ordinance

Project Number and/or Name: Conditional Zoning #19CZ15  
Mt. Zion Church Rd. PUD  
Project Location: 2504, 2508, 2512, 2516 & 2600 Mt. Zion Church Rd.  
Applicant or Authorized Agent: Jeff Roach, PE  
Firm: Peak Engineering & Design, PLLC

This is to certify that I as Planning Director, mailed or caused to have mailed by first class postage for the above mentioned project on September 20, 2019, a notice containing the time and place, location, nature and scope of the application, where additional information may be obtained, and the opportunity for interested parties to be heard, to the property owners within 300' of the land subject to notification. I further certify that I relied on information provided to me by the above-mentioned person as to accuracy and mailing addresses of property owners within 300' of the land subject to notification.

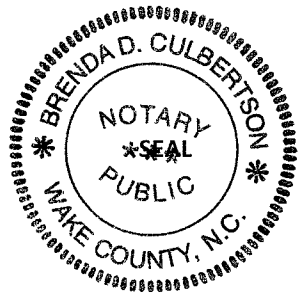
9/20/19  
Date

Juanne F. Khen  
Planning Director

STATE OF NORTH CAROLINA  
COUNTY OF WAKE

Sworn and subscribed before me, Brenda D. Culbertson, a Notary Public for the above State and County, this the 20th day of September, 2019.

Brenda D. Culbertson  
Notary Public



My Commission Expires: 8 / 15 / 2020