



PLANNED UNIT DEVELOPMENT APPLICATION

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Application #: 21CZ14 Submittal Date: 05/03/2021
Fee Paid \$ _____ Check # _____

PETITION TO AMEND THE OFFICIAL ZONING DISTRICT MAP

Project Name: Holland Road Mixed Use Assembly PUD
Address(es): 7528 Humie Olive Rd, 2236 Old US 1 Hwy, 1001, 1004, 1005 Red Cadrinal Lane 3104 & 3116 Holland Rd
PIN(s) 0720992587, 0720998487, 0730095707, 0731001087, 0731003359, 0731004075, 0730091779
Acreage: 28.68 acres

Current Zoning: RR Proposed Zoning: PUD-CZ
Current 2045 LUM Designation: Med & Med-High Density Residential & Commercial Services

Is the proposed rezoning consistent with the 2045 LUM Classification(s)? Yes No Adjustments required to boundaries

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use: Acreage: _____
Area proposed as non-residential development: Acreage: _____
Percent of mixed use area proposed as non-residential: Percent: _____

Applicant Information

Name: LG Investments, INC. att: Geno Ray
Address: 5944 Coral Ridge Drive Suite 312
City: Coral Springs State: FL Zip: 33076
Phone: (754) 875-2975 E-mail: geno@lginvest.net

Owner Information

Name: See Attached
Address: _____
City: _____ State: _____ Zip: _____
Phone: _____ E-mail: _____

Agent Information

Name: Peak Engineering & Design, PLLC, Jeff Roach
Address: 1125 Apex Peakway
City: Apex State: NC Zip: 27502
Phone: (919) 270-6940 E-mail: jroach@peakengineering.com
Other contacts: jedwards@peakengineering.com
jbarron@morningstarlawgroup.com

HOLLAND ROAD ASSEMBLY

Property Owner – Exhibit ‘A’

Property Owner	Contact Information	Site Address	PIN	Real Estate ID (REID)	Acreage	Current Zoning
David Ray Powell	524 Lapis Lane Cary, NC 27219	2236 Old US 1 Highway Apex, NC 27502	0720-99-8487	0197639	5.71 acres	RR
Johnny & Carolyn M. Pendergraft	2212 Old US 1 Hwy #1S Apex, NC 27502	1001 Red Cardinal Lane Apex, NC 27502	0730-09-1779	0160074	8.96 acres	RR
Pamela Purefoy, Francis T. Bullock Ernestine Smith	3116 Holland Road Apex, NC 27502	3116 Holland Road Apex, NC 27502	0730-09-5707	0070103	0.55 acres	RR
Joanne Pendergraft Hearn Heirs	Bonnie Wood 1115 Dycus Road Sanford, NC 27330	1005 Red Cardinal Lane Apex, NC 27502	0731-00-1087	0160076	2.00 acres	RR
RGNC-10, LLC	7307 NW 122 ND Ave Parkland, FL 33076	1004 Red Cardinal Lane Apex, NC 27502	0731-00-4075	0334537	2.10 acres	RR
Annie P. and Billy Stroup	1924 Old US 1 Hwy #1S Apex, NC 27502	3104 Holland Road Apex, NC 27502	0731-00-3359	0087601	7.36 acres	RR
Shelba W. Clem, P. Dianne Williams, Lisa W. Krummel	3007 Buckingham Way Apex, NC 27502	7528 Humie Olive Road Apex, NC 27502	0720-99-2587	0193211	2.00 acres	RR

Applicant and Owners’ Representative:

LG Investments, Inc.
Mr. Geno Ray
5944 Coral Ridge Drive Suite 312
Coral Springs, FL 33076
(754) 875-2975
geno@lginvest.net

Civil Engineer

Peak Engineering & Design, PLLC
Jeff Roach, P.E.
1125 Apex Peakway
Apex, NC 27502
(919) 439-0100
jroach@peakengineering.com

Real Estate Representative:

Billy Mills
Edwards Commercial Real Estate
2401 Weston Parkway Suite 103
Cary, NC 27513
(919) 618-3859
billymills0715@gmail.com

PLANNED UNIT DEVELOPMENT APPLICATION

Application #: 21CZ14

Submittal Date: 05/03/21

PLANNED UNIT DEVELOPMENT DISTRICT STANDARDS:

In return for greater flexibility in site design requirements, Planned Development (PD) Districts are expected to deliver exceptional quality community designs that preserve critical environmental resources; provide high quality community amenities; incorporate creative design in the layout of buildings, Resource Conservation Area and circulation; ensure compatibility with surrounding land uses and neighborhood character; provide high quality architecture; and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure. The Planned Development (PD) Districts shall not be used as a means of circumventing the Town's adopted land development regulations for routine developments. The PD text and plan should demonstrate how the standards of Sec. 2.3.4.F are met by the proposed rezoning.

LEGISLATIVE CONSIDERATIONS - CONDITIONAL ZONING

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest. Use additional pages as needed.

1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.

Answered within the PD Text document

2) *Compatibility.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.

Answered within the PD Text document

3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.

Answered within the PD Text document

PLANNED UNIT DEVELOPMENT APPLICATION

Application #: 21CZ14

Submittal Date: 05/03/21

PLANNED UNIT DEVELOPMENT DISTRICT STANDARDS:

In return for greater flexibility in site design requirements, Planned Development (PD) Districts are expected to deliver exceptional quality community designs that preserve critical environmental resources; provide high quality community amenities; incorporate creative design in the layout of buildings, Resource Conservation Area and circulation; ensure compatibility with surrounding land uses and neighborhood character; provide high quality architecture; and provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure. The Planned Development (PD) Districts shall not be used as a means of circumventing the Town's adopted land development regulations for routine developments. The PD text and plan should demonstrate how the standards of Sec. 2.3.4.F are met by the proposed rezoning.

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The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest. Use additional pages as needed.

1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.

Answered within the PD Text document

2) *Compatibility.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.

Answered within the PD Text document

3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.

Answered within the PD Text document

PETITION PROCESS INFORMATION

4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use’s minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.

Answered within the PD Text document

5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use’s minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.

Answered within the PD Text document

6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use’s avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.

Answered within the PD Text document

7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use’s effect on the health, safety, or welfare of the residents of the Town or its ETJ.

Answered within the PD Text document

8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.

Answered within the PD Text document

PETITION PROCESS INFORMATION

9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.

Answered within the PD Text document

10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

Answered within the PD Text document

CERTIFIED LIST OF NEIGHBORING PROPERTY OWNERS

Application #: 21CZ14

Submittal Date: 05/03/2021

Provide a certified list of property owners subject to this application and all property owners within 300' of the subject property and HOA Contacts.

	Owner's Name	PIN
1.	See Attached Sheets	
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		
11.		
12.		
13.		
14.		
15.		

I, Jonathan Edwards, certify that this is an accurate listing of all property owners and property owners within 300' of the subject property.

Date: February 22, 2021

By: *Jonathan Edwards*

COUNTY OF WAKE STATE OF NORTH CAROLINA

Sworn and subscribed before me, DANIEL WOODS, a Notary Public for the above State and County, on this the 22 day of FEBRUARY, 2021.



Daniel H Woods
Notary Public
DANIEL H WOODS
Print Name

My Commission Expires: 11/18/2023

BELLA CASA HOMEOWNERS ASSOCIATION INC
OMEGA ASSOCIATION MANAGEMENT
160 NE MAYNARD RD STE 210
CARY NC 27513-9676
0721904649, 0721909863, 0731000924, 0731007839

DONNIE & DEBBIE CLARK
7608 HUMIE OLIVE RD
APEX NC 27502-9670
0720895858

THOMAS & JODI CLARKE
2219 VASARI DR
APEX NC 27502-9681
0731003635

ALBERTO DIAZ
OLIVER & OLIVER PLLC
PO BOX 10349
RALEIGH NC 27605-0349
0731004075

MICHAELA & SENTELL WILLIAMS
2211 VASARI DR
APEX NC 27502-9681
0731003841

HEARN, JOANN PENDERGRAFT HEIRS
BONNIE WOOD
1115 DYCUS RD
SANFORD NC 27330-7566
0731001087

MELVIN & JENNIFER HUGHES
2400 VETRINA WAY
APEX NC 27502-7747
0721908881

JOYCE KELLY
2217 OLD US 1 HWY
APEX NC 27502-8408
0730093122

TONY MCDONALD
1825 N MAIN ST
HOLLY SPRINGS NC 27540-9003
0731110157

MILLER LAND GROUP LLC
1922 NAPOLI DR
APEX NC 27502-9660
0720999210

MARIANNA & CHARLES BURT
7601 HUMIE OLIVE RD
APEX NC 27502-9670
0720896485

DONNIE & DEBBIE CLARK TRUSTEE
7608 HUMIE OLIVE RD
APEX NC 27502-9670
0720897818

SHELBA CLEM & DIANE WILLIAMS
3007 BUCKINGHAM WAY
APEX NC 27502-9341
0720992587

ALAN ECKARD
7609 HUMIE OLIVE RD
APEX NC 27502-9670
0720894498

JAMES & CLYDE EVANS
3020 HOLLAND RD
APEX NC 27502-9151
0731005747

MARK & LESLIE HOPKINS
3017 HOLLAND RD
APEX NC 27502-9151
0731102964

JVI BUILDING & DEVELOPMENT, INC
2509 SOUTHWINDS RUN
APEX NC 27502-6512
0720990292

RICHER & RICHERE LEVERT
2309 OLD US 1 HWY
APEX NC 27502-8410
0720985958, 0720988948

DENNIS & MELISSA MCGURK
2216 VASARI DR
APEX NC 27502-9681
0731001764

DEREK & KIMBERLY MORGAN
2411 VETRINA WAY
APEX NC 27502-7747
0721905775

MARC CHADWICK
2220 VASARI DR
APEX NC 27502-9681
0731001666

ELIZABETH GANELL & ELIZABETH RENEE CLARK
4034 120TH AVE N
ROYAL PALM BEACH FL 33411-8917
0721902492

COOL POOLS NC, LLC
2300 OLD US 1 HWY
APEX NC 27502-8409
0730096271

JAMES & MARY EVANS
2712 BUTTERFINGER LN
APEX NC 27502-8978
0731007820

DANIEL & ELLEN GRIFFIN
2401 VETRINA WAY
APEX NC 27502-7747
0721908740

ERIC & NIDAA HOSSENLOPP
2212 VASARI DR
APEX NC 27502-9681
0731001862

KENTON & DEVON KAPLAN
2208 VASARI DR
APEX NC 27502-9681
0731001941

WALTER MCCLAMB
PO BOX 243
APEX NC 27502-0243
0730097826, 0730097922, 0730098773,
0730098936, 0730099807, 0731007076

JEFFREY & AUDRA MCRAE
2215 VASARI DR
APEX NC 27502-9681
0731003743

KEVIN & KATHRYN NASH
2410 VETRINA WAY
APEX NC 27502-7747
0721906933

NDJ VENTURES LLC
7201 APEX BARBECUE RD
APEX NC 27502-7788
0720898988, 0720899911, 0720993901

JOHNNY & CAROLYN PENDERGRAFT
2212 OLD US 1 HWY #1S
APEX NC 27502-8407
0730091779

DAVID POWELL
524 LAPIS LN
CARY NC 27519-8576
0720993254, 0720998487

PAMELA PUREFOY & FRANCES BULLOCK
3116 HOLLAND RD
APEX NC 27502-6680
0730095707

CRISTINA & SETH ROBERTS
2323 MANZONI DR
APEX NC 27502-9674
0731003914

THE ROMAN CATHOLIC DIOCESE OF
RALEIGH NC
7200 STONEHENGE DR
RALEIGH NC 27613-1622
0731006698, 0731101525

OLIVER & LISA SCHABENBERGER
2153 VECCHIO LN
APEX NC 27502-9704
0721907889

PETER SIMPSON & PATRICIA GOTSHALL
2415 VETRINA WAY
APEX NC 27502-7747
0721904787

ANNIE & BILLY STROUP
1924 OLD US 1 HWY #1S
APEX NC 27502-7765
0731003359, 0730190468

MATTHEW & KERRY SYKES
2319 MANZONI DR
APEX NC 27502-9674
0731003980

TERRY & TINA VITHOULKAS
2405 VETRINA WAY
APEX NC 27502-7747
0721907619

WESTERN WAKE BIBLE CHAPEL
7612 HUMIE OLIVE RD
APEX NC 27502-9670
0731009204

DEVELOPMENT NAME APPROVAL APPLICATION

Application #: 21CZ14

Submittal Date: 05/03/2021

Fee for Initial Submittal: No Charge

Fee for Name Change after Approval: \$500*

Purpose

To provide a consistent and clearly stated procedure for the naming of subdivisions and/or developments and entrance roadways (in conjunction with *Town of Apex Address Policy*) so as to allow developers to define and associate the theme or aesthetics of their project(s) while maintaining the Town's commitment to preserving the quality of life and safety for all residents of Apex proper and extraterritorial jurisdiction.

Guidelines

- ✓ The subdivision/development name shall not duplicate, resemble, or present confusion with an existing subdivision/development within Apex corporate limits or extraterritorial jurisdiction except for the extension of an existing subdivision/development of similar or same name that shares a continuous roadway.
- ✓ The subdivision/development name shall not resemble an existing street name within Apex corporate limits or extraterritorial jurisdiction unless the roadway is a part of the subdivision/development or provides access to the main entrance.
- ✓ The entrance roadway of a proposed subdivision/development shall contain the name of the subdivision/development where this name does not conflict with the Town of Apex *Road Name Approval Application* and *Town of Apex Address Policy* guidelines.
- ✓ The name "Apex" shall be excluded from any new subdivision/development name.
- ✓ Descriptive words that are commonly used by existing developments will be scrutinized more seriously in order to limit confusion and encourage distinctiveness. A list of commonly used descriptive words in Apex's jurisdiction is found below.
- ✓ The proposed subdivision/development name must be requested, reviewed and approved during preliminary review by the Town.
- ✓ A \$500.00 fee will be assessed to the developer if a subdivision/development name change is requested after official submittal of the project to the Town.*

*The imposed fee offsets the cost of administrative changes required to alleviate any confusion for the applicant, Planning staff, other Town departments, decision-making bodies, concerned utility companies and other interested parties. There is no charge for the initial name submittal.

Existing Development Titles, Recurring

	Residential	Non-Residential
10 or more	Creek, Farm(s), Village(s),	Center/Centre
6 to 9	Crossing(s), Park, Ridge, Wood(s)	Commons, Park
3 to 5	Acres, Estates, Glen(s), Green*, Hills	Crossing(s), Plaza, Station, Village(s)

*excludes names with Green Level

DEVELOPMENT NAME APPROVAL APPLICATION

Application #: 21CZ14

Submittal Date: 05/03/2021

Proposed Subdivision/Development Information

Description of location: Multiple properties at the intersection of Humie Olive Road and Old US 1 Highway

Nearest intersecting roads: Humie Olive Road, Old US 1 Highway and Holland Road

Wake County PIN(s): 0720992587, 0720998487, 0730095707, 0731001087, 0731003359, 0731004075

Township: Buckhorn 0730-09-1779

Contact Information (as appropriate)

Contact person: Peak Engineering & Design, Jeff Roach and Morningstar Law Group, Jason Barron

Phone number: (919) 439-0100 Fax number: _____

Address: 1125 Apex Peakway, Apex, NC 27523

E-mail address: jroach@peakengineering.com

Owner: LG Investments, INC. att: Geno Ray

Phone number: (754) 875-2975 Fax number: _____

Address: 5944 Coral Ridge Drive Suite 312, Corral Springs, FL 33076

E-mail address: geno@lginvest.net

Proposed Subdivision/Development Name

1st Choice: Holland Road Mixed Use Assembly (final name is being coordinated with property owners)

2nd Choice (Optional): _____

Town of Apex Staff Approval:

Town of Apex Planning Department Staff

Date

TOWN OF APEX UTILITIES OFFER AND AGREEMENT

Application #: 21CZ14 Submittal Date: 05/03/2021

**Town of Apex
73 Hunter Street
P.O. Box 250 Apex, NC 27502
919-249-3400**

WAKE COUNTY, NORTH CAROLINA CUSTOMER SELECTION AGREEMENT

At the intersection of Humie Olive Road & Old US 1 Highway, and the
intersection of Old US 1 Highway and Holland Road.
(the "Premises")

The Town of Apex offers to provide you with electric utilities on the terms described in this Offer & Agreement. If you accept the Town's offer, please fill in the blanks on this form and sign and we will have an Agreement once signed by the Town.

LG Investments, Inc. (Geno Ray), the undersigned customer ("Customer") hereby irrevocably chooses and selects the Town of Apex (the "Town") as the permanent electric supplier for the Premises. Permanent service to the Premises will be preceded by temporary service if needed.

The sale, delivery, and use of electric power by Customer at the Premises shall be subject to, and in accordance with, all the terms and conditions of the Town's service regulations, policies, procedures and the Code of Ordinances of the Town.

Customer understands that the Town, based upon this Agreement, will take action and expend funds to provide the requested service. By signing this Agreement the undersigned signifies that he or she has the authority to select the electric service provider, for both permanent and temporary power, for the Premises identified above.

Any additional terms and conditions to this Agreement are attached as Appendix 1. If no appendix is attached this Agreement constitutes the entire agreement of the parties.

Acceptance of this Agreement by the Town constitutes a binding contract to purchase and sell electric power.

Please note that under North Carolina General Statute §160A-332, you may be entitled to choose another electric supplier for the Premises.

Upon acceptance of this Agreement, the Town of Apex Electric Utilities Division will be pleased to provide electric service to the Premises and looks forward to working with you and the owner(s).

ACCEPTED:

CUSTOMER: LG Investments, Inc. (Geno Ray)

TOWN OF APEX

BY: 
Authorized Agent

BY: _____
Authorized Agent

DATE: 4/30/2021

DATE: _____

AGENT AUTHORIZATION FORM

Application #: 21CZ14 Submittal Date: 5/3/21

David Ray Powell is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 2236 Old US 1 Highway, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

David R. Powell
 Type or print name

29 Apr 21
 Date

 Type or print name

 Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, David R. Powell (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

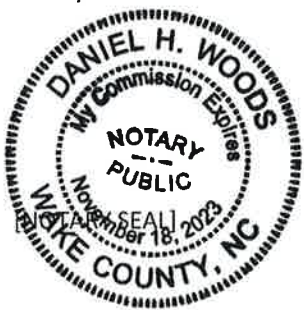
- 1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 2236 Old US 1 Highway, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
- 2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
- 3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 8/19/1993, and recorded in the Wake County Register of Deeds Office on 8/23/1993, in Book 5746 Page 0146.
- 4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
- 5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 8/23/1993, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 8/26/1993, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the _____ day of _____, 20____.

David R. Powell (seal)
David R. Powell
 Type or print name

STATE OF NORTH CAROLINA
 COUNTY OF WAKE

I, the undersigned, a Notary Public in and for the County of WAKE, hereby certify that DAVID POWELL, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's DRIVERS LICENSE, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Daniel H. Woods
 Notary Public
 State of North Carolina
 My Commission Expires: 11/18/2023

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

Johnny Pendragraft is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 3104 Holland Road, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

Johnny Pendragraft
JOHNNY PENDRAGRAFT Type or print name

4/28/2021
Date

Carolyn M. Pendragraft
CAROLYN M. PENDRAGRAFT Type or print name

4-28-21
Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21/CZ14

Submittal Date: 5/3/21

The undersigned, JOHNNY PENDERGRAFT (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3104 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1301-1303.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 28 day of APRIL, 2021.

JOHNNY PENDERGRAFT (seal)
JOHNNY PENDERGRAFT
 Type or print name

STATE OF NORTH CAROLINA
 COUNTY OF WAKE

I, the undersigned, a Notary Public in and for the County of WAKE, hereby certify that JOHNNY PENDERGRAFT, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's DRIVERS LICENSE, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Daniel H. Woods
 Notary Public
 State of North Carolina
 My Commission Expires: 11/18/2023

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

Nelson R. Smith is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 3116 Holland Road, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*


Nelson R Smith
Type or print name

APR 30, 2021
Date

Type or print name

Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, Nelson R Smith (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 30 day of April, 2021.

Nelson R. Smith (seal)
Nelson R. Smith

Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Cumberland

I, the undersigned, a Notary Public in and for the County of Cumberland, hereby certify that Nelson R. Smith, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Nelson R. Smith, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.

KONIEKA DAVIS
Notary Public
Cumberland Co., North Carolina
My Commission Expires Nov. 16, 2022

[NOTARY SEAL]

Konieka Davis
Notary Public
State of North Carolina
My Commission Expires: 11/16/22

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

Frances Bullock and Flonneka Purefoy the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
Site Plan
Subdivision
Variance
Other:

The property address is: 3116 Holland Road, Apex, NC

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

Handwritten signature of Frances T. Bullock and printed name Frances T. Bullock

Handwritten signature and date 5/2/2021

Handwritten signature of Flonneka Purefoy and printed name Flonneka Purefoy

Handwritten date 5/2/2021

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

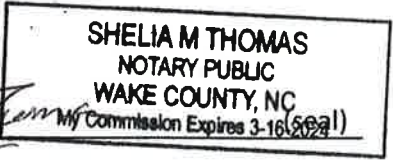
The undersigned, _____ (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

- Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in Exhibit "A" attached hereto and incorporated herein (the "Property").
- This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
- If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306.
- If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
- If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 2nd day of May, 2021.

Shelia M. Thomas

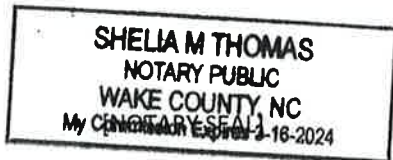
 Shelia M. Thomas



Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that Frances T. Bullwalk, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Frances T. Bullwalk, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Shelia M. Thomas

 Notary Public
 State of North Carolina
 My Commission Expires: 3-16-2024

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, _____ (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 2 day of MAY, 2021.

Shelia M. Thomas
Shelia M. Thomas

SHELIA M THOMAS
NOTARY PUBLIC
WAKE COUNTY, NC
My Commission Expires 3-16-2024

Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that Flonneka Parefoy, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Flonneka Parefoy, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.

Shelia M. Thomas
Notary Public
State of North Carolina
My Commission Expires: 3-16-2024

SHELIA M THOMAS
NOTARY PUBLIC
WAKE COUNTY, NC
My Commission Expires 3-16-2024

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

_____ is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: _____

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

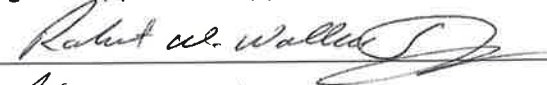
Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)


Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*


Robert W. Walker, Jr 5/5/21
 Type or print name Date


Sharie B Walker 05/05/21
 Type or print name Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14 Submittal Date: 5/3/21

The undersigned, _____ (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 5 day of May, 2021.

(Signature) (seal)
Sharie B. Walker
 Type or print name

STATE OF NORTH CAROLINA
 COUNTY OF Gerrard

I, the undersigned, a Notary Public in and for the County of Vance, hereby certify that Robert B Walker Jr, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Sharie B Walker, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



(Signature)
 Notary Public
 State of North Carolina
 My Commission Expires: 7/18/23

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, _____ (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 5 day of May, 2021.

Robert W. Walker Jr. (seal)
Robert W. Walker Jr.
 Type or print name

STATE OF NORTH CAROLINA
 COUNTY OF Granville

I, the undersigned, a Notary Public in and for the County of Vance, hereby certify that Robert W Walker Jr., Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's Robert W Walker Jr., personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Kristian A. Wilkerson
 Notary Public
 State of North Carolina
 My Commission Expires: 7/18/23

AGENT AUTHORIZATION FORM

Application #: 21CZ14 Submittal Date: 5/3/21

Crystal Purefoy is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 3116 Holland Road, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-0100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

Crystal Purefoy
Crystal Purefoy
Type or print name

5-3-2021
Date

Type or print name

Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, Crystal Purefoy (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3116 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1304-1306
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 23 day of July, 2021.

(seal)

Crystal Purefoy
Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that Crystal Purefoy, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's NC DL, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.

JENNIFER M TORRES
Notary Public
Wake County, NC
[NOTARY SEAL]

[Signature]
 Notary Public
 State of North Carolina
 My Commission Expires: 2-18-2024

AGENT AUTHORIZATION FORM

PIN
0731-00-1087

Application #: 21CZ14

Submittal Date: 5/3/21

Bonnie H. Wood is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 1005 Red Cardinal Lane

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

Bonnie H. Wood

Bonnie H. Wood

Type or print name

5-4-21

Date

Type or print name

Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, Bonnie H. Wood (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 1005 Red Cardinal Lane, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 2/13/2016, and recorded in the Wake County Register of Deeds Office on 2/13/2016, in Book 16-E Page 835.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 2/13/2016, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 2/13/2016, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 4th day of May, 2021.

Bonnie H. Wood (seal)

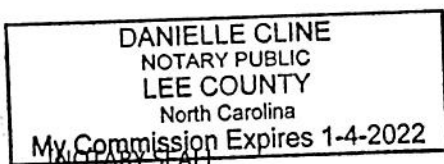
Bonnie H. Wood

Type or print name

STATE OF NORTH CAROLINA

COUNTY OF Lee

I, the undersigned, a Notary Public in and for the County of Lee, hereby certify that Bonnie H. Wood Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's drivers license, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Danielle Cline
Notary Public
State of North Carolina
My Commission Expires: 1-4-2022

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

RGNC-10, LLC is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 104 Red Cardinal Lane (PIN 0731-00-4075)

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent


Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*


Rich Lewarchi Type or print name

5/5/21
Date

 _____ Type or print name

 _____ Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, RGNC-10, LLC (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

- 1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 1004 Red Cardinal Lane, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
- 2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
- 3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/25/2021, and recorded in the Wake County Register of Deeds Office on 10/25/2021, in Book 18763 Page 1063 - 1066.
- 4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
- 5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/25/2021, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/25/2021, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

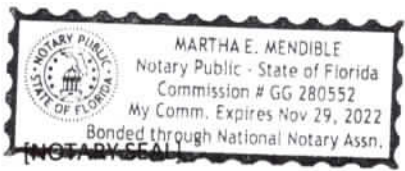
This the 5th day of Jan, 2022.

Rich Leonard (seal)
Rich Leonard

Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Broward

I, the undersigned, a Notary Public in and for the County of Broward, hereby certify that Rich Leonard, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's _____, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



Rich Leonard
Notary Public Florida
State of North Carolina
My Commission Expires: 11/29/2022

AGENT AUTHORIZATION FORM

Application #: 21CZ14 Submittal Date: 5/3/21

Billy E. STROUP is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 3104 Holland Road, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com


Signature(s) of Owner(s)*

Billy E. STROUP
Type or print name

4-28-2021
Date

Type or print name

Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP


Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, Billy E. Stroup (the "Affiant") first being duly sworn, hereby swears or affirms as follows:


1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 3104 Holland Road, Apex, NC 27502 and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 10/26/2000, and recorded in the Wake County Register of Deeds Office on 10/27/2000, in Book 8718 Page 1301-1303.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 10/27/2000, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 10/27/2000, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 28 day of APRIL, 2021


 _____ (seal)
4-28-2021
 Type or print name

STATE OF NORTH CAROLINA
COUNTY OF WAKE

I, the undersigned, a Notary Public in and for the County of WAKE, hereby certify that BILLY STROUP, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's DRIVERS LICENSE, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



 Notary Public
 State of North Carolina
 My Commission Expires: 11/18/2023

[NOTARY SEAL]

AGENT AUTHORIZATION FORM

Application #: 21CZ14

Submittal Date: 5/3/21

See owners listed below is the owner* of the property for which the attached application is being submitted:

- Land Use Amendment
- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this authorization includes express consent to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 7528 Humie Olive Road, Apex, NC 27502

The agent for this project is: Peak Engineering & Design, PLLC

I am the owner of the property and will be acting as my own agent

Agent Name: Jeff Roach, P.E. (Peak Engineering & Design, PLLC)

Address: 1125 Apex Peakway, Apex, NC 27502

Telephone Number: (919) 439-04100

E-Mail Address: jroach@peakengineering.com

Signature(s) of Owner(s)*

P. Diane Williams P. Diane Williams June 9, 2021
Shelba W. Clem Shelba Clem
 Type or print name Date

Jeff Krummel Lisa W. Krummel June 9, 2021
Jeff Krummel Lisa W. Krummel
 Type or print name Date

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 21CZ14

Submittal Date: 5/3/21

The undersigned, _____ (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

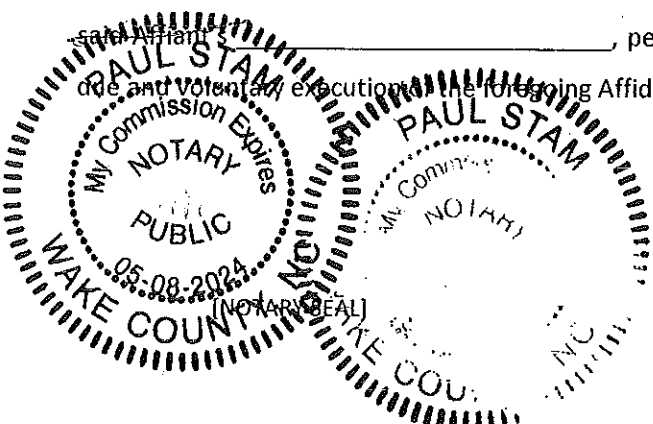
- Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 7528 Humie Olive Road, Apex, NC 27502 and legally described in Exhibit "A" attached hereto and incorporated herein (the "Property").
- This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
- If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated 7/1/2015 and recorded in the Wake County Register of Deeds Office on 7/1/2015, in Book 16078 Page 788-790.
- If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
- If Affiant is the owner of the Property, from the time Affiant was deeded the Property on 7/1/2015, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on 7/1/2015, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 9 day of June, 2021 P. Diane Williams
Shelba W. Clem

[Signature] (seal)
[Signature]
Type or print name

STATE OF NORTH CAROLINA
COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that P. Diane Williams, Shelba W. Clem, Lisa Krummell & Jeff Krummell, Affiant, personally known to me or known to me by said Affiant's presentation of _____, personally appeared before me this day and acknowledged the



[Signature]
Notary Public
State of North Carolina
My Commission Expires: May 8, 2024

AFFIDAVIT OF OWNERSHIP: EXHIBIT A – LEGAL DESCRIPTION

Application #: 21CZ14

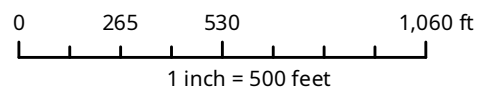
Submittal Date: 5/3/21

Insert legal description below.

1. N/F David Ray Powell - PIN 0720-99-8487 - DB 5746 Pg 146
2. N/F Johnny & Carolyn M Pendergraft - PIN 0730-09-1779 - DB 8718 Pg 1292
3. N/F Pamela Purefoy, Frances T. Bullock, Ernestine Smith - PIN 0730-09-5707 - DB 8718 Pg 1304
4. N/F Joann Pendergraft Hearn Heirs - PIN 0731-00-1087 - DB 16 Pg 835
5. N/F RGNC-10, LLC - PIN 0731-00-4075 - DB 18763 Pg 1063
6. N/F Annie P & Billy E Stroup - PIN 0731-00-3359 - DB 8718 Pg 1301
7. N/F Shelba W. Clem, P. Diane Williams, Lisa W. Krummel - PIN 0720-99-2587 - DB 16078 Pg 0788



Holland Road Assembly



Disclaimer

*iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.*

Wake County Residential Development Notification

Please complete each section of this form and submit with your application.

Town of Apex staff will enter this information into the online WCPSS form.

Please send any questions about this form to:
studentassignment-gis-group@wcpss.net

Developer Company Information	
Company Name	LG Investments, Inc.
Company Phone Number	(754) 875-2975
Developer Representative Name	Mr. Geno Ray
Developer Representative Phone Number	(754) 875-2975
Developer Representative Email	geno@lginvest.net

New Residential Subdivision Information	
Date of Application for Subdivision	November 2021
City, Town or Wake County Jurisdiction	Apex
Name of Subdivision	TBD (Holland Road Mixed Use Assembly)
Address of Subdivision (if unknown enter nearest cross streets)	Holland Road @ Old US 1 @ Humie Olive Road
REID(s)	0197639, 0160074, 0070103, 0160076, 0334537, 0087601, 0193211
PIN(s)	See zoning application and REIDs above for properties

Projected Dates Information	
Subdivision Completion Date	August 2026
Subdivision Projected First Occupancy Date	January 2024

Lot by Lot Development Information																	
Unit Type	Total # of Units	Senior Living	Studio	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom	Square Foot Range		Price Range		Anticipated Completion Units & Dates					
								Min	Max	Low	High	Year	# Units	Year	# Units	Year	# Units
Single Family	10							2500				2023	5	2024	5		
Townhomes	100							2100				2023	15	2024	50	2025	35
Condos																	
Apartments																	
Other																	



Instruction Packet and Affidavit for Neighborhood Meetings

Town of Apex
Planning Department
PO Box 250
Apex, NC 27502

T: 919-249-3426
F: 919-249-3338

This packet consists of instructions and templates for conducting a required Neighborhood Meeting. Planning Department staff are available to advise you in the preparation of these materials. Call the Planning Department at (919) 249-3426 for more information.

WHAT IS THE PURPOSE OF A NEIGHBORHOOD MEETING?

A neighborhood meeting is a required form of community outreach to receive initial feedback regarding certain project types prior to submittal to the Planning Department per the standards found in UDO Sec. 2.2.7. The intention of the meeting is to initiate neighbor communication and identify issues and concerns early on and provide the applicant an opportunity to address neighbor concerns about the potential impacts of the project prior to submitting an application. A neighborhood meeting is valid for six (6) months prior to the submission of an application; a delay in submission requires a new neighborhood meeting.

WHEN IS A NEIGHBORHOOD MEETING REQUIRED?

- Rezoning (including Planned Unit Developments);
- Major Site Plans;
- Residential Master Subdivision Plans (excluding exempt subdivisions); or
- Special Use Permits

INSTRUCTIONS

Prior to submitting an application for a Rezoning, Major Site Plan, residential Master Subdivision Plan (excluding exempt subdivisions), or Special Use Permit, the applicant must conduct at least one (1) Neighborhood Meeting. The applicant shall submit all forms included in this packet with the initial application submittal.

The Neighborhood Meeting must be held in accordance with the following rules:

These groups and individuals must be invited to the meeting:

- The applicant is required to notify the Planning Department, all property owners within 300 feet of the subject property, and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the neighborhood meeting, not including the day of mailing. The applicant shall use their own return address on the envelopes as the meeting is a private meeting between the applicant and the neighbors.
- The applicant shall include with the meeting notice a vicinity map in addition to either the existing zoning map of the area or preliminary plans of the proposed development (see Handout requirements below).

The meeting must be held within specific timeframes and meet certain requirements:

- The meeting must be held for a minimum of two (2) hours, Monday through Thursday, during the 5:00 p.m. - 9:00 p.m. time period. The meeting cannot be held on a Town recognized holiday (which coincide with the State of North Carolina recognized holidays).
- The meeting shall be held at a place that is generally accessible to neighbors that reside in close proximity to the land subject to the application.
- A sign-in sheet must be used in order to verify attendance. Ensure each attendee signs in. Please note if any person(s) refuses to sign in. Note if no one attended.
- Handout requirements:
 - For rezonings (excluding rezonings to PUD-CZ, TND-CZ and MEC-CZ), a vicinity map and existing zoning map of the area must be provided to help facilitate discussion.
 - For rezonings to PUD-CZ, TND-CZ and MEC-CZ; Major Site Plans; residential Master Subdivision Plans; and Special Use Permits, preliminary plans of the proposed development must be available at the meeting to help facilitate discussion. Neighbors may request emailed/mailed copies of the maps or plans from the applicant by checking the “send plans” box on the sign-in sheet; applicant shall provide reduced copies upon request.
 - Printed copies must equal the number of notices required to be sent.
 - Contact information for the applicant’s representative and Town Staff must be provided on the attached “Project Contact Information” form.
 - “Common Construction Issues & Who to Call” sheet (attached) must be included as part of the handout.
 - A copy of the handout must be included as part of the Neighborhood Meeting report.
- The agenda of the meeting shall include:
 - Explanation of all processes the meeting is being held for (rezoning, subdivision, etc.).
 - Explanation of future meetings (additional neighborhood meetings, Planning Board, Town Council, etc.).
 - Explanation of development proposal – uses and conditions for rezonings, layout for subdivision and site plans, and builder/end user if known/public knowledge.
- Questions or concerns by attendees, and responses by the applicant, if any, must be noted. Provide blank comment sheets or notecards for neighbors to submit written comments. The applicant shall also include any questions and concerns received via written correspondence (such as email) or phone call along with responses provided by the applicant.
- The applicant shall be responsible for notifying any neighbors who check the “Send Plans & Updates” box on the sign-in sheet of any additional neighborhood meetings and the actual submittal date to the Town with a link to the Town of Apex’s Interactive Development Map.

For accountability purposes, please submit the following with your application:

- A copy of the letter mailed to neighbors and neighborhood organizations (use attached invitation template);
- A list of those persons and neighborhood organizations invited to the meeting;
- A copy of the sign-in sheet (use attached sign-in sheet template);
- A summary of the meeting and a list of any changes made to the project as a result of the neighborhood comments (use attached meeting summary template);
- The affidavit, signed, dated, and notarized (use attached affidavit template); and
- One reduced copy of the maps and/or plans presented to the neighbors at the Neighborhood Meeting.

NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

April 14, 2021

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at
 2236 Old US 1 Hwy, 1001, 1004 & 1005 Cardinal Lane, 0720-99-8487, 0731-00-3359, 0730-09-1779,
 3104 & 3116 Holland Road 0731-00-1087, 0731-00-4075, 0730-09-5707

Address(es)

PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at www.apexnc.org.

A Neighborhood Meeting is required because this project includes (check all that apply):

Application Type		Approving Authority
<input checked="" type="checkbox"/>	Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/>	Major Site Plan	Town Council (QJPH*)
<input type="checkbox"/>	Special Use Permit	Town Council (QJPH*)
<input checked="" type="checkbox"/>	Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

*Quasi-Judicial Public Hearing: The Town Council cannot discuss the project prior to the public hearing.

The following is a description of the proposal (also see attached map(s) and/or plan sheet(s)):

The purpose of this meeting is to discuss the upcoming Rezoning, Land Use Amendment, Site Plan and Residential Master Subdivision Plan, for the properties listed and shown on the attached map.

Meeting to be held virtually, Zoom link provided below.

Estimated submittal date: May 3, 2021

MEETING INFORMATION:

Property Owner(s) name(s): Please see attached map.

Applicant(s): LG Investments, INC. att: Jeff Roah @ Peak Engineering & Design

Contact information (email/phone): jroach@peakengineering.com / (919) 439-0100

Meeting Address: <https://us02web.zoom.us/j/82370025263?pwd=SCtqcUQvbnl1amZFbVhmNW5iS2lVdz09>

Date of meeting**: April 27, 2021

Time of meeting**: 5:00

MEETING AGENDA TIMES:

Welcome: 5:00 Project Presentation: 5:05 Question & Answer: 5:30 -

**Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180/Planning>.

PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Development Contacts:

Project Name: Holland Road Assembly Zoning: RR
 Location: Humie Olive Road, Old US 1 Hwy, Holland Road
 Property PIN(s): Please see attached sheet Acreage/Square Feet: 26.68

Property Owner: Please see attached map
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____ Email: _____

Developer: LG Investments, INC. att: Geno Ray
 Address: 5944 Coral Ridge Drive Suite 312
 City: Coral Springs State: FL Zip: 33076
 Phone: (754) 875-2975 Fax: _____ Email: geno@lginvest.net

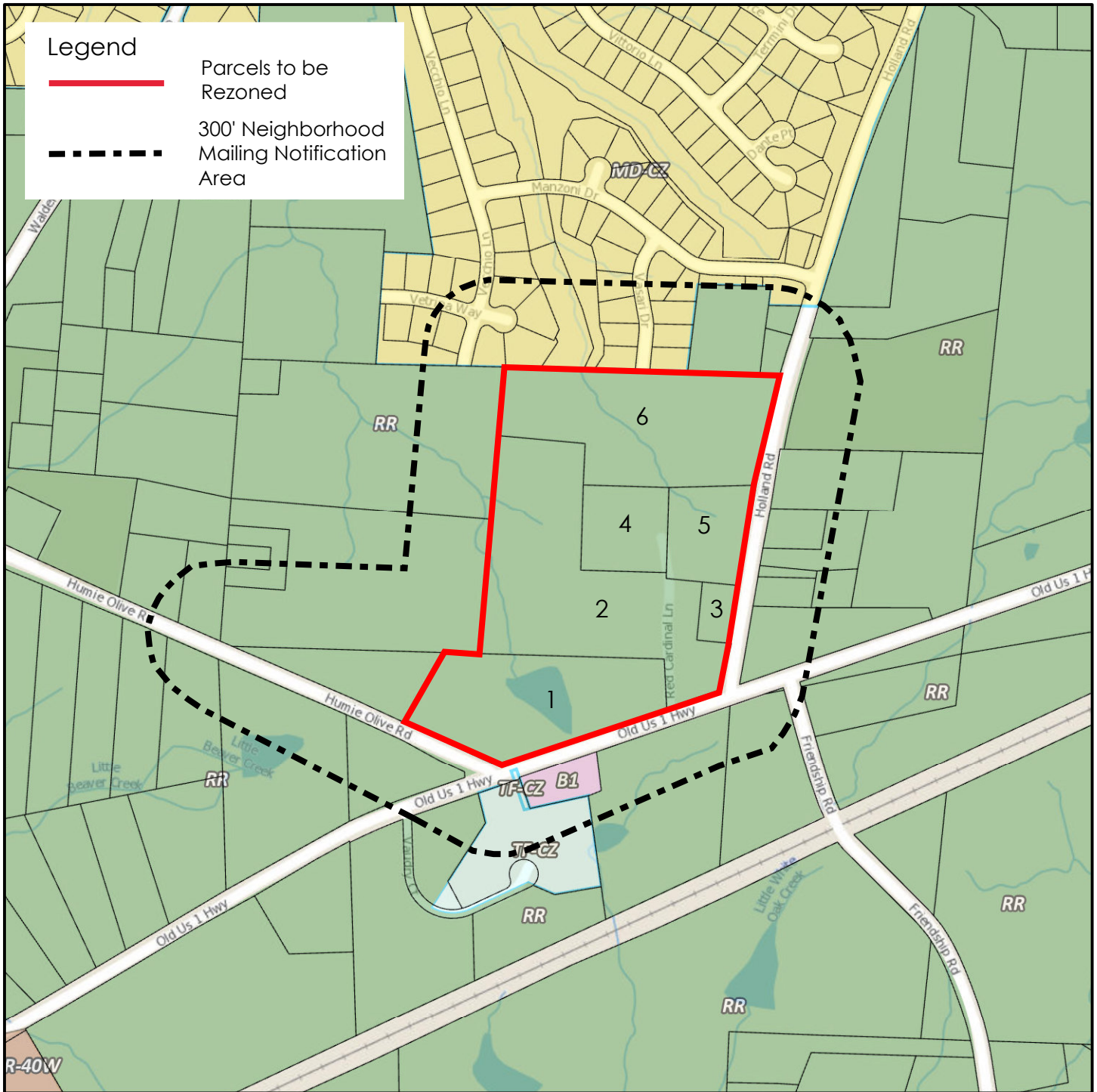
Engineer: Peak Engineering & Design, Jeff Roach
 Address: 1125 Apex Peakway
 City: Apex State: NC Zip: 27502
 Phone: (919) 270-6940 Fax: _____ Email: jroach@peakengineering.com

Builder (if known): _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Phone: _____ Fax: _____ Email: _____

Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.

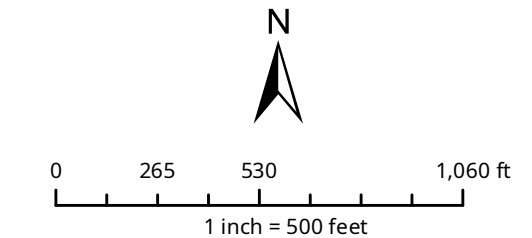
Town of Apex Department Contacts

Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planner	(919) 249-7468
Public Works - Transportation Russell Dalton, Senior Transportation Engineer	(919) 249-3358
Water Resources Department Mike Deaton, Stormwater & Utility Engineering Manager Stan Fortier, Senior Engineer (Sedimentation & Erosion Control)	(919) 249-3413 (919) 249-1166
Electric Utilities Division Rodney Smith, Electric Technical Services Manager	(919) 249-3342



Holland Road Assembly

1. DAVID POWELL, 2236 OLD US 1 HWY LAPIS LN, APEX, NC 27502, 0720-99-8487
2. JOHNNY & CAROLYN PENDERGRAFT, 1005 RED CARDINAL LANE APEX, NC 27502, 0730-09-1779
3. PAMELA ETAL PUREFOY & FRANCES T BULLOCK, 3116 HOLLAND RD, APEX, NC 27502, 0730-09-5707
4. JOANN PENDERGRAFT HEARN HEIRS, 1005 RED CARDINAL LANE, APEX NC 27502, 0731-00-1087
5. ALBERTO DIAZ, OLIVER AND OLIVER, PLLC, 1004 RED CARDINAL LANE, APEX, NC 27502, 0731-00-4075
6. ANNIE P & BILLY E STROUP, 3104 HOLLAND ROAD, APEX NC 27502, 0731-00-3359



Disclaimer

*iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.*

NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Address: Zoom meeting hosted by Morningstar Law Group and Peak Engineering & Design

Date of meeting: April 27, 2021 Time of meeting: 5:00 - 7:00

Property Owner(s) name(s): See attached list of property owners

Applicant(s): LG Investments, Inc.

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.					
2.	A list of meeting attendees is included within the PUD application				
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					

Use additional sheets, if necessary.

NEIGHBORHOOD MEETING ELECTRONIC SIGN-IN LIST

John Bang	
Ellen Griffin	2401 Vetrina Way
Dennis McGurk	2216 Vasari Drive
Melissa McGurk	2216 Vasari Drive
Jonathan Peck	7612 Humie Olive Road
Michael Wengenroth	Roman Catholic Diocese
Elizabeth Clark	0 Humie Olive Road
david powell	2236 Old US 1 Hwy
greg hoff	
Julia Kopacz	
Lisa Schabenberger	2153 Vecchio Lane
mark Hopkins	3017 Holland Road
Nelson Clark	
Dwight Clark	
Sean McRae	2215 Vasari Drive
audra mcrae	
Donnie Clark	7536 Humie Olive Road
Kimberly Morgan (Derek)	2411 Vetrina Way
debbie clark	
Marc Chadwick	2220 Vasari Drive
Ken O'Berry	
Kenton Kaplan	2208 Vasari Drive
Lily Ryzebol	2141 Vecchio Lane
Brady Townsend	
Jodi Clarke	2219 Vasari Drive
Jason Barron	
Jeff Roach	
Geno Ray	
Richard Leonardi	
Jonathan Edwards	
Billy Mills	
Matt Leonardi	

SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): See PUD application for list of property owners

Applicant(s): LG Investments, Inc.

Contact information (email/phone): Geno Ray; geno@lginvest.net; (724) 875-2975

Meeting Address: Zoom meeting

Date of meeting: April 27, 2021 Time of meeting: 5:00 - 7:00 pm

Please summarize the questions/comments and your response from the Neighborhood Meeting in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

A list of questions or concerns is included within the PUD application.

Applicant's Response:

Question/Concern #2:

Applicant's Response:

Question/Concern #3:

Applicant's Response:

Question/Concern #4:

Applicant's Response:

Introduction and Housekeeping:

A ZOOM meeting was held on Tuesday, April 27, 2020 for the Holland Road Assembly. The meeting started around 5:00 pm. Jason Barron with Morningstar Law Group hosted the meeting along with Jeff Roach with Peak Engineering & Design. An introduction to the property assembly and the proposed zoning request was made with exhibits provided (exhibits are included in the zoning submittal package). After introduction of the project, Mr. Barron answered questions which were emailed to the design team or provided in the ZOOM meeting “chat box”. Upon completion of the written question, the meeting was open for anyone to ask questions for the residents to hear. The meeting ended just after 7:00 pm when all questions were answered and the attendees all left the meeting. Below is a list of the questions with answers which were provided.

Email questions were received from Melissa McGurk prior to the meeting

Has the use for the land at the end of Vasari Drive been determined already?

- A row of SF detached homes backing up to the end of Vasari Drive with townhomes further sound of the single family detached lots.

How much buffer zone should we expect, if any, between the homes at the end of Vasari Drive and new construction? What mechanism exists for us to contribute our preferences, if any.

- 10’ buffer is being provided between like uses along the Vasari Drive extension since SF homes are proposed.

How will the developers deal with the creek that runs through the woods beyond Vasari Drive, and how far is the creek from the end of the current road?

- The project will not touch the channel/creek within the Bella Casa subdivision with the exception of connecting to the existing sanitary sewer outfall. The site is being evaluated for the presence of creeks, streams and wetlands for minimization of impacts and avoidance where possible..

We request that the road not go all the way through to US Hwy 1 to keep traffic patterns light for a safe area for the MANY children living on our street and in the neighborhood. Has the road structure been determined yet?

- The design is being evaluated to provide access throughout the property but the concept is not to provide a straightline street connection to Old US 1 – there will be twists and turns. The final layout will be put together after zoning is heard through the Town Council process.

What is the timeline for development of the area to start?

- Design will take 12-15 months from now and permits/approvals could be obtained by the Fall of 2022. Start construction in the Fall of 2022 with home construction beginning in the Springs of 2023. Residential build-out could take 2 years with the non-residential section along Old US 1 starting as soon as the owner has commitments from tenants or outparcel users.

For the different parcels of land on the map, how will they be grouped together for use and by whom?

- The properties have all been assembled for the rezoning process. As the Site Plans/Master Subdivision Plans are being reviewed, the final uses – residential vs non-residential – will be identified in the Site Plan documents.

Question from the Zoom Meeting Chat Box:

From Jonathan Peck to Everyone: 05:08 PM

Will the sewer line for the development go along Holland Road or elsewhere?

- The current plan is to connect sewer to the existing main located west of Varari Drive and serve the area west of Holland Road, east of the NDJ Ventures property, and north of Old US 1.

From Dennis McGurk to Everyone: 05:11 PM

If current "dead-end" streets become through streets, is there flexibility for whether those streets go all the way to Salem Rd (old US1) versus going onto less major roads (e.g., Holland Road)?

- The internal network of streets will route drivers through the property to multiple access points to public streets including Holland Road, Old US 1 and Humie Olive Road. The PUD sheets will show connection points around the property but do not go into detail for exactly how the streets will be routed within the site (this will continue through sketch plan production).

From Dwight Clark to Everyone: 05:18 PM

“What are the required number of entry points for the proposed development?”

- There is a minimum per the UDO but the project exceeds the minimums and provides access points in various locations to improve traffic and pedestrian mobility within the area. Final access points are reviewed with staff during zoning and site plans.

From Lisa Schabenberger to Everyone: 05:24 PM

Can you please repeat the number or percent of attached homes to total of 115?

- Total number of lots noted as 115 with approximately 10 single family detached homes along the Bella Casa neighborhood. Final lot count may vary slightly.

From Lily Ryzebol to Everyone: 05:26 PM

Have you considered the sites north of site 6 for the development?

- This is the Evans properties (PIN 0731-00-5747) and yes, the realtor reached out to the property owners who are not currently interested in selling the property. We will continue discussions but do not anticipate bringing the property into the zoning request at this time.

From Jonathan Peck to Everyone: 05:27 PM

There was talk in the past about Holland Rd being turned a bit to meet up with Friendship Rd across from it. Will this influence this?

- The long-range plans are for Holland Road and Friendship Road to align. This is not something that this project will be involved with as it would likely require condemnation and major roadway work. The Holland Road Assembly design does not hinder the future realignment or off-site improvements.

From Lily Ryzebol to Everyone: 05:31 PM

On the draft detailed plan, what does RCA stand for? How about SCM?

- RCA is Resource Conservation Area. SCM is Stormwater Control Measure.

From mark hopkins to Everyone: 05:31 PM

what is the impact on total traffic added to Holland road from the cumulative increase in this development on top of bella casa, Holland farm, etc? Do we anticipate stop lights, etc to aid getting out onto US1?

- The proposed improvements from the TIA were discussed with the neighbors. This included turn lane improvements along Humie Olive Road, Old US 1 frontage improvements, Holland Road access improvements and extended/added turn lanes. A traffic signal is not proposed at Holland/Friendship and Old US 1.

From Julia Kopacz to Me: (Privately) 05:31 PM

Would there be fencing along the NDJ property?

- The location of a fence along the NDJ Ventures property is being discussed separately with the owners of the property. Final location will be committed to either as a zoning condition or as a contractual obligation with the property owners as the design progresses.

From Dwight Clark to Everyone: 05:33 PM

“Will a traffic impact study be completed as part of this rezoning?”

- A TIA has been completed and will be submitted as part of the zoning application. Conditions will be added to the zoning package once reviewed by Apex staff and NCDOT.

From Jodi Clarke to Everyone: 05:34 PM

What is the lot size of the single family homes?

- Current lots are shown around 6,000 SF but that could change as we move further into the project design/Master Subdivision Plan.

From Lily Ryzebol to Everyone: 05:36 PM

Do you know (yet) whether you will need to work on the sewer line that is off of that north west corner in the detailed plan?

- Not yet. As part of the zoning, we investigate the existing utilities but have not expanded to include a full detailed study of the downstream system. We will be looking at the entire sewer outfall – likely to the Nature Park – to confirm there is capacity within the system.

From debbie clark to Everyone: 05:39 PM

I am concerned about trees being cut, noise pollution in addition from the noise from the school. Traffic increased, to be honest this is turning this land into a concrete jungle and I am totally against this. Apex does not need to be turned into a big city. it makes me ill.

- The rezoning is looking at the land use options within the property assembly associated with the Town’s 2045 Land Use Plan and UDO. All designs will comply with Town standards and the design team will continue to coordinate with the surrounding property owners, staff and other vested partners to minimize impacts to the items noted in the comments.

From Jodi Clarke to Everyone: 05:39 PM

Are there any plans underway to develop the vicious fishes property that you are aware of?

- Nothing has been filed that we are aware of with the Vicious Fishes property. But that could change at any point and we would not be aware of it.

From Dwight Clark to Everyone: 05:40 PM

“What are the price point of the SFD product and what type of superior architectural adders will be attached to the zoning to ensure property values are raised by this rezoning?”

- Price point is unknown as that is market-driven. There will be building elevations included in the zoning submittal package for the single family, townhomes and retail/commercial buildings which will dictate construction options within the site – thus setting the price of the homes and office/retail space. There is also a list of architectural conditions within the zoning application.

From Donnie Clark to Everyone: 05:42 PM

Has an environmental impact study ben done, along with a traffic safety impact study along Humie olive road, keeping the school in mind.

- An environmental study has been completed on the property and environmental issues onsite will be further studied as the project moves through the zoning and eventual Site Plan/Master

Subdivision Plan review. A traffic impact analysis has also been completed (draft is being reviewed by the buyers) and will be submitted as part of the zoning application.

From Kimberly Morgan to Everyone: 05:43 PM
We completely agree with debbie Clark's comment

- No response.

From Jonathan Peck to Me: (Privately) 05:46 PM
Would LG Investments be open to allowing a sewer tie-in or extension to cross under Holland Rd and serve a property across Holland Rd (it is the property owned by Western Wake Bible Chapel)?

- That is something that we can evaluate through zoning and during the Master Subdivision Plan designs. If this is reasonable, we believe something can be worked out with the adjacent property owners.

From Julia Kopacz to Everyone: 05:49 PM
Regarding the access point and single family/ Retail Commercial & Retail property backing up to NDJ property. Would there be privacy fencing separating properties.
great, thanks

- That is being discussed with the NDJ Ventures property owners through the zoning process.

From Dwight Clark to Everyone: 05:50 PM
Do density and/or commercial components trigger a certain number of access & exit points? To ensure adequate entry points for emergency vehicles or residents to exit the community in case of an emergency?"

- There are no thresholds within the UODO for commercial but we have 5 access points shown to surrounding public streets to assure there is adequate public safety access to the site. Great point that the site along a main corridor has sufficient emergency access. This will also be coordinated with staff (Police, Fire, Transportation and Planning) during the Site Plan design stage.

From Lisa Schabenberger to Everyone: 05:54 PM
Are there plans to distinguish the new development from the Bella Casa subdivision by creating signs for example? This could impact our property value.

- A sign easement will be provided at the entrance to the development. The builder will determine if a sign is installed, a project "pillar/post" or something else is added to differential the projects.

From Jodi Clarke to Everyone: 05:55 PM
I live in the last home on Vasari Drive, I want to see the houses adjacent to my home rather than them backing up to my house.

- That is a great comment from Ms. Clarke – one that the design team will investigate the option of "turning" the homes to provide more of an integrated development rather than different home/lot configuration.

From Lisa Schabenberger to Everyone: 05:56 PM
It looks like there is still property that is not part of this development nor part of the Evans Road development - is that correct?

- That is correct. There are a number parcels west of the Holland Road Assembly and east of the Evans Road Assembly which are not included in either rezoning application. The property owners are not interested in participating in the rezoning or development at this time.

From Ellen Griffin to Me: (Privately) 05:57 PM
Can you please share your email. I apologize if I missed it.

- Jason Barron and Jeff Roach both shared their emails for correspondence after the meeting.

From Lily Ryzebol to Everyone: 05:59 PM

Who is the residential developer?

- The applicant is currently working with a number of builders interested in the lots. Final builder selection will come during the Master Subdivision Plan design to incorporate additional builder-specific standards within the development.

From mark hopkins to Everyone: 06:03 PM

Have the 6 parcels already been acquired by the developer?

- The applicat does not own the parcels at this time. Each parcel is under contract and will not close until – at earliest – a decision has been made related to zoning.

From Jonathan Peck to Everyone: 06:17 PM

Whatever happened to the 25-50ft tree buffers between developments?

- The buffers between developments is controlled by various sections within the UDO. The proposed buffers are those which the Town requires for the uses proposed and noted within the PD Text document.

From Lily Ryzebol to Everyone: 06:24 PM

Hmm...how is any traffic study taking the pandemic situation into account? (Since current traffic is nowhere near reality)

- Information was provided to the group as we understand it from NCDOT and the Town of Apex transportation staff. Typically the traffic consultants obtain recent counts (pre-pandemic) and add an annual growth rate to the trips. That information is then used for “existing” conditions and the TIA completed. Recommendations are based upon the project’s impact on existing traffic with additional projects in the design process included.

From Jodi Clarke to Everyone: 06:27 PM

Thank you for the information - More single family homes, adjacent to existing homes.

- We continue to evaluate the sketch plan to determine the lot distribution for single family attached and single family detached homes. Numbers may vary slightly as we evaluated additional layouts.

From Ellen Griffin to Everyone: 06:27 PM

Is there anyone we can contact to seek additional buffer given that we have none?

- In reference to the buffer on the Bella Casa property, that is something designed by the original developer of Bella Casa. We do not have any control over the Bella Casa property. The buffers on the Holland Road Assembly properties are along the boundary of the site and meet or exceed the UDO standards for perimeter buffers.

From mark hopkins to Everyone: 06:28 PM

Sounds like a number of folks might like to see a lower density development here. Has the ship sailed in terms of providing any input to the town to consider in their plan? If there was an opportunity, is that something that should be done ahead of august?

- The sketch plan and layout continues to move to determine the best lot distribution within the property providing the transition from Bella Casa to the retail/office section. The density for the project is within the medium density zoning standard for the overall PUD designation including the non-residential component of the project.

From Jonathan Peck to Everyone: 06:31 PM

Being we are at the expanding front of Apex development, this development will be adding substantial traffic, and Old US 1 could see thousands of homes south of Friendship and west on Humie Olive, are there any plans to widen Old US 1 to four lanes?

- The Transportation Master Plan was discussed where Old US 1 Highway is planned to be a 4 lane, median divided thoroughfare from downtown Apex to the Humie Olive Road intersection and beyond. Roadway improvements will be completed as part of the Holland Road Assembly along Humie Olive Road, Old US 1 and Holland Road per the TIA which will be submitted with the zoning documents.

Additional Comments from attendees (asked after all the written comments were addressed)

Jodi Clark:

Asked about the option to turn the new single family homes along Vasari Way to face Vasari Way and not “back up to” the her property and the Chadwick property?

- This is something that the design team/applicant will look into with the sketch plans and turn if possible to accommodate the request

Dennis McGurk:

Asked about the look of the SCM which would be close to Bella Casa? Would there be any trees left along the border of the Bella properties and what plantings would be within the SCM?

- Trees would be left within the buffer north of the SCM near Bella Casa. The SCM would then have a grass slope to the top of dam with the pond on the upside of the slope. The concept is to plan the SCM with native vegetation to supplement the look of the SCM.

Derek Morgan:

Why the high density with townhomes and lot count?

- The density of the project remains within the medium density land use designation of the 2045 Land Use Map. Townhomes are permitted

Why do you have to connect to Bella Casa? Higher end homes dropping down to lower priced homes in the new development. Custom Homes adjacent to smaller SF and townhomes – why?

- The Town of Apex UDO requires the extension of stub streets into adjacent properties. A change of product is needed at some point and the developers see the single family homes adjacent to Bella Casa, moving to townhomes then to retail on the southern end of the property as a reasonable transition from one property to another.

Is there an option to gate Bella Casa and stop the through streets?

- The Town of Apex does not outright “ban” gates but there are not gated communities in Apex. And Apex will most likely not approve a gate for this area.

Kenton Kaplan:

Can we look to add more SF detached homes into the development?

- That is a great question. We can look into the layout and location of lots to see if there is an option to adjust the lot distribution.

The sketch plan shows a small “open space area” directly south of the Vasari Drive stub – can that be increased in size?

- Again, great thought that we will evaluate with the application/builder to see how we can increase the size of the open space area.

Sean McRae

Can we stop Vasari from extending into the development? How would the development access Old US 1 both from the property and Holland Road?

- The neighbors can request the stub street not extend but the UDO requires any new developments extend streets. Unless directed otherwise by staff/Council, Vasari Drive will extend into the property. The project plans to have multiple access points to Old US 1, Holland Road and Humie Olive to allow residents to access the non-residential areas without needing to use one of the major collector streets in the area.

Lisa

There is a buffer shown along the north side of the new development. What is the buffer width and is that combined with the existing Bella Casa buffers?

- The proposed buffer between single family homes with similar lot sizes is 10'. This is what is proposed for the development. Any buffers by the Holland Road Assembly developers would be contained wholly on the project side – not on the Bella Casa side. Any buffers on the Bella Casa side would remain untouched.

AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Jeffrey A. Roach, do hereby declare as follows:
Print Name

1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7 *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners within 300 feet of the subject property and any neighborhood association that represents citizens in the area via first class mail a minimum of 10 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at a virtual ZOOM meeting (location/address) on April 27, 2021 (date) from 5:00 pm (start time) to 7:00 pm (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

April 30, 2021
Date

By: 

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me, DANIEL H. WOODS, a Notary Public for the above State and County, on this the 3 day of MAY, 2021.





Notary Public

DANIEL H. WOODS

Print Name

My Commission Expires: 11/18/2023

Holland Road Mixed Use PUD

PD PLAN

APEX, NORTH CAROLINA

Submitted:

May 3, 2021

Resubmitted: June 10, 2021

Resubmitted: July 9, 2021

Resubmitted: January 14, 2022

PREPARED BY:



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Section 1: Table of Contents

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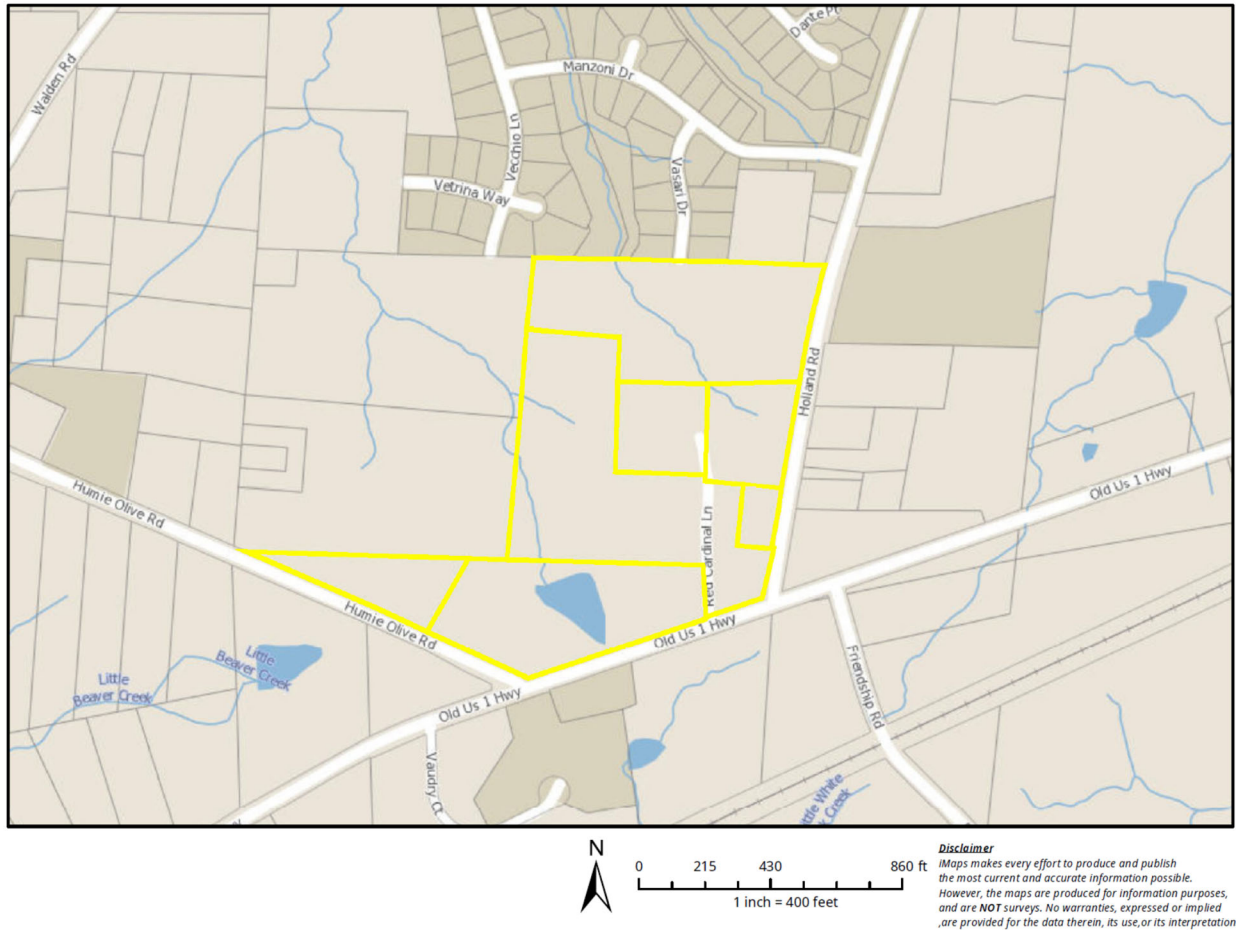
Section 15: Consistency with 2045 Land Use Plan

Section 16: Compliance with UDO

Section 17: Compliance with Apex Bicycle Plan

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Section 2: Vicinity Map



The Holland Road Mixed Use PUD is located in the Town of Apex, along the west side of Holland Road north of Old US 1 and Humie Olive Road. The subject properties are south of the Bella Casa residential community, and has underdeveloped parcels to the west, east and south. Advance Apex: The 2045 Land Use Map Update calls for nonresidential uses on the southern portion of the property along Old US 1 Highway and medium density development along the northern portion of the property as it transitions to the existing residential community. In that regard, the Holland Road Mixed Use PUD - with up to 76,500 square feet of commercial/retail uses, inclusive of four (4) non-residential outparcels and convenience store with up to ten (10) fueling stations, and a maximum of 110 residential dwelling units developed as medium density - fulfills the long-term planning vision that has existed for these properties for the better part of fifteen years, albeit with a modification to the line between the residential and non-residential uses.

Section 3: Project Data

A. Name of Project:

Holland Road Mixed Use PUD

B. Property Owners:

David Ray Powell (0720-99-8487)
Johnny and Carolyn M. Pendergraft (0730-09-1779)
Pamela Purefoy, Frances T. Bullock, Ernestine Smith (0730-09-5707)
Joanne Pendergraft Hearn Heirs (0731-00-1087)
RGNC-10, LLC (0731-00-4075)
Billy and Annie P. Stroup (0731-00-3359)
Shelba W Clem, P Diane Williams and Lisa W. Krummel (0720-99-2587)

C. Prepared By:

Jason Barron, Partner
Morningstar Law Group
421 Fayetteville St | Ste 530
Raleigh, NC 27601

D. Current Zoning Designation:

Rural Residential (RR)

E. Proposed Zoning Designation:

Planned Unit Development – Conditional Zoning (PUD-CZ)

F. Current 2045 Land Use Map Designation:

Commercial Services; Medium Density Residential; Medium-High Density Residential

G. Proposed 2045 Land Use Map Designation:

Commercial Services and Medium Density Residential (with revised boundaries)

H. Proposed Use

Up to 76,500 square feet of commercial/retail uses, inclusive of four (4) non-residential outparcels and convenience store with up to ten (10) fueling stations, and a maximum of 110 residential dwelling units

I. Size of Project

A total of +/- 28.68 acres

Section 4: Purpose Statement

The Holland Road Mixed Use PUD will be a mix of non-residential and medium density residential uses in keeping with the Town's long-range plans for a mix of such uses, with a modification to the boundaries for the same. The southern portion of the Property as identified on the PUD Plans will permit the development of up to 76,500 square feet of commercial/retail uses, four (4) non-residential outparcels, a convenience store with up to ten (10) fueling stations. The northern portion of the property is permitted for up to 110 residential dwelling units, with a minimum of 10 single-family detached dwellings and the remainder comprised of townhouses.

This concept is consistent with the Town's stated PUD goals to provide site-specific, high-quality neighborhoods that preserve natural features and exhibit compatibility with, and connectivity to, surrounding land uses. More specifically, this plan shall:

- Allow uses that are compatible with Section 4.2.2, *Use Table* of the UDO;
- Provide for the preservation of existing environmentally sensitive areas;
- Provide appropriate buffering and screening from the proposed use to the existing residential areas;
- Offer a mix of medium density residential and commercial uses in an area planned for the same;
- Deliver goods and services within walking and biking distance of planned residences along with existing residences, thereby reducing traffic congestion;
- Demonstrate dimensional standards that are consistent with the UDO, and where variations occur, said variations will be included herein and subject to Council approval;
- Provide a high-quality community that is linked by a network of connected streets and pedestrian sidewalks that promotes connectivity, walkability and healthy lifestyles;
- Exhibit character and quality that is compatible with surrounding communities, which is expected to enhance the value of surrounding land uses; and
- Provide open space and walkable trails to promote pedestrian activity, while appropriately buffering adjacent residential areas.

All site-specific standards and conditions of this PUD Plan shall be consistent with all Conditional Zoning (CZ) District standards set forth in the UDO Section 2.3.3, *Conditional Zoning Districts* and UDO Section 2.3.4.F.1, *Planned Unit Development (PUD-CZ) District*, except where noted. The proposed PUD shall provide a development density and intensity that is consistent with principles found throughout *Advance Apex 2045*.

ENVIRONMENTAL ADVISORY BOARD (EAB) RECOMMENDATIONS:

A meeting was held with the EAB on April 15, 2021 in which the project was discussed. The following notes are provided directly from the EAB. The final zoning conditions have been included in PD Text Section 6 for enforceability:

- Increase design storm for retention basins in flood-prone areas.
 - Option 2: Increase design storm pre- and post-attenuation requirement to the 25-year storm.
- Install signage near environmental sensitive areas in order to:
 - Reduce pet waste near SCM drainage areas.
 - Eliminate fertilizer near SCM drainage areas.
- Increase biodiversity.
 - Option 1: Plant pollinator-friendly flora.
 - Option 2: Plant native flora (Refer to the Apex Design & Development Manual for approved native species).
- Include landscaping that requires less irrigation and chemical use.
 - Option 1: Plant warm season grasses for drought-resistance.
- Improve soil quality to be amenable for a variety of native and non-invasive plantings.
- Install pet waste stations in neighborhoods.
- Include solar conduit in building design.
- Include energy efficient exterior lighting in building design.
- Install timers or light sensors or smart lighting technology for exterior lighting.
- Include International Dark Sky Association compliance standards.
 - Outdoor lighting shall be shielded in a way that focuses lighting to the ground.
- Lighting that minimizes the emission of blue light to reduce glare shall be used. Incorporate natural lighting techniques into building design whether residential or non-residential.
- Maintain connections between RCAs to preserve habitat if possible.
- Move play area to residential side (north side) for better accessibility of open green space.

Section 5: Permitted Uses and Zoning Conditions

The development shall include office, retail, and residential uses. The Rezoned Lands may be used for, and only for, the uses listed below. The permitted uses are subject to the limitation and regulations stated in the UDO and any additional limitation or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply. Specifically, the permitted uses include:

Residential Tract:

- Accessory apartment
- Townhouse (as shown on the PUD Map)
- Single-family (as shown on the PUD Map)
- Greenway
- Recreation Facility, private
- Park, active
- Park, passive
- Utility, minor

Commercial Tract:

- Drop-in or short-term day care
- Botanical garden
- Entertainment, indoor
- Youth or day camps
- Restaurant, drive-through
- Restaurant, general
- Medical or dental office or clinic
- Office, business or professional
- Publishing office
- Artisan Studio
- Barber and beauty shop
- Book store
- Convenience store
- Convenience store with gas sales
- Dry cleaners and laundry service
- Nursing or convalescent facility
- Financial institution
- Floral shop
- Greenhouse or nursery, retail
- Grocery, general
- Grocery, specialty
- Health/fitness center or spa
- Laundromat
- Newsstand or gift shop
- Personal service
- Pharmacy
- Printing and copying service
- Real estate sales
- Retail sales, general
- Studio for art
- Tailor shop
- Upholstery shop
- Pet services
- Microbrewery
- Greenway
- Park, active
- Park, passive
- Utility, minor

Holland Road Assembly PUD

The following Zoning conditions shall apply to the project:

- A. A maximum of 100 townhouse dwellings shall be permitted.
- B. A minimum of 10 single-family detached dwellings shall be permitted.
- C. A maximum of 76,500 square feet of commercial/retail uses, inclusive of up to four (4) non-residential outparcels and a convenience store with up to ten (10) fueling stations.
- D. All single-family detached and non-residential buildings shall provide solar conduit for the installation of rooftop solar panels.
- E. No covenant shall be placed on the property which prohibits accessory apartment as a use.
- F. The uses Restaurant, drive-through and Convenience store with gas sales shall not be permitted within 100' of residential properties within the development.
- G. A 20' landscape easement shall be provided between the commercial/retail area and the residential area. This area shall be landscaped to a Type 'A' buffer standard with a berm as permitted by UDO 8.2.6.B.5.
- H. A Type 'A' buffer shall be provided along the northern boundary with the Bella Casa subdivision. The Type 'A' buffer will remove and replace the existing vegetation while permitting the buffer to count towards overall RCA requirements. A berm shall be installed along with additional buffer improvements per UDO Section 8.2.6.B.5.
- I. The project shall install at least one (1) sign per SCM about not using fertilizer near an SCM drainage area. The sign(s) shall be installed in locations that are publicly accessible, such as adjacent to amenity centers, sidewalks, greenways, or side paths.
- J. The project shall install one (1) sign near each SCM about cleaning up pet waste.
- K. The project shall increase biodiversity within the development by:
 - a. Selecting and installing tree, shrub and perennial species with special attention to providing diverse and abundant pollinator and bird food sources, including plants that bloom in succession from spring to fall.; or
 - b. Planting only native plant species as listed in the Apex Design and Development Manual.
- L. The project shall include landscaping that requires less irrigation and chemical use by planting warm season grasses for drought-resistance.
- M. A minimum of three (3) pet waste stations shall be installed within the development located around the SCMs, play lawns, and gathering areas.
- N. The exterior lighting for all non-residential buildings and parking lots will consist entirely of LED fixtures. The project shall install light timers, motion sensors, or other smart lighting technology for all lighting within the parking lots.
 - a. The project shall use full cutoff LED fixtures that have a maximum color temperature of 3,500 for all exterior lighting, including, but not limited to, parking lot and building mounted fixtures.

Section 6: Proposed Design Controls

A. Non-Residential Design Controls

Parcel Size – +/- 11 acres (approximate size)

Density – The overall maximum non-residential uses permitted upon the property shall be 76,500 square feet inclusive of four (4) outparcels and a convenience store with gas sales with no more than ten (10) fueling stations

Design Controls – At a minimum, all non-residential uses shall comply with the following dimensional standards:

Maximum Built-Upon Area:	70%
Maximum Building Height:	50'
Minimum Building Setbacks:	
Street	20 feet
Rear	20 feet
Side	20 feet
From Buffer/RCA:	10 feet for Buildings 5 feet for Parking Areas

B. Residential Design Controls

Parcel Size – +/-17 acres (approximate size)

Density - The overall gross residential density shall not exceed 110 units

Design Controls – At a minimum, all residential uses shall comply with the following dimensional standards:

Maximum Density:	6.0 Dwelling Units/Acre (Includes RCA and rights-of-way)
Maximum Number of Units:	110
Maximum Built-Upon Area:	60%
Minimum Lot Size:	6,000 square feet for single-family detached
Minimum Lot Width:	50' for single-family detached 22' for townhouse
Maximum Building Height:	Single-family detached: 36' Townhouse: 40'

Note: Porches, patios, decks and other accessory structures may encroach into building setbacks as allowed by the Town of Apex UDO.

Single-Family Detached:	
Minimum Building Setbacks:	
- Front:	10 feet
- Front (garage):	20 feet
- Side:	5 feet
- Corner side:	10 feet
- Rear:	10 feet
- From Buffer/RCA:	10 feet for Buildings 5 feet for Parking Areas

Holland Road Assembly PUD

Single-family Attached (townhouse): Front Loaded

Minimum Building Setbacks:

- Front: 10 feet
- Front (garage): 20 feet
- Side: 3 feet (0 feet between townhouse units)
- Corner side: 10 feet
- Rear: 10 feet
- From Building to Building: 10 feet
- From Buffer/RCA: 10 feet for Buildings
5 feet for Parking Areas

Single-family Attached (townhouse): Rear/Alley Loaded

Minimum Building Setbacks:

- Front: 10 feet
- Side: 3 feet (0 feet between townhouse units)
- Corner side: 10 feet
- Rear: 5 feet from alley R/W
- From Building to Building: 10 feet
- From Buffer/RCA: 10 feet for Buildings
5 feet for Parking Areas

C. Buffers

	Residential	Non-residential
Northern boundary	Adjacent to Bella Casa: 20' Type A buffer; 20' Type B buffer; OR 30' Type A buffer	
Holland Road	20' Type B	20' Type E
Old US 1	N/A	20' Type E
Humie Olive Road	N/A	30' Type E
Western boundary	10' Type B	Adjacent to PIN 0720-99-3901: 10' Type B buffer is proposed although no buffer is required if a public street or private driveway straddles or is located along the property line between the parcels

Note: Where perimeter buffers coincide with stream buffers or 100-year floodplain, existing vegetation shall be used to meet the buffer width and opacity.

Section 7: Proposed Architectural Controls

The proposed development offers the following architectural controls to ensure a consistency of character throughout the development, while allowing for enough variety to create interest and avoid monotony. Changes to the exterior materials, roof, windows, doors, process, trim, etc. are allowable with administrative approval at the staff level. Further details shall be provided at the time of development plan submittal. The following conditions shall apply:

A. Residential Development

Single-family Detached:

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
2. Primary building materials shall be brick, stone, and fiber cement siding.
3. Windows that are not recessed shall be trimmed. Windows shall vary in size and/or type.
4. At least four of the following decorative features shall be used on each building: decorative shake, board and batten siding, decorative porch rails and posts, shutters, decorative functional foundation and roof vents, recessed windows, decorative windows, decorative brick or stone, decorative gables, decorative cornices, or metal roofing.
5. A varied color palette shall be utilized throughout the development to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
6. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
7. Front facing garage doors must have windows, decorative details, or carriage-style adornments.
8. Entrances for units with front-facing garages shall have a prominent covered porch/stoop area leading to the front door.
9. Porches constructed with a dwelling unit shall be a minimum of six feet (6') deep.
10. The front façade of any front-loaded garage shall not protrude farther than one foot forward of (i) the front façade of the dwelling unit, or (ii) the front porch of the dwelling unit, whichever is closer to the right-of-way from which the dwelling unit is addressed.

Single-Family Attached (Townhouse):

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. The roofline cannot be a single mass; it must be broken up horizontally and vertically between every unit.
3. Garage doors must have windows, decorative details or carriage-style adornments on them.
4. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
5. The garage cannot protrude more than 1 foot out from the front façade or front porch.
6. Building facades shall have horizontal relief achieved by the use of recesses and projections.
7. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three (3) color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
8. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around windows.

9. At least four of the following decorative features shall be used on each building: decorative shake, board and batten siding, decorative porch rails and posts, shutters, decorative functional foundation and roof vents, recessed windows, decorative windows, decorative brick or stone, decorative gables, decorative cornices, or metal roofing.
10. The visible side of a townhouse on a corner lot facing the public street shall contain at least 3 decorative elements, such as, but not limited to, the follow elements:
 - Windows
 - Bay window
 - Recessed window
 - Decorative window
 - Trim around the windows
 - Wrap around porch or side porch
 - Two or more building materials
 - Decorative brick/stone
 - Decorative trim
 - Decorative shake
 - Decorative air vents on gable
 - Decorative gable
 - Decorative cornice
 - Column
 - Portico
 - Balcony
 - Dormer

B. Commercial Development

1. Predominant exterior building materials shall be high quality materials, including brick, wood, stacked stone, other native stone, and tinted/textured concrete masonry units. Materials shall comply with UDO Section 9.3.5.
2. Additional exterior materials may include stone accents, aluminum storefronts with anodized or pre-finished colors, EIFS cornices and parapet trim, and precast concrete.
3. The building shall have more than one (1) parapet height.
4. The building exterior shall have more than one (1) material color.
5. No more than 20% of any building façade may consist of EIFS material.
6. EIFS or synthetic stucco shall not be used in the first 4 feet above grade.
7. Only full cut-off lighting fixtures and fixtures with external house-side shields shall be allowed where non-residential properties are adjacent to residential properties.

Section 8: Parking and Loading

Parking for the development shall meet the requirements of UDO Section 8.3.

Section 9: Signage

All signage for this PUD shall comply with Section 8.7, *Signs*, of the Town of Apex UDO.

Section 10: Natural Resource and Environmental Data

A. River Basins and Watershed Protection Overlay Districts

The properties are all located within the Cape Fear River/Jordan Lake Watershed. The Town's Watershed Protection Overlay District Map shows the property are part of the Primary Watershed within the Beaver Creek Basin.

B. Resource Conservation Areas (RCA) – Required and Provided

This PUD shall be subject to, and meet the requirements of Section 8.1.2 of the UDO, *Resource Conservation Area* and Section 2.3.4, *Planned Development Districts*.

The site shall provide 25% RCA for the non-residential portion of the development based upon the standards set forth within UDO Section 8.1. The development provides a non-residential component to the development and per UDO Section 2.3.4.F.1.c.i is requesting a RCA reduction to 25% minimum from the 30% minimum required for single-family and townhouse developments. Development shall not be subject to additional RCA requirement for mass grading of single-family detached lots per UDO 7.2.5.B.8.

Off-site RCA per 8.1.2.a.1 may be used to comply with the approved RCA standards outlined by the Unified Development Ordinance.

In response to a request from adjacent Bella Casa property owners. the buffer along the northern boundary may be cleared and replanted per previous PD Text conditions and shall count as Resource Conservation Area (RCA) for the development.

The overhead Duke Energy electric line and easements along Humie Olive Road, Old US 1 Highway, and Holland Road shall be counted towards the required RCA and buffer standards as identified within various UDO sections.

C. Historic Structures

As confirmed by the North Carolina State Historic Preservation Office, there are no historic structures present within the project boundary.

Section 11: Stormwater Management

This PUD shall meet all stormwater management requirements for quality and quantity treatment in accordance with Section 6.1.7 of the UDO, such that:

- Post development peak runoff shall not exceed pre-development peak runoff conditions for the 1-year, 10-year, and 25-year 24-hour storm events.

Section 12: Parks and Recreation

The Parks, Recreation and Cultural Resources Advisory Commission reviewed the project on June 30, 2021 and unanimously recommended fee-in-lieu of dedication with a credit for construction of greenway trail if an opportunity is identified at the time of Master Subdivision Plan review and approval. The recommendation is based on the 2021-2022 rates and proposed maximum lot count provided:

Single-family detached Units:	\$3,495.24 x 10 = \$34,952.40
Single-family attached Units:	\$2,354.05 x 100 = \$235,405.00
Total residential fee in lieu per current unit count:	\$270,357.40

(Final PRCR amount shall be coordinated with staff during Master Subdivision Plan and Construction Document reviews)

Per Article 14 of the UDO, credit for greenway against fees requires the approval of construction plans, contingent upon approval of an engineer's estimate of probable cost for greenway construction. The greenway shall be completed prior to 25% of the total units for the project receiving building permits.

Section 13: Public Facilities

The proposed PUD shall meet all Public Facilities requirements as set forth in UDO Section 2.3.4.F.1.f and be designed according to sound engineering standards and shall comply with Town of Apex Sewer and Water Master Plan and the Town of Apex Standards and Specifications. Specifically, road and utility infrastructure shall be as follows:

A. General Roadway Infrastructure

Developer shall provide minimum dedication of public right-of-way along each of Holland Road, Old US 1, and Humie Olive Road. Cul-de-sacs shall be avoided unless the design of the subdivision and the existing or proposed street system in the surrounding area indicate that a through street is not essential in the location of the proposed cul-de-sac, or where sensitive environmental areas such as streams, floodplains, and wetlands would be substantially disturbed by making road connections. Sidewalks shall be provided on both sides of streets internal to the site per UDO standards. Refer to the concept plan of the PUD plan for proposed access points, stub streets, and planned vehicular connectivity. All access and circulation is conceptual and shall be finalized at the time of Master Subdivision Plan or Minor Site Plan review and approval.

A 10' side path shall be constructed and installed along Humie Olive Road.

B. Transportation Improvements

Roadway improvements are subject to modification and final approval by the Town of Apex and NCDOT as part of the Minor Site Plan, Master Subdivision Plan, and construction plan approval process. A Traffic Impact Analysis (TIA) has been performed as part of this PUD rezoning consistent with the Town's standards for the same. Based upon the recommendations of the TIA and approval by Town staff and NCDOT, the final transportation improvement zoning conditions shall be provided.

1. Developer shall widen Holland Road along the project frontage as development occurs based on a minimum 41-foot curb and gutter roadway section with 5-foot sidewalk and dedication based on a minimum 80-foot right-of-way.
2. Developer shall propose a maximum of two (2) access points to Holland Road. A full-movement access shall be located approximately 950 feet north of Old US 1. A right-in/right-out access shall be located approximately 350 feet north of Old US 1 with right-turn channelization designed according to Apex and NCDOT standards.
3. Developer shall provide additional frontage widening along Holland Road to extend the exclusive southbound right turn lane at Old US 1 to the right-in/right-out access when that right-in/right-out access is constructed for an approximate total length of 350 feet.

4. Developer shall propose a maximum of one (1) access point to Old US 1. The right-in/right-out access point shall be proposed approximately 275 feet west of Holland Road and restricted by installation of a concrete median along the center of Old US 1, based on NCDOT standards.
5. Developer shall widen Old US 1 at the time the access point is constructed by adding a second westbound through-lane starting at Holland Road and terminating at the westbound right-turn lane at Humie Olive Road, and a 6-foot paved shoulder for a future bike lane, with a 5-foot sidewalk, and dedication based on a minimum 110-foot right-of-way.
6. Developer shall widen Humie Olive Road along the project frontage as development occurs based on a minimum 41-foot curb and gutter roadway section with 10-foot side path and dedication based on a minimum 80-foot right-of-way.
7. Developer shall propose a maximum of one (1) access point to Humie Olive Road. The full-movement access point shall be proposed approximately 600 feet west of Old US 1 Highway and Developer shall provide additional widening to construct a westbound right turn lane with 75 feet of storage and an eastbound left-turn lane with 175 feet of storage, plus applicable full-width deceleration and taper length. Developer shall provide separate left- and right-turn lanes exiting the access point with 150 feet of internal protected storage, measured from the edge of Humie Olive Road to the first crossing internal access.
8. Developer shall extend the eastbound left-turn lane on Old US 1 at Humie Olive Road to provide a minimum of 225 feet of storage plus applicable full-width deceleration and taper length prior to the Site Plan Final first certificate of occupancy in the commercial phase.
9. Developer shall extend the northbound left-turn lane on Friendship Road at Old US 1 to provide a minimum of 150 feet of storage plus applicable full-width deceleration and taper length prior to the first certificate of occupancy in the commercial phase.

C. Water and Sanitary Sewer

All development within the project shall be served by the Town of Apex for water and sanitary sewer. The utility design will be finalized at the time of development plan review and approval based upon available facilities adjacent to the site at that time. A conceptual utility plan is included in the PUD plan for reference. All utility infrastructure shall meet current Town water and sewer master plans.

D. Other Utilities

Electricity will be provided by Apex Electric. Phone, cable, and gas shall be provided by the developer and shall meet the Town of Apex standards as outlined in the UDO.

Section 14: Phasing Plan

This PUD may be completed in multiple phases, with construction anticipated to begin in 2022-23. Project phasing shall ensure the points of access are provided in accordance with the UDO and emergency services are always available for the property.

Section 15: Consistency with the 2045 Land Use Map

The proposed land use is consistent with the 2045 Land Use Map as amended by this rezoning.

Section 16: Compliance with the UDO

The development standards adopted for this PUD are in compliance with those set forth in the current version of the Town's Unified Development Ordinance (UDO). Any deviations from UDO requirements have been specifically defined within this document.

Section 17: Compliance with Comprehensive Transportation Plan and Bicycle Plan

Development plan review for any development to be made pursuant to this amendment to the Official Zoning District Map shall comply with the adopted Comprehensive Transportation Plan in effect at the time of the development plan approval as provided for in the Unified Development Ordinance. Further, development of the Property shall be consistent with the Town's adopted Bicycle and Pedestrian System Plan.

HOLLAND ROAD MIXED USE ASSEMBLY

PLANNED UNIT DEVELOPMENT CONDITIONAL ZONING

HOLLAND ROAD @ OLD US 1 HIGHWAY

APEX, NORTH CAROLINA

PROJECT NUMBER: 200304

MAY 3, 2021

SITE INFORMATION:

Property Owner/Site Address	PIN	REID	Deeded Acreage	DB/Plot Book & Page
David Ray Powell 2236 Old US 1 HWY Apex, NC 27502	0720-99-8487	197638	5.71	DB 5746, PG 146
Johnny & Carolyn M. Pendergraft 1001 Red Cardinal Lane Apex, NC 27502	0730-09-1779	160074	8.96	DB 8718, PG 1292
Pamela Purefoy, Frances T. Bullock & Ernestine Smith 3116 Holland Road Apex, NC 27502	0730-09-5707	70103	0.55	DB 8718, PG 1304
Joann Pendergraft Hearn Heirs 1005 Red Cardinal Lane Apex, NC 27502	0731-00-1087	160076	2.00	DB 16-E, PG 835
RGNC-10 LLC attn: Rich Leonardi 1004 Red Cardinal Lane Apex, NC 27502	0731-00-4075	334537	2.10	DB 18763, PG 1063 BM 2005 Pg 1522
Annie P. & Billy E. Stroup 3104 Holland Road Apex, NC 27502	0731-00-3359	87601	7.36	DB 8718, PG 1301
Shelba W. Clem, P. Diane Williams, Lisa W. Krummel 7528 Humie Olive Road Apex, NC 27502	0720-99-2587	0193211	2.00	DB 16078, PG 0788

Total acreage: 28.68 acres

Existing Zoning: RR (Rural Residential)
Proposed Zoning: PUD-CZ (Planned Unit Density - Conditional Zoning)
Current 2045 Land Use Map: Medium Density Residential, Commercial Services
Proposed 2045 Land Use Map: Medium Density Residential, Commercial Services
Existing Use: Vacant and Single Family Residential

Township: Buckhorn

Flood Zone Information: Firm Panel 3720072000J, 3720072100J, 3720073000J and 3720073100J do not show the presence of flood zones on the properties.
Watershed Information: Primary Watershed Protection Overlay District, Beaver Creek Basin, Cape Fear River Basin

Historical: No historical structures on site

Residential:
Proposed Uses: Single Family Detached and Attached (Townhomes)

Buildings: 110 total residential lots
10 Single Family Detached, 100 Single Family Attached

Residential Max Building Height: 40'
Maximum BUA: 60%

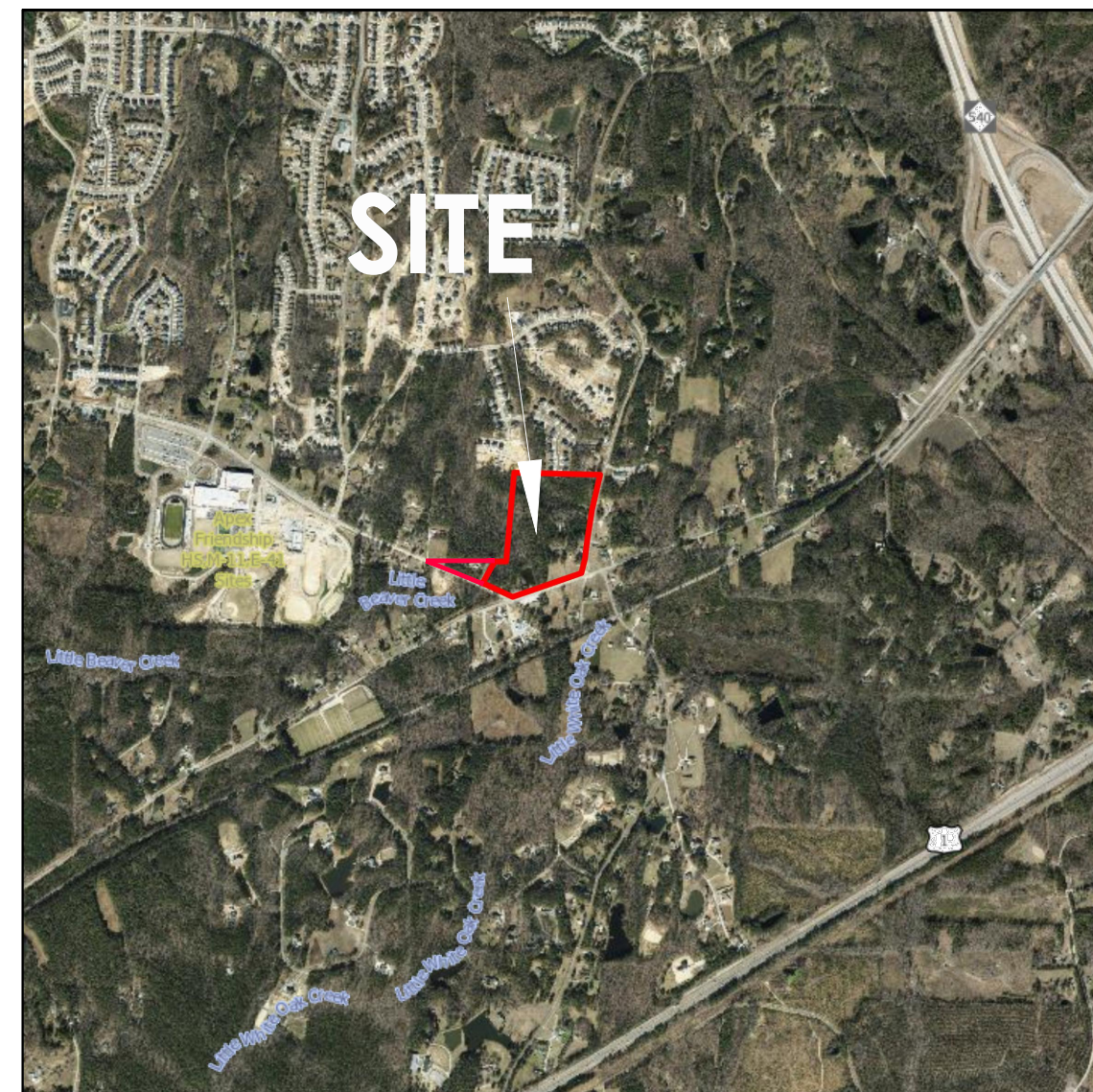
Single Family Detached:
Maximum Building Height: 36'
Minimum Lot Size: 6,000 SF
Minimum lot width: 50'
Building Setbacks:
Front: 10'
Front - Garage: 20'
Rear: 10'
Side: 5'
Side (Corner Lot): 10'

Single Family Attached (Townhomes):
Maximum Building Height: 40' / 3 stories
Minimum lot width: 22'
Front loaded: Front: 10', Rear/alley loaded: 10'
Front - Garage: 20', N/A
Rear: 10', 5' (from alley easement or R/W)
Side: 5', 0'
Side - unit or corner lot: 3', 3'

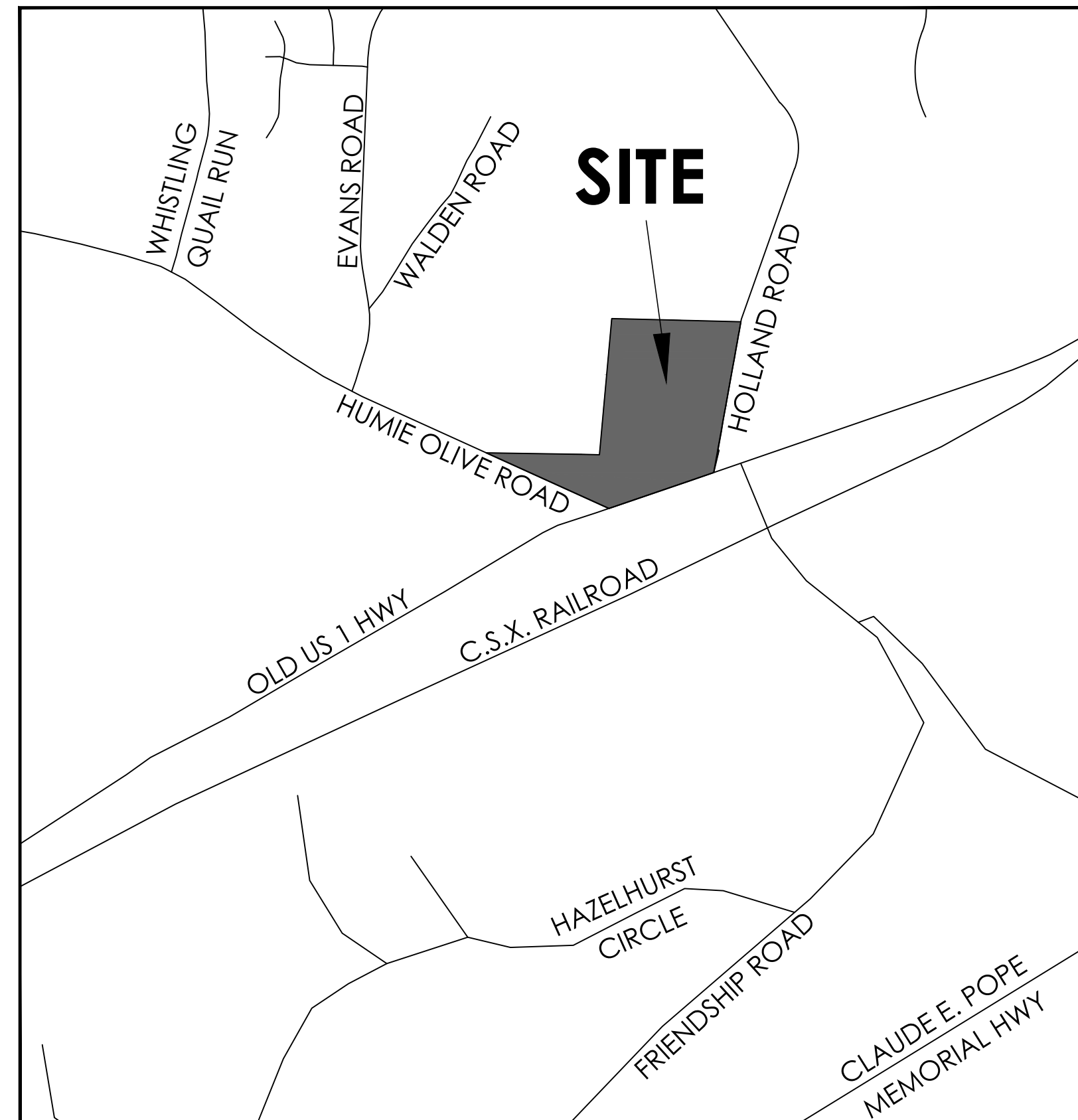
Parking Summary:
Single Family Detached
Required Spaces: 2 spaces per dwelling unit
10 dwelling units x 2 spaces/unit = 20 spaces
Proposed Spaces: 20 spaces (spaces will be provided within garages and driveways)
Single Family Attached
Required Spaces: 2 spaces per dwelling unit plus .25 per unit for guest parking
2 spaces/unit x 100 units = 200 spaces
.25 spaces/unit x 100 units = 25 spaces
225 spaces required

Commercial / Retail:
Proposed Uses: See PD Text for list of non-residential uses

Non Residential Square Footage: 76,500 SF plus convenience store with no more than ten (10) fueling stations
Maximum Building Height: 50'
Building Setbacks:
Front: 20'
Rear: 20'
Side: 20'
From Buffer/RCA: 10' for Buildings/5' for Parking Areas
Parking: Per UDO Section 8.3



AERIAL MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE



DRAWING INDEX:

C000	COVER SHEET
C001	EXISTING CONDITIONS
C100	CONCEPTUAL SITE PLAN
C200	CONCEPTUAL UTILITY PLAN

OWNER/DEVELOPER

LG INVESTMENTS, INC.
GENO RAY
5944 CORAL RIDGE DRIVE SUITE 312
CORAL SPRINGS, FL 33076
(754) 875-2975

CIVIL ENGINEER

PEAK ENGINEERING & DESIGN, PLLC
JEFF ROACH, P.E.
1125 APEX PEAKWAY
APEX, NC 27502
PHONE: (919) 439-0100

SURVEYOR

BATEMAN CIVIL SURVEYING COMPANY
STEVEN CARSON, PLS
2424 RELIANCE AVENUE
APEX, 27539
PHONE: (919) 577-1080
FAX: (919) 577-1081
WEBSITE: www.BatemanCivilSurvey.com

TRANSPORTATION ENGINEER

RAMEY KEMP & ASSOCIATES
RYNAL STEPHENSON, P.E.
5808 FARRINGDON PLACE SUITE 100
RALEIGH, NC 27609
FAX: (919) 872-5115
FAX: (919) 878-5416
WEBSITE: www.RameyKemp.com

NO.	DATE	REVISION	BY
1	JANUARY 14, 2022	TOWN OF APEX ZONING COMMENT REVISIONS	JR

title:
COVER SHEET

proj #:
200304

date:
May 3, 2021

dwg by: chkd by:
JE JR

scale:
As Noted

sheet:

C000

NO.	DATE	REVISION	BY
1	JANUARY 14, 2022	TOWN OF APEX ZONING COMMENT RESPONSES	JR

title:

EXISTING CONDITIONS

proj #:

200304

date:

May 3, 2021

dwg by: chkd by:

JE JR

scale:

As Noted

sheet:




C001

ZONING DOCUMENT

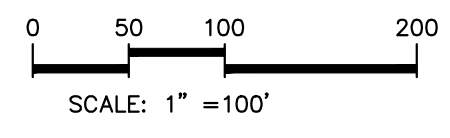
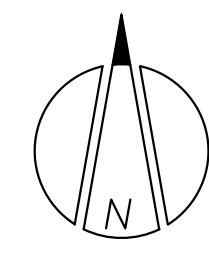
BOUNDARY LINE TABLE

Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction
L1	724.03'	S88° 19' 24"E	L21	193.15'	N71° 00' 58"E
L2	125.81'	S88° 18' 19"E	L22	610.28'	S71° 12' 44"W
L3	991.75'	N5° 08' 57"E	L23	365.03'	N65° 06' 16"W
L4	630.83'	S88° 41' 36"E	L24	453.23'	N66° 24' 58"W
L5	349.72'	S88° 22' 38"E			
L6	37.39'	S16° 36' 31"W			
L7	56.31'	S14° 47' 09"W			
L8	57.80'	S13° 34' 48"W			
L9	58.93'	S12° 15' 11"W			
L10	57.13'	S10° 51' 46"W			
L11	56.07'	S10° 06' 24"W			
L12	68.29'	S9° 41' 43"W			
L13	228.76'	S9° 41' 43"W			
L14	98.06'	S9° 46' 21"W			
L15	30.07'	S9° 44' 05"W			
L16	62.67'	S9° 56' 33"W			
L17	30.31'	N88° 20' 16"W			
L18	136.11'	N10° 28' 10"E			
L19	7.97'	S84° 27' 46"E			
L20	167.32'	N13° 06' 20"E			

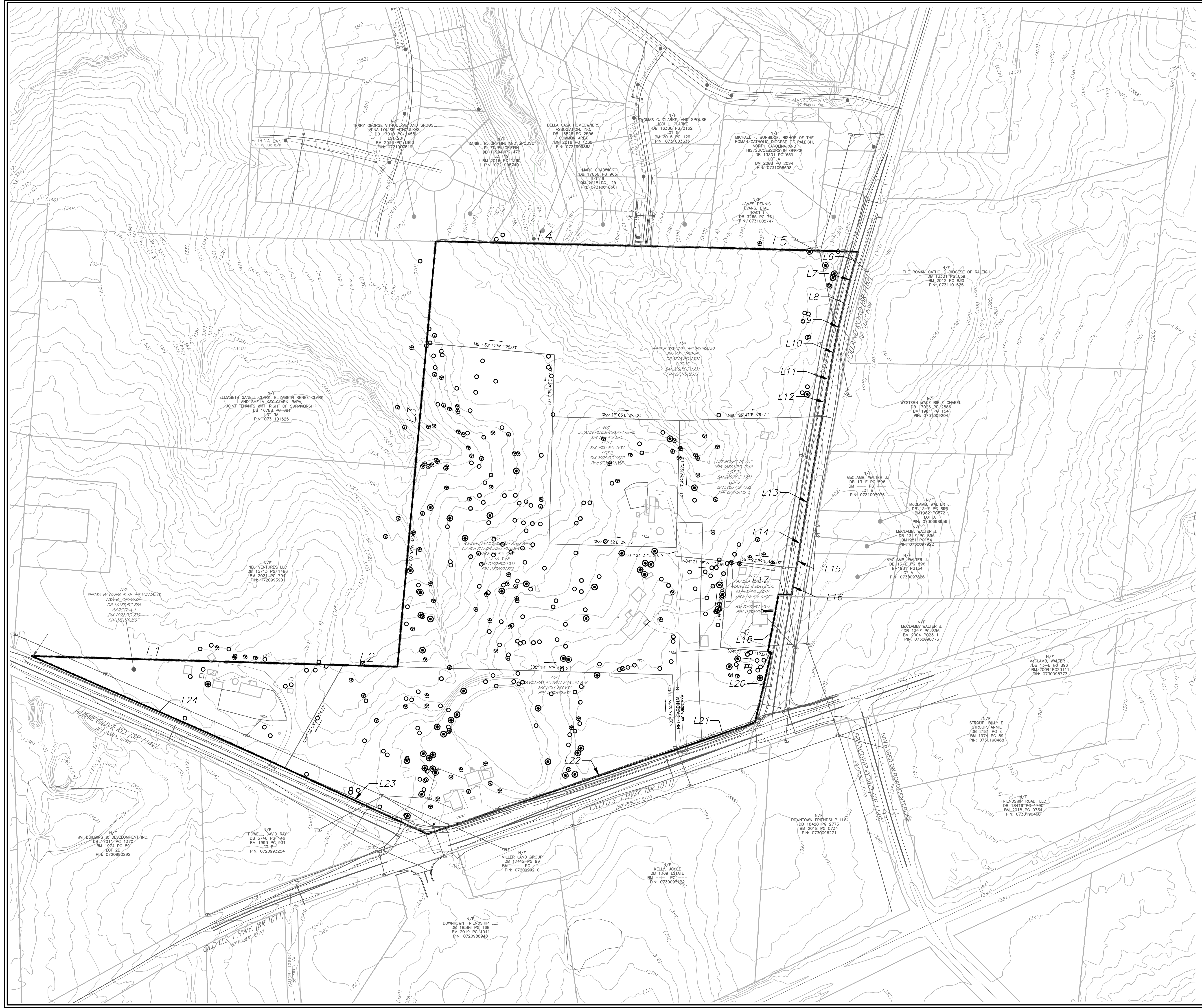
TREE LEGEND

-  PINE TREE (18")
-  PINE TREE (>18")
-  DECIDUOUS TREE

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY



1 EXISTING CONDITIONS
C001 SCALE: 1" = 100'

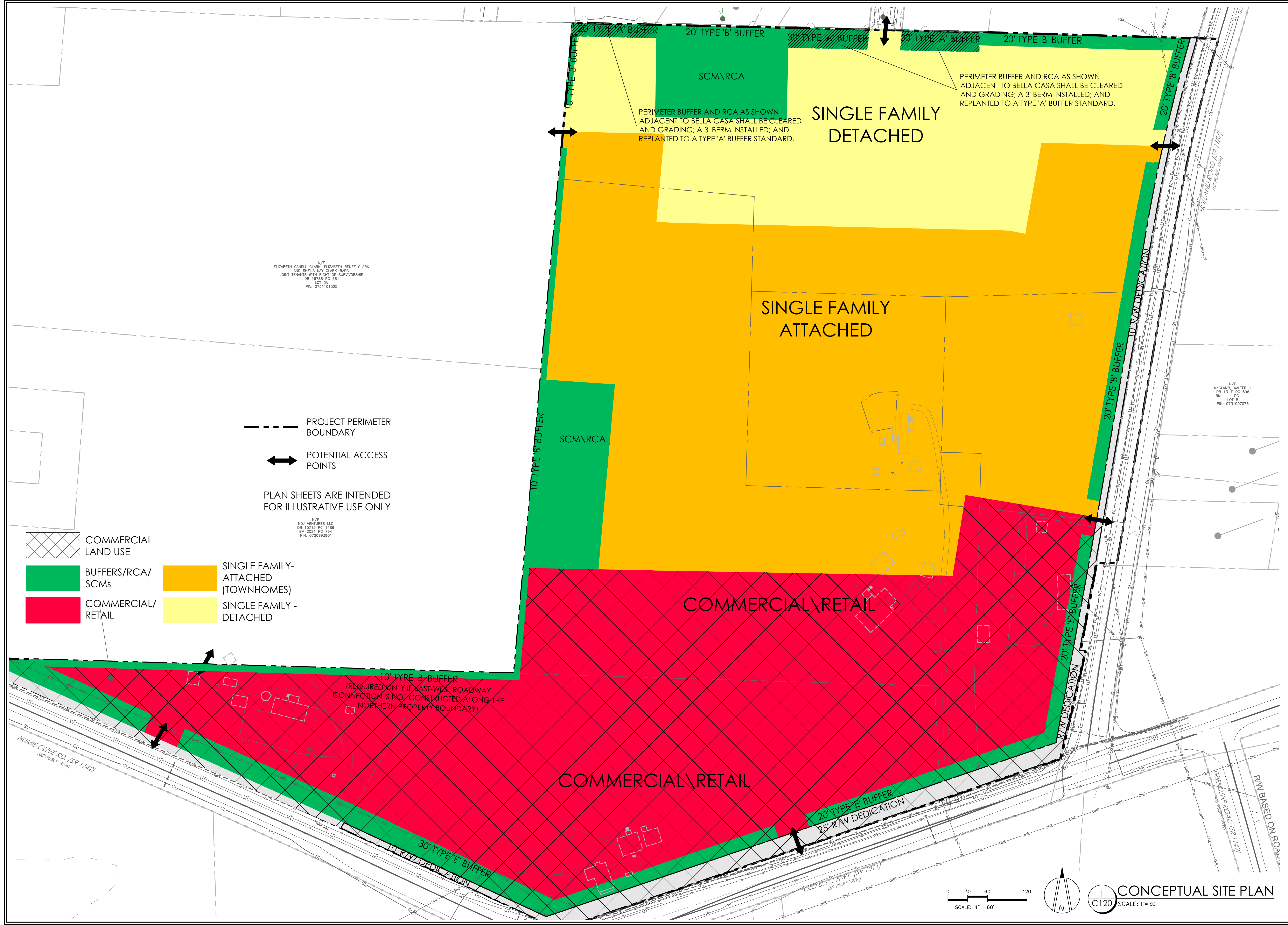


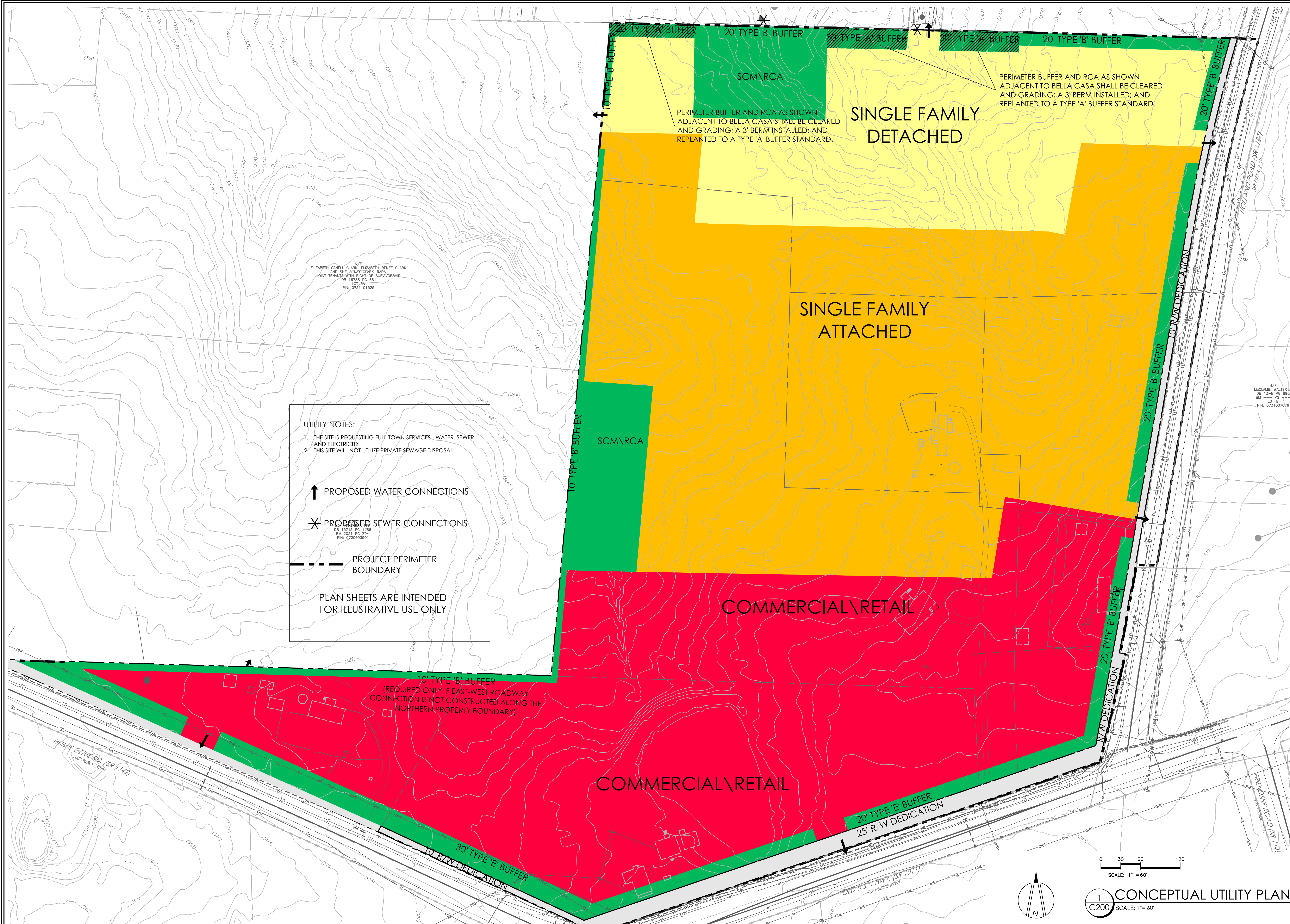
NO.	DATE	REVISION	BY
1	JANUARY 14, 2022	TOWN OF APEX ZONING COMMENT REVISIONS	JR

title:
**CONCEPTUAL
 SITE PLAN**

proj #:
200304
 date:
May 3, 2021
 dwg by: chkd by:
 JE JR
 scale:
As Noted
 sheet:

C100
 ZONING DOCUMENT





UTILITY NOTES:

1. THE SITE IS REQUESTING FULL TOWN SERVICES - WATER, SEWER AND ELECTRICITY
2. THIS SITE WILL NOT UTILIZE PRIVATE SEWAGE DISPOSAL.

↑ PROPOSED WATER CONNECTIONS

✕ PROPOSED SEWER CONNECTIONS

--- PROJECT PERIMETER BOUNDARY

PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY

PERIMETER BUFFER AND RCA AS SHOWN ADJACENT TO BELLA CASA SHALL BE CLEARED AND GRADING; A 3' BERM INSTALLED; AND REPLANTED TO A TYPE 'A' BUFFER STANDARD.

PERIMETER BUFFER AND RCA AS SHOWN ADJACENT TO BELLA CASA SHALL BE CLEARED AND GRADING; A 3' BERM INSTALLED; AND REPLANTED TO A TYPE 'A' BUFFER STANDARD.

10' TYPE 'B' BUFFER (REQUIRED ONLY IF EAST-WEST ROADWAY CONNECTION IS NOT CONSTRUCTED ALONG THE NORTHERN PROPERTY BOUNDARY)

seal:

NO.	DATE	REVISION	BY
1	JANUARY 14, 2022	TOWN OF APEX ZONING COMMENT REVISIONS	JR

title:
CONCEPTUAL UTILITY PLAN

proj #: 200304
date: May 3, 2021
dwg by: JE JR
scale: As Noted
sheet:



Building A - West Elevation 2
1/8" = 1'-0"



BUILDING A - SW PERSPECTIVE VIEW 1



Building B/C - South Elevation 2
1/8" = 1'-0"



BUILDING B/C - SE PERSPECTIVE VIEW 1



Building D - East Elevation 2
1/8" = 1'-0"



BUILDING B - SE PERSPECTIVE VIEW 1

BUILDING D - CONCEPT DESIGN



BRICK 1



DARK BRONZE ALUMINUM CANOPY & STOREFRONT



30%



CEMENTITIOUS SIDING



70%

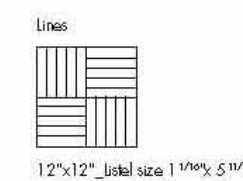
BRICK 2 COMBINATION OF TWO BRICK TYPES



COCOA Nonretiled



DECORS



WALL TILE - WOOD LOOK

REVIVE

Non-Residential Design Guidelines:

- Buildings shall be arranged to define, create and activate edges and public spaces.
- Every effort shall be made to locate service and loading areas in the rear of the structures. Where these features are located between the building and a public road, they will be designed in such a way that they do not distract from the character of the development and they will be screened in accordance with the UDO.
- Drive-thru lanes, pick-up windows and other like functions shall be allowable if located facing an adjacent street or drive. Landscaping and/or other architectural features should be used to create screening for these types of uses.
- Elevations of building facing a street shall incorporate detailing in keeping with the character and style of other architectural features.
- Elevations of corner buildings shall utilize design features such as variations in wall plane, variation in building mass and window placement to generate street interest.
- Architectural treatments such as varying roof forms, facade articulation, breaks in roof, walls with texture material and ornamental details as well as landscaping shall be incorporated to add visual interest.
- Differences in roof height, pitch, ridgelines and materials may be used to create visual interest and avoid repetition.

Non-residential exteriors shall incorporate variation in materials. The primary (front) facade of the buildings to be considered may include:

- Brick and/or stone masonry
- Decorative concrete block (integral color or textured)
- Stone accents
- Aluminum storefront with anodized or pre-finished colors
- EIFS cornices and parapet trim
- EIFS or synthetic stucco shall not be used in the first four feet above grade and shall be limited to 25% of each building facade
- Precast concrete
- Roof features may include flat roofs with parapet, hip roofs or awnings with metal or canvas material
- Soffit and fascia materials to be considered include EIFS with crown trim elements
- Cementitious siding
- Tile
- Heavy Timber accent elements

Non-residential buildings visible from the public view shall be constructed with compatible materials. Rear elevations of non-residential buildings facing opaque landscape buffers or not visible from vehicular use areas or public rights-of-way may incorporate decorative concrete masonry, metal coping, and EIFS trim.

Exterior materials that are not allowed as part of the development are as follows:

- Vinyl siding
- Painted, smooth faced concrete block
- Metal walls

COLUMBIA



HUDSON

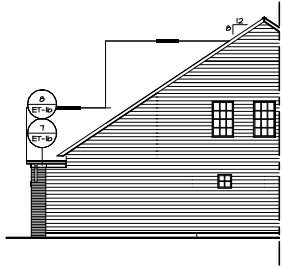


LEHIGH

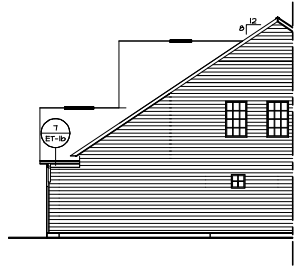


SENECA

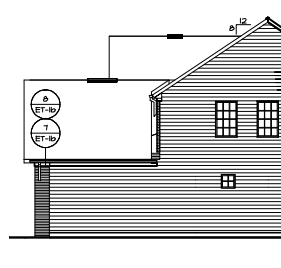




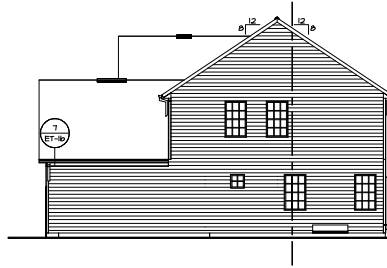
3 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "B" "ELB"
BRICK VENEER "5VA"



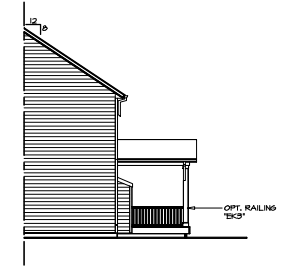
4 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "B" "ELB"
SIDING VENEER "5VA"



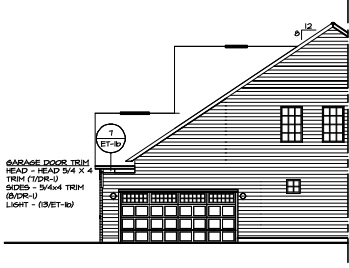
5 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "A" "ELA"
BRICK VENEER "5VA"



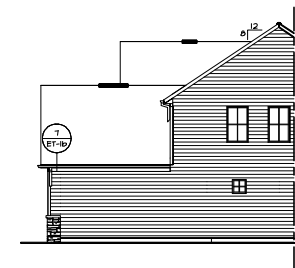
1 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "A" "ELA"
SIDING VENEER "5VA"
OPT. WINDOW FAMILY ROOM "5WF"
ROOM "5RF"



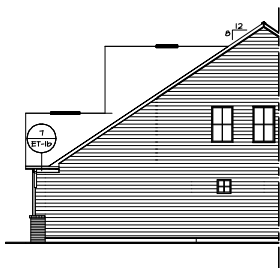
2 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
GAS FIREPLACE FAMILY ROOM REAR "5GF"
COVERED PORCH "5CP"



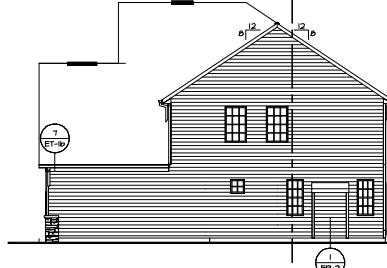
10 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "B" "ELB"
BRICK VENEER "5VA"
TWO CAR SIDE ENTRY GARAGE "5CG"



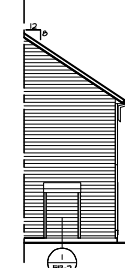
6 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "C" "ELC"



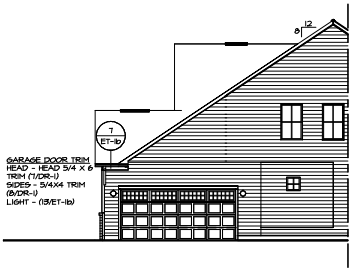
7 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "1" "EL1"



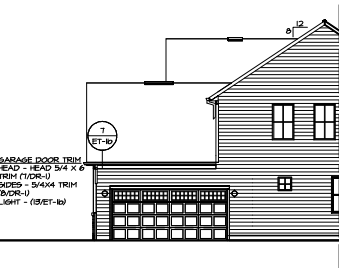
8 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "C" "ELC"
GAS FIREPLACE FAMILY ROOM SIDE "5FS"
IV OPT. WINDOW FAMILY ROOM "5WF"



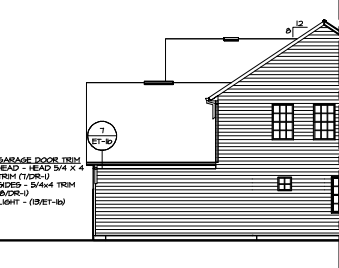
14 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
GAS FIREPLACE FAMILY ROOM SIDE "5FS"



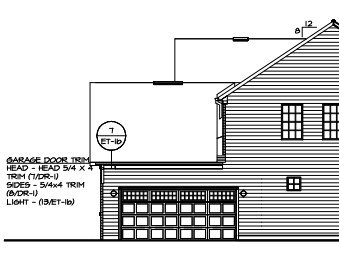
15 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "1" "EL1"
BRICK VENEER "5VA"
TWO CAR SIDE ENTRY GARAGE "5CG"



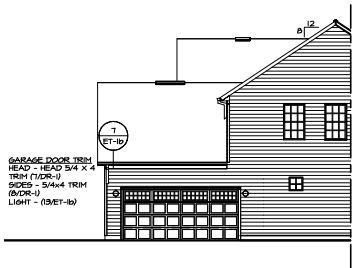
12 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "C" "ELC"
TWO CAR SIDE ENTRY GARAGE "5CG"



11 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION "C" "ELC"
TWO CAR SIDE ENTRY GARAGE "5CG"



10 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
BRICK VENEER "5VA"
TWO CAR SIDE ENTRY GARAGE "5CG"
SHOWN IV ELEVATION "A" "ELA"



9 PARTIAL RIGHT ELEVATION
SCALE: 1/8" = 1'-0"
SIDING VENEER "5VA"
TWO CAR SIDE ENTRY GARAGE "5CG"
SHOWN IV ELEVATION "A" "ELA"

REMARKS

REV. NO. DATE

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NVR, INC.
1100 S. PLEASANT AVE. #1100
DENVER, CO 80202

SET NO. BL600
DRAWING TITLE
DATE: 07/12/17

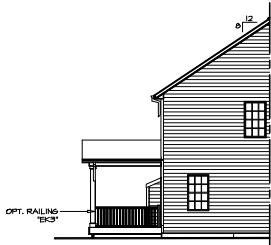
OPTION

OPTION DESCRIPTION

SHEET NO. A-2

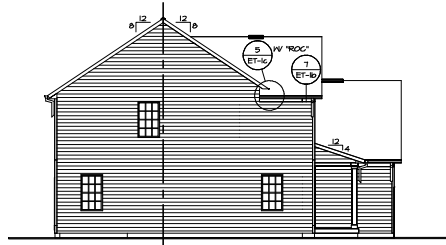
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N:\PROJECTS\2017\170717_BLDG_01_Plan\170717_Plan.dwg 17/07/2017 11:03 AM



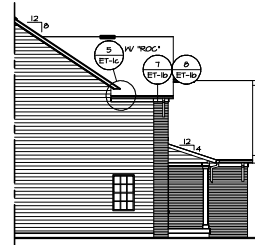
3 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

GAS FIREPLACE FAMILY ROOM REAR LEFT COVERED PORCH "EP6"



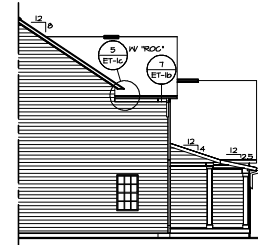
1 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "A" "ELA"
SIDING VENEER "EV1"



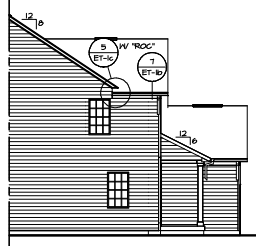
2 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "A" "ELA"
BRICK VENEER "EVA"



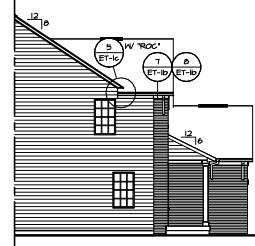
12 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "A" "ELA"
SIDING VENEER "EV1"
PORCH EXTENSION "EP6"



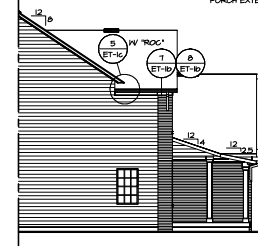
5 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "B" "ELB"
SIDING VENEER "EV1"



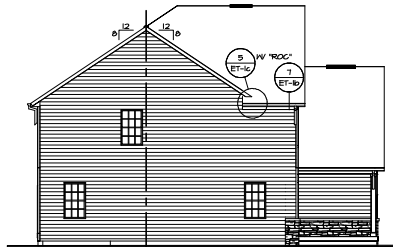
4 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "B" "ELB"
BRICK VENEER "EVA"



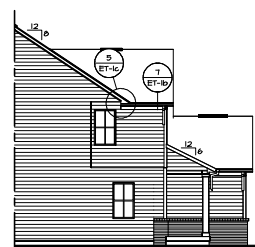
15 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "A" "ELA"
BRICK VENEER "EVA"
PORCH EXTENSION "EP6"



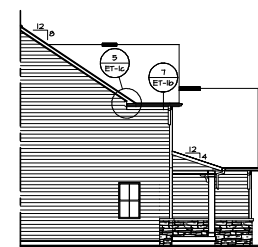
8 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
NO PORCH EXTENSION "ZM1"



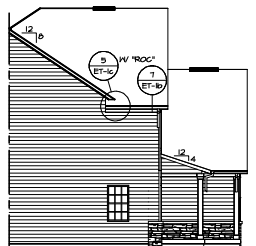
7 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
NO PORCH EXTENSION "ZM1"



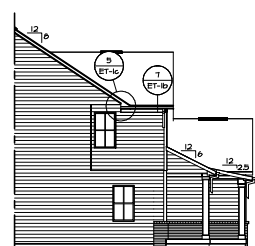
6 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
NO PORCH EXTENSION "ZM1"



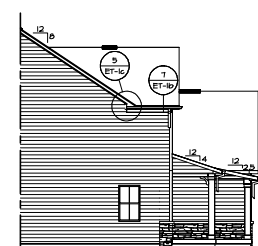
4 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
PORCH EXTENSION "EP6"



10 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
PORCH EXTENSION "EP6"



11 PARTIAL LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION "C" "ELC"
PORCH EXTENSION "EP6"

REVISIONS

1. 07/12/17
2. 07/12/17
3. 07/12/17
4. 07/12/17
5. 07/12/17
6. 07/12/17
7. 07/12/17
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20. 07/12/17



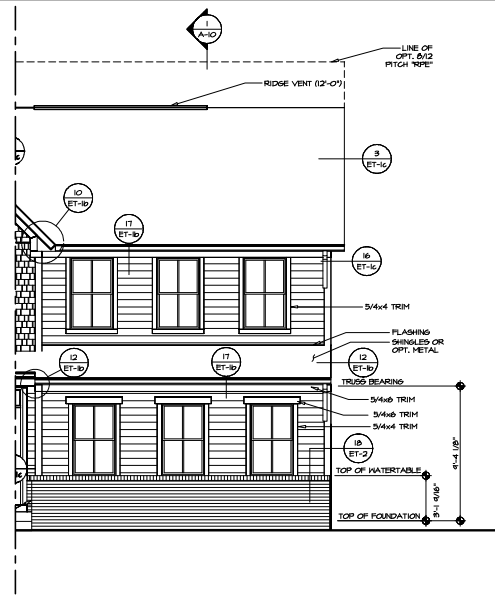
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DRAWING TITLE
DATE: 07/12/17
OPTION

SET NO. 86,000
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DATE: 07/12/17
OPTION

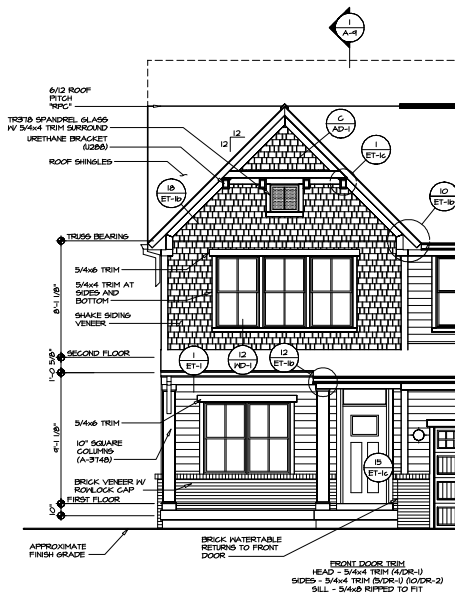
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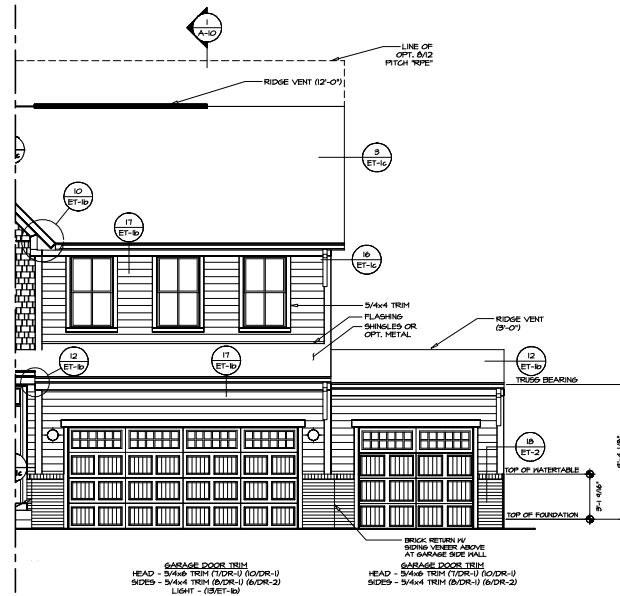
1
A-1
SCALE: 1/4" = 1'-0"
FRONT ELEVATION "L"



2
A-1
SCALE: 1/4" = 1'-0"
OPT. 2-CAR GARAGE SIDE ENTRY "SCG"



4
A-1
SCALE: 1/4" = 1'-0"
OPT. PORCH EXTENSION "PEP"



3
A-1
SCALE: 1/4" = 1'-0"
OPT. 3-CAR FRONT ENTRY GARAGE "SCF"

NOTE:
GARAGE DOOR GLASS
DESIGN MAY VARY BY
MANUFACTURER.

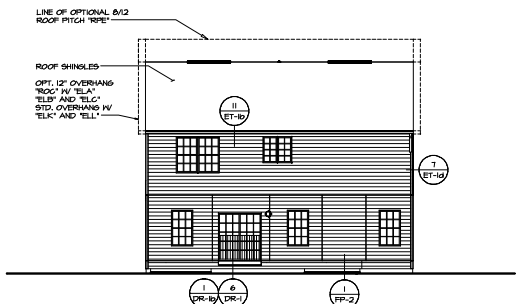
REVISION	DATE	REMARKS

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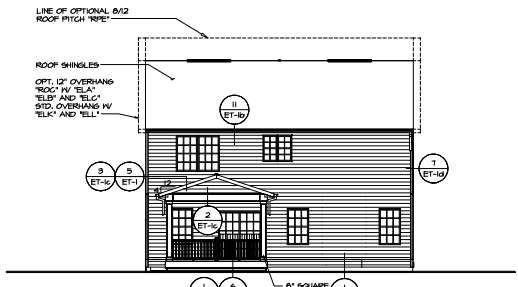


SET NO. 02
DRAWING TITLE
DRAWN BY JADY
DATE: 02/06/17
CHECKED BY
SCALE: 1/4" = 1'-0"
ELEVATION "L"

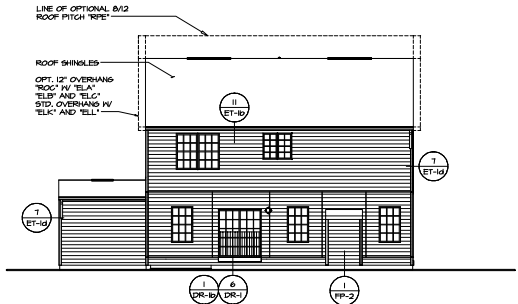
02	COLUMBIA	FRONT ELEVATION
A-1		
10		



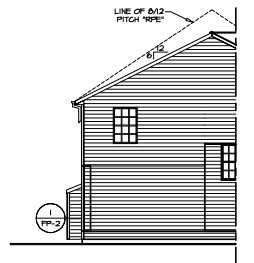
1 REAR ELEVATION
A-20 SCALE: 1/8" = 1'-0"



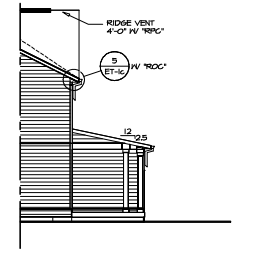
1 REAR ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. REAR COVERED PORCH "EP" OPT. EXTERIOR RAILS "EC3"



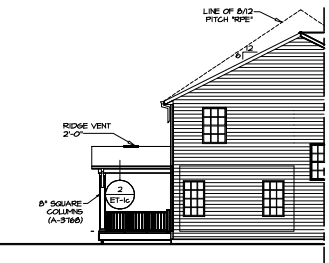
1 REAR ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. GAS FIREPLACE FAMILY ROOM REAR "L6P" OPT. 3-CAR GARAGE FRONT ENTRY "SCF"



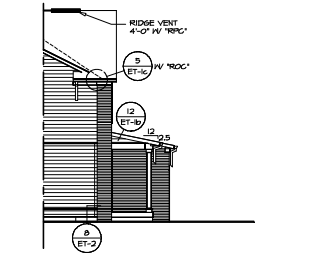
4 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. GAS FIREPLACE FAMILY ROOM REAR "L6P"



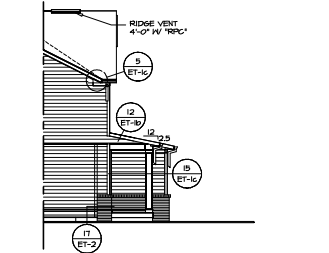
11 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
ELEV. A "ELA" OPT. PORCH EXTENSION "EP"



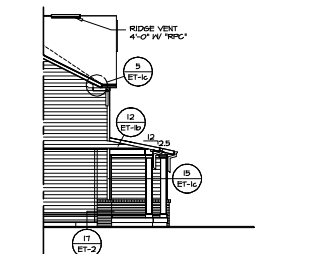
6 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. REAR COVERED PORCH "EP" OPT. WINDOWS FAMILY ROOM SIDE "WSF" OPT. EXTERIOR RAILS "EC3"



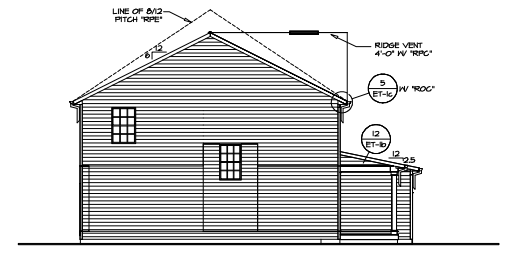
4 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. B "TEL" OPT. FULL BRICK VENEER FRONT "EV"



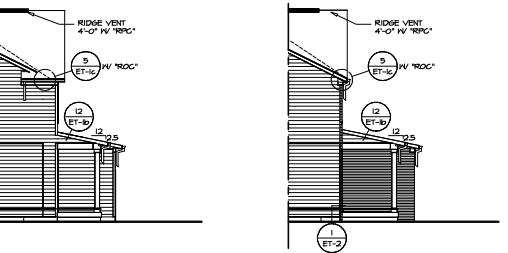
1 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. L "TEL"



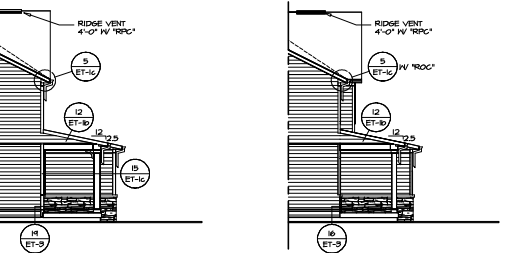
10 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. L "TEL" OPT. PORCH EXTENSION "EP"



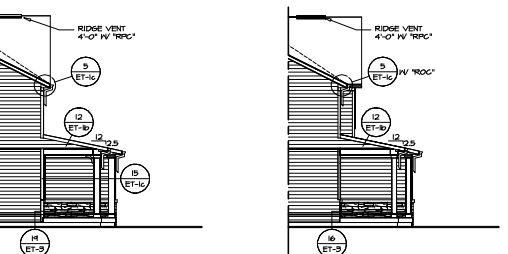
1 LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
ELEV. A "ELA" SIDING VENEER FRONT "SV"



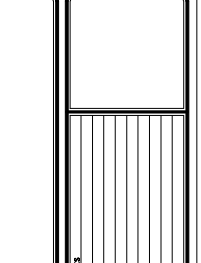
3 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. B "TEL" SIDING VENEER FRONT "SV"



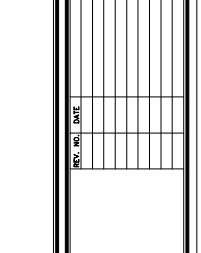
6 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. K "TEL"



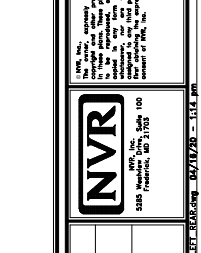
4 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. K "TEL" OPT. PORCH EXTENSION "EP"



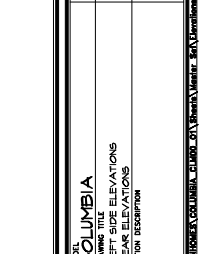
5 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. FULL BRICK VENEER FRONT "EV"



2 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
ELEV. A "ELA" OPT. FULL BRICK VENEER FRONT "EV"



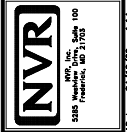
5 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. G "TEL"



8 PARTIAL LEFT ELEVATION
A-20 SCALE: 1/8" = 1'-0"
OPT. ELEV. G "TEL" OPT. PORCH EXTENSION "EP"

REV. NO.	DATE	REMARKS

1. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY SUCH VERIFICATION OR APPROVALS.



SHEET NO. 12
DRAWING TITLE: REAR ELEVATIONS
DATE: 5/21/17
OPTION: OPTION

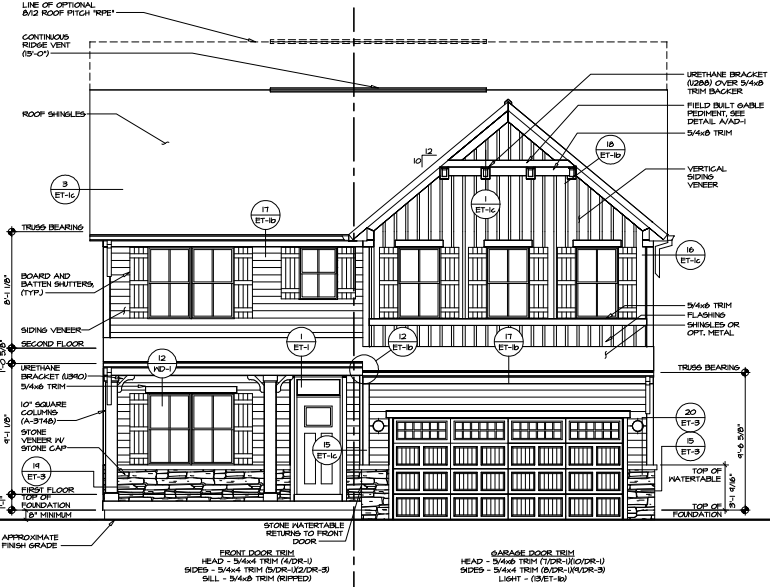
PROJECT: 2015010001
DRAWING TITLE: REAR ELEVATIONS
DATE: 5/21/17
OPTION: OPTION

SHEET NO. 12
DRAWING TITLE: REAR ELEVATIONS
DATE: 5/21/17
OPTION: OPTION

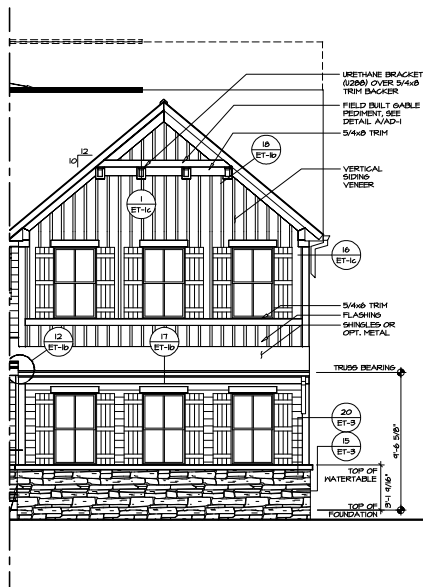
NOTE:
GARAGE DOOR GLASS
DESIGN MAY VARY BY
MANUFACTURER.



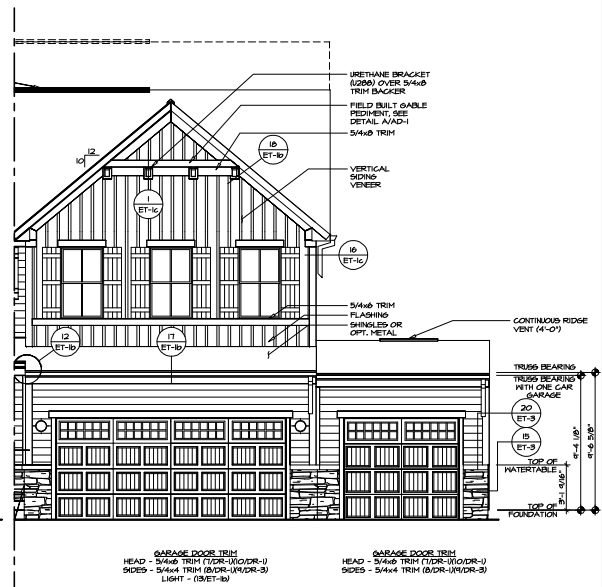
4 FRONT ELEVATION "K"
SCALE: 1/4" = 1'-0"
TWO CAR FRONT ENTRY GARAGE "SC2"
PORCH EXTENSION "EP3"



1 FRONT ELEVATION "K"
SCALE: 1/4" = 1'-0"
TWO CAR FRONT ENTRY GARAGE "SC2"
SHOWN WITH NO PORCH EXTENSION



2 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "SC2"
SHOWN WITH NO PORCH EXTENSION

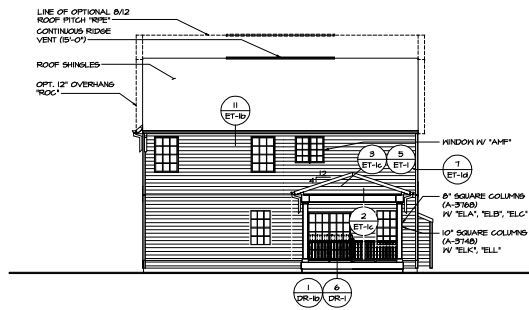


3 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"
THREE CAR FRONT ENTRY GARAGE "SC3"
SHOWN WITH NO PORCH EXTENSION

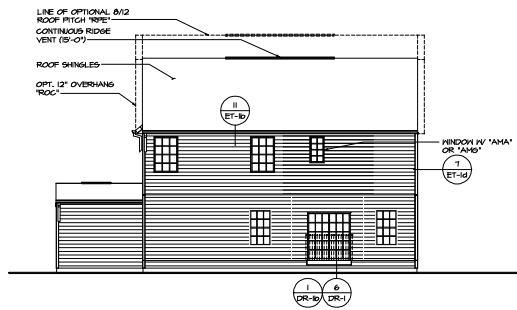
SHEET NO.	DATE	DESCRIPTION	REVISIONS
A-1	9/25/17	FRONT ELEVATIONS	

<p>SET NO. 140300 DRAWING NO. 656A DATE: 9/25/17 PROJECT: 1403000000 ELK</p>	<p>DATE: 9/25/17 PROJECT: 1403000000 ELK</p>
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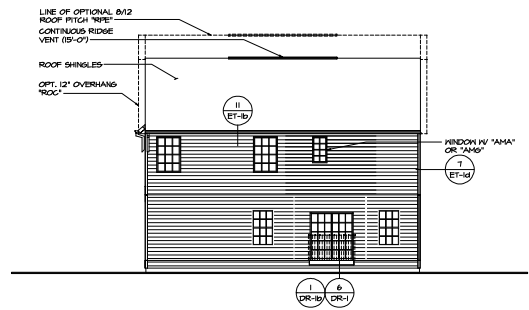
<p>NVR NORTH VALLEY REGIONAL 5415 PINEVILLE RD, SUITE 100 PINEVILLE, MD 21133 TEL: 410-326-7555</p>	<p>10/17/19</p>
--	-----------------



3 REAR ELEVATION
 SCALE: 1/8" = 1'-0"
 SHOWN W/ DOUBLE PATIO DOOR DINETTE "DPT"
 REAR COVERED PORCH "RCP"
 GAS FIREPLACE FAMILY ROOM SIDE "FSF"
 OWNER'S BATH W/ TUB AND SHOWER "AMB"

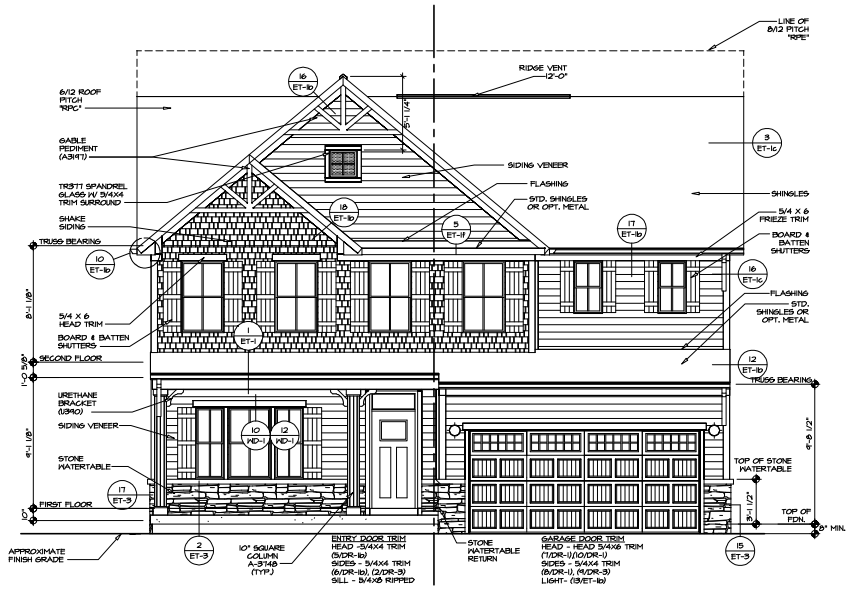


2 REAR ELEVATION
 SCALE: 1/8" = 1'-0"
 SHOWN W/ SLIDING GLASS DOOR DINETTE "DGT"
 THREE CAR FRONT ENTRY GARAGE "CG"
 SHOWN W/ OWNER'S BATHROOM SHOWER "ASH"
 OR OWNER'S BATH W/ ROMAN SHOWER W/ SEAT "ANS"

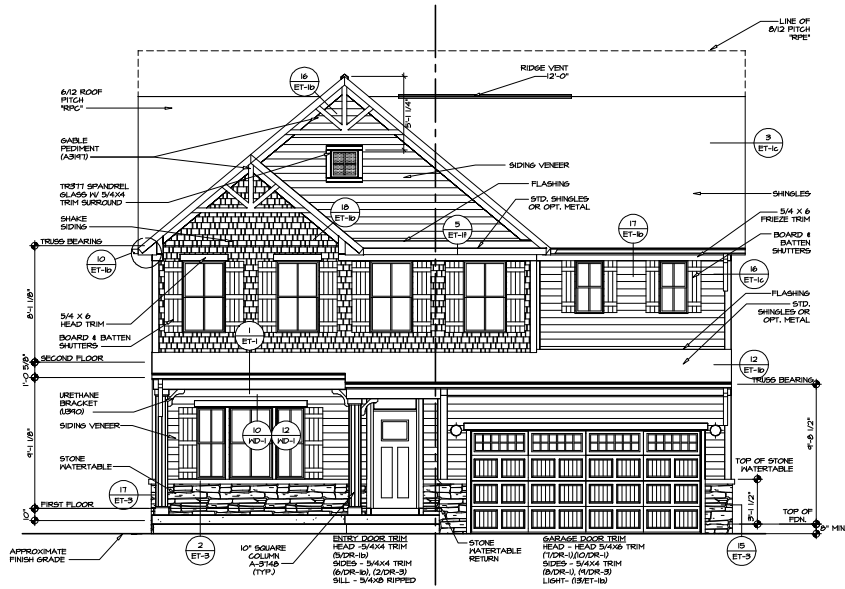


1 REAR ELEVATION
 SCALE: 1/8" = 1'-0"
 SHOWN W/ SLIDING GLASS DOOR DINETTE "DGT"
 SHOWN W/ OWNER'S BATHROOM SHOWER "ASH"
 OR OWNER'S BATH W/ ROMAN SHOWER W/ SEAT "ANS"

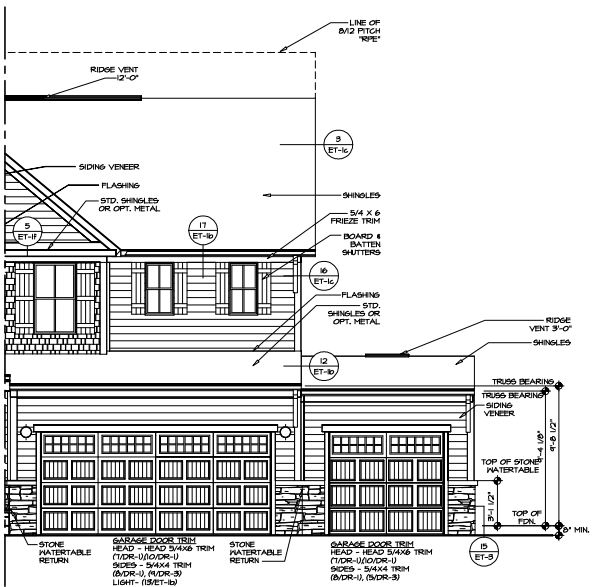
SHEET NO. A-2c	DATE 9/25/17	DRAWN BY SSEA	CHECKED BY OPTION	PROJECT NO. 13	PROJECT NAME HIDSON	REMARKS
						REAR ELEVATIONS
<p>1/8" = 1'-0" ARCHITECTURAL DRAWING. THIS DRAWING IS THE PROPERTY OF NVR, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE, REPRODUCTION, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF NVR, INC. IS STRICTLY PROHIBITED. NVR, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. NVR, INC. 5115 PRAIRIE BLVD., SUITE 100, PRAIRIE, MN 55364</p>						



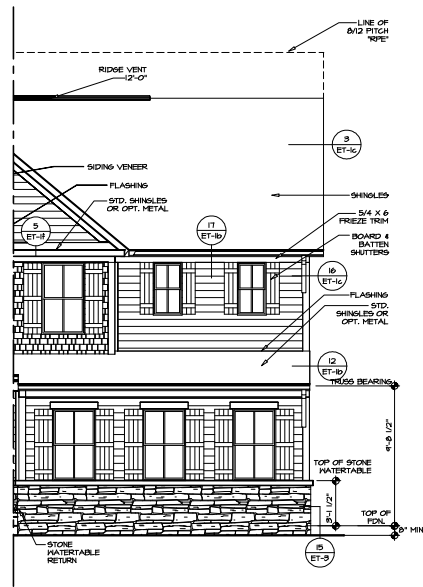
1 FRONT ELEVATION "L"
SCALE: 1/4" = 1'-0"
NO PORCH EXTENSION "2M"



2 FRONT ELEVATION "L"
SCALE: 1/4" = 1'-0"
PORCH EXTENSION "2PS"




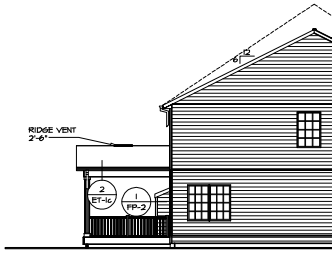
3 FRONT ELEVATION PARTIAL
SCALE: 1/4" = 1'-0"
THREE CAR GARAGE FRONT ENTRY "6CP"



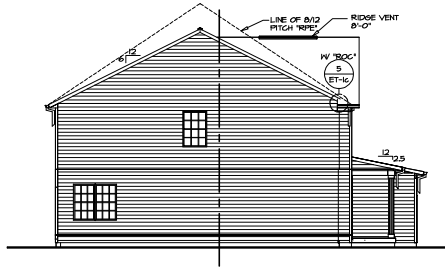
4 FRONT ELEVATION PARTIAL
SCALE: 1/4" = 1'-0"
TWO CAR GARAGE SIDE ENTRY "6CC"

NOTE:
GARAGE DOOR GLASS
DESIGN MAY VARY BY
MANUFACTURER

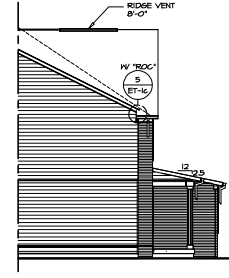
REMARKS	
REL. NO.	DATE
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SET NO. 14800 DRAWING TITLE DATE: 8/10/17 DRAWN BY: J. BELL CHECKED BY: J. BELL	NVR, INC. 100 5855 Prairieville, MO 63073 637.797.9933
SHEET NO. A-1	FRONT ELEVATION ELEVATION "L" II



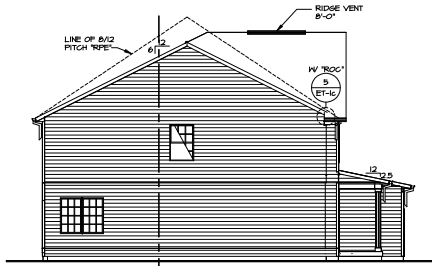
1 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
REAR COVERED PORCH "EPB"
GAS FIREPLACE FAMILY ROOM REAR "EPF"



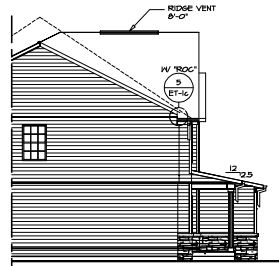
2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"
ELEVATION A "ELA"
SIDING VENTER FRONT "EV"



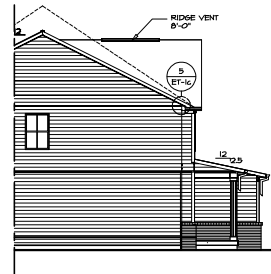
3 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION A "ELA"
ELEVATION B "ELB"
FULL BRICK FRONT "EVA"



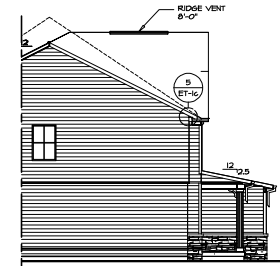
4 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION B "ELB"
SIDING VENTER FRONT "EV"



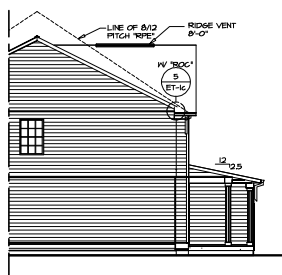
5 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION C "ELC"
NO PORCH EXTENSION "ZHP"



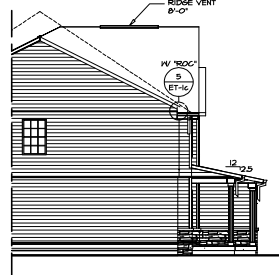
6 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION K "ELK"
NO PORCH EXTENSION "ZHP"



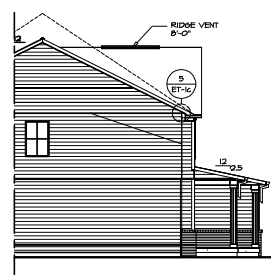
7 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION L "ELL"
NO PORCH EXTENSION "ZHP"



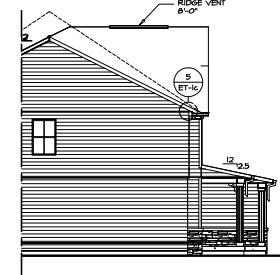
8 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION A "ELA"
PORCH EXTENSION "EPD"



9 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION C "ELC"
PORCH EXTENSION "EPD"



9 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION K "ELK"
PORCH EXTENSION "EPD"



10 LEFT ELEVATION PARTIAL
SCALE: 1/8" = 1'-0"
ELEVATION L "ELL"
PORCH EXTENSION "EPD"

REMARKS

REV. NO. DATE

1/18/2018
2/18/2018
3/18/2018
4/18/2018
5/18/2018
6/18/2018
7/18/2018
8/18/2018
9/18/2018
10/18/2018
11/18/2018
12/18/2018

SET NO. LAYOUT
DRAWING TITLE
DATE: 01/07/17
OPTION

13

13

13



13

13

13

13

Typical building elevations. Number of units, window configurations, garage door style, colors, and other architectural standards will vary from townhome unit to townhome unit.



SCALE NOTE:
 LARGE FORMAT PRINTS ARE TO SCALE AS NOTED.
 11"x17" PRINTS ARE ONE HALF THE NOTED SCALE



TOWNHOME PRODUCT



UNIT E - LOT 25
 SCHUBERT ELEVATION "F"
 (REVERSE)

UNIT D - LOT 26
 MENDELSSOHN ELEVATION "A"
 (PER PLAN)

UNIT C - LOT 27
 MENDELSSOHN ELEVATION "C"
 (PER PLAN)

UNIT B - LOT 28
 MENDELSSOHN ELEVATION "A"
 (PER PLAN)

UNIT A - LOT 29
 MENDELSSOHN ELEVATION "E"
 (PER PLAN)

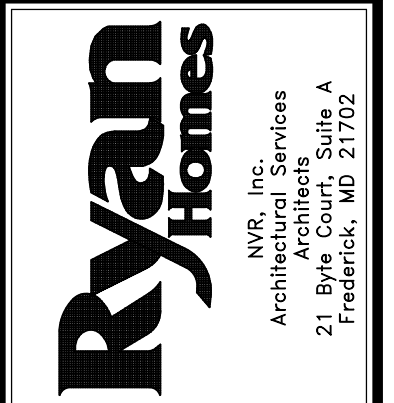
2025 AMBERGATE II - 5 UNIT BUILDING ELEVATION
 SCALE: 3/16" = 1'-0"

A 12" front facade off-set is provided between all townhome units within a common building "block". This includes the roof line and common building walls.

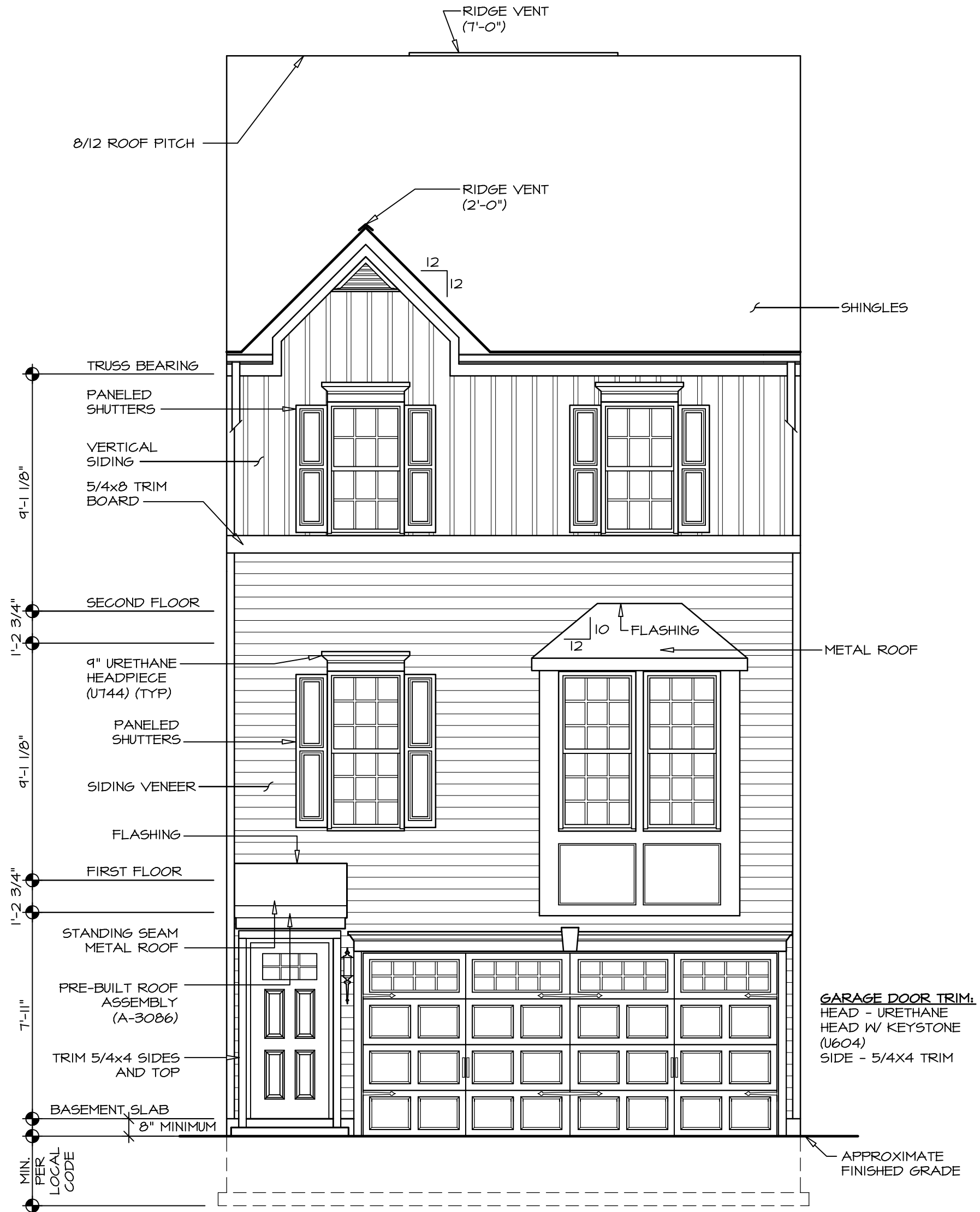
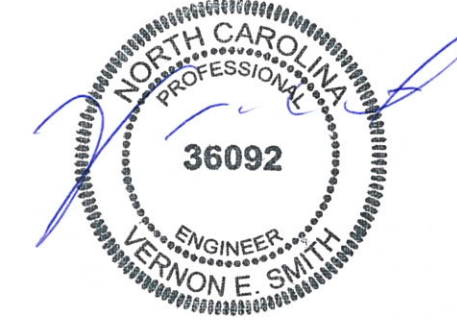
RLH / AM / 2025A-E

SHEET NO. A-1	MODEL COMPOSER SERIES II	SET NO. CTB2-	REMARKS
	DRAWING TITLE BUILDING STRIP ELEVATIONS	VERSION 01	
OPTION DESCRIPTION	5 - UNIT BUILDING	DRAWN BY CL-S	REV. NO. DATE
		DATE: 4/27/2	1 5/6/24
			BCL - RLH / AM / 2025A-E

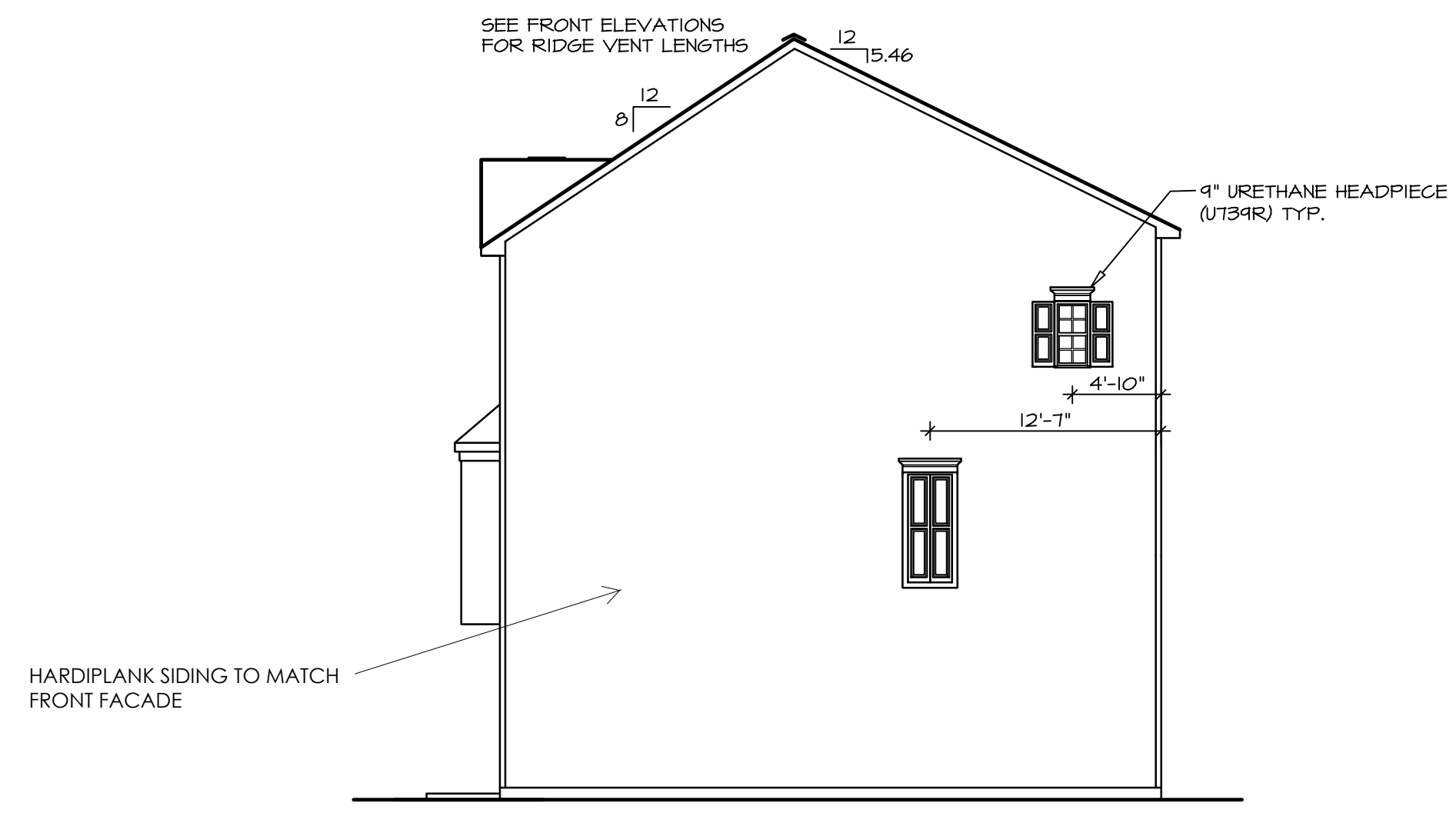
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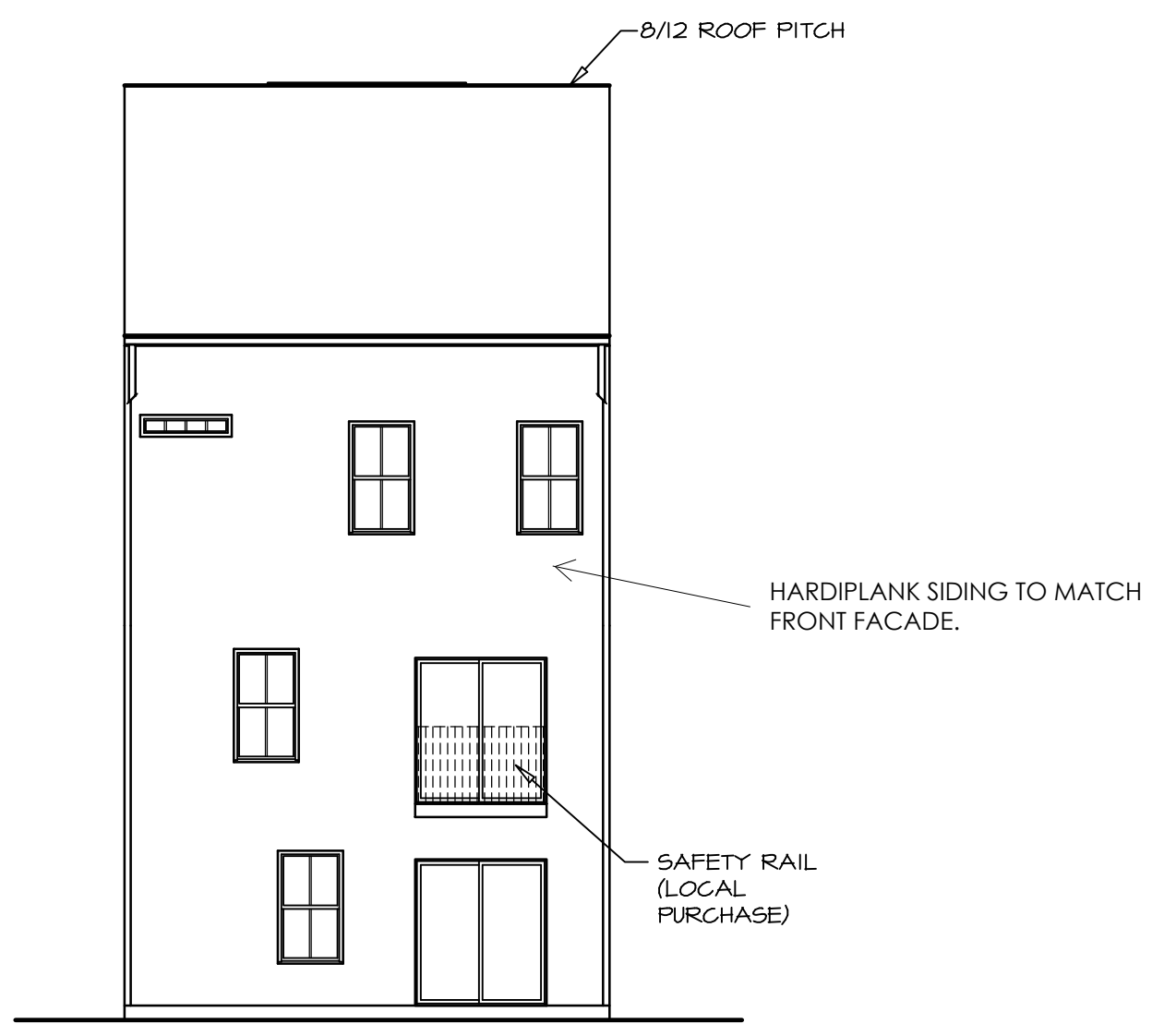
SCALE NOTE:
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1 ELEVATION "E"
 A-1.1 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
 A-1.1 SCALE: 1/8" = 1'-0"



3 REAR ELEVATION
 A-1.1 SCALE: 1/8" = 1'-0"

REV. NO.	DATE	REMARKS
1	5/27/19	BCL - RLH / AM / 2025A

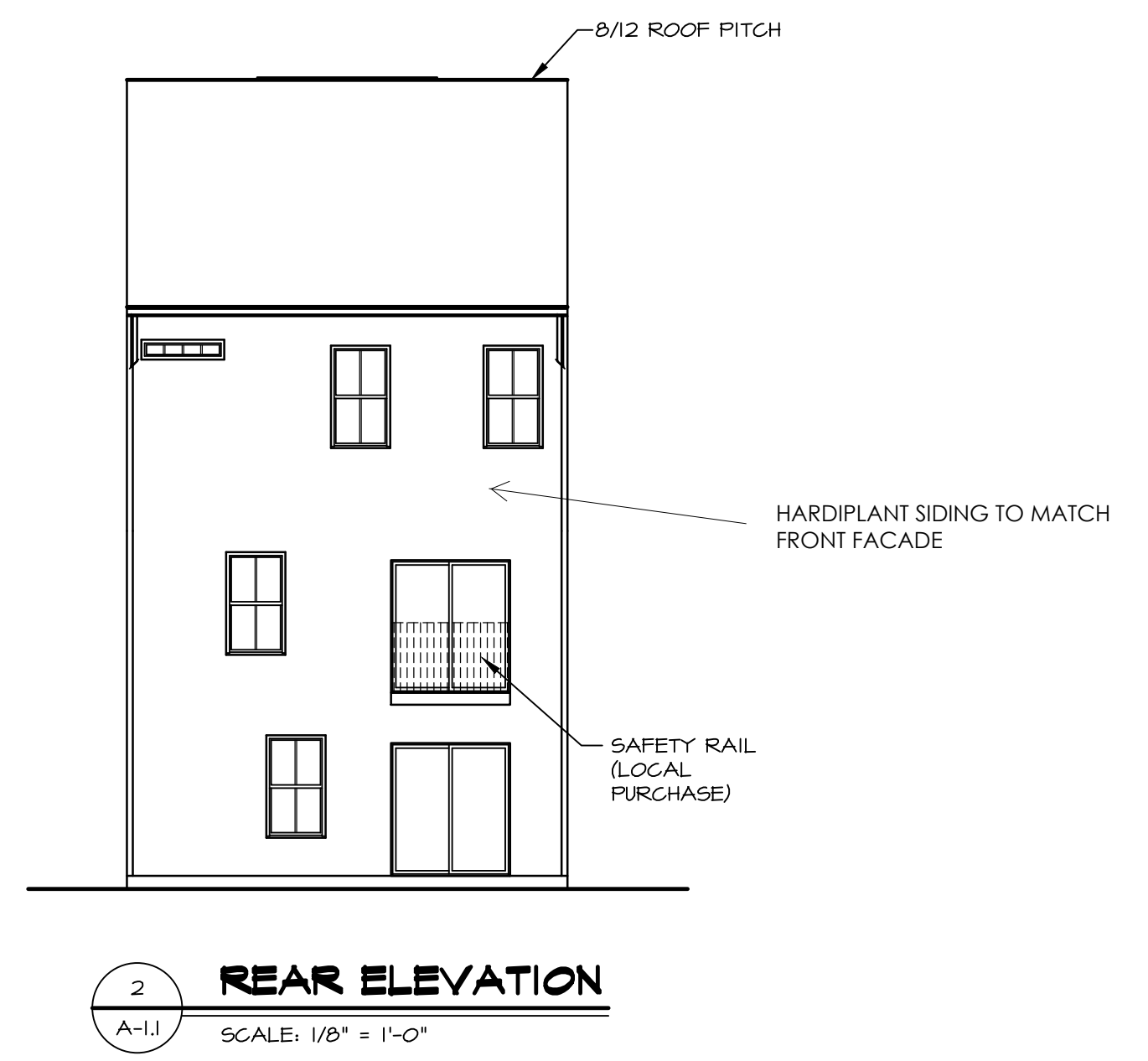
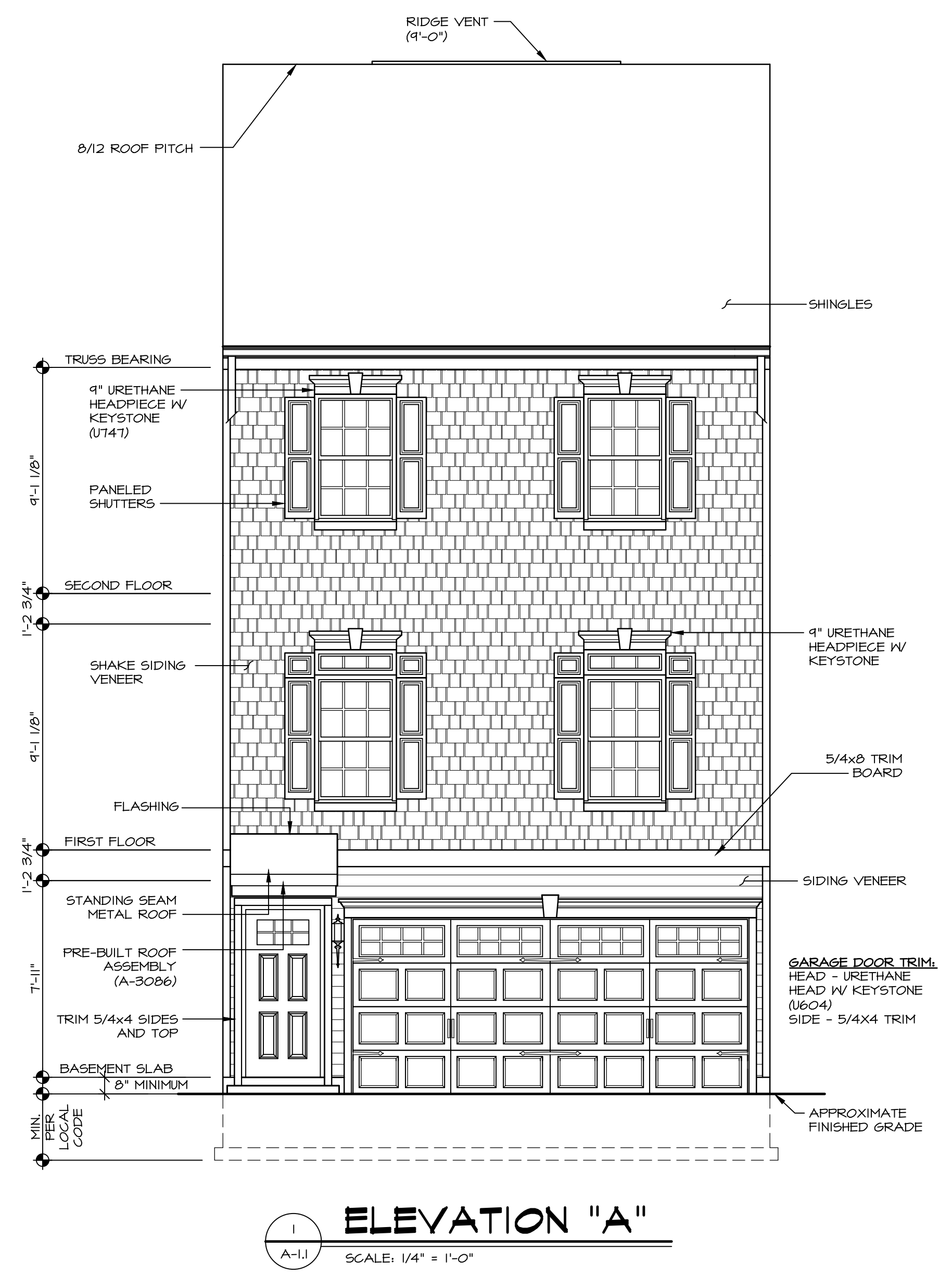
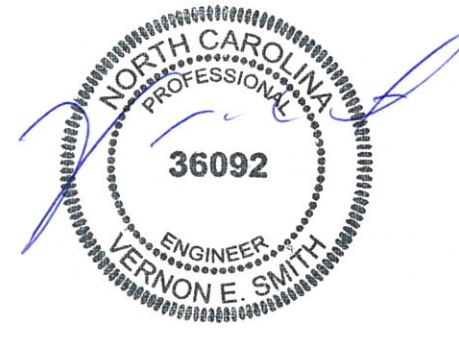
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MODEL	SET NO. MDL00
MENDELSSOHN	VERSION 01
DRAWING TITLE	DRAWN BY
ELEVATIONS	DATE:
	OPTION
OPTION DESCRIPTION	
6	

RLH / AM / 2025A

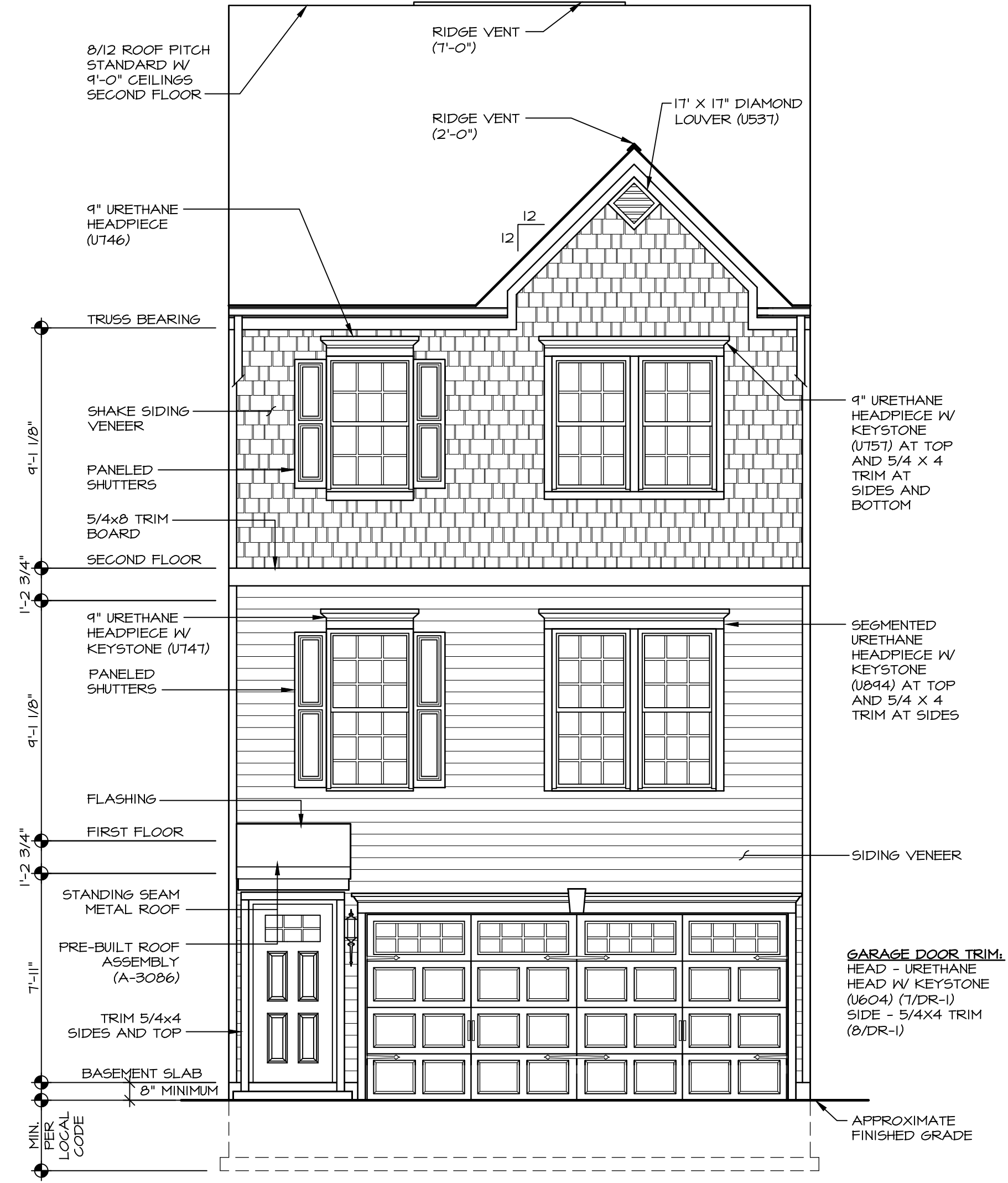
SCALE NOTE:
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 11"x17" PRINTS ARE ONE HALF THE NOTED SCALE.



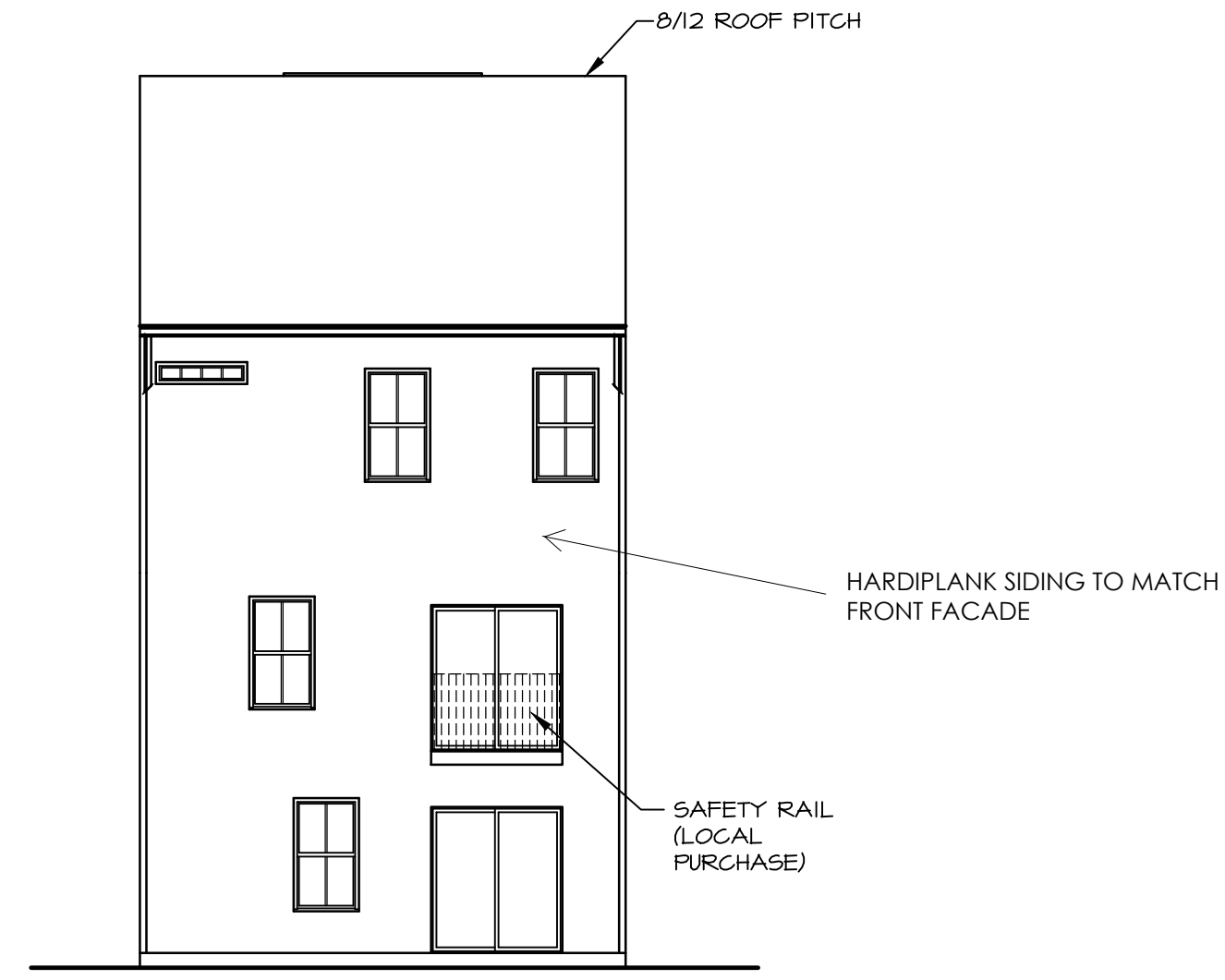
RLH / AM / 2025B

SHEET NO. A-1.1	MODEL MENDELSSOHN	SET NO. MDL00	REVISIONS	REV. NO.	DATE	REMARKS
	DRAWING TITLE ELEVATIONS	VERSION 01	DRAWN BY	1	5/27/19	BCL - RLH / AM / 2025B
OPTION DESCRIPTION	OPTION	DATE:	NVR, Inc., owner, expressly reserves its common law copyright and other proprietary rights in these plans. These plans are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the expressed written consent of NVR, Inc.			
4			 NVR, Inc. Architectural Services Architects, Inc. 21 Park Avenue Frederick, MD 21702			

SCALE NOTE:
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 11"x17" PRINTS ARE ONE HALF THE NOTED SCALE.



1 ELEVATION "C"
 A-1.1 SCALE: 1/4" = 1'-0"

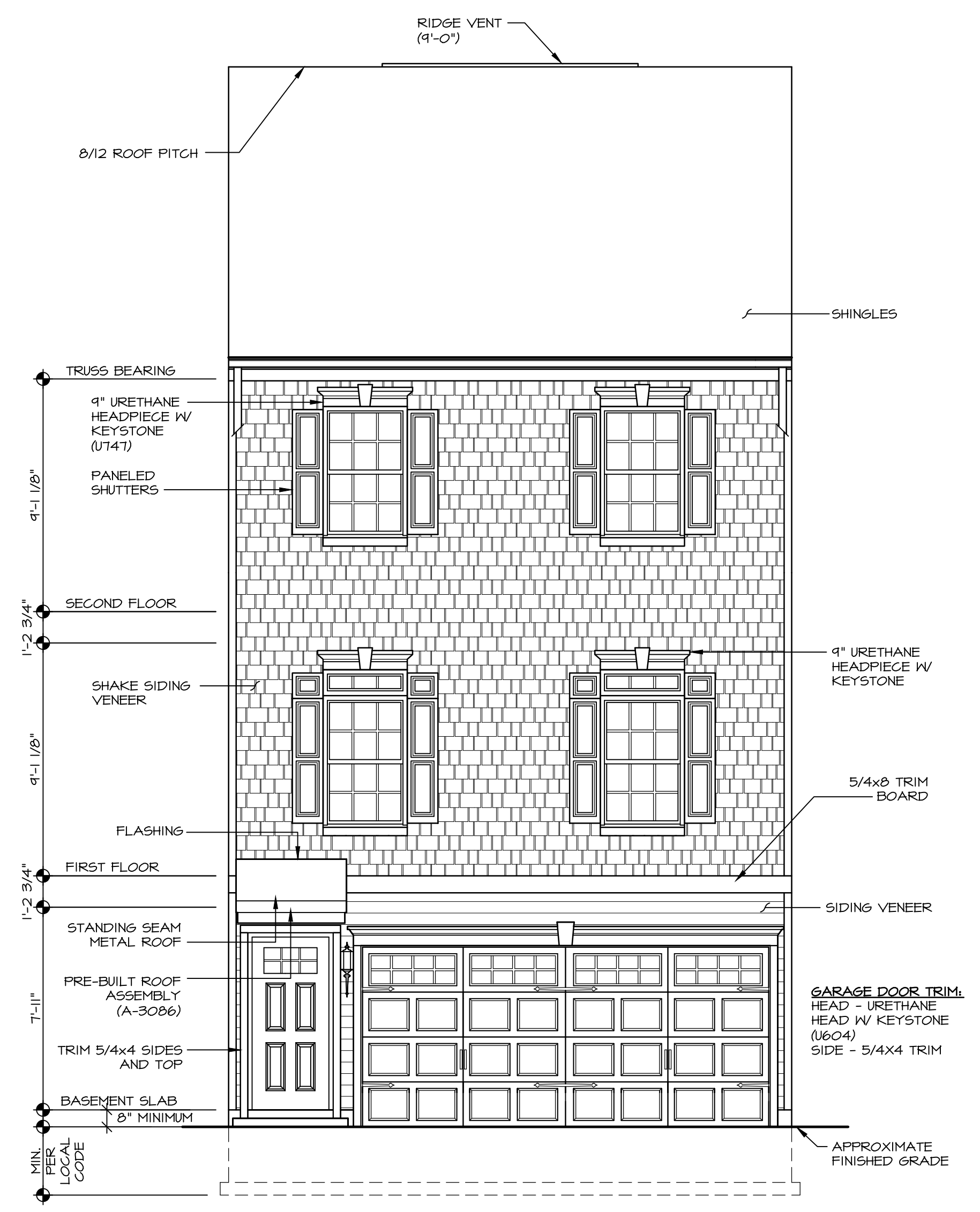


2 REAR ELEVATION
 A-1.1 SCALE: 1/8" = 1'-0"

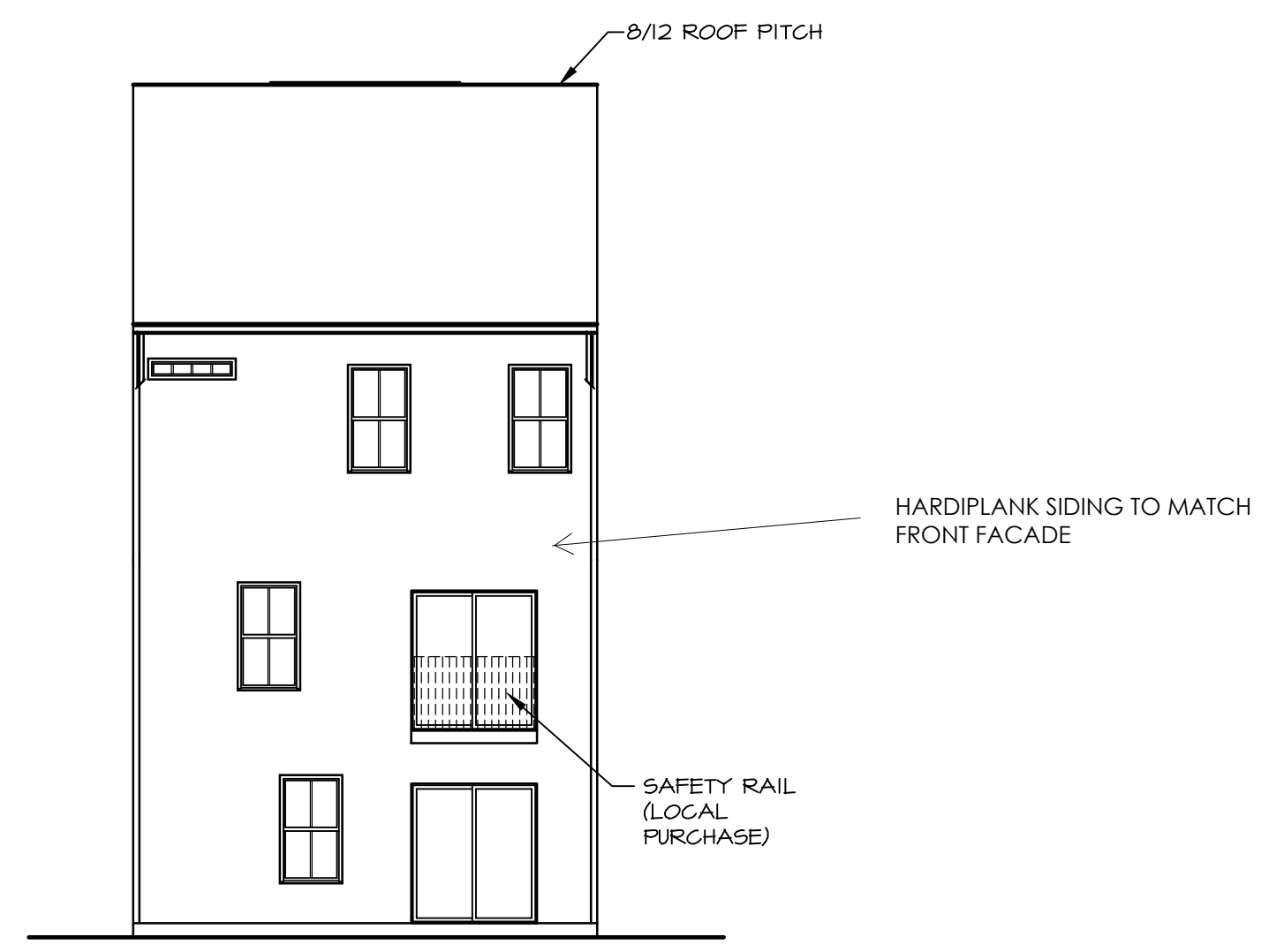
RLH / AM / 2025C

SHEET NO. A-1.1	MODEL MENDELSSOHN	SET NO. MDL00	REMARKS
	DRAWING TITLE ELEVATIONS	VERSION 01	
4	OPTION DESCRIPTION	DATE:	REV. NO. DATE
		OPTION	1 5/27/19
		DRAWN BY	1 5/27/19 BCL - RLH / AM / 2025C
		DATE:	
		OPTION	
<p>Ryan Homes NVR, Inc. Architectural Services 21 Parkside, Suite A Frederick, MD 21702</p>			
<p>MIN. PER LOCAL CODE</p>			

SCALE NOTE:
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 11"x17" PRINTS ARE ONE HALF THE NOTED SCALE.



1
 A-1.1 SCALE: 1/4" = 1'-0"

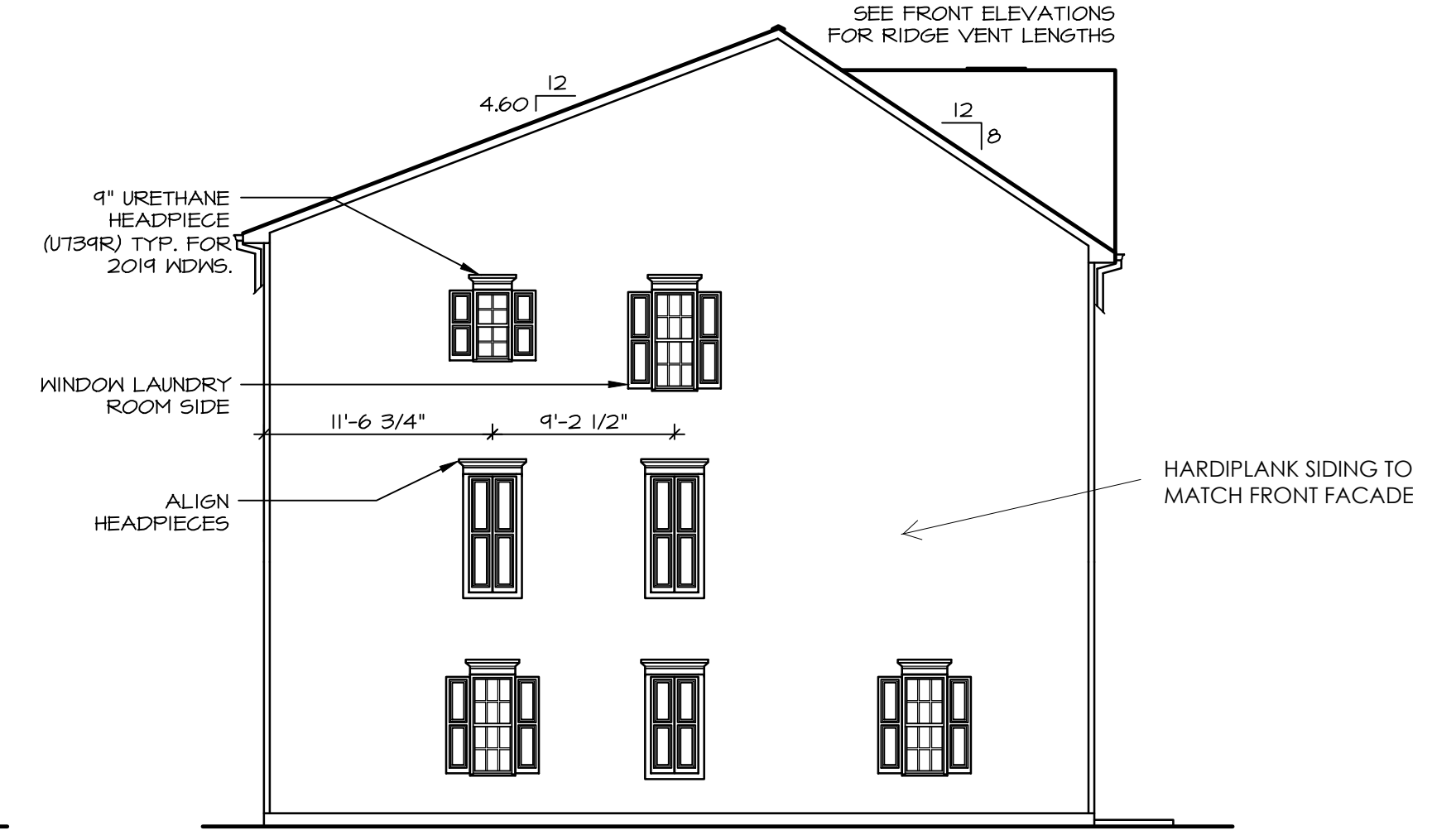
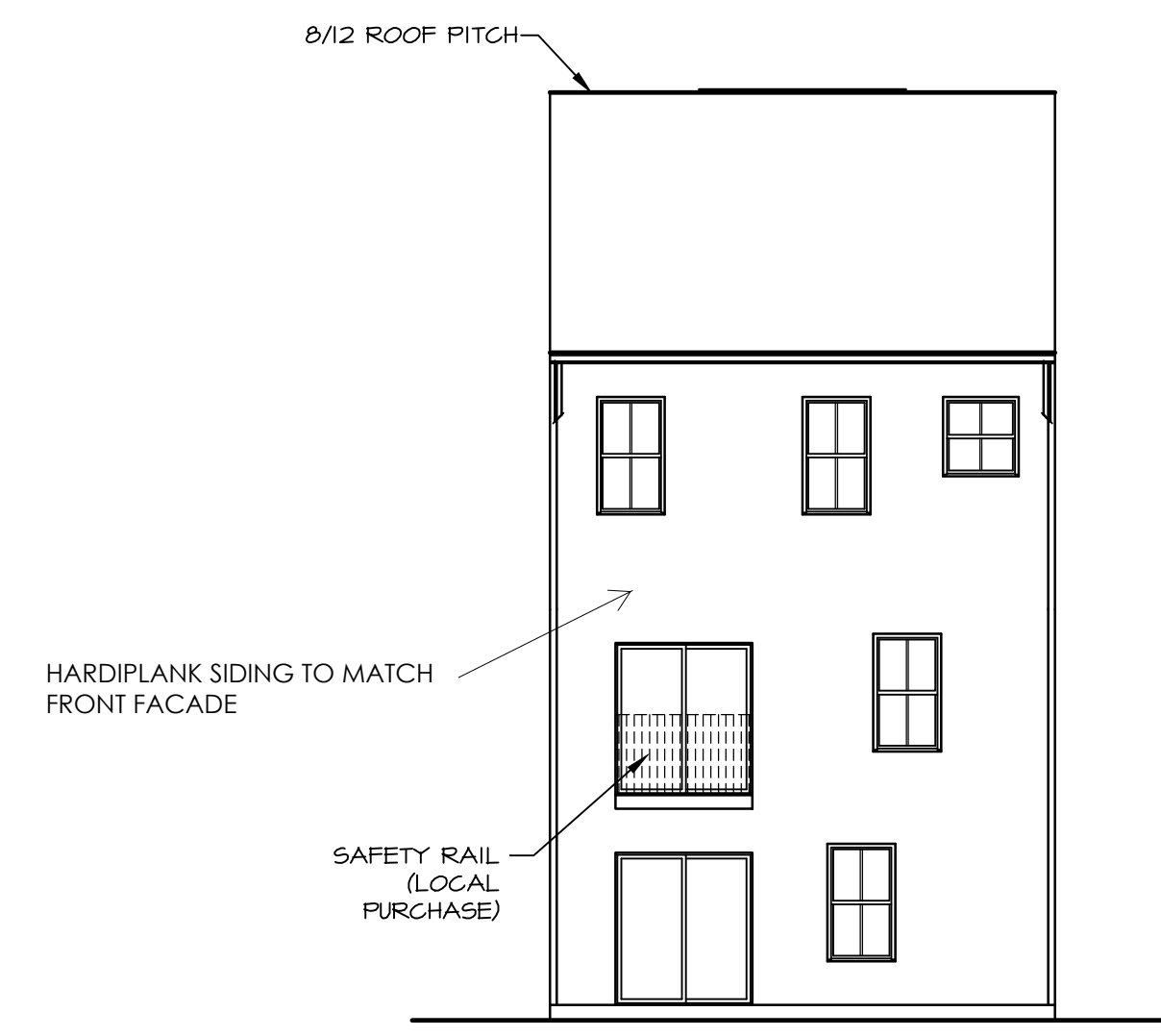
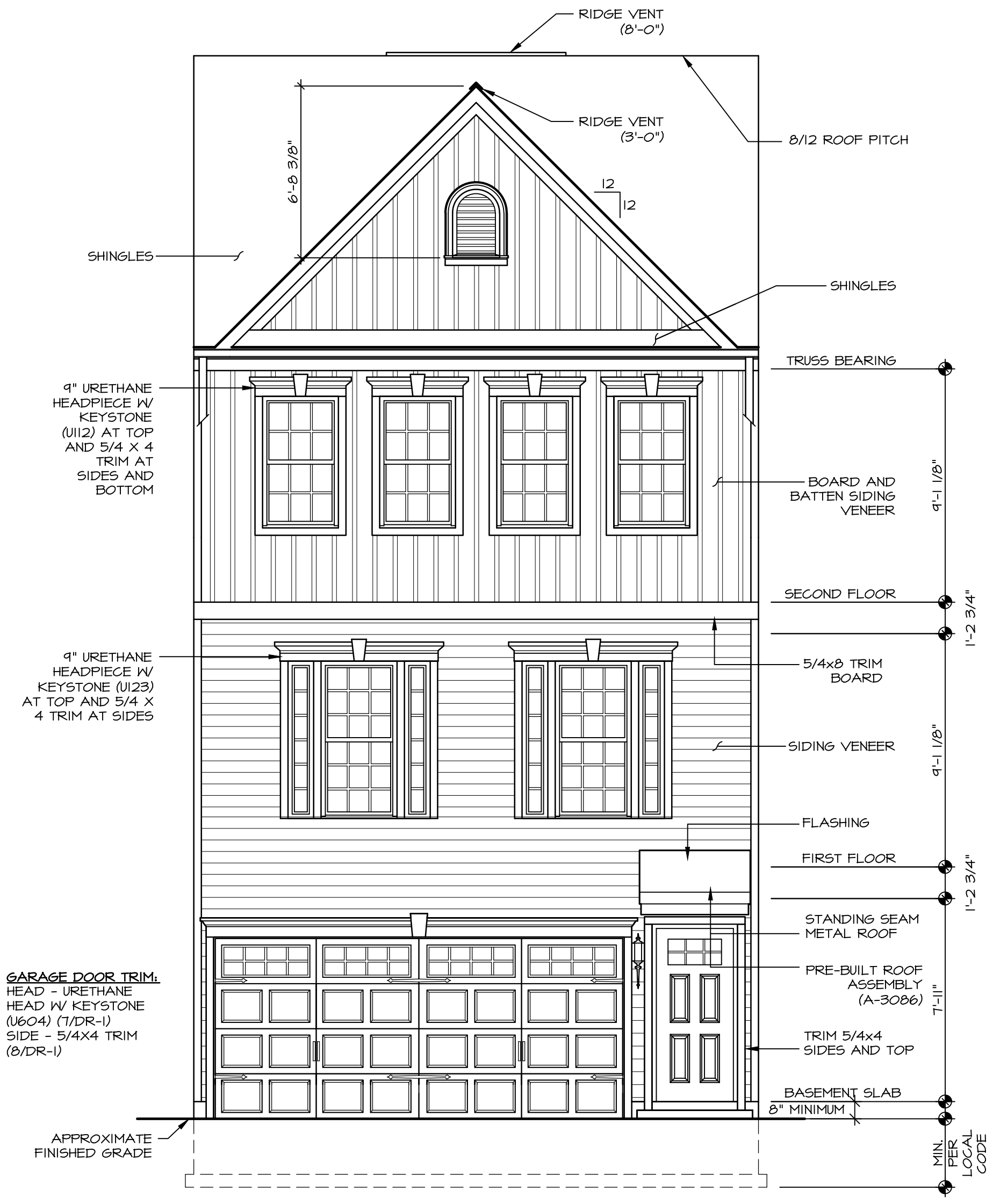
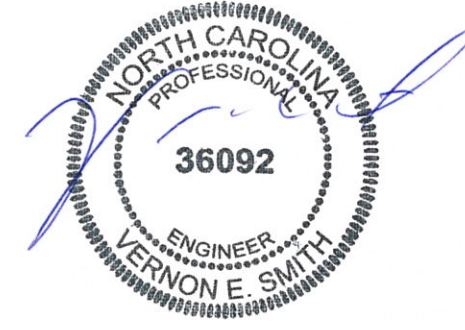


2
 A-1.1 SCALE: 1/8" = 1'-0"

SHEET NO. A-1.1	MODEL MENDELSSOHN	SET NO. MDL00 VERSION 01	DATE OPTION	REMARKS
DRAWING TITLE ELEVATIONS	DRAWN BY	DATE	OPTION	
OPTION DESCRIPTION 4				
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<small>NVR, Inc. Architectural Services Architects, Inc. 21 Park Avenue, Suite A Frederick, MD 21702</small>				

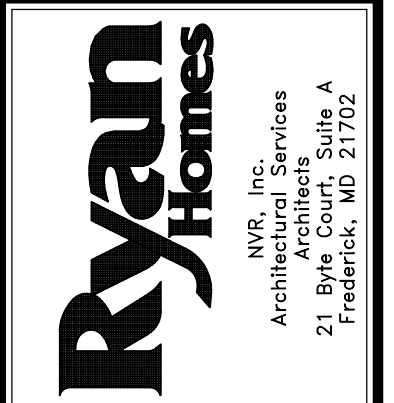
RLH / AM / 2025D

SCALE NOTE:
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REV. NO.	DATE	REMARKS
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MODEL	SET NO. SBTOO	VERSION 01
DRAWING TITLE	DRAWN BY	DATE:
ELEVATIONS	OPTION	OPTION
SHEET NO.	OPTION DESCRIPTION	
A-1.1		
119		

RLH / AM / 2025E