

# **PUD PLAN**

## Roberts Road Properties

A PLANNED UNIT DEVELOPMENT

APEX, NORTH CAROLINA

OWNER/DEVELOPER:

Justin Michela

October 1, 2020

Revised: 11/05/20

Revised: 12/03/20

Revised: 12/21/20

Revised: 01/14/21

Jones & Crossen Engineering, PLLC

221 N. Salem Street, Suite 001

P.O. Box 1062

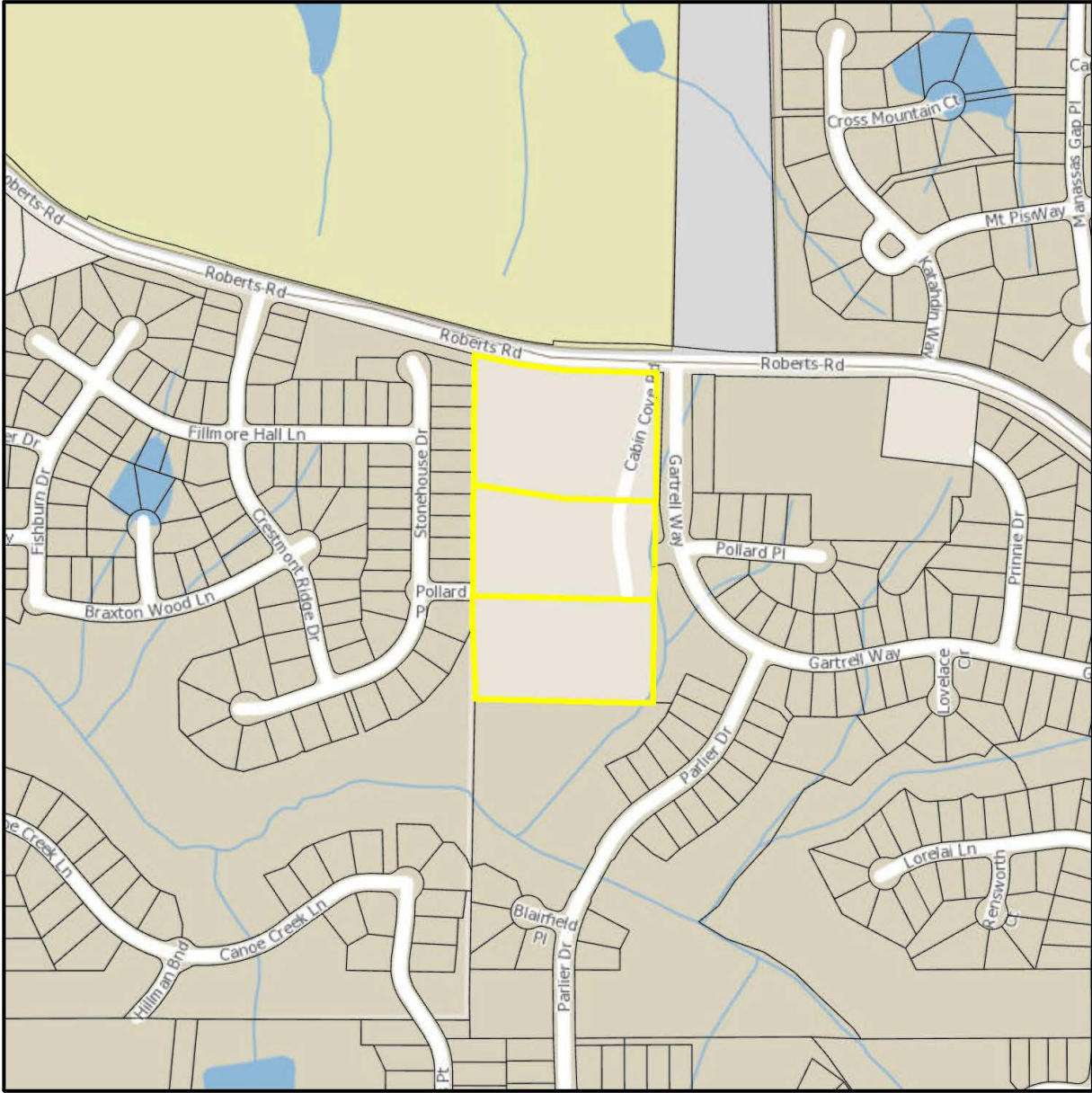
Apex, NC 27502

(919)387-1174

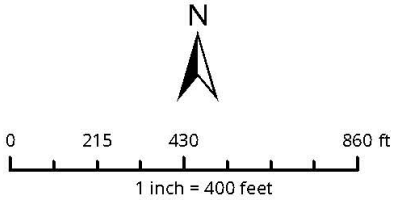
SECTION I – TABLE OF CONTENTS

<u>SECTION</u>	<u>HEADING</u>	<u>PAGE</u>
SECTION 1	TABLE OF CONTENTS.....	1
SECTION 2	VICINITY MAP.....	2
SECTION 3	PROJECT DATA.....	3
SECTION 4	PURPOSE STATEMENT.....	3
SECTION 5	PERMITTED USES.....	4
SECTION 6	DESIGN CONTROLS.....	4
SECTION 7	ARCHITECTURAL STANDARDS.....	6
SECTION 8	PARKING AND LOADING.....	8
SECTION 9	SIGNS.....	8
SECTION 10	NATURAL RESOURCES AND ENVIRONMENT DATA.....	8
SECTION 11	STORMWATER MANAGEMENT.....	9
SECTION 12	PARKS AND RECREATION.....	9
SECTION 13	PUBLIC FACILITIES.....	9
SECTION 14	PHASING.....	10
SECTION 15	CONSISTENCY.....	10
SECTION 16	COMPLIANCE WITH THE UDO.....	10
SECTION 17	LAND USE NOTES.....	11

SECTION 2 – VICINITY MAP



 Vacinity Map.pdf



**Disclaimer**  
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

### SECTION 3 – PROJECT DATA

- A. Project name: Roberts Road Properties
- B. Owner/Developer: Justin Michela  
714 Main Street  
Hudson, MA 01749
- C. Prepared by: Jones & Clossen Engineering, PLLC  
P.O. Box 1062, 221 N. Salem Street, Suite 001  
Apex, NC 27502  
(919) 387-1174
- D. Designated Single Point of Contact:  
Patrick L. Kiernan (Jones & Clossen Engineering, PLLC)
- E. Current and Proposed Zoning of the Property:  
Current zoning: Rural Residential (RR)  
Proposed zoning: Planned Unit Development-Conditional Zoning (PUD-CZ)
- F. Current and Proposed Land Uses:  
Current: Residential, Vacant  
Proposed: Residential
- G. Current and Proposed 2045 Land Use Designation:  
Current/Proposed: Medium Density Residential

### SECTION 4 – PURPOSE STATEMENT

Roberts Road Properties PUD is a proposed residential project to be developed under the Town of Apex ordinance as a Planned Unit Development (PUD). This project contains three (3) parcels under contract by Justin Michela. The project is located along Roberts Road and is situated between two (2) Residential Developments. The PUD may develop as single-family detached homes, residential townhomes, or a combination of these uses. The project will provide vehicular connections to the Crestmont subdivision to the west and the Pines at Wake Crossing subdivision to the east, improving traffic circulation in the area, and completing the residential development of this basin. The three (3) parcels that form the Roberts Road Properties PUD are all designated as Medium Density Residential on the 2045 Land Use Map, and that designation shall remain with this proposed project. The proposal to rezone these properties to PUD-CZ is in keeping with the Town's objectives to create high-quality developments with a small-town feel. This development will be a pedestrian friendly community with sidewalk along both sides of the internal public streets, as well as sidewalk interconnectivity between the subdivisions to the east and west. This project shall include the preservation of the existing estate located at 2000 Cabin Cove Road, in order to re-purpose it as a community center/recreation site. This development will enhance the value of the surrounding properties by providing quality residential development for the area, as a small residential infill project.

## SECTION 5 – PERMITTED USES

The Town of Apex UDO allows a mixture of uses in the PUD zoning district and the owners have chosen to further restrict the allowable uses as listed below:

### Residential Uses

Single-Family (Min. lot size = 6,000 sf)

Townhouse

Accessory apartment

### Utilities

Utility, minor

### Recreational Uses

Park, active

Park, passive

Greenway

Recreational facility, private

## SECTION 6 – DESIGN CONTROLS

### A. Maximum Densities

Maximum residential density for the project is 3.2 units per gross acre.

Maximum number of residential lots = 33

- Maximum number of Single-Family detached lots (min. lot size = 6,000 SF) = 25
- Maximum number of Townhome lots = 8

### B. Proposed Maximum Height of the Buildings and Number of Stories

Maximum height – 45'

Maximum stories – 3

### C. Proposed Minimum Building Setbacks

#### Residential Single-Family Detached

From Buffer or RCA – 10'

Front Yard – 10' Minimum

Side Yard – 5' Minimum (no aggregate)

Rear Yard – 10' Minimum

Driveways from back of sidewalk to garage – 20' (12' min. width)

#### Townhouse

From Buffer or RCA – 10'

Front – 15'

Rear – 15'

Side (end units) – 5’  
Side (corner) – 10’  
Driveways from back of sidewalk to garage – 20’ (12’ min. width)  
Building Side to Side – 10’  
Building Side to Rear – 30’  
Building Rear to Rear – 40’

D. Percentage of Built upon Area

The UDO allows for a maximum 70 percent of built upon area in a PUD project and the Roberts Road Properties PUD will not exceed that amount.

E. Perimeter Buffers

The PUD plans show buffers around the site to provide visual breaks between uses and public roads as shown on Sheet 2 of the PUD Plans (Layout Plan). These buffers include 10’ Type B Landscape Buffers along the southern, eastern, and western perimeters, and a 30’ Type B Thoroughfare Buffer (undisturbed) along Roberts Road to the north. In the case that the thoroughfare buffer along Roberts Road must be disturbed, the width of the type B buffer shall increase from 30’ to 50’. See Section 6.F for increase in Roberts Road buffer width in exchange for a 5% reduction in required RCA.

F. Percentage of Resource Conservation Area

The Roberts Road Properties PUD is requesting to reduce the required percentage of Resource Conservation Area to 25% of the total acreage (which amounts to 2.64 acres of RCA) based on the provisions stated in UDO Sec. 2.3.4.F.1.c (RCA). This 5% reduction from the standard 30% required per UDO Sec. 8.1.2 (Resource Conservation Area) is being requested in exchange for the additional zoning conditions listed below. If Town Council votes to approve without the RCA reduction, these zoning conditions shall not be included in the approval.

- In addition to all single-family detached homes being pre-configured with conduit for a solar energy system (condition #12 in Section 7), at least 8% of the total number of homes proposed in the Master Subdivision Plan shall be built with solar PV systems installed at the time of construction. When measurements of the number of units results in a fractional number greater than 0.10, it shall be rounded to the next higher whole number. All solar installation required by this condition shall be completed or under construction prior to 90% of the building permits being issued for the development. The lot(s) on which the home(s) is located shall be identified on the Master Subdivision Plat, which may be amended from time to time.
- This project shall be stage graded per Section 7.2.5.C.
- All single-family detached homes within this development shall be built with HVAC systems that meet or exceed a SEER rating of 18.

- The 30' Type B thoroughfare buffer (undisturbed) along Roberts Road shall be increased to a 40' Type B thoroughfare buffer (undisturbed). In the case that this buffer must be disturbed, the width of the type B buffer shall increase from 40' to 60'. See Section 6.E and Section 10.D for reference to the 30' Type B thoroughfare buffer (undisturbed) that would otherwise be proposed if not for the condition to reduce the RCA requirement.
- Evergreen trees shall be planted as a windbreak on the northern side of buildings, where practical.
- Landscape design shall include pollinator-friendly flora in common areas.
- Landscape design shall include a minimum of three (3) native hardwood species.
- A pet waste station shall be installed at the mail kiosk, or at the community center/recreation site, to be determined at the time of Master Subdivision Plan.

G. Affordable Housing Condition

If the Town of Apex has a fund or other mechanism in place to receive donations to construct, subsidize, or participate in the development of affordable housing units (the "Fund"), the developer will contribute \$215 per lot to this Fund prior to Master Subdivision Final Plat approval for each phase. In the event the Fund has not been established by the Town of Apex, the money will be conveyed to a non-profit organization participating in affordable housing. The developer will work with the Town of Apex to identify a mutually acceptable non-profit organization to receive these funds.

H. Builder Condition

This project shall consist of lots developed with custom homes.

I. Construction Access Condition

The location of the temporary gravel construction entrance shall be limited to only provide construction access from Pollard Place to the east via Gartrell Way.

J. Neighborhood Meeting Condition

This project shall hold a neighborhood meeting prior to the first Master Subdivision Plan submittal, in accordance with UDO Sec. 2.2.7.

**SECTION 7 – ARCHITECTURAL STANDARDS**

**Single-Family Detached Residential Standards**

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. The visible side of a home facing the public street shall contain at least three (3) decorative elements such as, but not limited to, the following elements:

- Windows
  - Bay window
  - Recessed window
  - Decorative window
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick/stone
  - Decorative trim
  - Decorative shake
  - Decorative air vents on gable
  - Decorative gable
  - Decorative cornice
  - Column
  - Portico
  - Balcony
  - Dormer
3. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three (3) color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
  4. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
  5. Homeowner Association covenants shall not restrict the construction of accessory dwelling units.
  6. Garage doors shall have windows, decorative details, or carriage-style adornments on them.
  7. The garage shall not protrude more than 1 foot out from the front façade and/or front porch for at least 75% of building designs.
  8. Garages on the front façade of a home that faces the street shall not exceed 40% of the total width of the house and garage together.
  9. Eaves shall project at least 12 inches from the wall of the structure.
  10. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
  11. All single-family detached homes shall be pre-configured with conduit for a solar energy system.

### **Townhouse Residential Standards**

1. Vinyl siding is not permitted; however, vinyl windows, decorative elements and trim are permitted.
2. Garage doors must have windows, decorative details, or carriage-style adornments on them.
3. The visible side of a townhome facing the public street shall contain at least three (3) decorative elements such as, but not limited to, the following elements:
  - Windows
  - Bay window
  - Recessed window



- Decorative window
  - Trim around the windows
  - Wrap around porch or side porch
  - Two or more building materials
  - Decorative brick/stone
  - Decorative trim
  - Decorative shake
  - Decorative air vents on gable
  - Decorative gable
  - Decorative cornice
  - Column
  - Portico
  - Balcony
  - Dormer
4. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three (3) color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
  5. The rear and side elevations of the units that can be seen from the right-of-way shall have trim around the windows.
  6. Building facades shall have horizontal relief achieved by the use of recesses and projections.
  7. For townhome buildings with three (3) units or more, the roofline cannot be a single mass; it must be broken up horizontally and vertically between every unit.
  8. The garage cannot protrude more than 1 foot out from the front façade or front porch.
  9. Maximum number of units per townhome building shall be limited to four (4) units.
  10. No townhomes shall be constructed along the western property line.

## **SECTION 8 – PARKING AND LOADING**

Parking and loading requirements for the residential areas shall conform to the parking standards listed in the Town of Apex UDO Section 8.3.

## **SECTION 9– SIGNS**

Signage for this project will comply with UDO section 8.7. The developer shall submit a master sign plan that shows signage locations and details of signage patterns throughout the development.

## **SECTION 10 – NATURAL RESOURCE AND ENVIRONMENTAL DATA:**

- A. This project is located in the White Oak Creek drainage basin, which is in the Jordan Lake Basin. This project currently falls within both the primary and the secondary watershed protection overlay districts, as shown on the Town of Apex Watershed Protection Overlay District Map.

- B. There are no FEMA mapped floodplains on these parcels as shown on FEMA FIRM Map Number 3720073300J, dated May 2, 2006.
- C. There are no known historic structures on this project.
- D. To demonstrate the project's commitment to preserving and re-establishing tree canopy in our region, the developer seeks to replant and restore existing tree canopy that is removed from those portions of the property that are anticipated to contain single family and townhome lots. To that end, prior to recording the first subdivision plat for the property, the developer will provide a donation of \$1,600 to a local non-profit organization with a mission towards tree preservation and replacement. In those portions of the site where trees are removed for single family or townhome lots, the developer anticipates it can offset such removal by preserving 1.6 acres of existing tree canopy in other places on the site, and replacing and replanting trees over 0.8 acres of the rest of the property. As such, this \$1,600 donation represents an assigned per-tree value in substitute canopy for the remainder of the property.

## SECTION 11 – STORMWATER MANAGEMENT

Roberts Road Properties PUD will meet all applicable requirements and standards as described in section 6.1 of the Apex UDO. This project will meet all stormwater reduction requirements including limiting the post-development stormwater flows to not exceed the pre-development stormwater runoff for the 1-year and 10-year 24 hour storm events.

Roberts Road Properties PUD will use approved devices to control the stormwater and sediment runoff. These devices may include detention ponds, retention ponds, bioretention areas, or any other approved SCM stormwater control. Stormwater control devices shall be landscaped and constructed to be an amenity to the development and shall blend into the surroundings.

## SECTION 12 – PARKS AND RECREATION

The project was reviewed by the PRCR Advisory Commission on December 9<sup>th</sup>, 2020 and the Commission unanimously recommended a fee-in-lieu for recreation land dedication based on the number of units and types proposed at the time of Master Subdivision Approval. The fee rate will be based on the rate of the current year when the PUD is approved by Town Council.

## SECTION 13 – PUBLIC FACILITIES

Roberts Road Properties PUD will include the extension of public streets into the site from Pollard Place to the west (coming from the Crestmont subdivision), as well as Pollard Place to the east (coming from the Pines at Wake Crossing subdivision). There will be no direct vehicular access to Roberts Road. All public streets (with the exception of Pollard Place) will have a 5' sidewalk on both sides of the street. The Pollard Place extension will have an 8' Side Path on

the north side of the road to connect to the existing 8' Side Path on the north side of existing Pollard Place (to the east). The future amenity center shall provide pedestrian connection to the existing pedestrian path on Gartrell Way. The project shall provide pedestrian access from the future subdivision to Roberts Road via the 8' Side Path along Pollard Place and Gartrell Way, unless a public street within the subdivision is constructed within 300 -feet of the northwest property corner, in which case a direct pedestrian connection shall be made to Roberts Road, consistent with UDO Sec. 7.5.4.C. The project will dedicate additional right-of-way along Roberts Road in the northeast corner to achieve a total of 40' for 1/2 of the Roberts Road R/W. A 5' public sidewalk shall be installed along the frontage of the project along Roberts Road prior to the first plat. The transportation network for Roberts Road Properties PUD will be consistent with the Town of Apex Transportation Plan and associated requirements of the UDO.

As shown on the PUD Utility Plan, the sanitary sewer connection will come by connecting to the existing sewer system in Pollard Place to the west, from the Crestmont subdivision. Water distribution service will be provided to this project by the connection to an existing eight inch waterline along Pollard Place to the west (coming from the Crestmont subdivision), as well as Pollard Place to the east (coming from the Pines at Wake Crossing subdivision).

Roberts Road Properties PUD shall include the preservation of the existing estate located at 2000 Cabin Cove Road, in order to re-purpose it as a community center/recreation site, which will be owned and maintained by the HOA. The exterior appearance of the structure may remain unchanged during its conversion, but parking, as well as ADA accessible paths, shall be provided in accordance with the Town of Apex UDO. The timing of the conversion shall not be tied to any specific number of lots being platted.

#### **SECTION 14 – PHASING**

The project shall be developed in at least two (2) phases. The first phase will be developed because of the availability of sewer and water connections, and access to Pollard Place to the east and to the west. The development of Phase 1 will likely begin construction in 2021. The timing of the subsequent phase(s) will depend on market demand.

#### **SECTION 15 – CONSISTENCY WITH LAND USE PLAN**

The Town of Apex 2045 Land Use Map currently designates these parcels as Medium Density Residential. We believe this PUD is appropriate for the area and is consistent with the current Land Use Map.

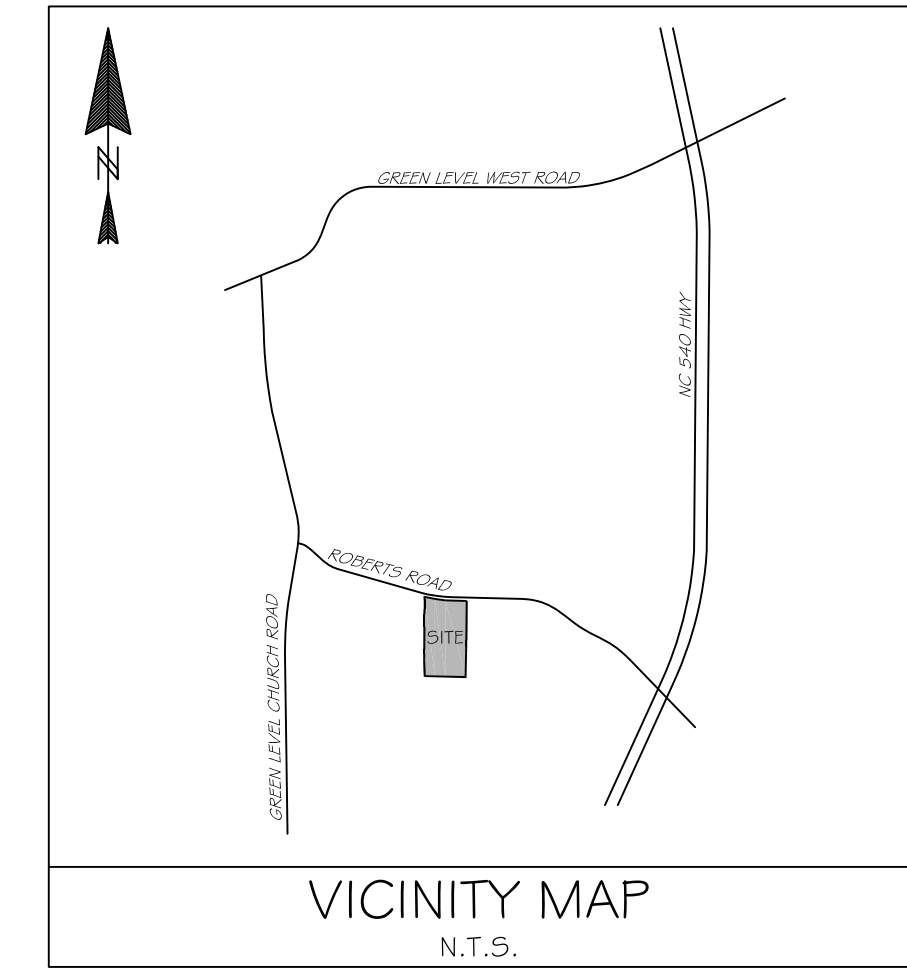
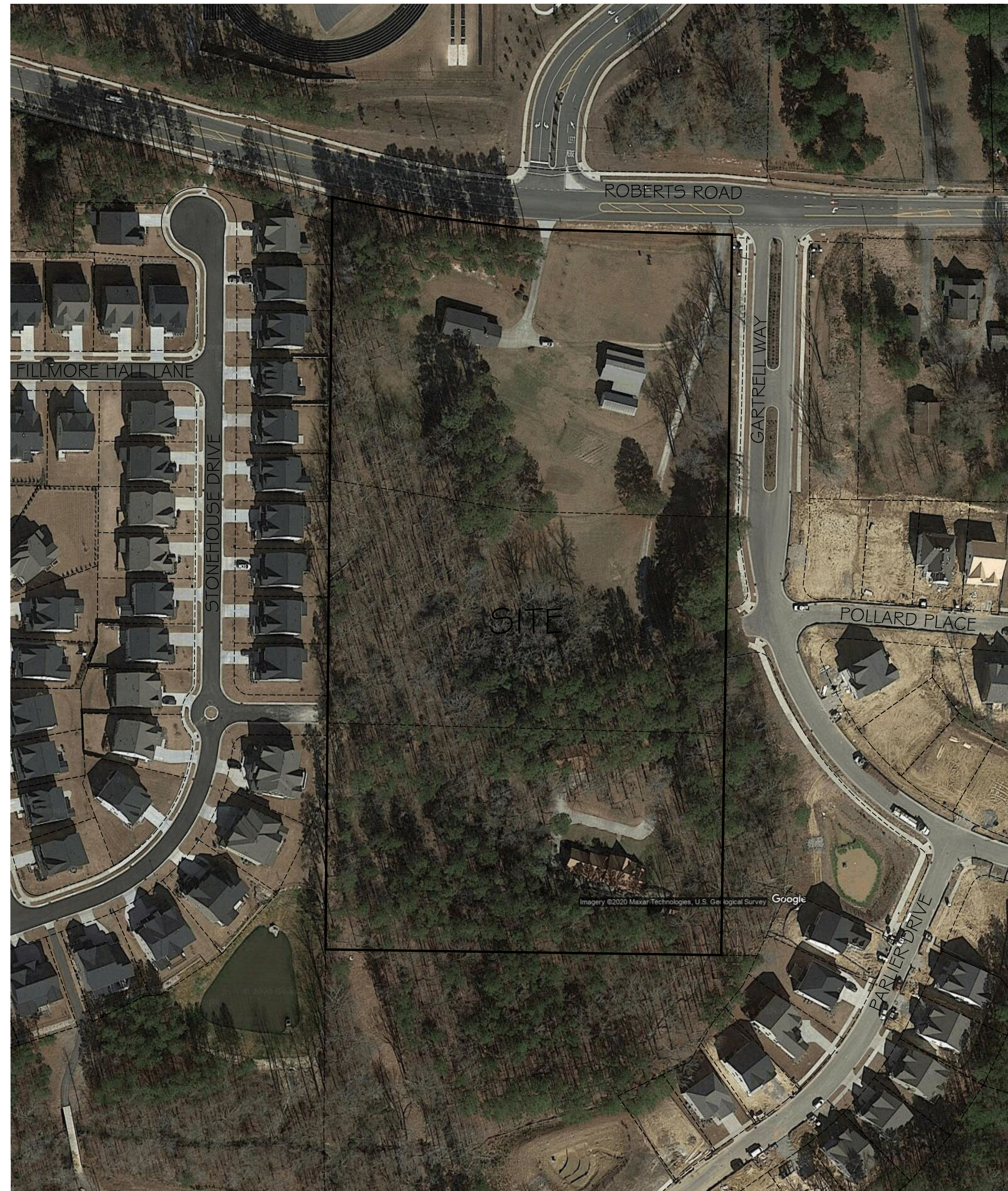
#### **SECTION 16 – COMPLIANCE WITH THE UDO**

The proposed plans for Roberts Road Properties PUD are in compliance with the standards and allowances provided in the current approved version of the Town of Apex Unified Development Ordinance. Any variance from UDO requirements has been noted in this plan.

## SECTION 17 – LAND USE NOTES

- A. This project will require the formation of at least one Homeowners Association, which will handle the maintenance of common areas, buffers, RCA, stormwater devices, etc.

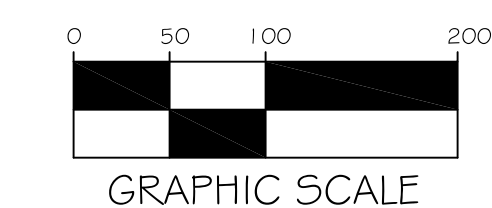
# ROBERTS ROAD PROPERTIES PUD



SITE DATA	
PROJECT NAME	ROBERTS ROAD PROPERTIES PUD
PREPARED BY CONTACT INFORMATION	JONES & CROSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375 CONTACT PERSON - PATRICK L. KIERNAN
OWNER / DEVELOPER CONTACT INFORMATION	JUSTIN MICHELA 714 MAIN STREET HUDSON, MA 01749 PHONE - (978) 875-0821 CONTACT PERSON - JUSTIN MICHELA
CURRENT 2045 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL
PROPOSED 2045 LAND USE MAP DESIGNATION	MEDIUM DENSITY RESIDENTIAL
AREA DESIGNATED AS MIXED USE ON 2045 LUM	0 ACRES
CURRENT ZONING	RURAL RESIDENTIAL
PROPOSED ZONING	PUD-C2
WAKE COUNTY PINS	0733-05-9045, 0733-04-9734, # 0733-04-9444
TOTAL PROJECT AREA	10.54 ACRES
AREA WITHIN EXISTING ROBERTS ROAD R/W	0.04 ACRES
AREA TO BE DEDICATED TO ROBERTS ROAD R/W	0.002 ACRES
NET PROJECT AREA	10.50 ACRES
MAXIMUM RESIDENTIAL DENSITY	33 LOTS (3.2 LOTS/ACRE)
TOTAL RCA / BUFFER AREA REQUIRED FOR PUD	25% OR 2.64 ACRES
MAXIMUM BUILT UPON AREA FOR PUD	70% OR 7.38 ACRES
PUBLIC RECREATION REQUIREMENT	SINGLE FAMILY DETACHED UNITS (RATE TBD) SINGLE FAMILY ATTACHED UNITS (RATE TBD)
WATERSHED INFORMATION	PRIMARY & SECONDARY
FEMA FLOODPLAIN INFORMATION	MAP #3720073300J - PROJECT IS NOT WITHIN 100 YEAR FLOODPLAIN.
SMALL TOWN CHARACTER OVERLAY DISTRICT	NO
HISTORIC STRUCTURE?	NO

MINIMUM BUILDING SETBACKS			
SINGLE FAMILY DETACHED		TOWNHOUSE	
FRONT	10'	FRONT	15'
REAR	10'	REAR	15'
SIDE	5' (MIN.) NO AGG.	SIDE (END UNITS)	5'
BUFFER/RCA	10'	SIDE (CORNER)	10'
		BUFFER/RCA	10'
		BUILDING SIDE TO SIDE	10'
		BUILDING SIDE TO REAR	30'
		BUILDING REAR TO REAR	40'
DRIVEWAYS FROM BACK OF SIDEWALK TO GARAGE = 20' (12' MIN. WIDTH)			

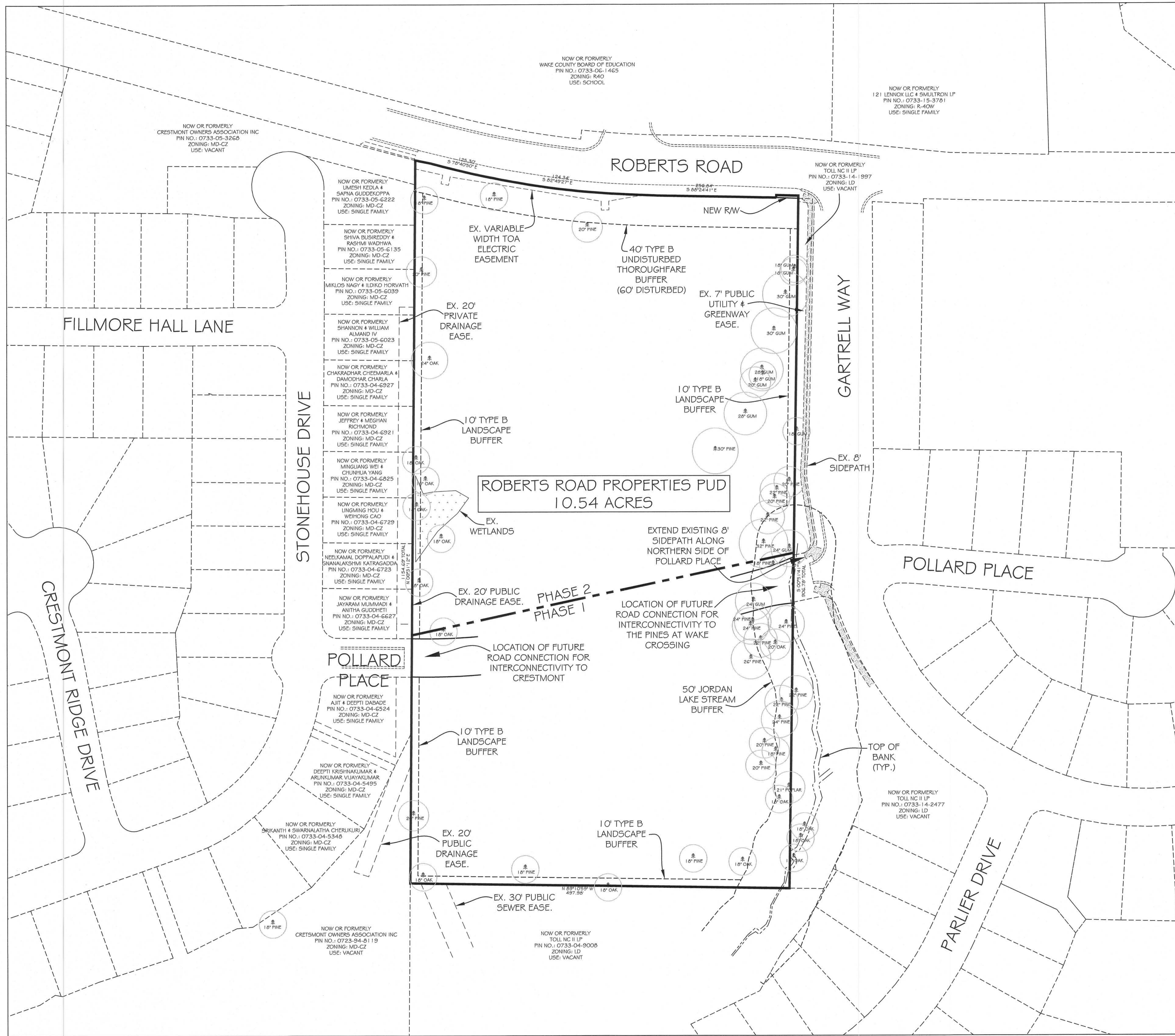
PUD PLAN - DRAWING SHEET INDEX	
1	COVER SHEET
2	PRELIMINARY LAYOUT & PHASING PLAN
3	EXISTING CONDITIONS PLAN
4	PRELIMINARY UTILITY PLAN



PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

FOR  
REVIEW  
ONLY

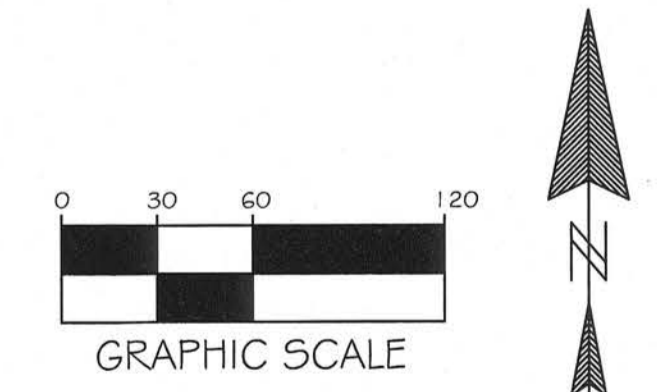
SCALE	1" = 100'	DRAWN	PLK
DATE	OCTOBER 1, 2020		
REVISION	11/5/20	PER	TRC
1/2/29/20	COUNCIL SET		
1/6/21	DENSITY CHANGE		
SHEET	1		
PROJECT	2050		



- TOWN REQUIRED PUD NOTES:**
1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
  2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
  3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
  4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

- PLANNING NOTES:**
1. WITH THE SIZE OF THE PUD AND THE PROPOSED DENSITY, THIS SITE DOES NOT REQUIRE A TRANSPORTATION IMPACT ANALYSIS.
  2. FUTURE PUBLIC ROADWAY CONNECTIONS ARE SHOWN TO DEMONSTRATE CONNECTIVITY FOR THE OVERALL PROJECT BUT SPECIFIC LOCATIONS WILL BE SHOWN AT THE TIME OF MASTER PLAN APPROVAL.
  3. THE MAINTENANCE OF RCA, LANDSCAPE BUFFERS, COMMON AREAS AND THE STORMWATER DEVICES SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOC.
  4. ALL INTERNAL PUBLIC STREETS SHALL HAVE 50 FEET OF RIGHT-OF-WAY, 27 FEET OF CURB AND ASPHALT, WITH SIDEWALK ON BOTH SIDES OF THE STREET UNLESS SPECIFIED OTHERWISE.
  5. ALL SIGNAGE SHALL COMPLY WITH TOA UDO SECTION 8.7. SIGNS THE PUD SHALL MEET TOWN OF APEX STORMWATER REQUIREMENTS OUTLINED IN TOA UDO SECTION 6.1.7 SUCH THAT POST-DEVELOPMENT RUNOFF SHALL NOT EXCEED THE PRE-DEVELOPMENT RUNOFF FOR THE 1-YEAR AND 10-YEAR, 24 HOUR STORM EVENTS.
  6. THIS SHALL BE A PHASED DEVELOPMENT COMPLETED IN AT LEAST TWO PHASES (PHASES SHOWN HEREON ARE CONCEPTUAL). ALL PHASES SHALL BE SHOWN AT THE TIME OF MASTER SUBDIVISION PLAN SUBMITTAL.
  7. THIS DEVELOPMENT WILL BE STAGE GRADED.

- NOTES:**
1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH SURVEYORS.
  2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR.
  3. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY ENVIRONMENTAL SERVICES, INC. THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREAM BUFFERS AND WETLANDS ARE SHOWN AS SURVEYED.
  4. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH. ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGNS ARE REQUIRED.
  5. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.
  6. IF THE PUD IS APPROVED WITHOUT THE 5% RCA REDUCTION, THE 40' TYPE B THOROUGHFARE BUFFER (UNDISTURBED) ALONG ROBERTS ROAD SHALL BE REDUCED TO 30'.



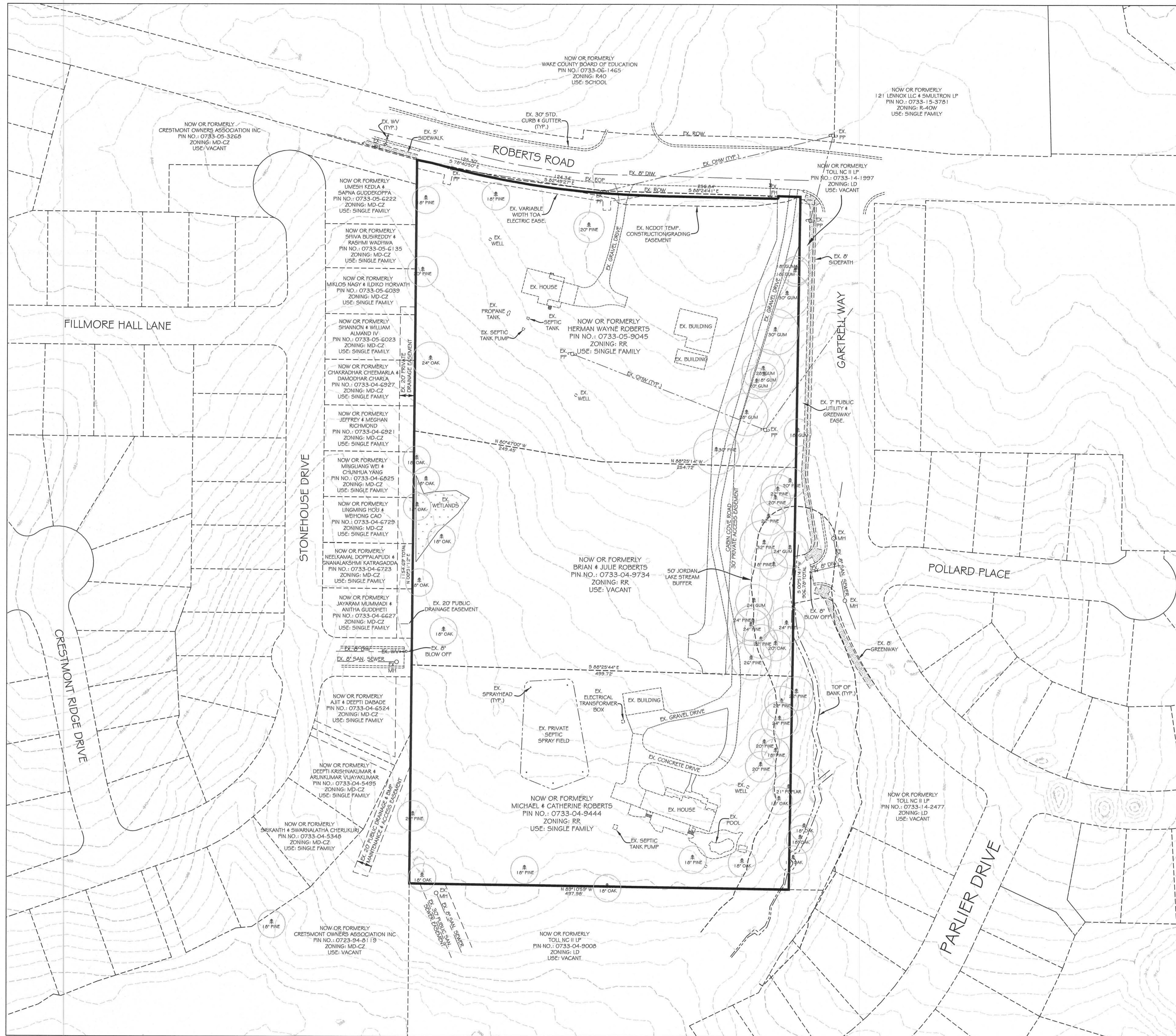
**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

THIS SHEET IS FOR  
ILLUSTRATIVE PURPOSES ONLY

221 N. SALEM ST.  
SUITE 001  
PO BOX 1042  
APEX, NC 27502  
Office: 919-387-1174  
Registration: P-0151  
www.jonescossen.com

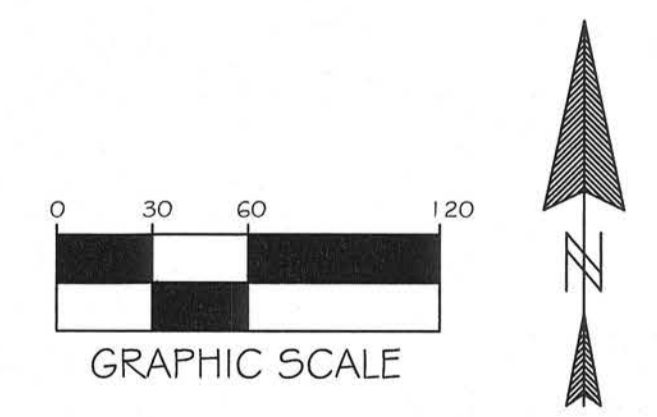


SCALE	1" = 60'	DRWING	PLK
DATE	OCTOBER 1, 2020		
REVISION	11/5/20	PER	TRC
	12/3/20	PER	TRC
	12/21/20	PER	TRC
	12/29/20	COUNCIL	SET
SHEET	2		
PROJECT	2050		



- TOWN REQUIRED PUD NOTES:**
1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
  2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
  3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
  4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

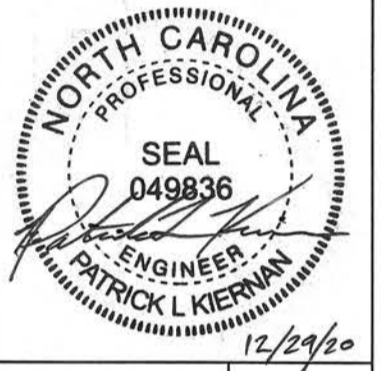
- NOTES:**
1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH SURVEYORS.
  2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR.
  3. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY ENVIRONMENTAL SERVICES, INC. THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREAM BUFFERS AND WETLANDS ARE SHOWN AS SURVEYED.
  4. THE STREAM BUFFER CALL ON THIS PROPERTY IS REFERENCED AS #20-003.
  5. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH.
  6. ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGNS ARE REQUIRED.
  7. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.



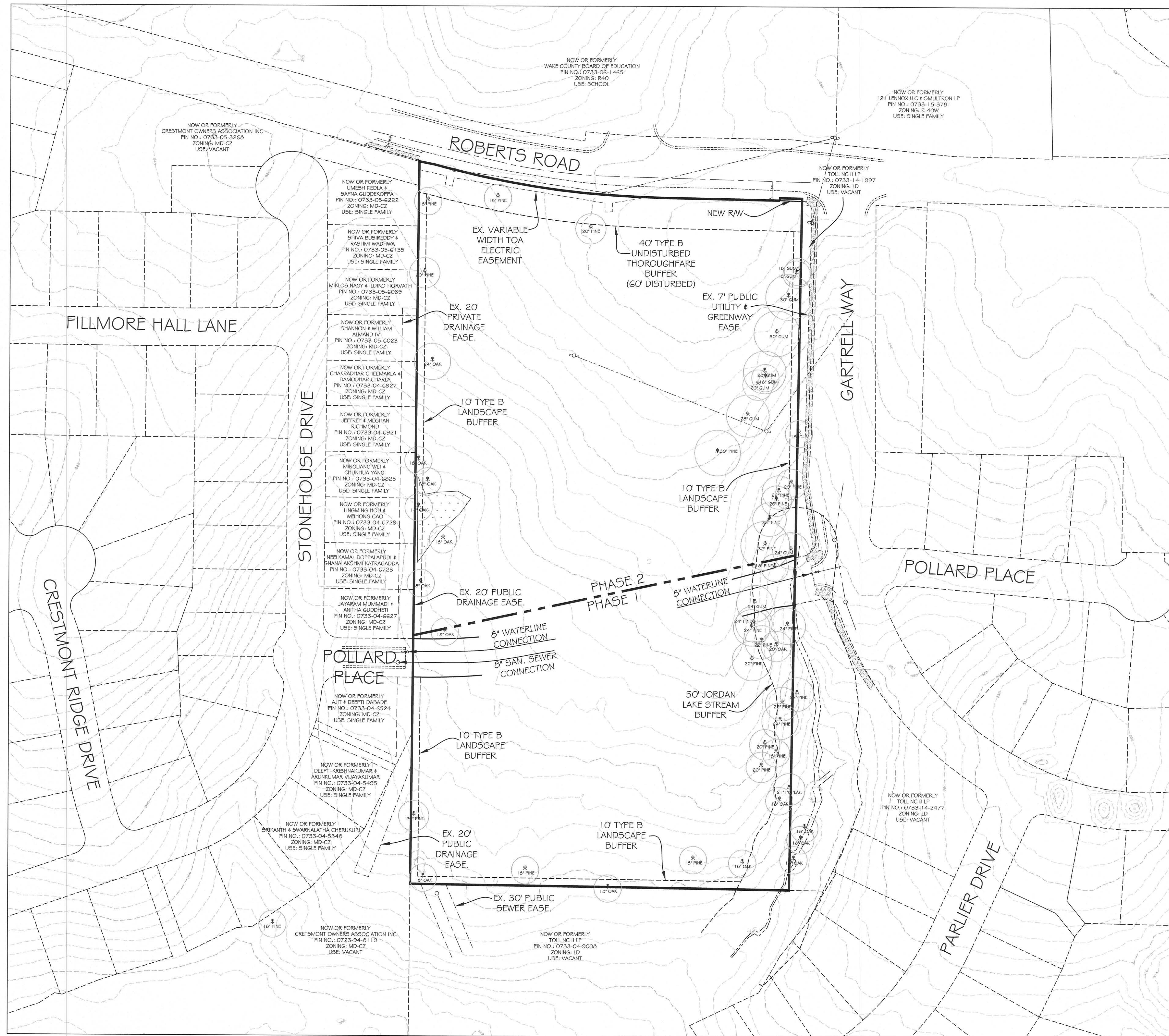
**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

THIS SHEET IS FOR  
ILLUSTRATIVE PURPOSES ONLY

221 N. SALEM ST.  
SUITE 001  
PO BOX 1062  
APEX, NC 27502  
Office: 919-387-1174  
Registration: P-0151  
www.jonescrossen.com



SCALE: 1"=60'	DRAWN: PLK
DATE: OCTOBER 1, 2020	
REVISION: 1/15/20 PER TRC	
1/2/20/20 COUNCIL SET	
SHEET: 3	
PROJECT: 2050	

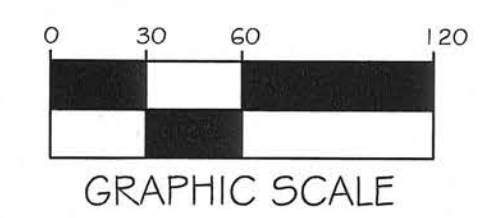


**TOWN REQUIRED PUD NOTES:**

1. PROTECTION FENCING MUST BE PLACED AWAY FROM ANY SAVED TREE ONE FOOT FOR EACH INCH OF TREE CALIPER. PROTECTION FENCING MUST BE PLACED AT LEAST 10 FEET AWAY FROM ANY OTHER DESIGNATED RESOURCE CONSERVATION AREA, SUCH AS BUT NOT LIMITED TO HISTORIC BUILDINGS AND STRUCTURES, WETLANDS, AND PONDS. PROTECTION FENCING MUST BE PLACED ALONG THE OUTSIDE LINE OF THE 100-YEAR FLOODPLAIN, AND THE OUTSIDE EDGE OF ANY RIPARIAN BUFFER. ADDITIONAL PROTECTION FENCING MAY BE REQUIRED IN OTHER LOCATIONS CLOSE TO CONSTRUCTION ACTIVITY WHERE IT IS DEEMED NECESSARY BY THE ZONING ENFORCEMENT OFFICER; SUCH AREAS MAY INCLUDE BUT ARE NOT LIMITED TO COMMON PROPERTY LINES OR NEAR PUBLIC AREAS (SIDEWALKS, ETC.).
2. SITE ELEMENTS REQUIRED TO SATISFY RECREATIONAL REQUIREMENTS SUCH AS BUT NOT LIMITED TO PLAY FIELDS AND GREENWAY TRAILS AND ITEMS TYPICALLY ASSOCIATED WITH THEM (BENCHES, TRASH CONTAINERS, SIGNS, ETC.) MUST MEET ANY APPLICABLE STANDARDS FOUND IN THE TOWN OF APEX STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS AND THE REQUIREMENTS OF THE TOWN OF APEX PARKS AND RECREATION DEPARTMENT.
3. ALL REQUIRED SITE ELEMENTS SHOWN WITHIN A PARTICULAR PHASE MUST BE INSTALLED BEFORE A FINAL CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR ANY BUILDING WITHIN THAT PHASE.
4. NO SIGNS ARE APPROVED AS PART OF A PUD-CZ PLAN APPROVAL. A SEPARATE SIGN PERMIT MUST BE OBTAINED.

**NOTES:**

1. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A SURVEY COMPLETED BY SMITH & SMITH SURVEYORS.
2. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM NORTH CAROLINA SPACIAL DATA LIDAR.
3. THE SITE HAS BEEN EVALUATED FOR THE EXISTENCE OF WETLANDS AND STREAMS BY ENVIRONMENTAL SERVICES, INC. THE LOCATION OF THESE ENVIRONMENTAL FEATURES INCLUDING STREAM BUFFERS AND WETLANDS ARE SHOWN AS SURVEYED.
4. CONSTRUCTION VEHICLE PARKING SHALL BE LIMITED TO ONE SIDE OF THE ROAD (OPPOSITE OF FIRE HYDRANTS). SIGNS INDICATING "NO CONSTRUCTION VEHICLES THIS SIDE OF STREET" IN ENGLISH AND SPANISH, ONCE THE FIRST LIFT OF ASPHALT IS PASSABLE BY VEHICLES, TEMPORARY STREET SIGNS ARE REQUIRED.
5. INSTALLATION OF SILT FENCE SHALL MAINTAIN 3' OF CLEARANCE AROUND FIRE HYDRANTS.
6. THE FUTURE LOCATIONS FOR WATER AND SEWER MAINS ARE APPROXIMATE AND SHALL BE DESCRIBED IN MORE DETAIL AT THE TIME OF MASTER PLANS. THESE UTILITY LOCATIONS ARE ILLUSTRATIVE TO SHOW CONNECTIONS AND SIZING.
7. CONTACT FOR TOWN OF APEX ELECTRIC UTILITIES IS RODNEY SMITH AT 919-249-3342.
8. PLAN SHEETS ARE INTENDED FOR ILLUSTRATIVE USE ONLY.

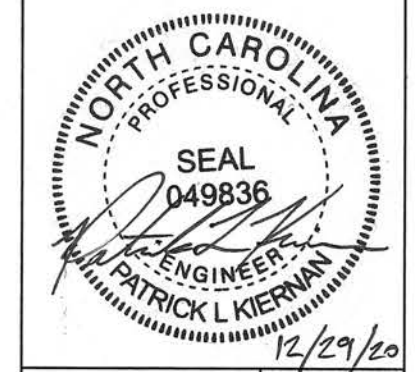


**PRELIMINARY PLANS  
NOT FOR CONSTRUCTION**

THIS SHEET IS FOR  
ILLUSTRATIVE PURPOSES ONLY

**Jones & Crossen**  
ENGINEERING, PLLC  
Civil Engineering | Construction Management | Land Planning

221 N. SALEM ST.  
SUITE 001  
PO BOX 1062  
APEX, NC 27502  
Office: 919-387-1174  
Registration: P-0151  
www.jonescrossen.com



**ROBERTS ROAD PROPERTIES PUD  
PUD PLANS  
PRELIMINARY UTILITY PLAN**

TOWN OF APEX  
WAKE COUNTY, NORTH CAROLINA

SCALE	1"=60'	DRAWN	PLK
DATE	OCTOBER 1, 2020		
REVISION	1/15/20	PER	TRC
	1/23/20	PER	TRC
	1/22/20	COUNCIL	SET
SHEET	4		
PROJECT	2050		