

STAFF REPORT

Rezoning #25CZ12 Apex Baptist Church

February 24, 2026 Town Council Meeting



All property owners, tenants, and neighborhood associations within 500 feet of this rezoning have been notified per UDO Sec. 2.2.11 *Public Notification*.

BACKGROUND INFORMATION:

Location: 111 Jones Street
Applicant: Apex Baptist Church, Inc.

PROJECT DESCRIPTION:

Acreage: ±1.05 acres
PIN: 0742302925
Current Zoning: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)
Proposed Zoning: Office & Institutional-Conditional Zoning (O&I-CZ)
Overlay District: Small Town Character Overlay District
2045 Land Use Map: Medium Density Residential/Office Employment
Town Limits: Town Limits

Adjacent Zoning & Land Uses:

	Zoning	Land Use
North:	Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)	Single-family residential
South:	Conservation Buffer (CB)	Holleman Street; CC Jones Park
East:	Neighborhood Business-Conditional Use (B1-CU #98CU03)	Church
West:	High Density Single-Family (HDSF)	Jones Street; Single-family residential

Existing Conditions:

The subject property is located at the northeast corner of Holleman Street and Jones Street within the Apex National Register Historic District. The subject property contains two structures, the Bailey House (built in 1950) and a concrete house (built in 1957), both of which are listed as contributing structures.

Neighborhood Meeting:

The applicant conducted neighborhood meetings on July 28, 2025 and January 8, 2026. Both neighborhood meeting reports are attached.

2045 Land Use Map:

The 2045 Land Use Map classifies the subject property as Medium Density Residential/Office Employment. The proposed rezoning to Office & Institutional-Conditional Zoning (O&I-CZ) is consistent with the Office Employment part of that land use classification.

Zoning Background:

The property, along with several other properties, was rezoned to MORR-CU on June 21, 2005 with the following permitted uses and zoning conditions:

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Uses:

By right: Single family, duplex, accessory apartments, professional and business office

Special Use: Bed & Breakfast

Conditions:

Standards: All structures listed as "contributing" to the National Register of Historic Places (1994) and requiring site plan approval shall follow the latest edition of the "Secretary of Interior Standards of Rehabilitation and Guidelines for Rehabilitating Historic Buildings." All other structures or new construction shall comply with the applicable Sections of the UDO.

Parking: All off-street parking shall be limited to the rear or side driveway of the subject property and be subject to Section 8.3.9(d), Other Eligible Alternatives. No parking shall be permitted in the front yard. On-street parking of non-resident commercial vehicles shall be permitted only between the hours of 6:00 a.m. and 6:00 p.m.

Signs: Wall: 3 square feet (no suspended signs permitted); Ground: 12 square feet not to exceed 3' in height (a bracket sign may be installed if permitted by the UDO).

Storage: Storage of heavy equipment shall not be permitted. Heavy equipment is defined as a moveable or transportable vehicle or other apparatus commonly used in commercial, industrial, or construction enterprises, such as but not limited to: trucks, trailers, bulldozers, cranes, backhoes, rollers, loaders and lifts.

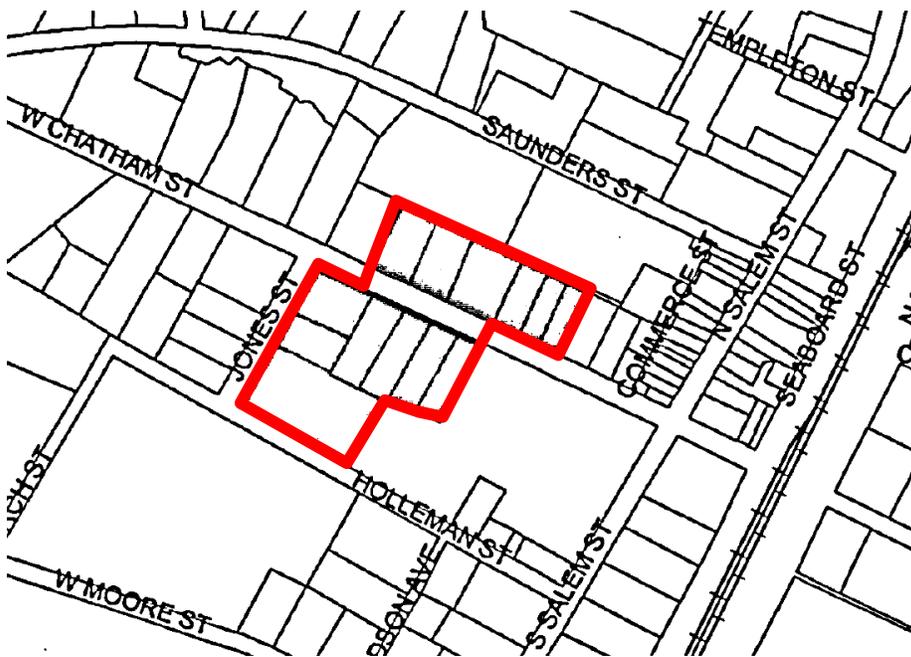


Figure 1: Zoning Map from Rezoning #05CU11 (color added)

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Purpose of this rezoning:

The current zoning of the property does not allow the use “Church or place of worship”. Apex Baptist Church desires to demolish the concrete block house and relocate the Bailey house closer to the intersection in order to allow room for the construction of a table-top parking structure.

UDO Sec. 2.3.6.B.2.b prohibits relocation of historic structures within the National Register Historic District in order to protect the integrity of the district. For homes that are eligible to be relocated, “...an historic preservation easement and a rehabilitation agreement shall be granted to a qualified holder of historic preservation agreements as defined by NCGS Chapter 121, Article 4.” Further, UDO Sec. 2.2.8 prohibits the Town from accepting any development application for a property on which an historic structure has been demolished for 48 months.

Therefore, the property must be rezoned in order for the use “Church or place of worship” to be permitted and for the 48-month waiting period to not apply due to the demolition and relocation of the structures onsite. The church also wants to remove the requirement to grant an historic preservation easement and a rehabilitation agreement for the Bailey House if relocated.

PROPOSED ZONING CONDITIONS:

Limitation of Uses:

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

- Permitted Uses:

- | | |
|-------------------------------|---------------------------------------|
| a. Church or place of worship | g. Medical or dental office or clinic |
| b. Utility, minor | h. Office, business or professional |
| c. Greenway | i. Parking garage, public |
| d. Park, active | j. Floral shop |
| e. Park, passive | k. Studio for art |
| f. Youth or day camps | l. Pet Services |

1. The subject property (PIN 0742302925, the “Property”), owned by Apex Baptist Church (“Owner”) is located in the Apex National Register Historic District (the “Historic District”). There are two contributing structures on the Property identified in the 2008 Apex National Register Historic District Expansion - the James and Martha Bailey House (associated with WA4704), a one and a half story brick house constructed in 1950 (the “Bailey House”), and a one-story concrete block structure constructed in 1957 (associated with WA4702) (the “Concrete Structure”) and expanded in or about 1990. This zoning condition shall modify the Town of Apex Unified Development Ordinance (“UDO”) provisions regarding preservation of historic properties as follows:

- a. The Concrete Structure shall be demolished and the Property shall not be subject to the prohibition on subsequent development applications in UDO Section 2.2.8.
- b. The Bailey house shall not be demolished but may be relocated on the Property (the “Relocation”).



- i. The final location of the Bailey House on the Property shall be determined by the Property owner. The Relocation process shall be overseen and directed by the Property owner and shall comply with all applicable setback standards in UDO Section 5.1 and no approvals from or easements to Capital Area Preservation, the State Historic Preservation Office, or any other historic preservation group shall be required for the Relocation. The Property shall not be subject to the prohibition on relocation in UDO Section 2.3.6.
 - ii. The property shall be compliant with applicable UDO Small Town Character Overlay standards.
2. The parking structure shall include a brick wall with a minimum height of 3.5 feet above the deck floor on the top level of the parking structure facing Jones Street and Holleman Street. The Planning Director or their designee may approve alternative building materials or architectural treatment.
3. A Type A planted buffer with an average width of 10 feet shall be provided along the northern property line adjacent to PINs 0742312029, 0742313069, and 0742314027.
4. The parking structure shall comply with the following architectural conditions in lieu of the requirements of UDO Section 6.3.1.F:
 - a. The maximum blank wall area of any parking structure façade shall be 20 feet.
 - b. The ground floor façade treatment of any parking structure façade (building materials, windows and architectural detailing) shall be continued on upper stories.
 - c. Plantings shall be located between the façade of the parking structure and Jones Street and Holleman Street. Provided, however, that plantings shall not be located within 10 feet of any existing Town of Apex water lines.
5. Exterior lighting shall have a maximum color temperature of 3000K and be extinguished no later than 12:00 AM. Provided, however, that exterior security lighting may remain lit after 12:00 AM for security purposes. Light poles shall be placed on the perimeter of the parking structure and have house side shields on the rear.
6. There shall be at least one (1) trash receptacle on each parking level.
7. Only one (1) level of parking shall have access to and/or from Jones Street.
8. Parking deck signage shall be limited to Holleman Street except for incidental signs as permitted in UDO Section 8.7.1.A.11.
9. If a parking deck is constructed on the property, there shall be a traffic attendant at each parking deck entrance to direct traffic thirty minutes before the start and thirty minutes after the conclusion of Sunday church services. The traffic attendant may be a police officer, church employee, or church volunteer.

Summary of Revisions to Zoning Conditions:

After the February 9, 2026 Planning Board meeting, the applicant revised conditions 1 and 2 and added condition 9.

- The revision to condition 1 ensures that the Bailey House shall not be demolished and indicates that it may be relocated.

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- The revision to condition 2 eliminates the phrase “or other fully opaque screening” to address staff’s concerns that a material other than brick would be used and adds language allowing the Planning Director or designee to approve alternative building materials or architectural treatment.
- Condition 9 requires a traffic attendant to be stationed at each entrance to a parking deck to direct traffic 30 minutes before the start and 30 minutes after the conclusion of Sunday church services.

ENVIRONMENTAL ADVISORY BOARD:

This rezoning was exempt from meeting with the Apex Environmental Advisory Board (EAB) per UDO Section 2.1.9.

PLANNING STAFF RECOMMENDATION:

Planning staff recommends denial of Rezoning #25CZ12 with the conditions as offered by the applicant.

PLANNING BOARD RECOMMENDATION:

The Planning Board held a public hearing on February 9, 2026 and by a vote of 6-2 recommended denial of the rezoning.

ANALYSIS STATEMENT OF THE REASONABLENESS OF THE PROPOSED REZONING:

This Statement will address consistency with the Town’s comprehensive and other applicable plans, reasonableness, and effect on public interest:

The 2045 Land Use Map classifies the subject property as Medium Density Residential/Office Employment. The proposed rezoning to Office & Institutional-Conditional Zoning (O&I-CZ) is consistent with that land use classification.

However, the proposed rezoning is not reasonable and in the public interest for the following reasons:

1. The rezoning would allow for the demolition of the historic concrete house and the relocation of the Bailey House without the 48-month waiting period to submit a development application. Even though the Bailey House is proposed to be relocated on the same parcel, moving the house poses a risk to the structure. The standards in the UDO were added in order to protect the structures within and the integrity of the Apex National Register Historic District.
2. Planning staff does not agree with the proposed wording of Condition 1.b, which removes the requirement for a preservation easement and rehabilitation agreement for the relocated Bailey House as is required for all other historic structure relocations in the Town and ETJ.
3. The rezoning would allow for the construction of a table-top parking structure or parking lot for the adjacent church. A table-top parking structure is atypical for this area and expansion of the parking to the west encroaches into the residential character of the neighborhood. The church’s current parking lot does not have access to Jones Street. This would change if the rezoning is approved. An expanded parking area, whether as a table top parking structure or surface parking lot, with access to Jones Street would bring more vehicular activity any time the parking is open to the public and not just during church services.



CONDITIONAL ZONING STANDARDS:

The Town Council shall find the O&I-CZ designation demonstrates compliance with the following standards. 2.3.3.F:

Legislative Considerations

The applicant shall propose site-specific standards and conditions that take into account the following considerations, which are considerations that are relevant to the legislative determination of whether or not the proposed conditional zoning district rezoning request is in the public interest. These considerations do not exclude the legislative consideration of any other factor that is relevant to the public interest.

- 1) *Consistency with 2045 Land Use Map.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and consistency with the purposes, goals, objectives, and policies of the 2045 Land Use Map.
- 2) *Compatibility.* The proposed Conditional Zoning (CZ) District use's appropriateness for its proposed location and compatibility with the character of surrounding land uses.
- 3) *Zoning district supplemental standards.* The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.
- 4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use's minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.
- 5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use's minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.
- 6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use's avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.
- 7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use's effect on the health, safety, or welfare of the residents of the Town or its ETJ.
- 8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.
- 9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.
- 10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

Rezoning #25CZ12

Upchurch St

Carey C. Jones
Memorial Park

Jones St

Holleman St

W Chatham St

Apex Baptist
Church

S Salem St



PETITION TO AMEND THE OFFICIAL ZONING MAP

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Application #: 25CZ12 Submittal Date: 8-1-26
Fee Paid: _____

Project Information

Project Name: Apex Baptist Church Rezoning
Address(es): 111 Jones Street
PIN(s): 0742302925
Acreage: 1.05 ac
Current Zoning: MORR-CU (Rezoning #05CU11) Proposed Zoning: O&I-CU
Current 2045 LUM Classification(s): Medium Density Residential/Office Employment
Is the proposed rezoning consistent with the 2045 LUM Classification(s)? Yes No

If any portion of the project is shown as mixed use (3 or more stripes on the 2045 Land Use Map) provide the following:

Area classified as mixed use:	Acreage:	<u>N/A</u>
Area proposed as non-residential development:	Acreage:	<u>N/A</u>
Percent of mixed use area proposed as non-residential:	Percent:	<u>N/A</u>

Applicant Information

Name: Apex Baptist Church, Inc., a North Carolina non-profit corporation
Address: c/o Matthew J. Carpenter, 301 Fayetteville Street, Suite 1400
City: Raleigh State: NC Zip: 27601
Phone: 919-835-4032 E-mail: matthewcarpenter@parkerpoe.com

Owner Information

Name: Same as Applicant
Address: _____
City: _____ State: _____ Zip: _____
Phone: _____ E-mail: _____

Agent Information

Name: Matthew J. Carpenter
Address: 301 Fayetteville St, Suite 1400
City: Raleigh State: NC Zip: 27601
Phone: 919-835-4032 E-mail: matthewcarpenter@parkerpoe.com
Other contacts: Staley Smith; staley@smithandsmithsurveyors.net
Jesse Davis; jdavis@apexbaptist.org

111 Jones Street
Proposed Uses and Zoning Conditions

The Rezoned Lands may be used for, and only for, the uses listed immediately below. The permitted uses are subject to the limitations and regulations stated in the UDO and any additional limitations or regulations stated below. All uses listed below are permitted (P) uses unless noted otherwise. For convenience, some relevant sections of the UDO may be referenced; such references do not imply that other sections of the UDO do not apply.

1. Church or place of worship
2. Utility, minor
3. Greenway
4. Park, active
5. Park, passive
6. Youth or day camps
7. Medical or dental office or clinic
8. Office, business or professional
9. Parking garage, public
10. Floral shop
11. Studio for art
12. Pet services

Zoning Conditions

1. The subject property (PIN 0742302925, the “Property”), owned by Apex Baptist Church (“Owner”) is located in the Apex National Register Historic District (the “Historic District”). There are two contributing structures on the Property identified in the 2008 Apex National Register Historic District Expansion - the James and Martha Bailey House (associated with WA4704), a one and a half story brick house constructed in 1950 (the “Bailey House”), and a one-story concrete block structure constructed in 1957 (associated with WA4702)(the “Concrete Structure”) and expanded in or about 1990. This zoning condition shall modify the Town of Apex Unified Development Ordinance (“UDO”) provisions regarding preservation of historic properties as follows:
 - a. The Concrete Structure shall be demolished and the Property shall not be subject to the prohibition on subsequent development applications in UDO Section 2.2.8.
 - b. The Bailey house shall not be demolished but may be relocated on the Property (the “Relocation”).
 - i. The final location of the Bailey House on the Property shall be determined by the Property owner. The Relocation process shall be overseen and directed by the Property owner and shall comply with all applicable setback standards in UDO Section 5.1 and no approvals from or easements to Capital Area Preservation, the State Historic Preservation Office, or any other historic preservation group shall be required for the Relocation. The Property shall not be subject to the prohibition on relocation in UDO Section 2.3.6.
 - ii. The property shall be compliant with applicable UDO Small Town Character Overlay standards.
2. The parking structure shall include a brick wall with a minimum height of 3.5 feet above the deck floor on the top level of the parking structure facing Jones Street and Holleman Street. The Planning Director or their designee may approve alternative building materials or architectural treatment.
3. A Type A planted buffer with an average width of 10 feet shall be provided along the northern property line adjacent to PINs 0742312029, 0742313069, and 0742314027.
4. The parking structure shall comply with the following architectural conditions in lieu of the requirements of UDO Section 6.3.1.F:
 - a. The maximum blank wall area of any parking structure façade shall be 20 feet.
 - b. The ground floor façade treatment of any parking structure façade (building materials, windows and architectural detailing) shall be continued on upper stories.

- c. Plantings shall be located between the façade of the parking structure and Jones Street and Holleman Street. Provided, however, that plantings shall not be located within 10 feet of any existing Town of Apex water lines.
- 5. Exterior lighting shall have a maximum color temperature of 3000K and be extinguished no later than 12:00 AM. Provided, however, that exterior security lighting may remain lit after 12:00 AM for security purposes. Light poles shall be placed on the perimeter of the parking structure and have house side shields on the rear.
- 6. There shall be at least one (1) trash receptacle on each parking level.
- 7. Only one (1) level of parking shall have access to and/or from Jones Street.
- 8. Parking deck signage shall be limited to Holleman Street except for incidental signs as permitted in UDO Section 8.7.1.A.11.
- 9. If a parking deck is constructed on the property, there shall be a traffic attendant at each parking deck entrance to direct traffic thirty minutes before the start and thirty minutes after the conclusion of Sunday church services. The traffic attendant may be a police officer, church employee, or church volunteer.

PETITION INFORMATION

Application #: 25CZ12 Submittal Date: _____

3) Zoning district supplemental standards. The proposed Conditional Zoning (CZ) District use's compliance with Sec 4.4 *Supplemental Standards*, if applicable.

The proposed zoning district will comply with all Supplemental Standards in UDO Section 4.4.

4) *Design minimizes adverse impact.* The design of the proposed Conditional Zoning (CZ) District use's minimization of adverse effects, including visual impact of the proposed use on adjacent lands; and avoidance of significant adverse impacts on surrounding lands regarding trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration and not create a nuisance.

The proposed zoning conditions include conditions to minimize adverse effects on adjacent properties including architectural requirements for the proposed parking structure (Conditions 2 and 4) and a planted buffer along the northern property line with an average width of 10 feet (Condition 3). The property will remain in the Small Town Character Overlay District. The design and layout of the parking structure will be determined at Site Plan/Construction Drawings and will comply with all UDO requirements for trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration.

5) *Design minimizes environmental impact.* The proposed Conditional Zoning District use's minimization of environmental impacts and protection from significant deterioration of water and air resources, wildlife habitat, scenic resources, and other natural resources.

The property is a cleared and developed downtown Apex lot with two existing structures. It has no known environmental features. Development on site will meet all applicable local, state, and federal environmental regulations.

6) *Impact on public facilities.* The proposed Conditional Zoning (CZ) District use's avoidance of having adverse impacts on public facilities and services, including roads, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities.

The property is already in the Town limits and situated in downtown Apex, where public services and facilities are available. The proposed parking structure will handle church parking on site and reduce stress on existing public parking downtown that is needed for downtown businesses.

7) *Health, safety, and welfare.* The proposed Conditional Zoning (CZ) District use's effect on the health, safety, or welfare of the residents of the Town or its ETJ.

The proposed Conditional Zoning District, which will allow the construction of a tabletop parking deck to meet church parking demand, will improve the health, safety, and welfare of Town residences by providing safe and available parking for church members and visitors adjacent to the existing church campus. It will meet parking demand without requiring visitors to cross downtown streets or otherwise impede traffic circulation downtown.

PETITION INFORMATION

Application #:

25CZ12

Submittal Date:

8) *Detrimental to adjacent properties.* Whether the proposed Conditional Zoning (CZ) District use is substantially detrimental to adjacent properties.

The proposed zoning conditions include conditions to minimize adverse effects on adjacent properties including architectural requirements for the proposed parking structure (Conditions 2 and 4) and a planted buffer along the northern property line with an average width of 10 feet (Condition 3). The property will remain in the Small Town Character Overlay District. The design and layout of the parking structure will be determined at Site Plan/Construction Drawings and will comply with all UDO requirements for trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration.

9) *Not constitute nuisance or hazard.* Whether the proposed Conditional Zoning (CZ) District use constitutes a nuisance or hazard due to traffic impact or noise, or because of the number of persons who will be using the Conditional Zoning (CZ) District use.

The proposed zoning conditions include conditions to minimize adverse effects on adjacent properties including architectural requirements for the proposed parking structure (Conditions 2 and 4) and a planted buffer along the northern property line with an average width of 10 feet (Condition 3). The property will remain in the Small Town Character Overlay District. The design and layout of the parking structure will be determined at Site Plan/Construction Drawings and will comply with all UDO requirements for trash, traffic, service delivery, parking and loading, odors, noise, glare, and vibration.

10) *Other relevant standards of this Ordinance.* Whether the proposed Conditional Zoning (CZ) District use complies with all standards imposed on it by all other applicable provisions of this Ordinance for use, layout, and general development characteristics.

Development on the property will comply with the proposed zoning conditions and all applicable UDO regulations for use, layout, and general development characteristics.

AGENT AUTHORIZATION FORM

Application #: 25CZ12

Submittal Date: _____

Apex Baptist Church, Inc. is the owner* of the property for which the attached application is being submitted:

- Rezoning: For Conditional Zoning and Planned Development rezoning applications, this ~~authorization includes express consent~~ to zoning conditions that are agreed to by the Agent which will apply if the application is approved.
- Site Plan
- Subdivision
- Variance
- Other: _____

The property address is: 111 Jones Street (PIN 0742302925)

The agent for this project is: Matthew J. Carpenter and Staley Smith

I am the owner of the property and will be acting as my own agent

Agent Name: Matthew J. Carpenter and Staley Smith

Address: 301 Fayetteville Street, Suite 1400, Raleigh, NC 27601

Telephone Number: 919-835-4032

E-Mail Address: matthewcarpenter@parkerpoe.com

Signature(s) of Owner(s)*

APEX BAPTIST CHURCH, INC.,
a North Carolina non-profit corporation

By: 
76F9391024C2492...
Jesse Davis, Director of Operations

Attach additional sheets if there are additional owners.

*Owner of record as shown on the latest equalized assessment rolls of Wake County. An option to purchase does not constitute ownership. If ownership has been recently transferred, a copy of the deed must accompany this authorization.

Pursuant to Article 40 of Chapter 66 of the North Carolina General Statutes (the Uniform Electronic Transactions Act) this application and all documents related hereto containing an electronic or digitized signature are legally binding in the same manner as are hard copy documents executed by hand signature. The parties hereby consent to use electronic or digitized signatures in accordance with the Town's Electronic Signature Policy and intend to be bound by the application and any related documents. If electronic signatures are used the application shall be delivered in an electronic record capable of retention by the recipient at the time of receipt.

AFFIDAVIT OF OWNERSHIP

Application #: 25CZ12

Submittal Date: _____

The undersigned, Matthew J. Carpenter (the "Affiant") first being duly sworn, hereby swears or affirms as follows:

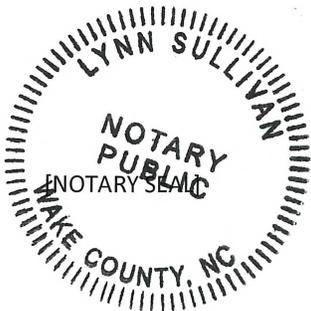
1. Affiant is over eighteen (18) years of age and authorized to make this Affidavit. The Affiant is the sole owner, or is the authorized agent of all owners, of the property located at 111 Jones Street and legally described in **Exhibit "A"** attached hereto and incorporated herein (the "Property").
2. This Affidavit of Ownership is made for the purpose of filing an application for development approval with the Town of Apex.
3. If Affiant is the owner of the Property, Affiant acquired ownership by deed, dated N/A, and recorded in the Wake County Register of Deeds Office on N/A, in Book N/A Page N/A.
4. If Affiant is the authorized agent of the owner(s) of the Property, Affiant possesses documentation indicating the agency relationship granting the Affiant the authority to apply for development approval on behalf of the owner(s).
5. If Affiant is the owner of the Property, from the time Affiant was deeded the Property on N/A, Affiant has claimed sole ownership of the Property. Affiant or Affiant's predecessors in interest have been in sole and undisturbed possession and use of the property during the period of ownership. Since taking possession of the Property on N/A, no one has questioned Affiant's ownership or right to possession nor demanded any rents or profits. To Affiant's knowledge, no claim or action has been brought against Affiant (if Affiant is the owner), or against owner(s) (if Affiant is acting as an authorized agent for owner(s)), which questions title or right to possession of the property, nor is any claim or action pending against Affiant or owner(s) in court regarding possession of the Property.

This the 29th day of July, 2025

[Signature] (seal)
Matthew J. Carpenter
 Type or print name

STATE OF NORTH CAROLINA
 COUNTY OF Wake

I, the undersigned, a Notary Public in and for the County of Wake, hereby certify that Matthew Carpenter, Affiant, personally known to me or known to me by said Affiant's presentation of said Affiant's _____, personally appeared before me this day and acknowledged the due and voluntary execution of the foregoing Affidavit.



[Signature]
 Notary Public
 State of North Carolina
 My Commission Expires: 11/16/2027

Exhibit A

(DESCRIPTION OF THE PROPERTY)

That certain lot or parcel of land situated in the Town of Apex, White Oak Township, Wake County, North Carolina and more particularly described as follows:

BEING all of Lot 1, containing 45,537 sq. feet, as shown on map entitled "James Albert Bailey and Martha C. Bailey" by Smith and Smith Surveyors and recorded in Book of Maps 1999, Page 1723, Wake County Registry.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 1730, Page 587 and Book 1056, Page 413, Wake County Registry.

A map showing the above described property is recorded in Book of Maps 1999, Page 1723.

NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

July 14, 2025

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at
 111 Jones Street 0742302925

Address(es)

PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. If you are unable to attend, please refer to the Project Contact Information page for ways to contact the applicant. Notified neighbors may request that the applicant provide updates and send plans via email or mail. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at <http://www.apexnc.org/180>. Applications for Rezoning must hold a second Neighborhood Meeting in the month prior to the anticipated public hearing date.

A Neighborhood Meeting is required because this project includes (check all that apply):

Application Type	Approving Authority
<input checked="" type="checkbox"/> Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/> Major Site Plan	Technical Review Committee (staff)
<input type="checkbox"/> Minor Site Plan for the uses "Day care facility", "Government service", "School, public or private", "Restaurant, drive-through", or "Convenience store with gas sales"	Technical Review Committee (staff)
<input type="checkbox"/> Special Use Permit	Board of Adjustment (QJPH*)
<input type="checkbox"/> Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

*Quasi-Judicial Public Hearing: The Board of Adjustment cannot discuss the project prior to the public hearing.

The following is a description of the proposal (also see attached map(s) and/or plan sheet(s)):

The applicant is proposing to rezone the property to Office & Institutional District-Conditional Zoning (O&I-CZ or another similar district to allow construction of parking and/or office space for Apex Baptist Church.

Estimated submittal date: August 1, 2025

MEETING INFORMATION:

Property Owner(s) name(s):	APEX BAPTIST CHURCH, INC.
Applicant(s):	APEX BAPTIST CHURCH, INC. c/o Mathew Carpenter
Contact information (email/phone):	matthewcarpenter@parkerpoe.com; (919) 835-4032
Meeting Address:	Apex Baptist Church; 110 S. Salem Street, Apex, NC 27502
Date/Time of meeting**:	July 28, 2025
Welcome:	6:00 PM
Project Presentation:	6:00 PM
Question & Answer:	6:30 PM

**Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180>.



To: Neighboring Property Owners and Tenants
From: Matthew Carpenter
Date: July 14, 2025

Re: Notice of Neighborhood Meeting

You are invited to attend a neighborhood meeting on July 28, 2025 at 6:00pm at Apex Baptist Church, located at 110 S. Salem Street, Apex, NC 27502. The purpose of the meeting is to discuss an upcoming application to rezone a parcel of land located at 111 Jones Street (PIN 0742302925) from Mixed Office-Residential-Retail District-Conditional Use (MORR-CU) to Office & Institutional District-Conditional Zoning (O&I-CZ) or another similar district to allow construction of parking and/or office space for Apex Baptist Church.

During the meeting, the applicant will describe the nature of the rezoning request and field any questions from the public. Enclosed are: (1) a vicinity map outlining the location of the parcel; (2) a zoning map of the area; (3) a project contact information sheet; and (4) a common construction issues & who to call information sheet.

If you have any questions about this rezoning, please contact me at (919) 835-4032 or via email at matthewcarpenter@parkerpoe.com.

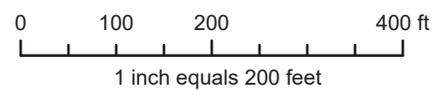
Sincerely,

Matthew Carpenter



111 Jones Street

Vicinity Map



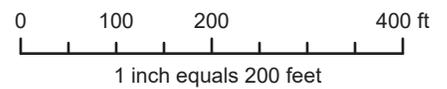
Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



111 Jones Street

Zoning Map

Current Zoning: MORR-CU



Disclaimer
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PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Development Contacts:

Project Name: Apex Baptist Church Rezoning Zoning: MORR-CU

Location: 111 Jones Street

Property PIN(s): 0742302925 Acreage/Square Feet: 1.05 ac

Property Owner: APEX BAPTIST CHURCH, INC.

Address: 110 S. Salem Street

City: Apex State: NC Zip: 27502

Phone: _____ Email: _____

Developer: APEX BAPTIST CHURCH, INC. c/o Mathew Carpenter

Address: 301 Fayetteville Street, Suite 1400

City: Raleigh State: NC Zip: 27601

Phone: (919) 835-4032 Fax: _____ Email: matthewcarpenter@parkerpoe.com

Engineer: To Be Determined.

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Builder (if known): Same as Developer.

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.

Town of Apex Department Contacts	
Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planning Project Manager	(919) 372-7468
Transportation & Infrastructure Development Russell Dalton, Traffic Engineering Manager	(919) 249-3358
Water Resources Department Jessica Bolin, Environmental Engineering Manager (Stormwater, Sedimentation & Erosion Control)	(919) 249-3537
Matt Reker, Utility Engineer/FOG Program Manager (Water & Sewer)	(919) 946-4394
Electric Utilities Division Jared Harris, Electric Technical Services Manager	(919) 372-7466

COMMON CONSTRUCTION ISSUES & WHO TO CALL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Noise & Hours of Construction:	Non-Emergency Police	919-362-8661
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Noise from tree removal, grading, excavating, paving, and building structures is a routine part of the construction process. The Town generally limits construction hours from 7:00 am to 8:30 pm so that there are quiet times even during the construction process. Note that construction outside of these hours is allowed with special permission from the Town when it makes more sense to have the construction occur at night, often to avoid traffic issues. In addition, the Town limits hours of blasting rock to Monday-Friday from 8:00 am to 5:00 pm. Report violations of construction hours and other noise complaints to the Non-Emergency Police phone number at 919-362-8661.

Construction Traffic:	Infrastructure Inspections	919-249-3386
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Construction truck traffic will be heavy throughout the development process, including but not limited to removal of trees from site, loads of dirt coming in and/or out of the site, construction materials such as brick and wood brought to the site, asphalt and concrete trucks come in to pave, etc. The Town requires a construction entrance that is graveled to try to prevent as much dirt from leaving the site as possible. If dirt does get into the road, the Town can require they clean the street (see "Dirt in the Road" below).

Road Damage & Traffic Control:	Infrastructure Inspections	919-249-3386
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There can be issues with roadway damage, roadway improvements, and traffic control. Potholes, rutting, inadequate lanes/signing/stripping, poor traffic control, blocked sidewalks/paths are all common issues that should be reported to Transportation & Infrastructure Development – Infrastructure Inspections at 919-249-1109. The Town will get NCDOT involved if needed.

Parking Violations:	Non-Emergency Police	919-362-8661
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Unless a neighbor gives permission, there should be no construction parking in neighbors' driveways or on their property. Note that parking in the right-of-way is allowed, but Town regulations prohibit parking within 15 feet of driveways so as not to block sight triangles. Trespassing and parking complaints should be reported to the Non-Emergency Police phone number at 919-362-8661.

Dirt in the Road:	Water Resources	919-362-8166
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Sediment (dirt) and mud gets into the existing roads due to rain events and/or vehicle traffic. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed. Staff will coordinate the cleaning of the roadways with the developer.

Dirt on Properties or in Streams:	Water Resources	919-362-8166
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Sediment (dirt) can leave the site and get onto adjacent properties or into streams and stream buffers; it is typically transported off-site by rain events. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that staff can coordinate the appropriate repairs with the developer.

Dust:	Water Resources	919-362-8166
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During dry weather dust often becomes a problem blowing into existing neighborhoods or roadways. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that staff can coordinate the use of water trucks onsite with the grading contractor to help control the dust.

Trash:	Water Resources	919-362-8166
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Excessive garbage and construction debris can blow around on a site or even off of the site. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed. Staff will coordinate the cleanup and trash collection with the developer/home builder.

Temporary Sediment Basins:	Water Resources	919-362-8166
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Temporary sediment basins during construction (prior to the conversion to the final stormwater pond) are often quite unattractive. Concerns should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that he can coordinate the cleaning and/or mowing of the slopes and bottom of the pond with the developer.

Stormwater Control Measures:	Water Resources	919-362-8166
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Post-construction concerns related to Stormwater Control Measures (typically a stormwater pond) such as conversion and long-term maintenance should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed.

Electric Utility Installation:	Electric Utilities	919-249-3531
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Concerns with electric utility installation can be addressed by the Apex Electric Utilities Department.

111 Jones Street Rezoning

7/28/25 Neighborhood Meeting Sign-In Sheet

<u>Name</u>	<u>Address</u>	<u>Email</u>	<u>Phone Number</u>
Wayne English	415 E Chatham St Apt 2		919-745-0263
Don Grimes	210 S. Salem		mail.com
Laura Grimes	"		919-303-7328
Jesse Davis	110 S. Salem St		919-606-8070
Penny Maguire	210 W. Chatham		m
Mary Trotter	215 W. Chatham		919-815-5305 .net
Donna Hibbert	110 + 112 Jones St		.com
Kelly Radford	107 & 108 Jones Street		919-210-7786
Marshall Barnes	103 S Salem St		919-362-6253
Ann Richard	912 922 Green Level Ch Cary		o.com 919-368-2503
Dieter Griffiths	own 219 W Chatham St		919-368-2504
Mike Proctor	207 115 S Salem		919 815 4263 mail.com

SUMMARY OF DISCUSSION FROM THE NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Property Owner(s) name(s): Apex Baptist Church, Inc., a North Carolina non-profit corporation

Applicant(s): Same as Property Owner

Contact information (email/phone): c/o Matthew J. Carpenter; matthewcarpenter@parkerpoe.com; 919-835-4032

Meeting Address: Apex Baptist Church; 110 S. Salem Street, Apex, NC 27502

Date of meeting: July 28, 2025

Time of meeting: 6:00 PM

Please summarize the questions/comments and your responses from the Neighborhood Meeting or emails/phone calls received in the spaces below (attach additional sheets, if necessary). Please state if/how the project has been modified in response to any concerns. The response should not be "Noted" or "No Response". There has to be documentation of what consideration the neighbor's concern was given and justification for why no change was deemed warranted.

Question/Concern #1:

See attached.

Applicant's Response:

Question/Concern #2:

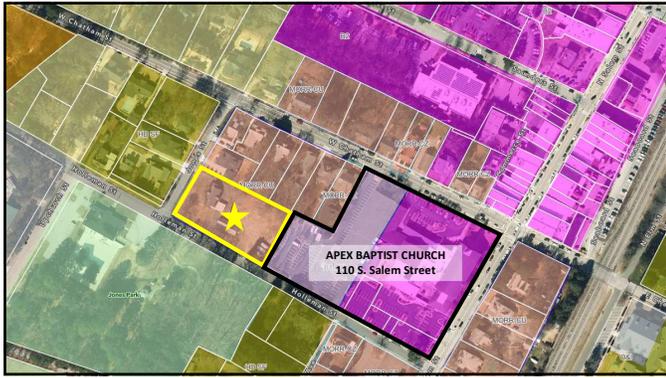
Applicant's Response:

Question/Concern #3:

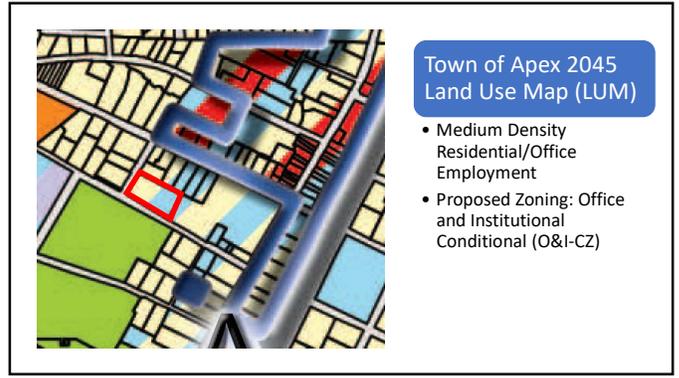
Applicant's Response:

Question/Concern #4:

Applicant's Response:



1



2



3



4



5

**Apex Baptist Church Rezoning
Summary of Pre-Application Neighborhood Meeting
July 28, 2025**

I. WELCOME

- a. Introduction of team - Matthew Carpenter w/ Parker Poe on behalf of Apex Baptist Church; Jesse Davis, Director of Operations for Apex Baptist Church
- b. Explanation of process. This is a pre-filing neighborhood meeting for a potential rezoning case. The purpose of this meeting is to hear your feedback and consider it as we put together our rezoning application. So, I'll start by providing an overview of the request and then we'll be happy to answer any questions.

II. PRESENTATION

- a. Site Overview - location and existing uses adjacent
 - i. 1 acre lot at the corner of Jones Street and Holleman Street
 - ii. Main Apex Baptist parking lot and campus adjacent to the east
 - iii. Residential neighborhoods adjacent to the north and west
 - iv. Jones Street Park to the south
 - v. Property has two structures on the lot - the Martha Bailey House and a concrete block structure. The church currently uses the lot for overflow parking and the Martha Bailey House as office space.
 - vi. The church has owned the lot since 2006.
- b. Proposed Zoning and Land Use Map Designation
 - i. A lot has changed since 2006 - for the church and for downtown Apex. The church, and downtown, have grown significantly and the church has had a big parking problem for several years.
 - ii. For the last few years, the church has explored options to meet the needs of the growing church which has led to the solution we'll discuss tonight which is a tabletop parking structure on the property.
 - iii. The lot is currently zoned MORR-CZ and the conditions only allow parking to the side and rear of buildings, so the church needs a rezoning to permit construction of the deck.
 - iv. The proposal is to rezone the property to O&I-CZ to permit construction of the deck.
 - v. The LUM is the primary document the Town reviews in evaluating a rezoning request and designates this property for office/medium density residential. So, the proposed zoning district, together with existing residential neighborhoods, is consistent with the LUM designation.
 - vi. The CZ designation means the case will be a conditional rezoning case and include zoning conditions that, if approved, will run with the land and govern any development on the property.
 - vii. Since the application has not been filed, these conditions are not finalized, but we can give you an idea tonight of several commitments we expect will be included in our proposed zoning conditions.
- c. Parking Structure Rendering
 - i. The rezoning process typically concerns the uses permitted on property and does not involve specific building layouts and designs which occur at later phases of the development process.

- ii. However, since the church has been working on this for several years, we're happy to share this rendering which gives you an idea of what the parking deck could look like.
 1. You can see it's a two story tabletop style deck
 2. This rendering shows a brick exterior. The proposed rezoning conditions will address architectural features of the deck including the materials uses and fencing/design of the top story.
 3. The first story will likely be slightly below grade at Jones Street which will help with the overall massing of the structure.
 4. The rezoning conditions will also include buffer/planting conditions including a 10-foot average type A buffer along the northern property line adjacent to the existing homes to our north. Type A is the Town's strictest planting standard for buffers.
- d. Historic Designations
 - i. The property is in the downtown Apex Historic District. As I mentioned, there are two structures on the property - the Martha Bailey House and the Concrete Block Structure. The church understands the significance of the Historic District and has worked for several years with Town staff and Capital Area Preservation (CAP) on a plan to preserve the Bailey House.
 - ii. The conceptual solution we've reached with CAP and staff, and that will be memorialized in the proposed zoning conditions, is that the Concrete Block structure will be demolished and the Bailey House will be relocated and preserved 300 feet from the site on another lot the church owns at 400 Holleman Street.
 - iii. Following relocation, the church will petition SHPO to extend the Historic District to the property to ensure the home's preservation. If the Historic District cannot be extended, the church will record a preservation easement on the property.
 - iv. You can see on the exhibit the location of the subject property in relation to 400 Holleman Street and the existing Historic District boundaries.
- e. Rezoning Process and Timeline
 - i. Working on our application and plan to submit August 1. After that, we will have several months of staff review. During that time, staff will provide comments on our application and we'll make changes to address staff comments. Once comments have been addressed, the project will go to Planning Board. Planning Board will hold a public hearing and make a recommendation to Council. After that, Town Council will hold a public hearing and make the final decision on the rezoning.

III. QUESTION AND ANSWER

- a. The neighbor notice letter stated the rezoning will permit a parking structure and office space. Are there plans for office space?
 - i. *No, the church's intent is to build only the parking structure. However, as I mentioned, zoning is about what uses are permitted on the property and the proposed O&I district will permit a number of uses including office. We wanted to be clear in the letter that the rezoning will permit more uses than just the parking structure.*
- b. How many spaces will be in the parking deck?
 - i. *Approximately 200 spaces.*

- c. Does the church really need that much parking? Is this the best option?
 - i. Yes, the church has a huge parking need, especially on Sundays. The church is already maxing out its surface parking lot and shuttling folks from satellite parking lots to the church. This solution allows the church to meet parking demand on a lot it already owns without having to acquire additional property, displace current downtown residents or businesses, or compete for parking with growing downtown businesses.*
- d. Has the church looked at purchasing other property?
 - i. Yes, but generally speaking, there is not vacant land in downtown Apex and other sites are not as proximate to the existing church parking lot.*
- e. How many driveways will the parking deck have?
 - i. The design has not been finalized and driveway locations will be determined at Site Plan; although, we expect there will be one driveway on Jones Street and one on Holleman Street.*
- f. Could you limit driveway access to only Holleman Street?
 - i. We're happy to look into that and discuss with Town staff. We have to be sure we're meeting all UDO requirements for parking deck access.*
- g. Has the church considered moving the Bailey House closer to the street and building a parking deck behind it?
 - i. Yes, we did consider it. It's generally not feasible due to UDO setback and buffering requirements and costs. Even if the house were moved, the UDO would still require front and rear setbacks and a buffer between the parking deck and home. Once you account for setbacks and buffers, it leaves very little developable area for the parking deck. At such a small size, the parking deck would not be financially feasible given construction costs.*
- h. Has the church considered selling the lot to a developer who could build up to four smaller infill homes on the lot? There are great examples of new downtown homes that have been designed and built on smaller lots.
 - i. Other neighbors responded that they would not be okay with four smaller lots/homes on the property because it would change the historic character of the area.*
 - ii. The church has considered this but it wouldn't solve the church's parking problem. The church would still have to find another lot to purchase for parking and there is limited to no land available for sale close to the main church campus. Additionally, there are UDO regulations which limit where parking decks can be located.*
- i. I'm concerned about lights on the parking deck. How will lighting work?
 - i. A lighting plan will be provided at site plan, but the Town recently adopted extensive lighting requirements in the UDO which will apply to this deck. We're happy to review those standards and consider whether there are any other lighting conditions we can add to the conditions to address lighting concerns. We will follow up.*
- j. The church does not care about this neighborhood and is not being fair to residents. All the church cares about is a parking deck that will be used for one day. Residents of the neighborhood will be harmed by the parking deck 24/7.
 - i. No one lives on the property and the deck will not be displacing anyone. The request is about more than just a parking deck. The church cares*

deeply about the community and is working hard to meet parking demand to continue serving the community and being a cornerstone of downtown Apex. The tabletop deck concept is the product of years of work and the relocation of the Bailey House is an expensive commitment the church has voluntarily undertaken in consideration of the historic character of the area. The church could have demolished the structures years ago, but instead has opted to work with the community and through the rezoning process in good faith.

The below responses were presented by Laura Grimes at the meeting. Applicant responses are included in blue below.

Response to Proposed Rezoning of 111 Jones Street, Apex, NC

Submitted by: Laura M. Grimes, 210 S. Salem St., July 28, 2025

The rezoning of 111 Jones Street from MORR-CU to O&I-CZ to allow office and/or parking for Apex Baptist Church is not the **highest and best use of that property**, as follows:

1. The rezoning would devalue the adjoining residential properties on Jones and Holleman Streets. Four of these properties are **newly built or extensively renovated** at great expense. If 111 Jones Street were kept residential, two or three beautiful homes could be added to the neighborhood, thereby insuring its integrity. The desire for homes in the downtown area is intense, as can be seen from the new homes on Edward's Pond Ct., East Moore, S. Elm, Saunders, Hudson, Hughes, Culvert, Cunningham, Ellington, and Mason Streets.
 - a. *Values should be addressed by an appraiser. Two of the neighboring homes, at 209 W. Chatham Street and 207 W. Chatham Street are adjacent to the existing church paved surface parking lot and their Wake County property tax appraised values increased by \$156,382 and \$210,675 respectively in 2024. 215 W. Chatham Street and 211 W. Chatham Street are already adjacent to the cleared portion of the subject property that is currently being used for parking and their Wake County property tax appraised values increased by \$126,930 and \$104,130 respectively in 2024.*
 - b. *Due to subdivision and setback regulations, it's unlikely that the Bailey House could be preserved and three new homes constructed on the lot.*
 - c. *During the meeting, several neighbors expressed they would not support the property being subdivided to allow construction of three or four new homes as the new homes on smaller lots would not be consistent with the historic character of the neighborhood.*
2. The neighborhood is ideally suited for residential living because it is **adjacent to a park** with a play area, swimming pool and community center.
 - a. *Although the lot is suitable for residential living, it is also suited for the church use and associated parking. The lot is in downtown Apex, an increasingly urban area where a mix of residential, office, civic, and retail uses coexist. The lot is adjacent to the existing church campus and less than 600 feet from shops and restaurants on N. Salem Street.*

3. The church wants extra parking for just **three hours** of Sunday school and church services plus evening activities. This is a very small amount of time to justify impairing the character of the adjoining neighborhood.
 - a. *The church's parking needs are much wider in scope than just three hours on Sunday and the proposed deck will be used throughout the week.*

4. Finally, the rezoning of Jones St. is **unnecessary** because **many new parking spaces** have been or are being added that the church can use. Moore St. Extension has added **74** new spaces (half vacant on Sunday morning) and **152** are being added on Saunders St. to the 240 already there. The church already has use of about 350 other parking spaces on or adjacent to South Salem or Chatham streets.
 - a. *Over 1250 people attend Apex Baptist Church on a given Sunday. The church uses a variety of parking solutions - including available spaces downtown and park and ride shuttles - but still has a parking shortage. Many of these new downtown spaces are needed to meet parking demand for growing businesses downtown. The church does not want to compete with downtown businesses for parking, but instead be a good neighbor by meeting parking demand on site.*

Rather than rezone the Jones St. Property, it is suggested that the church develop or sell the subject property for residential use and purchase the former SunTrust Bank lot on Salem St. for these reasons:

1. The lot is already **built for parking**. It is flat, covered with asphalt, and landscaped. It is also directly across the street from the church.
 - a. *To our knowledge, the property at 202 S. Salem Street is not for sale. Regardless, Apex UDO regulations would not permit a parking deck or lot on this property. Because the bank building is separated from the church by a public street, the parking use would likely be considered "parking lot, commercial" which is not permitted adjacent to residential zoning districts.*

2. With removal of the building, the bank lot would accommodate approximately **40 parking spaces**. Most importantly, it would also provide parking for **the downtown business district** and could be used all week instead of for just three hours. Perhaps it is time for the Baptist Church to consider building an annex instead, just as the Methodist Church has done.
 - a. *See above for Apex UDO regulations. Additionally, the bank lot is half an acre smaller than 111 Jones Street. 40 spaces would only be 20% of the total parking the proposed parking structure can provide.*

This letter was shared during the meeting by Ann Richard on behalf of Jane Bailey Pearson and Doris Bailey Schompert. During the meeting, the applicant team shared that under the proposed conditions, the home will not be demolished but instead relocated and permanently preserved.

Jane Bailey Pearson and Doris Bailey Schompert
1432 Old Hickory Lane
Forest, VA 24551
Mogaiter@msn.com
(434) 944-2240

To the Leadership and Members of Apex Baptist Church
110 S Salem Street
Apex, NC 27502

Dear Pastors and Church Leadership,

We are writing with a heavy heart and deep concern regarding the proposed demolition of our mother and father's former home, which we understand is being considered for conversion into a parking lot.

Our parents, Albert and Martha Bryant Bailey, built that house in 1950, and it remained their home until their passing. For over 70 years, that house was filled with love, family, faith, and service. It's where they raised us, and more importantly, where they raised us in the church.

Albert and Martha Bryant were faithful members of Apex Baptist Church for many years. They attended regularly, tithed faithfully, and instilled in us a deep respect for God, the church, and community. Their lives were a testimony of quiet, steady faith, and their support of the church was unwavering.

When the church acquired their home, we were comforted and encouraged to hear that it would be used to house missionaries. That purpose reflected the very values our parents lived by—hospitality, generosity, and a commitment to supporting the work of the gospel. Knowing their home would continue to serve the Kingdom gave our family peace.

To now learn that the house may be torn down for a parking lot is incredibly upsetting. It feels not only like a loss of a meaningful family place, but also like a departure from the purpose that was shared with us. We understand that churches have evolving needs, but we believe this decision deserves thoughtful reconsideration—especially in light of the commitment that was made and the legacy that home represents.

We ask, on behalf of our family, that the leadership of Apex Baptist Church prayerfully explore other options—ones that preserve the spirit of the original promise and honor the lives of Albert and Martha Bryant Bailey, who gave so much to this church and its people.

Thank you for hearing our heart. We would welcome the opportunity to speak further, if that would be helpful. We continue to pray for wisdom and grace as you move forward.

With sincerity and hope,

Jane Bailey Pearson and Doris Bailey Schompert

AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Matthew J. Carpenter, do hereby declare as follows:
 Print Name

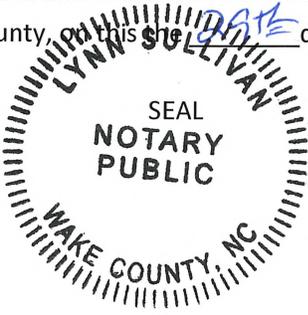
1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Minor Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7.B *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners and tenants abutting and within 500 feet of the subject property and any neighborhood association that represents citizens in the notification area via first class mail a minimum of 14 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at Apex Baptist Church; 110 S. Salem Street, Apex, NC 27502 (location/address) on July 28, 2025 (date) from 6:00 PM (start time) to 7:45 PM (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

7/29/2025
 Date

By: [Signature]

STATE OF NORTH CAROLINA
 COUNTY OF WAKE

Sworn and subscribed before me, Lynn Sullivan, a Notary Public for the above State and County, on this 28th day of June, 2025.



[Signature]
 Notary Public
Lynn Sullivan
 Print Name

My Commission Expires: 11/16/2027



APEX ENVIRONMENTAL ADVISORY BOARD

Suggested Zoning Conditions

The Town of Apex Environmental Advisory Board (EAB) offers this general list of suggested rezoning conditions for rezoning applicants to consider before filing a rezoning petition. The purpose of this list is to encourage and recommend implementation of exceptional environmental practices for future development that exceeds Town requirements. The Board will review each rezoning application and expand on suggested conditions by offering specific recommendations on a case-by-case basis.

The decision to include any of the recommendations below is voluntary by the applicant and the Board does not expect applicants to add all of the suggested conditions. Planning staff will include all zoning conditions suggested by this Board and will note which conditions have been added by the applicant in the staff reports to the Planning Board and Town Council. Applicants should review this list before meeting with the Board.

NOTE: **Text in green** indicates suggested zoning condition language from Planning Staff. Underlined text indicates text or numbers that may be changed based on the specific project. Additional conditions may be suggested by the EAB at the meeting.

Residential and Non-Residential Development Categories and Coverage

Part I applies to all developments; Part II applies exclusively to residential developments, and Part III exclusively to non-residential developments. Your development may include elements of each part.

- **Part I** – Includes suggestions for **BOTH** residential and non-residential developments (see definitions below).
- **Part II – Residential** applies to single-family dwellings and townhome subdivisions, but does not include the parking lots, exterior building lights or exterior architecture.

Part III – Non-Residential includes condominiums, apartments, and multi-family, common areas in residential developments (e.g. amenity areas, parking lots, exterior building lights, and exterior architecture), commercial, office, and industrial areas

Please be sure to read and complete the entire document. Please select “Yes” to each zoning condition you are proposing to add to your rezoning application. Any proposed modifications to the green zoning language should be listed in the section at the end of the document.

NOTICE OF NEIGHBORHOOD MEETING

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

December 19, 2025

Date

Dear Neighbor:

You are invited to a neighborhood meeting to review and discuss the development proposal at
 111 Jones Street 0742302925

Address(es)

PIN(s)

in accordance with the Town of Apex Neighborhood Meeting procedures. This meeting is intended to be a way for the applicant to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the Town. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is officially submitted. If you are unable to attend, please refer to the Project Contact Information page for ways to contact the applicant. Notified neighbors may request that the applicant provide updates and send plans via email or mail. Once an application has been submitted to the Town, it may be tracked using the [Interactive Development Map](#) or the [Apex Development Report](#) located on the Town of Apex website at <http://www.apexnc.org/180>. Applications for Rezoning must hold a second Neighborhood Meeting in the month prior to the anticipated public hearing date.

A Neighborhood Meeting is required because this project includes (check all that apply):

Application Type	Approving Authority
<input checked="" type="checkbox"/> Rezoning (including Planned Unit Development)	Town Council
<input type="checkbox"/> Major Site Plan	Technical Review Committee (staff)
<input type="checkbox"/> Minor Site Plan for the uses "Day care facility", "Government service", "School, public or private", "Restaurant, drive-through", or "Convenience store with gas sales"	Technical Review Committee (staff)
<input type="checkbox"/> Special Use Permit	Board of Adjustment (QJPH*)
<input type="checkbox"/> Residential Master Subdivision Plan (excludes exempt subdivisions)	Technical Review Committee (staff)

*Quasi-Judicial Public Hearing: The Board of Adjustment cannot discuss the project prior to the public hearing.

The following is a description of the proposal (also see attached map(s) and/or plan sheet(s)):

The applicant has proposed to rezone the property to Office & Institutional District-Conditional Zoning (O&I-CZ)

to allow construction of parking and/or office space for Apex Baptist Church.

Estimated submittal date: Submitted on August 1, 2025

MEETING INFORMATION:

Property Owner(s) name(s): APEX BAPTIST CHURCH, INC.
 Applicant(s): APEX BAPTIST CHURCH, INC. c/o Mathew Carpenter
 Contact information (email/phone): matthewcarpenter@parkerpoe.com; (919) 835-4032
 Meeting Address: Apex Baptist Church; 110 S. Salem Street, Apex, NC 27502
 Date/Time of meeting**: January 8, 2026

Welcome: 6:00 PM Project Presentation: between 6:00 - 7:00PM Question & Answer: between 6:00 - 7:00PM

**Meetings shall occur between 5:00 p.m.-9:00 p.m. on a Monday through Thursday (excluding Town recognized holidays). If you have questions about the general process for this application, please contact the Planning Department at 919-249-3426. You may also find information about the Apex Planning Department and on-going planning efforts at <http://www.apexnc.org/180>.



To: Neighboring Property Owners and Tenants
From: Matthew J. Carpenter
Date: December 19, 2025

Re: Notice of Second Neighborhood Meeting

You are invited to attend a second neighborhood meeting on January 8, 2026 at 6:00pm at Apex Baptist Church (110 S. Salem Street, Apex, NC 27502) to discuss 25CZ12, the requested rezoning of 111 Jones Street (PIN 0742302925) from Mixed Office-Residential-Retail District-Conditional Use (MORR-CU) to Office & Institutional District-Conditional Zoning (O&I-CZ). The purpose of the rezoning is to allow construction of parking and/or office space for Apex Baptist Church.

During the meeting, the applicant will describe the nature of the rezoning request, provide updates since the first neighborhood meeting, and field any questions from the public. Enclosed are: (1) a vicinity map outlining the location of the parcel; (2) a zoning map of the area; (3) a project contact information sheet; and (4) a common construction issues & who to call information sheet.

If you have any questions about this rezoning, please contact me at (919) 835-4032 or via email at matthewcarpenter@parkerpoe.com.

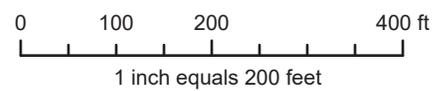
Sincerely,

Matthew J. Carpenter



111 Jones Street

Vicinity Map



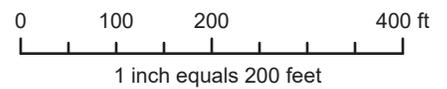
Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are **NOT** surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.



111 Jones Street

Zoning Map

Current Zoning: MORR-CU



Disclaimer

iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

PROJECT CONTACT INFORMATION

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Development Contacts:

Project Name: Apex Baptist Church Rezoning Zoning: MORR-CU

Location: 111 Jones Street

Property PIN(s): 0742302925 Acreage/Square Feet: 1.05 ac

Property Owner: APEX BAPTIST CHURCH, INC.

Address: 110 S. Salem Street

City: Apex State: NC Zip: 27502

Phone: _____ Email: _____

Developer: APEX BAPTIST CHURCH, INC. c/o Mathew Carpenter

Address: 301 Fayetteville Street, Suite 1400

City: Raleigh State: NC Zip: 27601

Phone: (919) 835-4032 Fax: N/A Email: matthewcarpenter@parkerpoe.com

Engineer: To Be Determined.

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ Fax: _____ Email: _____

Builder (if known): APEX BAPTIST CHURCH, INC. c/o Mathew Carpenter

Address: 301 Fayetteville Street, Suite 1400

City: Raleigh State: NC Zip: 27601

Phone: (919) 835-4032 Fax: N/A Email: matthewcarpenter@parkerpoe.com

Please note that Town staff will not have complete information about a proposed development until the application is submitted for review. If you have a question about Town development standards and how they relate to the proposed development, please contact the appropriate staff person listed below.

Town of Apex Department Contacts	
Planning Department Main Number (Provide development name or location to be routed to correct planner)	(919) 249-3426
Parks, Recreation & Cultural Resources Department Angela Reincke, Parks Planning Project Manager	(919) 372-7468
Transportation & Infrastructure Development Russell Dalton, Traffic Engineering Manager	(919) 249-3358
Water Resources Department Jessica Bolin, Environmental Engineering Manager (Stormwater, Sedimentation & Erosion Control)	(919) 249-3537
Matt Reker, Utility Engineer/FOG Program Manager (Water & Sewer)	(919) 946-4394
Electric Utilities Division Jared Harris, Electric Technical Services Manager	(919) 372-7466

COMMON CONSTRUCTION ISSUES & WHO TO CALL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Noise & Hours of Construction:	Non-Emergency Police	919-362-8661
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Noise from tree removal, grading, excavating, paving, and building structures is a routine part of the construction process. The Town generally limits construction hours from 7:00 am to 8:30 pm so that there are quiet times even during the construction process. Note that construction outside of these hours is allowed with special permission from the Town when it makes more sense to have the construction occur at night, often to avoid traffic issues. In addition, the Town limits hours of blasting rock to Monday-Friday from 8:00 am to 5:00 pm. Report violations of construction hours and other noise complaints to the Non-Emergency Police phone number at 919-362-8661.

Construction Traffic:	Infrastructure Inspections	919-249-3386
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Construction truck traffic will be heavy throughout the development process, including but not limited to removal of trees from site, loads of dirt coming in and/or out of the site, construction materials such as brick and wood brought to the site, asphalt and concrete trucks come in to pave, etc. The Town requires a construction entrance that is graveled to try to prevent as much dirt from leaving the site as possible. If dirt does get into the road, the Town can require they clean the street (see "Dirt in the Road" below).

Road Damage & Traffic Control:	Infrastructure Inspections	919-249-3386
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There can be issues with roadway damage, roadway improvements, and traffic control. Potholes, rutting, inadequate lanes/signing/stripping, poor traffic control, blocked sidewalks/paths are all common issues that should be reported to Transportation & Infrastructure Development – Infrastructure Inspections at 919-249-1109. The Town will get NCDOT involved if needed.

Parking Violations:	Non-Emergency Police	919-362-8661
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Unless a neighbor gives permission, there should be no construction parking in neighbors' driveways or on their property. Note that parking in the right-of-way is allowed, but Town regulations prohibit parking within 15 feet of driveways so as not to block sight triangles. Trespassing and parking complaints should be reported to the Non-Emergency Police phone number at 919-362-8661.

Dirt in the Road:	Water Resources	919-362-8166
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Sediment (dirt) and mud gets into the existing roads due to rain events and/or vehicle traffic. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed. Staff will coordinate the cleaning of the roadways with the developer.

Dirt on Properties or in Streams:	Water Resources	919-362-8166
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Sediment (dirt) can leave the site and get onto adjacent properties or into streams and stream buffers; it is typically transported off-site by rain events. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that staff can coordinate the appropriate repairs with the developer.

Dust:	Water Resources	919-362-8166
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During dry weather dust often becomes a problem blowing into existing neighborhoods or roadways. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that staff can coordinate the use of water trucks onsite with the grading contractor to help control the dust.

Trash:	Water Resources	919-362-8166
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Excessive garbage and construction debris can blow around on a site or even off of the site. These incidents should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed. Staff will coordinate the cleanup and trash collection with the developer/home builder.

Temporary Sediment Basins:	Water Resources	919-362-8166
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Temporary sediment basins during construction (prior to the conversion to the final stormwater pond) are often quite unattractive. Concerns should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed so that he can coordinate the cleaning and/or mowing of the slopes and bottom of the pond with the developer.

Stormwater Control Measures:	Water Resources	919-362-8166
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Post-construction concerns related to Stormwater Control Measures (typically a stormwater pond) such as conversion and long-term maintenance should be reported by visiting the Report a Concern page at <https://www.apexnc.org/1173/> or by calling the number listed.

Electric Utility Installation:	Electric Utilities	919-249-3531
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Concerns with electric utility installation can be addressed by the Apex Electric Utilities Department.

NEIGHBORHOOD MEETING SIGN-IN SHEET

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

Meeting Address: 110 S. Salem Street, Apex, NC 27502
 Date of meeting: 1/8/2026 Time of meeting: 6:00 pm
 Property Owner(s) name(s): Apex Baptist Church
 Applicant(s): Apex Baptist Church

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only. For virtual meetings, applicants must include all known participants and request the information below.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Don Grimes	210 S. Salem St	919-303-7328		<input type="checkbox"/>
2.	Laura Grimes	"	"		<input type="checkbox"/>
3.	Cheryl Koch	218 W. Chatham St	919 906 0571		<input checked="" type="checkbox"/>
4.	Kew Koch	"	919 242 6871		<input checked="" type="checkbox"/>
5.	Karla Gertis	206 W. Chatham	919-622-0133		<input checked="" type="checkbox"/>
6.	Mary Trotter	215 W Chatham	919-815-5328		<input checked="" type="checkbox"/> net
7.	Penny Maguire	210 W. Chatham	919-819-6323		<input checked="" type="checkbox"/>
8.	ROGER SQUIRES	207 HOLLEMAN ST	919-414-9246		<input checked="" type="checkbox"/>
9.	Brian Yates	7113 Beaver Trl	919-422-0739		<input type="checkbox"/>
10.	Bob Conolly	104 Jones St.	919-924-3091		<input type="checkbox"/>
11.	Debby "	"	" " 308		<input type="checkbox"/>
12.	Michael Kunters	309 W. Chatham.	919-427-3586		<input checked="" type="checkbox"/>
13.	Colleen Kunters	309 W. Chatham.	919-427-3159		<input checked="" type="checkbox"/>
14.					<input type="checkbox"/>

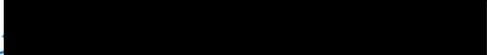
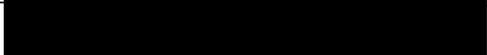
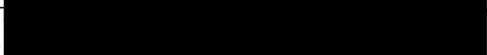
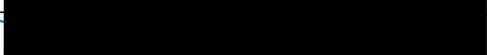
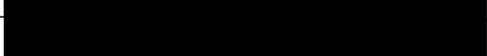
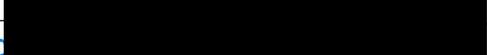
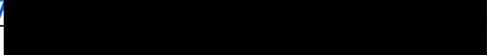
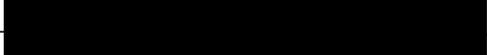
Use additional sheets, if necessary.

NEIGHBORHOOD MEETING SIGN-IN SHEET

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Meeting Address: 110 S. Salem Street
 Date of meeting: 1/8/2026 Time of meeting: 6:00 PM
 Property Owner(s) name(s): Apex Baptist Church
 Applicant(s): Apex Baptist Church

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only. For virtual meetings, applicants must include all known participants and request the information below.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Karen Cooper	211 W Chatham	919 523 1911		<input checked="" type="checkbox"/>
2.	Paula Banning	222 W Chatham	919 656-5185		<input checked="" type="checkbox"/>
3.	Donna D. Hibbard	110 Jones St			<input checked="" type="checkbox"/>
4.	Jeanette Jones	502 DIVE ST	919-362-8984		<input checked="" type="checkbox"/>
5.	David & Magee Jaski	203 Holloman St	919 523 5645		<input checked="" type="checkbox"/>
6.	Perry & Debra Cox	207 Hudson Ave	919-924-6431		<input type="checkbox"/>
7.	Mike & Tonya Proctor	115 S Salem St	919 730 6369		<input checked="" type="checkbox"/>
8.	Don & Gloria Murdock	304 W CHATHAM ST	919 624 9766		<input checked="" type="checkbox"/>
9.	Kelly Radford	108 Jones St	919 210 7786		<input checked="" type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>

Use additional sheets, if necessary.

NEIGHBORHOOD MEETING SIGN-IN SHEET

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Meeting Address: 110 S. Salem St.
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Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number and email address. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only. For virtual meetings, applicants must include all known participants and request the information below.

	NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS & UPDATES
1.	Amick, Charles	9212 Green Level Ch Rd (on 219 W Chatham)	919-368-2503	[REDACTED]	<input checked="" type="checkbox"/>
2.	Dieter, Eric	11 11	11 -2504	[REDACTED]	<input type="checkbox"/>
3.	Andrea Pomarino	223 W. Chatham	248-756-3007	[REDACTED]	<input checked="" type="checkbox"/>
4.					<input type="checkbox"/>
5.					<input type="checkbox"/>
6.					<input type="checkbox"/>
7.					<input type="checkbox"/>
8.					<input type="checkbox"/>
9.					<input type="checkbox"/>
10.					<input type="checkbox"/>
11.					<input type="checkbox"/>
12.					<input type="checkbox"/>
13.					<input type="checkbox"/>
14.					<input type="checkbox"/>

Use additional sheets, if necessary.

**Apex Baptist Church Rezoning
Summary of Second Neighborhood Meeting
January 8, 2026**

I. WELCOME

- a. Introduction - Matthew Carpenter w/ Parker Poe on behalf of Apex Baptist Church; Staley Smith with Apex Baptist planned to be here, but he could not attend due to a family emergency.
- b. Explanation of process. This is the second neighborhood meeting for a rezoning request by the church. We held the first neighborhood meeting July 28 of last year. At that time, we had not yet filed our rezoning application but were gathering feedback as we worked on our application. We did file our application August 1 and over the last six months have been working with Town staff to revise our application. The purpose of tonight's meeting is to give you an update on the case. Since there may be folks here that weren't at the first meeting, I'll give an overview of the case, share updates since the last meeting, and then be happy to answer any questions.

II. PRESENTATION

- a. Site Overview - location and existing uses adjacent
 - i. 1 acre lot at the corner of Jones Street and Holleman Street
 - ii. Main Apex Baptist parking lot and campus adjacent to the east
 - iii. Residential neighborhoods adjacent to the north and west
 - iv. Jones Street Park to the south
 - v. Property has two structures on the lot - the Martha Bailey House and a concrete block structure. The church currently uses the lot for overflow parking and the Martha Bailey House as office space.
 - vi. The church purchased the lot for \$400,000 in 2006.
- b. Proposed Zoning and Land Use Map Designation
 - i. A lot has changed since 2006 - for the church and for downtown Apex. The church, and downtown, have grown significantly and the church has had a big parking problem for several years.
 - ii. For the last few years, the church has explored options to meet the needs of the growing church which has led to the solution discussed at the first neighborhood meeting - a tabletop parking structure on the property.
 - iii. The lot is currently zoned MORR-CZ and the conditions only allow parking to the side and rear of buildings, so the church needs a rezoning to permit construction of the deck.
 - iv. The proposal is to rezone the property to O&I-CZ to permit construction of the deck.
 - v. The LUM is the primary document the Town reviews in evaluating a rezoning request and designates this property for office/medium density residential. So, the proposed zoning district, together with existing residential neighborhoods, is consistent with the LUM designation.
 - vi. The CZ designation means the case is a conditional rezoning case and we have several rezoning conditions we've worked through with Town staff that, if approved, will run with the land.
- c. Historic Designations

- i. The property is in the downtown Apex Historic District. As I mentioned, there are two structures on the property - the Martha Bailey House and the Concrete Block Structure.
- ii. As we discussed at the first neighborhood meeting in July, the church's original plans were to relocate the Bailey House offsite to another lot the church owns and build the parking deck on the entire lot.
- iii. At the first neighborhood meeting, we received a letter from the Bailey sisters who grew up in the house requesting the church not tear the house down.
- iv. In August, we filed the rezoning case with rezoning conditions that specified the house would be relocated offsite and permanently preserved.
- v. In September, we received a neighborhood statement signed by several folks here tonight requesting the Bailey House be preserved on site rather than relocated. The statement outlined several options including keeping the Bailey house on site and building a parking deck behind it.
- vi. We're happy to provide an update this evening that we've updated the rezoning conditions to state the Bailey House will be permanently preserved on site on the existing lot. The plan is to move the Bailey House closer to Jones Street and build the parking deck behind it. This change has several benefits including:
 - 1. The Bailey House will be preserved on its lot in the Downtown Apex National Register Historic District. We are not asking that the property be removed from the historic district or for any other changes to the historic district boundary.
 - 2. The change will preserve the residential character of Jones Street with the parking deck as a natural extension of the existing church parking lot.
- d. Other Proposed Rezoning Conditions
 - i. We've also added several other important zoning conditions including:
 - 1. Architectural conditions that the structure will include a brick wall or other opaque screening with a minimum height of 3.5 feet, max blank wall area, and commitment that the ground floor façade will be continued on upper stories.
 - 2. A lighting condition that lights will be extinguished by midnight, max color temperature will not exceed 3,000K (stricter than UDO requirement), and light poles will be placed along the perimeter with full cutoff shades.
 - 3. Traffic/access condition that only one level of parking shall have access to and from Jones Street.
- e. Rezoning Process and Timeline
 - i. Targeting February Planning Board and Town Council meetings. Planning Board will hold a public hearing where anyone can speak for or against the rezoning and make a recommendation to Town Council whether to approve or deny the case. Approx. two weeks later, Town Council will also hold a public hearing and make the ultimate decision on the rezoning.

III. SUMMARY OF QUESTION AND ANSWER PERIOD

- a. By how many spaces does the change reduce the parking structure?

- i. While the final deck hasn't been designed, we estimate the change results in a loss of around 70 spaces from the initial concept deck which covered the entire lot and stretched all the way to Jones Street.*
- b. Does the church really need that much parking? Is this the best option?
 - i. Yes, the church has a huge parking need, especially on Sundays. The church is already maxing out its surface parking lot and shuttling folks from satellite parking lots to the church. This solution allows the church to meet parking demand on a lot it already owns without having to acquire additional property, displace current downtown residents or businesses, or compete for parking with growing downtown businesses.*
- c. Has the church looked at purchasing other property?
 - i. Yes, but generally speaking, there is not vacant land in downtown Apex and other sites are not as proximate to the existing church parking lot.*
- d. How many driveways will the parking deck have?
 - i. The design has not been finalized and driveway locations will be determined at Site Plan; although, we expect there will be one driveway on Jones Street and one on Holleman Street.*
- e. Where will the driveway on Jones Street be located given the preservation of the Bailey House?
 - i. Most likely to the north of the Bailey House in the approximate location of the current driveway.*
- f. Has the church considered leaving the home in its current location (rather than moving it closer to Jones Street) and building a smaller parking deck behind it?
 - i. With the recent commitment to preserve the Bailey House on site, the church lost approximately 70 spaces in the deck. If the Bailey House remains in its current location, the size of the parking deck would be reduced further to the point it would no longer be financially feasible to build the deck at all.*
- g. Could the church not purchase and build a parking deck on the former bank building parcel at 202 S. Salem Street?
 - i. The UDO prohibits parking garages on S. Salem Street. Additionally, the property is not for sale to our knowledge. It's also at an intersection and separated from the church and existing church parking lot by a road.*
- h. The church does not care about this neighborhood and is not being fair to residents. All the church cares about is a parking deck that will be used for one day. Residents of the neighborhood will be harmed by the parking deck 24/7.
 - i. No one lives on the property and the deck will not be displacing anyone. The request is about more than just a parking deck. The church cares deeply about the community and is working hard to meet parking demand to continue serving the community and being a cornerstone of downtown Apex. The tabletop deck concept is the product of years of work and the preservation of the Bailey House on site is an expensive commitment the church has voluntarily undertaken in response to neighborhood concerns in consideration of the historic character of the area. The church could have demolished the structures years ago, but instead has opted to work with the community and through the rezoning process in good faith.*

AFFIDAVIT OF CONDUCTING A NEIGHBORHOOD MEETING, SIGN-IN SHEET AND ISSUES/RESPONSES SUBMITTAL

This document is a public record under the North Carolina Public Records Act and may be published on the Town's website or disclosed to third parties.

I, Matthew J. Carpenter, do hereby declare as follows:
Print Name

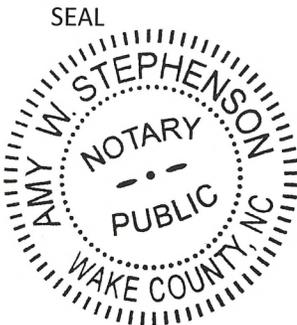
1. I have conducted a Neighborhood Meeting for the proposed Rezoning, Major Site Plan, Minor Site Plan, Residential Master Subdivision Plan, or Special Use Permit in accordance with UDO Sec. 2.2.7.B *Neighborhood Meeting*.
2. The meeting invitations were mailed to the Apex Planning Department, all property owners and tenants abutting and within 500 feet of the subject property and any neighborhood association that represents citizens in the notification area via first class mail a minimum of 14 days in advance of the Neighborhood Meeting.
3. The meeting was conducted at Apex Baptist Church
110 S. Salem St. (location/address)
on January 8 (date) from 6:00 PM (start time) to 7:30 PM (end time).
4. I have included the mailing list, meeting invitation, sign-in sheet, issue/response summary, and zoning map/reduced plans with the application.
5. I have prepared these materials in good faith and to the best of my ability.

1/20/2026
Date

By: [Signature]

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me, Matthew J. Carpenter, a Notary Public for the above State and County, on this the 20th day of January, 2026.



Amy W. Stephenson
Notary Public
Amy W. Stephenson
Print Name

My Commission Expires: 10/2/2028

OWNER	MAILING ADDRESS	
209 W CHATHAM STREET LLC	1720 MIRAMAR DR	VENTURA CA 93001-2345
ANDERSON, HANNAH DIXON, HARRISON	214 W CHATHAM ST	APEX NC 27502-1408
APEX BAPTIST CHURCH INC	110 S SALEM ST	APEX NC 27502-1823
APEX TOWN OF	PO BOX 250	APEX NC 27502-0250
BANNING, PAULA H	222 W CHATHAM ST	APEX NC 27502-1408
BRENNAN, ROBERT OWEN BRENNAN, AMBER ROSE	506 KELLYRIDGE DR	APEX NC 27502-9531
C & D INVESTMENT CO INC	THOMAS DIXON	2950 SANDY FORD RD
CAREY C JONES MEMORIAL PARK INC	PO BOX 781	APEX NC 27502-0781
CONOLTY, ROBERT H III CONOLTY, DEBRAH J	104 JONES ST	APEX NC 27502-1819
COPE, CHARLES V COPE, SUSAN M	306 W CHATHAM ST	APEX NC 27502-1410
COX, PERRY COX, DEBRA	721 HILLSFORD LN	APEX NC 27502-6270
CRETA, ERIC D CRETA, PATRICIA POLLOCK	203 W MOORE ST	APEX NC 27502-1820
FARRELL, ANN B FARRELL, ROBERT G	308 HOLLEMAN ST	APEX NC 27502-1814
FOWLER, ANGELA JONES	4308 OAK HOLLOW DR	HIGH POINT NC 27265-9652
GERTIS, KARLA S	206 W CHATHAM ST	APEX NC 27502-1408
GILBERT, JUDITH P NIMMO, ELLEN J	404 W CHATHAM ST	APEX NC 27502-1412
GOODWIN, LARRY P II	404 HOLLEMAN ST	APEX NC 27502-1816
GRIMES, DONALD W GRIMES, LAURA M	210 S SALEM ST	APEX NC 27502-1825
HIBBERT, DONNA DAVIES	110 JONES ST	APEX NC 27502-1819
HOLLEMAN STREET LLC	109 HOLLEMAN ST	APEX NC 27502-1809
JASKI, DAVID JOHN JASKI, MAGEE JASPER	1422N WRAGBY LN	APEX NC 27502-6605
JEREMIAH 29 11 PROPERTIES LLC	207 W CHATHAM ST	APEX NC 27502-1895
JONES, GLENN THEOPHILUS TRUSTEE JONES, BRENDA RAGAN TRUSTEE	614 SUNSET AVE	APEX NC 27502-1344
JOYNER, JASON A JOYNER, JENNIFER E	206 S SALEM ST	APEX NC 27502-1825
KANTERS, MICHAEL ANTHONY KANTERS, COLLEEN KENNY	309 W CHATHAM ST	APEX NC 27502-1409
KOCH, KENNETH E JR KOCH, CHERYL H	218 W CHATHAM ST	APEX NC 27502-1408
KPW INVESTMENTS LLC	108 W CHATHAM ST	APEX NC 27502-1406
KRUEGER, TIMOTHY J KRUEGER, GRETCHEN W	1203 CAIRPHILLY CASTLE CT	APEX NC 27502-4064
MAGUIRE, PENELOPE	210 W CHATHAM ST	APEX NC 27502-1408
MARTIN, SYLVIA EDWARDS MARTIN, ANNA HAMILTON	310 W CHATHAM ST	APEX NC 27502-1410
MURDOCK, DANIEL W MURDOCK, GRETA LYN	304 W CHATHAM ST	APEX NC 27502-1410
PEAK CITY PROPERTIES LLC	260 MOUNT PISGAH CHURCH RD	APEX NC 27523-5506
PEAKWAY LIVING LLC	PO BOX 457	APEX NC 27502-0457
POMARICO, WILLIAM ANGELO JR ABATEMARCO, ANDREA JEAN	223 W CHATHAM ST	APEX NC 27502-1407
PURTELL, GREGORY STEVEN PURTELL, STEVEN M	205 W MOORE ST	APEX NC 27502-1820
RADFORD, BRUCE A RADFORD, KELLY M	108 JONES ST	APEX NC 27502-1819
RADFORD, KELLY MARTIN	108 JONES ST	APEX NC 27502-1819
READER PROPERTIES LLC	202 W CHATHAM ST	APEX NC 27502-1408
RICHARD, ANN M RICHARD, DIETER P	9212 GREEN LEVEL CHURCH RD	CARY NC 27519-8308
SQUIRES, ROGER M COLUCCI, ANGEL L	207 HOLLEMAN ST	APEX NC 27502-1811
STEPHENS, ERIC STEPHENS, ANN	311 W CHATHAM ST	APEX NC 27502-1409
STEPHENS, ERIC THOMAS STEPHENS, ANN MOORE	311 W CHATHAM ST	APEX NC 27502-1409
TALBERT, CYNTHIA D	211 HUDSON AVE	APEX NC 27502-1840
TROTTER, MARY NELL	215 W CHATHAM ST	APEX NC 27502-1407
WILKINSON PROPERTIES OF NORTH CAROLINA LLC	104 DOWNING PL	APEX NC 27502-9342
WRENNWOOD DEVELOPMENT LLC	PO BOX 4122	CARY NC 27519-4122
Current Tenant	104 W Chatham ST	APEX NC 27502
Current Tenant	106 W Chatham ST	APEX NC 27502
Current Tenant	106 W Chatham ST Suite 200	APEX NC 27502
Current Tenant	200 W Chatham ST	APEX NC 27502
Current Tenant	209 W Chatham ST	APEX NC 27502
Current Tenant	211 W Chatham ST Unit A	APEX NC 27502
Current Tenant	211 W Chatham ST Unit B	APEX NC 27502
Current Tenant	219 W Chatham ST	APEX NC 27502
Current Tenant	219A W Chatham ST	APEX NC 27502
Current Tenant	219B W Chatham ST	APEX NC 27502
Current Tenant	203 Holleman ST	APEX NC 27502
Current Tenant	400 Holleman ST	APEX NC 27502
Current Tenant	207 Hudson AVE	APEX NC 27502
Current Tenant	107 Jones ST	APEX NC 27502
Current Tenant	111 Jones ST	APEX NC 27502
Current Tenant	112 Jones ST	APEX NC 27502
Current Tenant	200 W Moore ST	APEX NC 27502
Current Tenant	206 W Moore ST	APEX NC 27502
Current Tenant	210 W Moore ST	APEX NC 27502
Current Tenant	202 S Salem ST	APEX NC 27502
Current Tenant	212 S Salem ST	APEX NC 27502

NEWTON NC 28658-9201



TOWN OF APEX

POST OFFICE BOX 250
APEX, NORTH CAROLINA 27502
PHONE 919-249-3426

PUBLIC NOTIFICATION OF PUBLIC HEARINGS CONDITIONAL ZONING #25CZ12 Apex Baptist Church

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Planning Board of the Town of Apex. The purpose of these hearings is to consider the following:

Applicant: Apex Baptist Church, Inc.

Authorized Agent: Matthew Carpenter, Parker Poe and Staley Smith

Property Address: 111 Jones Street

Acreage: ±1.05 acres

Property Identification Number (PIN): 0742302925

2045 Land Use Map Designation: Medium Density Residential/Office Employment

Existing Zoning of Property: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)

Proposed Zoning of Property: Office & Institutional-Conditional Zoning (O&I-CZ)

Public Hearing Location: Apex Town Hall
Council Chamber, 2nd Floor
73 Hunter Street, Apex, North Carolina

Planning Board Public Hearing Date and Time: February 9, 2026 4:30 PM

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

If you are unable to attend, you may provide a written statement by email to public.hearing@apexnc.org, or submit it to the clerk of the Planning Board, Jeri Pederson (322 N. Mason Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Planning Board vote. You must provide your name and address for the record. The written statements will be delivered to the Planning Board prior to their vote. Please include the Public Hearing name in the subject line.

A separate notice of the Town Council public hearing on this project will be mailed and posted in order to comply with State public notice requirements.

Vicinity Map:



Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/imaps>. The 2045 Land Use Map may be viewed online at www.apexnc.org/DocumentCenter/View/478. You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Planning Director

**TOWN OF APEX**

POST OFFICE BOX 250
APEX, NORTH CAROLINA 27502
PHONE 919-249-3426

**PUBLIC NOTIFICATION
OF PUBLIC HEARINGS
CONDITIONAL ZONING #25CZ12
Apex Baptist Church**

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Planning Board of the Town of Apex. The purpose of these hearings is to consider the following:

Applicant: Apex Baptist Church, Inc.
Authorized Agent: Matthew Carpenter, Parker Poe and Staley Smith
Property Address: 111 Jones Street
Acreage: ±1.05 acres
Property Identification Number (PIN): 0742302925
2045 Land Use Map Designation: Medium Density Residential/Office Employment
Existing Zoning of Property: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)
Proposed Zoning of Property: Office & Institutional-Conditional Zoning (O&I-CZ)

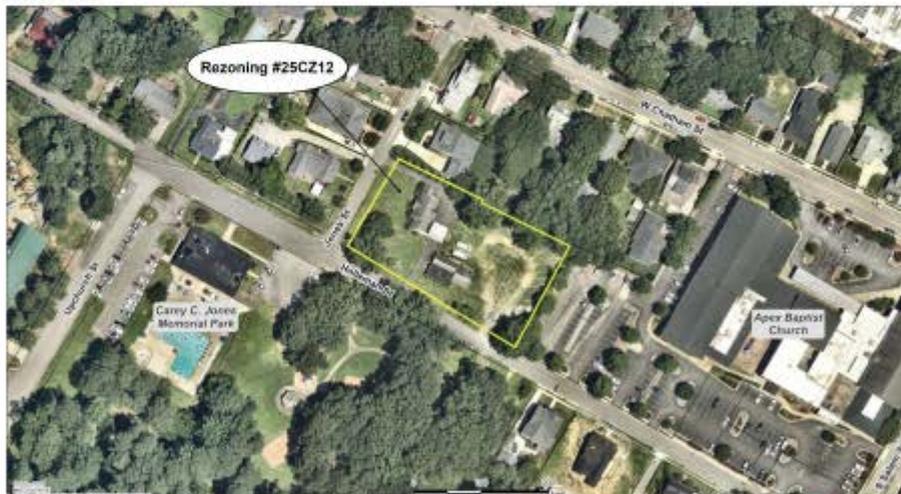
Public Hearing Location: Apex Town Hall
Council Chamber, 2nd Floor
73 Hunter Street, Apex, North Carolina

Planning Board Public Hearing Date and Time: February 9, 2026 4:30 PM

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at: <https://www.youtube.com/c/townofapexgov>.

If you are unable to attend, you may provide a written statement by email to public_hearing@apexnc.org or submit it to the clerk of the Planning Board, Jeri Pederson (322 N. Mason Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Planning Board vote. You must provide your name and address for the record. The written statements will be delivered to the Planning Board prior to their vote. Please include the Public Hearing name in the subject line.

A separate notice of the Town Council public hearing on this project will be mailed and posted in order to comply with State public notice requirements.

Vicinity Map:

Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/maps>. The 2045 Land Use Map may be viewed online at www.apexnc.org/DocumentCenter/View/478. You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Planning Director



TOWN OF APEX
PO BOX 250
APEX, NORTH CAROLINA 27502
TELÉFONO 919-249-3426

NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS
ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ12
Apex Baptist Church

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante la Junta de Planificación de Apex. El propósito de estas audiencias es considerar lo siguiente:

Solicitante: Apex Baptist Church, Inc.

Agente autorizado: Matthew Carpenter, Parker Poe and Staley Smith

Dirección de la propiedad: 111 Jones Street

Superficie: ±1.05 acres

Números de identificación de la propiedad: 0742302925

Designación en el Mapa de Uso Territorial para 2045: Medium Density Residential/Office Employment

Ordenamiento territorial existente de la propiedad: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)

Ordenamiento territorial propuesto para la propiedad: Office & Institutional-Conditional Zoning (O&I-CZ)

Lugar de la audiencia pública: Ayuntamiento de Apex
Cámara del Consejo, 2º piso
73 Hunter Street, Apex, Carolina del Norte

Fecha y hora de la audiencia pública de la Junta de Planificación: 9 de febrero de 2026 4:30 P.M.

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a public.hearing@apexnc.org, o presentarla a la secretaria de la Junta de Planificación, Jeri Pederson (322 N. Mason Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación de la Junta de Planificación. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán a la Junta de Planificación antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

De conformidad con los requisitos estatales de notificaciones públicas, se enviará por correo y se publicará por separado una notificación de la audiencia pública del Consejo Municipal sobre este proyecto.

Mapa de las inmediaciones:



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: www.apexnc.org/DocumentCenter/View/478. Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Directora de Planificación



TOWN OF APEX
PO BOX 250
APEX, NORTH CAROLINA 27502
TELÉFONO 919-249-3426

NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS
ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ12
Apex Baptist Church

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante la Junta de Planificación de Apex. El propósito de estas audiencias es considerar lo siguiente:

Solicitante: Apex Baptist Church, Inc.

Agente autorizado: Matthew Carpenter, Parker Poe and Staley Smith

Dirección de la propiedad: 111 Jones Street

Superficie: ±1.05 acres

Números de identificación de la propiedad: 0742302925

Designación en el Mapa de Uso Territorial para 2045: Medium Density Residential/Office Employment

Ordenamiento territorial existente de la propiedad: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)

Ordenamiento territorial propuesto para la propiedad: Office & Institutional-Conditional Zoning (O&I-CZ)

Lugar de la audiencia pública: Ayuntamiento de Apex
Cámara del Consejo, 2º piso
73 Hunter Street, Apex, Carolina del Norte

Fecha y hora de la audiencia pública de la Junta de Planificación: 9 de febrero de 2026 4:30 P.M.

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a public.hearing@apexnc.org, o presentarla a la secretaria de la Junta de Planificación, Jeri Pederson (322 N. Mason Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación de la Junta de Planificación. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán a la Junta de Planificación antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

De conformidad con los requisitos estatales de notificaciones públicas, se enviará por correo y se publicará por separado una notificación de la audiencia pública del Consejo Municipal sobre este proyecto.

Mapa de las inmediaciones:



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: www.apexnc.org/DocumentCenter/View/478. Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Directora de Planificación

Fechas de publicación: 23 de enero – 9 de febrero de 2026



TOWN OF APEX
 POST OFFICE BOX 250
 APEX, NORTH CAROLINA 27502
 PHONE 919-249-3426

AFFIDAVIT CERTIFYING
Public Notification – Written (Mailed) Notice
 Section 2.2.11
 Town of Apex Unified Development Ordinance

Project Name: Conditional Zoning #25CZ12 Apex Baptist Church
 Project Location: 111 Jones Street
 Applicant or Authorized Agent: Matthew Carpenter
 Firm: Parker Poe
 Planning Board: February 9, 2026
 Public Hearing Date:
 Project Planner: Amanda Bunce

This is to certify that I, as Planning Director, mailed or caused to have mailed by first class postage for the above mentioned project on January 23, 2026, a notice containing the time and place, location, nature and scope of the application, where additional information may be obtained, and the opportunity for interested parties to be heard, to the property owners and tenants within 500' of the land subject to notification. I further certify that I relied on information from the Wake County Tax Assessor and the Town of Apex Master Address Repository provided to me by Town of Apex GIS Staff as to accuracy of the list and accuracy of mailing addresses of property owners and tenants within 500' of the land subject to notification.

1/27/2026
 Date

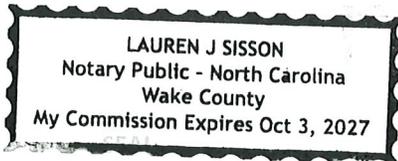
Sharré F. Khan
 Planning Director

STATE OF NORTH CAROLINA
 COUNTY OF WAKE

Sworn and subscribed before me, LAUREN J Sisson, a Notary Public for the above

State and County, this the 27th day of January, 2026.

LS
 Notary Public



My Commission Expires: 10 / 03 / 2027



TOWN OF APEX

POST OFFICE BOX 250
APEX, NORTH CAROLINA 27502
PHONE 919-249-3426

PUBLIC NOTIFICATION OF PUBLIC HEARINGS CONDITIONAL ZONING #25CZ12 Apex Baptist Church

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

Applicant: Apex Baptist Church, Inc.

Authorized Agent: Matthew Carpenter, Parker Poe and Staley Smith

Property Address: 111 Jones Street

Acreage: ±1.05 acres

Property Identification Number (PIN): 0742302925

2045 Land Use Map Designation: Medium Density Residential/Office Employment

Existing Zoning of Property: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)

Proposed Zoning of Property: Office & Institutional-Conditional Zoning (O&I-CZ)

Public Hearing Location: Apex Town Hall
Council Chamber, 2nd Floor
73 Hunter Street, Apex, North Carolina

Comments received prior to the Planning Board public hearing will not be provided to the Town Council. Separate comments for the Town Council public hearing must be provided by the deadline specified below.

Town Council Public Hearing Date and Time: February 24, 2026 6:00 PM

You may attend the meeting in person or view the meeting through the Town's YouTube livestream at:
<https://www.youtube.com/c/townofapexgov>.

If you are unable to attend, you may provide a written statement by email to public.hearing@apexnc.org, or submit it to the Office of the Town Clerk (73 Hunter Street or USPS mail - P.O. Box 250, Apex, NC 27502), at least two business days prior to the Town Council vote. You must provide your name and address for the record. The written statements will be delivered to the Town Council prior to their vote. Please include the Public Hearing name in the subject line.

Vicinity Map:



Property owners, tenants, and neighborhood associations within 500 feet of the proposed conditional zoning have been sent this notice via first class mail. All interested parties may submit comments with respect to the application by the means specified above. In addition to the above map, the location of the property may be viewed online at <https://maps.raleighnc.gov/imaps>. The 2045 Land Use Map may be viewed online at www.apexnc.org/DocumentCenter/View/478. You may call 919-249-3426, Planning Department, with questions or for further information. To view the petition and related documents on-line: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Planning Director



TOWN OF APEX
POST OFFICE BOX 250
APEX, NORTH CAROLINA 27502
PHONE 919-249-3426

**PUBLIC NOTIFICATION
OF PUBLIC HEARINGS
CONDITIONAL ZONING #25CZ12
Apex Baptist Church**

Pursuant to the provisions of North Carolina General Statutes §160D-602 and to the Town of Apex Unified Development Ordinance (UDO) Section 2.2.11, notice is hereby given of public hearings before the Town Council of the Town of Apex. The purpose of these hearings is to consider the following:

- Applicant:** Apex Baptist Church, Inc.
- Authorized Agent:** Matthew Carpenter, Parker Poe and Staley Smith
- Property Address:** 111 Jones Street
- Acreage:** ±1.05 acres
- Property Identification Number (PIN):** 0742302925
- 2045 Land Use Map Designation:** Medium Density Residential/Office Employment
- Existing Zoning of Property:** Mixed Office-Residential-Retail-Conditional Use (MDRR-CU #05CU11)
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73 Hunter Street, Apex, North Carolina

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Dianne F. Khin, AICP
Planning Director



TOWN OF APEX

PO BOX 250
APEX, NORTH CAROLINA 27502
TELÉFONO 919-249-3426

NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS

ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ12
Apex Baptist Church

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante el Consejo Municipal del Ayuntamiento de Apex. El propósito de estas audiencias es considerar lo siguiente:

Solicitante: Apex Baptist Church, Inc.

Agente autorizado: Matthew Carpenter, Parker Poe and Staley Smith

Dirección de la propiedad: 111 Jones Street

Superficie: ±1.05 acres

Números de identificación de la propiedad: 0742302925

Designación en el Mapa de Uso Territorial para 2045: Medium Density Residential/Office Employment

Ordenamiento territorial existente de la propiedad: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)

Ordenamiento territorial propuesto para la propiedad: Office & Institutional-Conditional Zoning (O&I-CZ)

Lugar de la audiencia pública: Ayuntamiento de Apex
Cámara del Consejo, 2º piso
73 Hunter Street, Apex, Carolina del Norte

Los comentarios recibidos antes de la audiencia pública de la Junta de Planificación no se proporcionarán al Consejo Municipal. Los comentarios para la audiencia pública del Consejo Municipal deben presentarse por separado en el plazo especificado a continuación.

Fecha y hora de la audiencia pública del Consejo Municipal: 24 de febrero de 2026 6:00 P.M.

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a public.hearing@apexnc.org, o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

Mapa de las inmediaciones:



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: www.apexnc.org/DocumentCenter/View/478. Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Directora de Planificación



TOWN OF APEX
PO BOX 250
APEX, NORTH CAROLINA 27502
TELEFONO 919-249-3426

NOTIFICACIÓN PÚBLICA DE AUDIENCIAS PÚBLICAS
ORDENAMIENTO TERRITORIAL CONDICIONAL #25CZ12
Apex Baptist Church

De conformidad con las disposiciones de los Estatutos Generales de Carolina del Norte §160D-602 y con la Sección 2.2.11 de la Ordenanza de Desarrollo Unificado (UDO) del ayuntamiento de Apex, por la presente se notifican las audiencias públicas ante el Consejo Municipal del Ayuntamiento de Apex. El propósito de estas audiencias es considerar lo siguiente:

Solicitante: Apex Baptist Church, Inc.
Agente autorizado: Matthew Carpenter, Parker Poe and Staley Smith
Dirección de la propiedad: 111 Jones Street
Superficie: ±1.05 acres
Números de identificación de la propiedad: 0742302925
Designación en el Mapa de Uso Territorial para 2045: Medium Density Residential/Office Employment
Ordenamiento territorial existente de la propiedad: Mixed Office-Residential-Retail-Conditional Use (MORR-CU #05CU11)
Ordenamiento territorial propuesto para la propiedad: Office & Institutional-Conditional Zoning (O&I-CZ)

Lugar de la audiencia pública: Ayuntamiento de Apex
Cámara del Consejo, 2º piso
73 Hunter Street, Apex, Carolina del Norte

Los comentarios recibidos antes de la audiencia pública de la Junta de Planificación no se proporcionarán al Consejo Municipal. Los comentarios para la audiencia pública del Consejo Municipal deben presentarse por separado en el plazo especificado a continuación.

Fecha y hora de la audiencia pública del Consejo Municipal: 24 de febrero de 2026 6:00 P.M.

Puede asistir a la reunión de manera presencial o seguir la transmisión en directo por YouTube a través del siguiente enlace: <https://www.youtube.com/c/townofapexgov>.

Si no puede asistir, puede enviar una declaración escrita por correo electrónico a public_hearing@apexnc.org, o presentarla a la oficina del Secretario Municipal (73 Hunter Street o por correo USPS a P.O. Box 250, Apex, NC 27502), al menos dos días hábiles antes de la votación del Consejo Municipal. Debe proporcionar su nombre y dirección para que conste en el registro. Las declaraciones escritas se entregarán al Consejo Municipal antes de la votación. No olvide incluir el nombre de la audiencia pública en el asunto.

Mapa de las inmediaciones:



Los propietarios, inquilinos y asociaciones de vecinos en un radio de 500 pies del Ordenamiento Territorial Condicional propuesto han recibido esta notificación por correo postal de primera clase. Todas las partes interesadas pueden presentar comentarios sobre la solicitud a través de los medios especificados anteriormente. La ubicación de la propiedad también puede verse aquí: <https://maps.raleighnc.gov/imaps>. Puede ver el Mapa de Uso Territorial para 2045 aquí: www.apexnc.org/DocumentCenter/View/478. Si tiene preguntas o desea obtener más información, puede comunicarse con el Departamento de Planificación al 919-249-3426. Puede ver la solicitud y otros documentos relacionados aquí: <https://www.apexnc.org/DocumentCenter/View/51500/25CZ12>.

Dianne F. Khin, AICP
Directora de Planificación



TOWN OF APEX

POST OFFICE BOX 250
APEX, NORTH CAROLINA 27502
PHONE 919-249-3426

**AFFIDAVIT CERTIFYING
Public Notification – Written (Mailed) Notice**

Section 2.2.11
Town of Apex Unified Development Ordinance

Project Name: Conditional Zoning #25CZ12 Apex Baptist Church
Project Location: 111 Jones Street
Authorized Agent: Matthew Carpenter
Firm: Parker Poe
Town Council Public Hearing Date: February 24, 2026
Project Planner: Amanda Bunce

This is to certify that I, as Planning Director, mailed or caused to have mailed by first class postage for the above mentioned project on January 30, 2026, a notice containing the time and place, location, nature and scope of the application, where additional information may be obtained, and the opportunity for interested parties to be heard, to the property owners and tenants within 500' of the land subject to notification. I further certify that I relied on information from the Wake County Tax Assessor and the Town of Apex Master Address Repository provided to me by Town of Apex GIS Staff as to accuracy of the list and accuracy of mailing addresses of property owners and tenants within 300' of the land subject to notification.

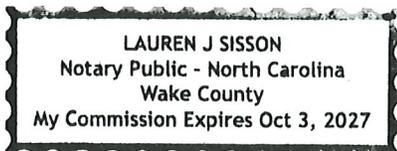
2/2/2026
Date

Shirley F. Klein
Planning Director

STATE OF NORTH CAROLINA
COUNTY OF WAKE

Sworn and subscribed before me, Lauren J Sisson, a Notary Public for the above

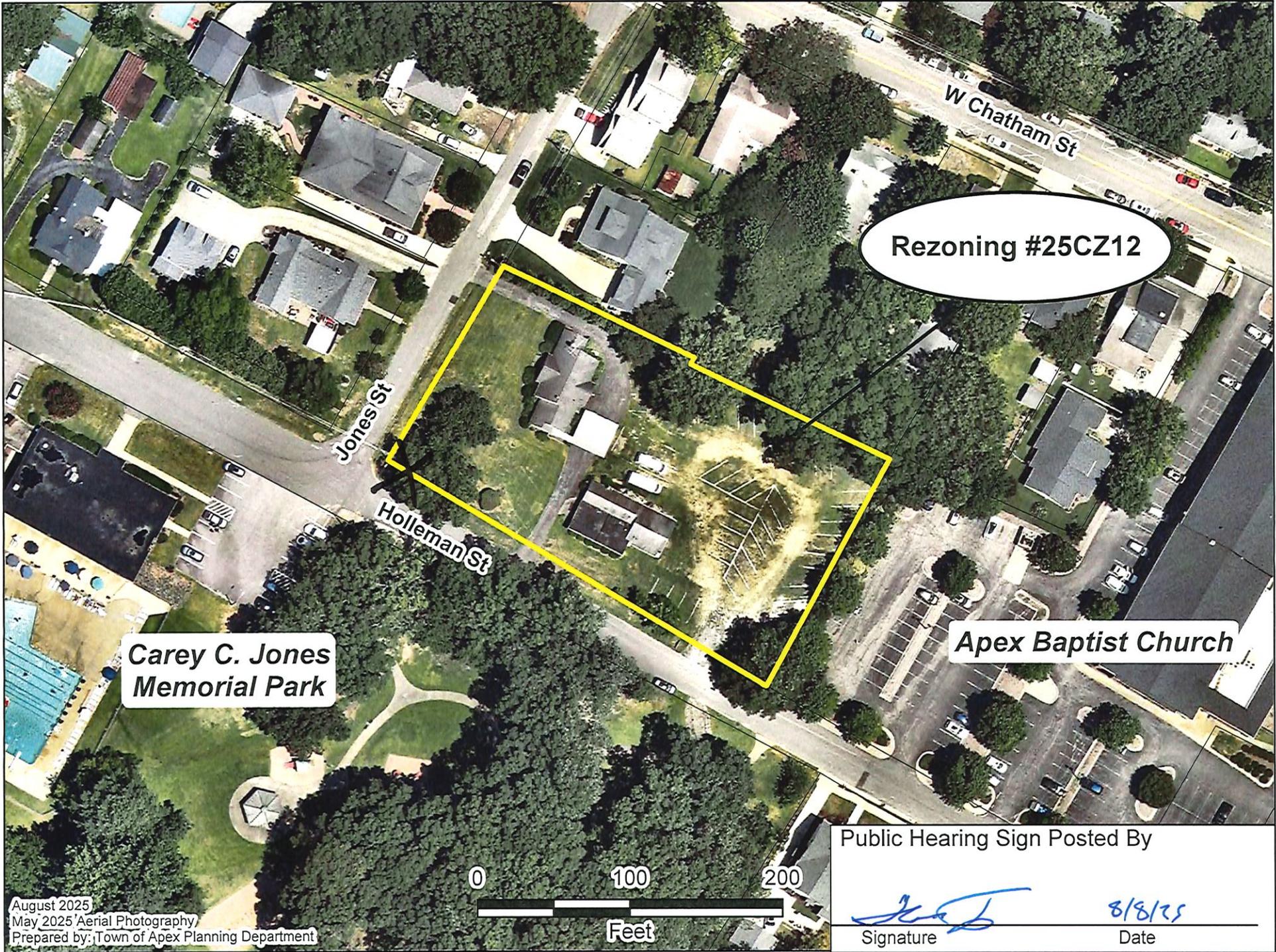
State and County, this the 2nd day of FEBRUARY, 2026.



SEAL

Lauren J Sisson
Notary Public

My Commission Expires: 10 / 3 / 2027



Rezoning #25CZ12

Carey C. Jones
Memorial Park

Apex Baptist Church



Public Hearing Sign Posted By

[Handwritten Signature]
Signature

8/8/25
Date