



**MEMORANDUM**

**City of Angels Planning Commission**

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**Date:** April 9, 2026

**To:** City of Angels Planning Commission

**From:** Amy Augustine, AICP – City Planner

**Re:** Resolution 26-07 Finding of Architectural Conformity to remove the first-story overhang, install a balcony/deck with upper story overhang, remove and replace windows with doors on the second story; alter windows and doors and inserts on the first story, and replace/install new upper and lower story vertical supports at 1225 South Main Street

**RECOMMENDATION**

Adopt Resolution 26-07 as presented or Adopt Resolution 26-07 with changes, if proposed.

**BACKGROUND/PROJECT DESCRIPTION**

LANDOWNER/APPLICANT: Jugband Coffee, LLC

LOCATION: 1225 South Main Street (Avellino’s Italian Market and Wine Bar)

ASSESSOR’S PARCEL NUMBER: 062-004-070

GENERAL PLAN / ZONING: Historical Commercial (HC)

HISTORICAL STATUS: City of Angels Register of Historical Resources

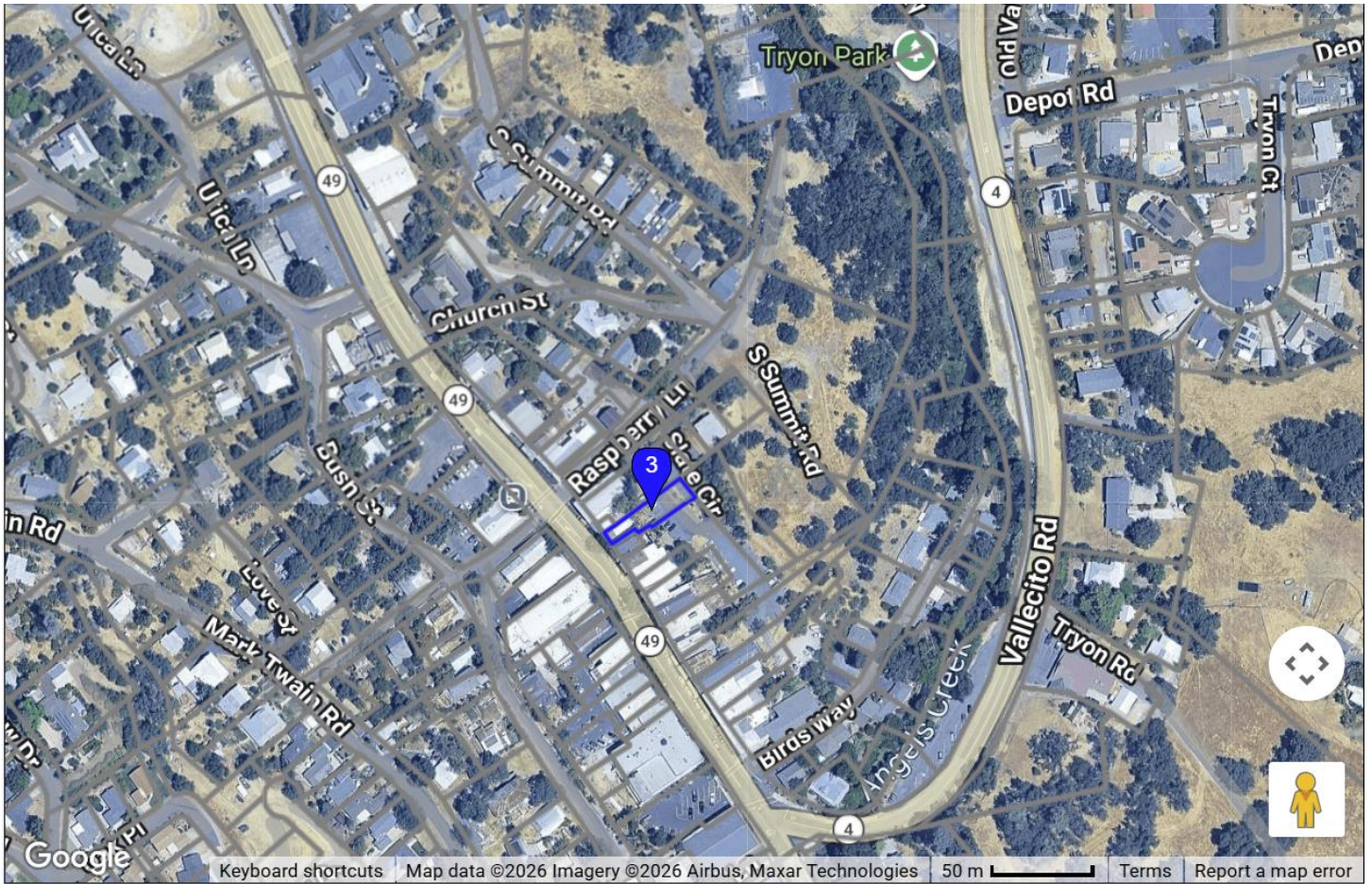
PROJECT: Remove the first-story overhang, install a balcony/deck with upper story overhang, remove and replace windows with doors on the second story; alter windows and doors and inserts on the first story, and replace/install new upper and lower story vertical supports at 1225 South Main Street

**BACKGROUND**

On December 23, 2025, the City Planner approved an administrative conditional use permit to convert the second story storage space to 915 sq. ft. of upstairs living space.

On March 13, 2026, the Planning Commission approved placing 1225 South Main on the City of Angels Register of Historical Resources.

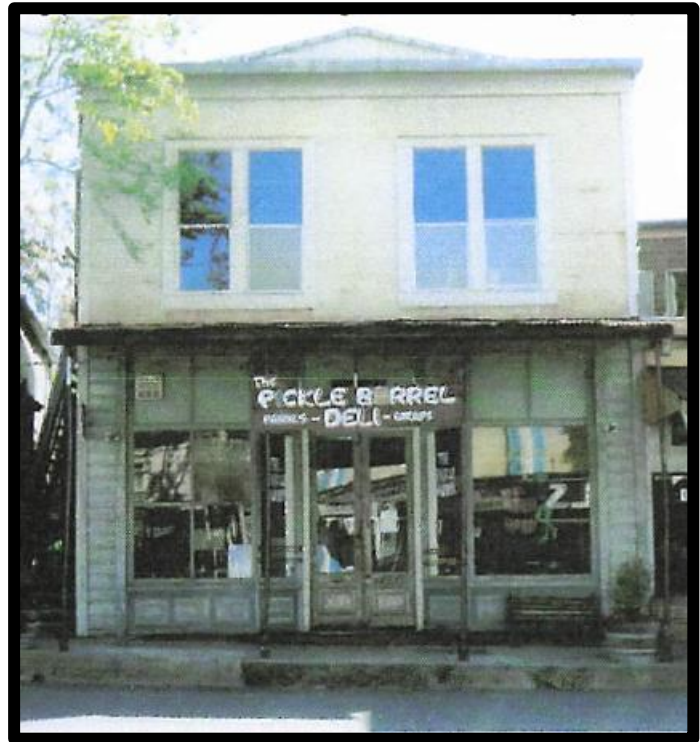
Figure 1: Project Location



## HISTORY

The building is listed in the City of Angels 2011 *Historical Resources And Evaluations Historic Commercial Center Angels Camp, Calaveras County, California* prepared under Community Development Block Grant #08-EDEF-5682 by Judith Marvin and Terry Brejla – Foothill Resources Ltd.

It was evaluated as eligible for listing as a contributor to the historic district at the local level due to its construction by the Calaveras County Bank in 1901 during the Second Gold Rush hard rock mining boom in Angels Camp. In addition, it provided commercial space and offices for local miners and their families with its history as a card room, tobacco shop and funeral parlor, and its embodiment of the distinctive characteristics of "Mother Lode Architecture" which it retains to a remarkable degree contributing to the overall historical streetscape.



As shown in the photo above, the building is a rectangular two-story frame building with a front gable roof just visible above the false front. The first story is covered in California Rustic siding with the upper story clad in corrugated metal. Storefront windows are frame with wainscoting and recessed panels and appear to be original. Upper story windows have been replaced and are aluminum frame, double hung. The building has a full width shed-roofed front "porch" supported with metal posts that replaced the original wood posts.

The building is separated from the building to the left by steps which once provided access to a barn at the rear of the lot (now a parking lot). It shares a 10-foot-high rhyolite tuff stone retaining wall to the northeast rear with the building to the south. This building and the building adjacent to the south were both constructed in 1901 and were associated with Ben and Nellie Thayer of San Jose before it was deeded to their son, Lloyd, of San Francisco in 1922. It has long been used as a delicatessen and, most recently, houses Avellino's. The owners are refurbishing the upstairs space as a residence.

## **ANALYSIS**

Pursuant to Chapter 17.26 of the City of Angels Municipal Code, all buildings or structures which are altered as to their exterior appearance within the historical commercial district shall as to their exterior appearance within public view substantially conform with the Mother Lode architectural style. A determination of conformity with the Mother Lode architectural style, as defined in Chapter 17.09, shall be made by the planning commission unless otherwise specified.

The Mother Lode Architectural Style is defined as follows:

*"Mother Lode architectural style" shall mean any one of the multiple architectural styles exhibited in Angels Camp. The historically and architecturally significant buildings in Angels Camp are diverse in style, as well as in method and period of construction. They were built of stone, brick, frame, and concrete and had*

*sidings of brick, wood, stucco, and plaster. The architectural styles represented include Greek Revival, Neoclassical, Italianate, Queen Anne, False-Front Commercial, Craftsman, Spanish Eclectic, and Art Deco.*

The project proposes to remove the existing first-floor roof in favor of a balcony with turned wood balusters (Figures 7 and 8). As noted in the building's architectural description, the existing first-floor "overhang" is described as a porch – which it resembles. Conversion into an actual porch would be appropriate given the character of the existing "porch-like" overhang. Both second floor balconies and wood balusters are consistent with other structures of a similar era in the district. Metal siding on the upper story will be replaced with horizontal wood siding (or wood equivalent materials). Horizontal wood siding is consistent with other structures of a similar era in the district.

The addition of a roof over the upstairs balcony is echoed in several of the oldest buildings in the district—usually as a later addition to those buildings for functional reasons. Therefore, it is consistent with other structures of a similar era in the district.

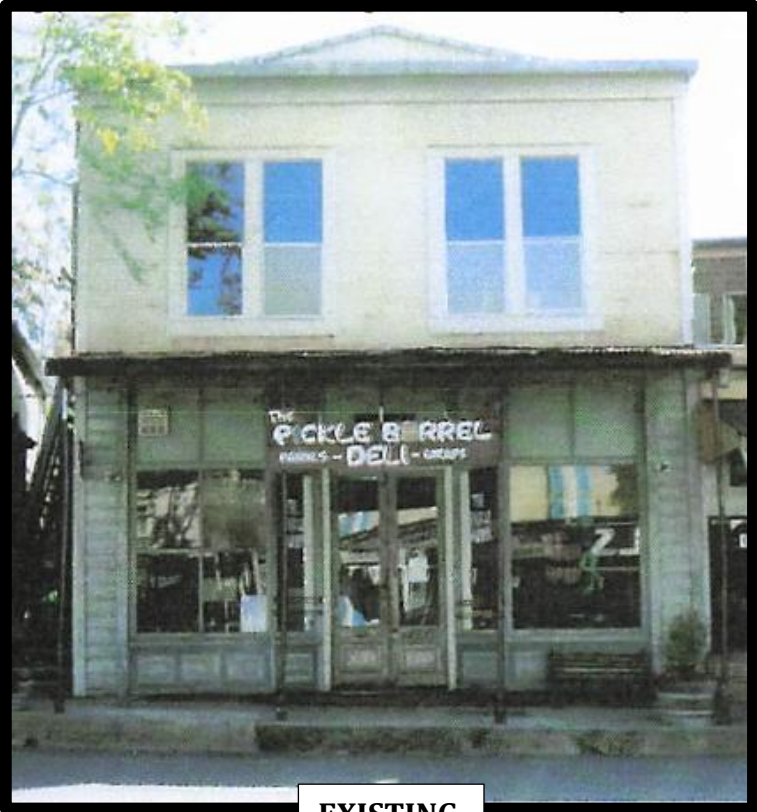
The upper and lower story will have vertical wood (or wood-like) posts for support replacing the existing metal supports. Wood posts as supports are more original to the building than the existing metal supports. Therefore, this may be found to be an acceptable replacement.

The upper story windows will be replaced with wood (or wood-like) doors to allow balcony access. The existing upper story windows have aluminum frames (behind wooden molding). Although the loss of the shape of the original windows will alter the appearance of the building, it allows an adaptive re-use of the upstairs space for living space and replacing aluminum windows with wooden doors is an improved use of materials. The proposed doors mimic the design of the original windows. Therefore, it may be found to be an acceptable replacement.

The first-floor façade is proposed to include door replacement and removal of the recessed panels in favor of horizontal wood siding. The recessed panels are believed to be original to the building. The tall doors on the building are a character somewhat unique to the building. Removal of either could be considered a significant alteration to the building's character. Therefore, the applicant has agreed to retain the original doors and recessed panels (and existing windows) on the first floor. Should repairs be necessary, they will be made using like materials.

The proposed color palette for paint is not established but appears to be an off-white with deep green trim. To ensure consistency with the City's adopted downtown historic district color palette, prior to repainting; the applicant shall provide the names of colors to be used that are on the Benjamin Moore Historical Color Collection.

Figure 2: Side by Side Comparison

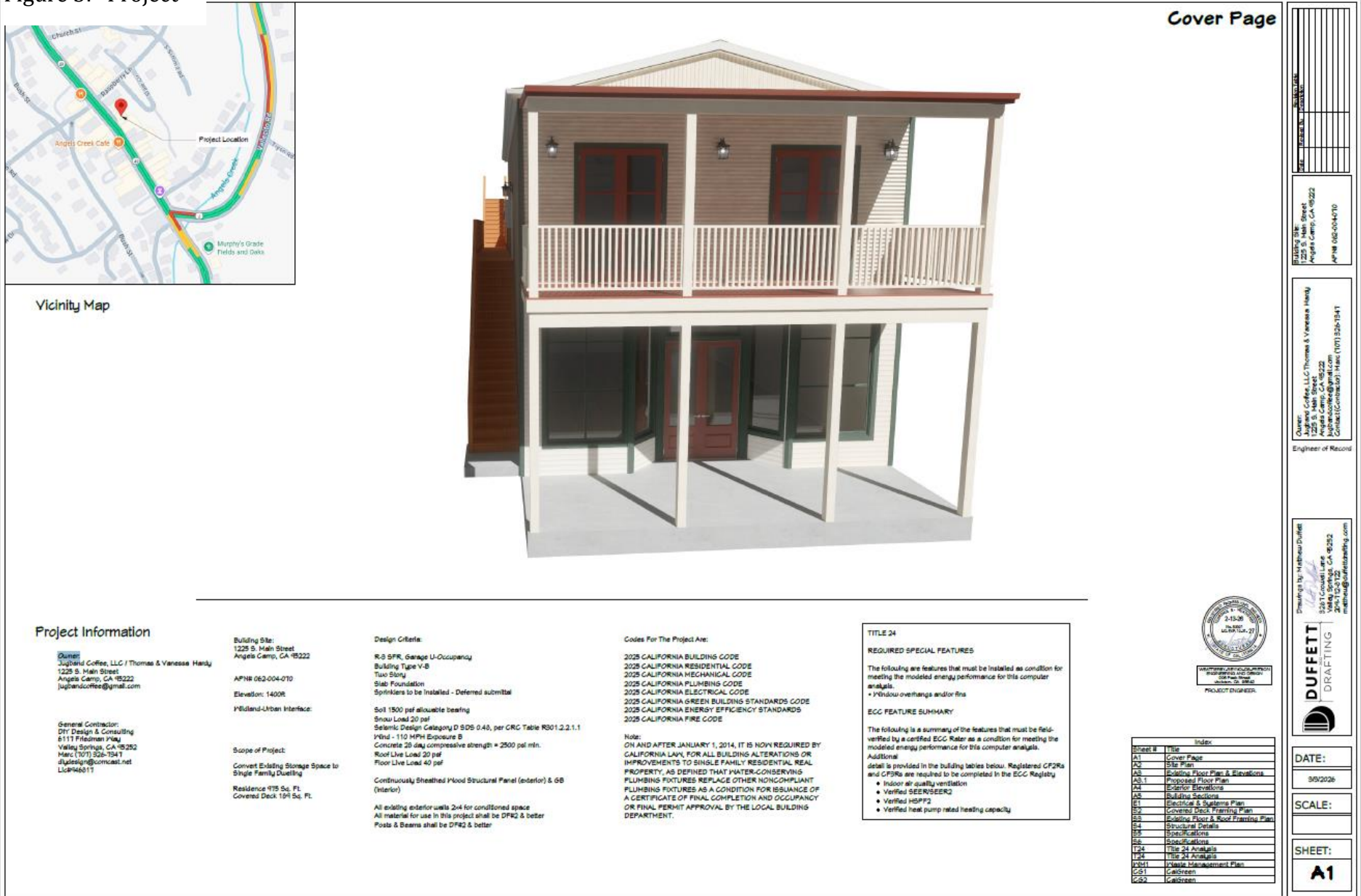


**EXISTING**



**PROPOSED**

Figure 3: Project



Cover Page



Vicinity Map



Project Information

**Owner:**  
 Jujubird Coffee, LLC / Thomas & Vanessa Hardy  
 1225 S. Main Street  
 Angeles Camp, CA 95222  
 tjujebirdcoffee@gmail.com

**General Contractor:**  
 DTI Design & Consulting  
 6111 Friedman Way  
 Valley Springs, CA 95252  
 Marc (707) 526-7547  
 dtidesig@comcast.net  
 Lic#946611

**Building Site:**  
 1225 S. Main Street  
 Angeles Camp, CA 95222  
  
**APNR 062-004-010**  
  
**Elevation:** 1400ft  
  
**Yr/Urban Interface:**

**Scope of Project:**  
 Convert Existing Storage Space to  
 Single Family Dwelling  
  
 Residence 475 Sq. Ft.  
 Covered Deck 154 Sq. Ft.

**Design Criteria:**  
 R-0 SFR, Garage U-Occupancy  
 Building Type V-B  
 Two Story  
 Slab Foundation  
 Sprinklers to be installed - Deferred submittal  
  
 Soil 1500 psf allowable bearing  
 Snow Load 20 psf  
 Seismic Design Category D SDS 0.40, per CRC Table R301.2.2.1.1  
 Wind - 110 MPH Exposure B  
 Concrete 28 day compressive strength = 2500 psi min.  
 Roof Live Load 20 psf  
 Floor Live Load 40 psf  
  
 Continuously Sheathed Wood Structural Panel (exterior) & GB  
 (interior)

All existing exterior walls 2x4 for conditioned space  
 All materials for use in this project shall be DFR2 & better  
 Posts & Beams shall be DFR2 & better

**Codes For The Project Are:**

- 2025 CALIFORNIA BUILDING CODE
- 2025 CALIFORNIA RESIDENTIAL CODE
- 2025 CALIFORNIA MECHANICAL CODE
- 2025 CALIFORNIA PLUMBING CODE
- 2025 CALIFORNIA ELECTRICAL CODE
- 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2025 CALIFORNIA ENERGY EFFICIENCY STANDARDS
- 2025 CALIFORNIA FIRE CODE

**Note:**  
 ON AND AFTER JANUARY 1, 2014, IT IS NOW REQUIRED BY CALIFORNIA LAW, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO SINGLE FAMILY RESIDENTIAL REAL PROPERTY, AS DEFINED THAT WATER-CONSERVING PLUMBING FIXTURES REPLACE OTHER NONCOMPLIANT PLUMBING FIXTURES AS A CONDITION FOR ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

**TITLE 24**

**REQUIRED SPECIAL FEATURES**

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- Window overhangs and/or fins

**ECC FEATURE SUMMARY**

The following is a summary of the features that must be field-verified by a certified ECC Rater as a condition for meeting the modeled energy performance for this computer analysis.

- Additional detail is provided in the building tables below. Registered CFPs and CFPs are required to be completed in the ECC Registry
- Indoor air quality ventilation
  - Verified SEER/SEER2
  - Verified HSPF2
  - Verified heat pump rated heating capacity



DATE:	3/9/2026
SCALE:	
SHEET:	A1

**Owner:**  
 Jujubird Coffee, LLC / Thomas & Vanessa Hardy  
 1225 S. Main Street  
 Angeles Camp, CA 95222  
 tjujebirdcoffee@gmail.com  
 APNR 062-004-010

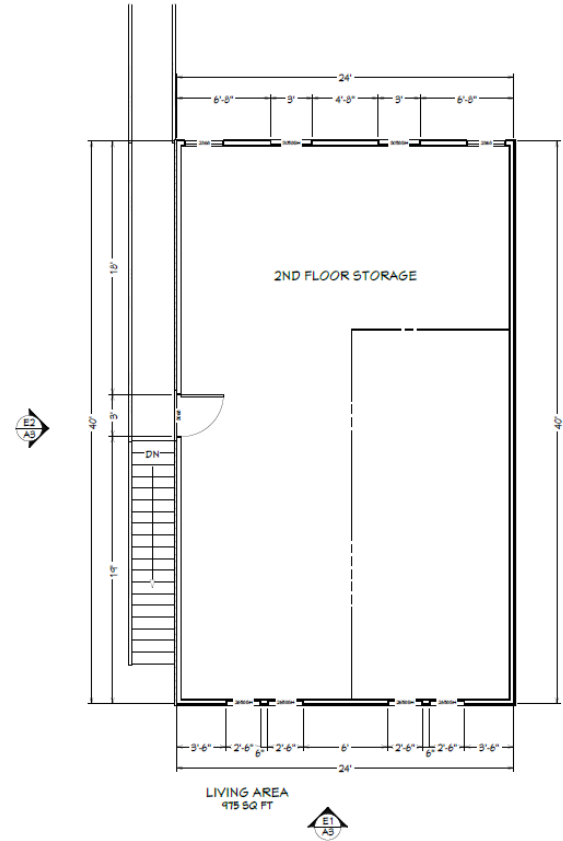
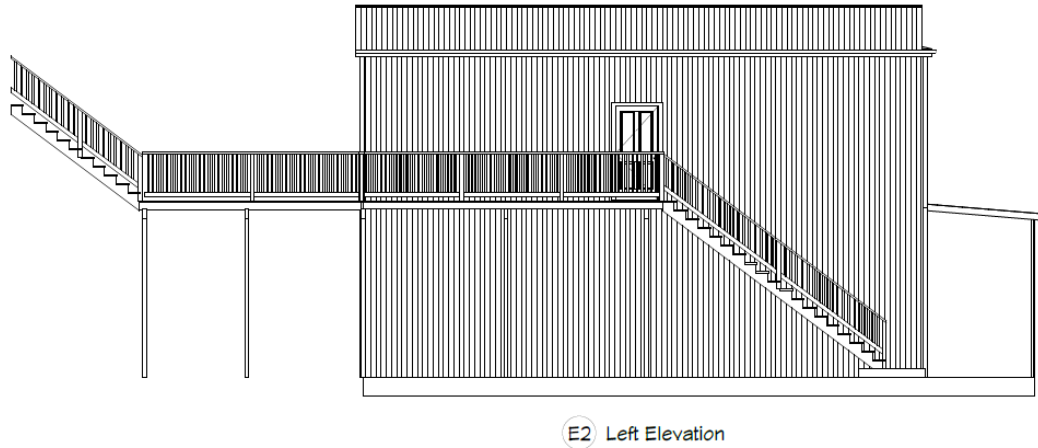
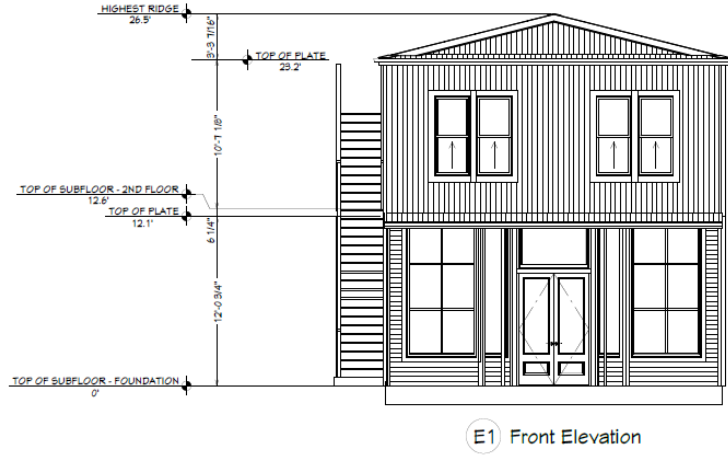
**Engineer of Record:**  
 Matthew DuRoi  
 1225 S. Main Street  
 Angeles Camp, CA 95222  
 mduroi@duffett.com  
 Contact (Contractor) Marc (707) 526-7547

Drawings by: Matthew DuRoi  
 1225 S. Main Street  
 Angeles Camp, CA 95222  
 204712-0122  
 mduroi@duffett.com

**DUFFETT DRAFTING**

Sheet #	Title	Index
A1	Cover Page	
D1	Site Plan	
A2	Building Floor Plan & Elevations	
AS.1	Proposed Floor Plan	
A4	Exterior Elevations	
A5	Building Sections	
B1	Structure & Systems Plan	
B2	Covered Deck Framing Plan	
B3	Building Floor & Roof Framing Plan	
B4	Structural Details	
B5	Structural Details	
B6	Structural Details	
T24	Title 24 Analysis	
T24	Title 24 Analysis	
M001	Waste Management Plan	
C-01	CalGreen	
C-02	CalGreen	

Figure 4



NO.	REVISION	DATE

Building Size:  
1225 S. Main Street  
Angels Camp, CA 95222  
APN# 062-004-070

Owner:  
Judgend Coffee, LLC Thomas & Vanessa Handy  
1225 S. Main Street  
Angels Camp, CA 95222  
judgendcoffee@gmail.com  
Contact (Contractor): Marc (707) 326-1341

Engineer of Record

Drafted by: Matthew Duffett  
3201 Cowdell Lane  
Valley Springs, CA 95252  
209-712-8122  
matthew@duffettdrafting.com



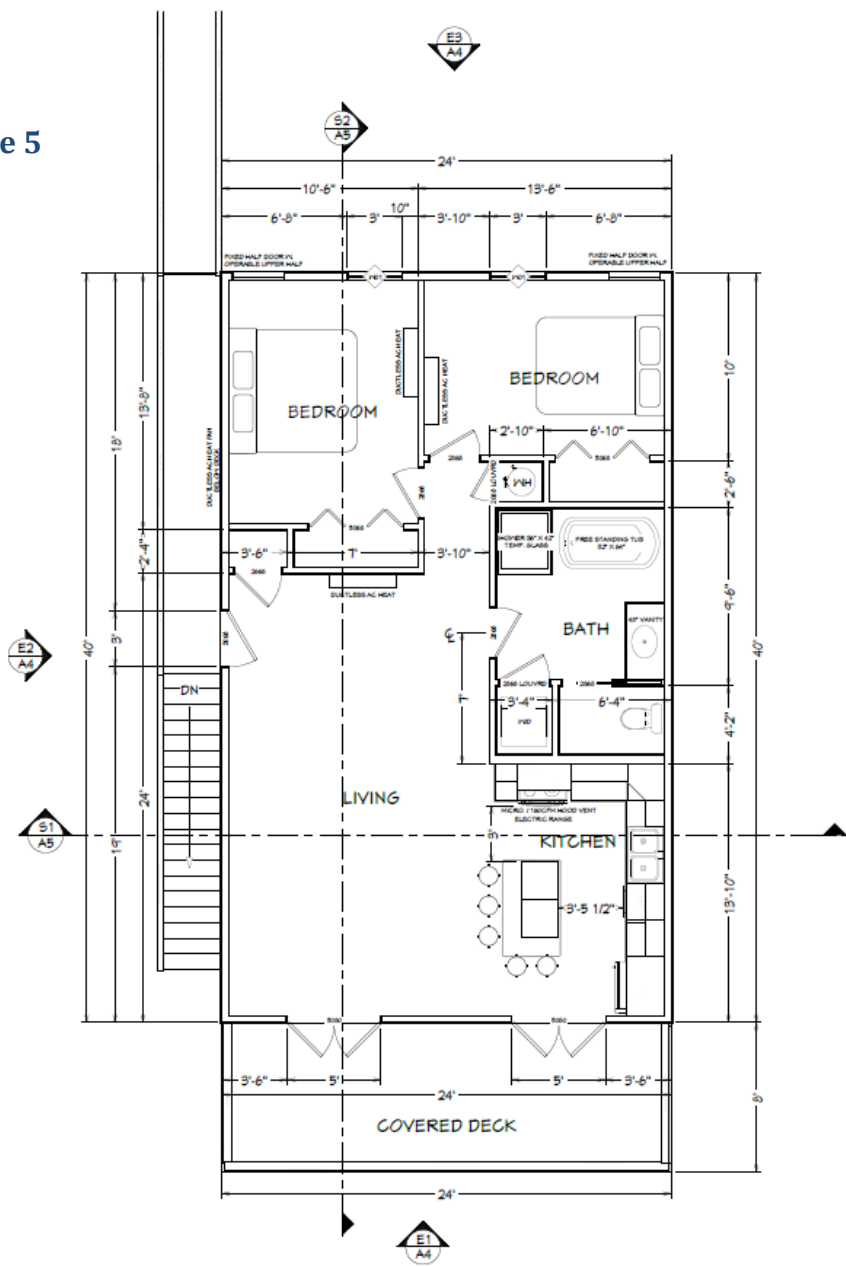
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SCALE:	1/4" = 1'



# Proposed Floor Plan

Related specifications: Sheet 55, column C

Figure 5

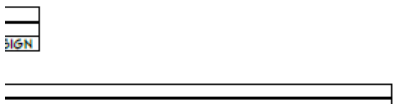


Note:  
Top plate laps shall be nailed with no less than 8-16d nails on each side of each break in the top plate. Minimum 24" lap splice length each side of end joint -- typical U.N.O.

Plate Line @ 10'

**Finish Notes**

1. All gypsum wallboard shall be installed in accordance with the provisions of the CBC, applicable edition, state and local codes.
2. Provide moisture resistant gypsum board at walls adjacent to plumbing fixtures.
3. Side walls, ceilings, and soffits of closet and any other usable space beneath interior stairs shall be protected with one layer type "X" gypsum board taped and finished.
4. Gypsum wallboard shall not be installed until weather protection for the installation is provided.
5. All edges and ends of gypsum wallboard shall occur on the framing members, except those edges and ends that are perpendicular to the framing members. All edges and ends of gypsum wallboard shall be in moderate contact except in concealed spaces where fire-resistive construction or diaphragm action is not required.
6. Cement-fiber or glass mat gypsum backer board shall be used as a base for wall tile in tub and shower area and wall and ceiling panels in shower areas. Shower area walls shall be finished with a non-absorbent surface to a height not less than 6 feet above the floor. (Per CRC R307)
7. Tub and shower enclosure: stone or glazed wall tile extending to ceiling, typical. Think set wall tile on cement backer board. Provide thickset floor tile over 40 mil. shower pan membrane. (Owner to select tile)
8. Ceramic and stone floor tiles to be thickset mortar bed (owner to select



Wildland-Urban Interface (WUI)

- a. All exterior siding shall be noncombustible, ignition resistant or meet the state fire marshal testing standard.
- b. All exterior glazing shall have 1 min. tempered pane or be a 20 min. rated assembly.
- c. All roof projections, at the lowest portion of the roof rafter or truss shall be projected with noncombustible materials, ignition resistant materials, or meet the state fire marshal testing standard. Covered porches etc. shall have ceilings protected. This requirement does not apply to gable end eaves or unenclosed porches without ceilings.
- d. Eave vents are prohibited or shall be of the type to resist intrusion of embers and flames.
- e. All gutters shall be provided with debris barriers.
- f. Exterior doors shall be 20 min. assemblies, solid core with 1 3/8" thick stiles and rails & 1 1/4" interior filled panel thickness or of noncombustible construction.

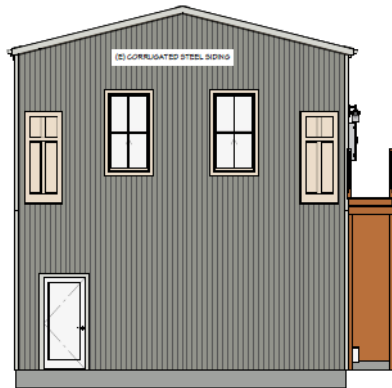
CRC R307

Figure 6

Exterior Elevations  
Related specifications: Sheet 55, columns A & D



E1 Front Elevation



E3 Back Elevation



E2 Left Elevation



PROFESSIONAL ENGINEER  
JUGGARD COFFEE, LLC  
1225 S. Main Street  
Angier, CA 95922  
Information@jcoffee.com  
Contact (Contractor): Marc (707) 267-9747

DATE:	3/9/2026
SCALE:	1/4" = 1'
SHEET:	A4

Building S&E:  
1225 S. Main Street  
Angier, CA 95922  
APNs: 05-200-4070

Owner:  
Juggard Coffee, LLC  
1225 S. Main Street  
Angier, CA 95922  
Information@jcoffee.com  
Contact (Contractor): Marc (707) 267-9747

Engineer of Record

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Vallejo, CA 94592  
304-713-2722  
matthew@duffettdrafting.com

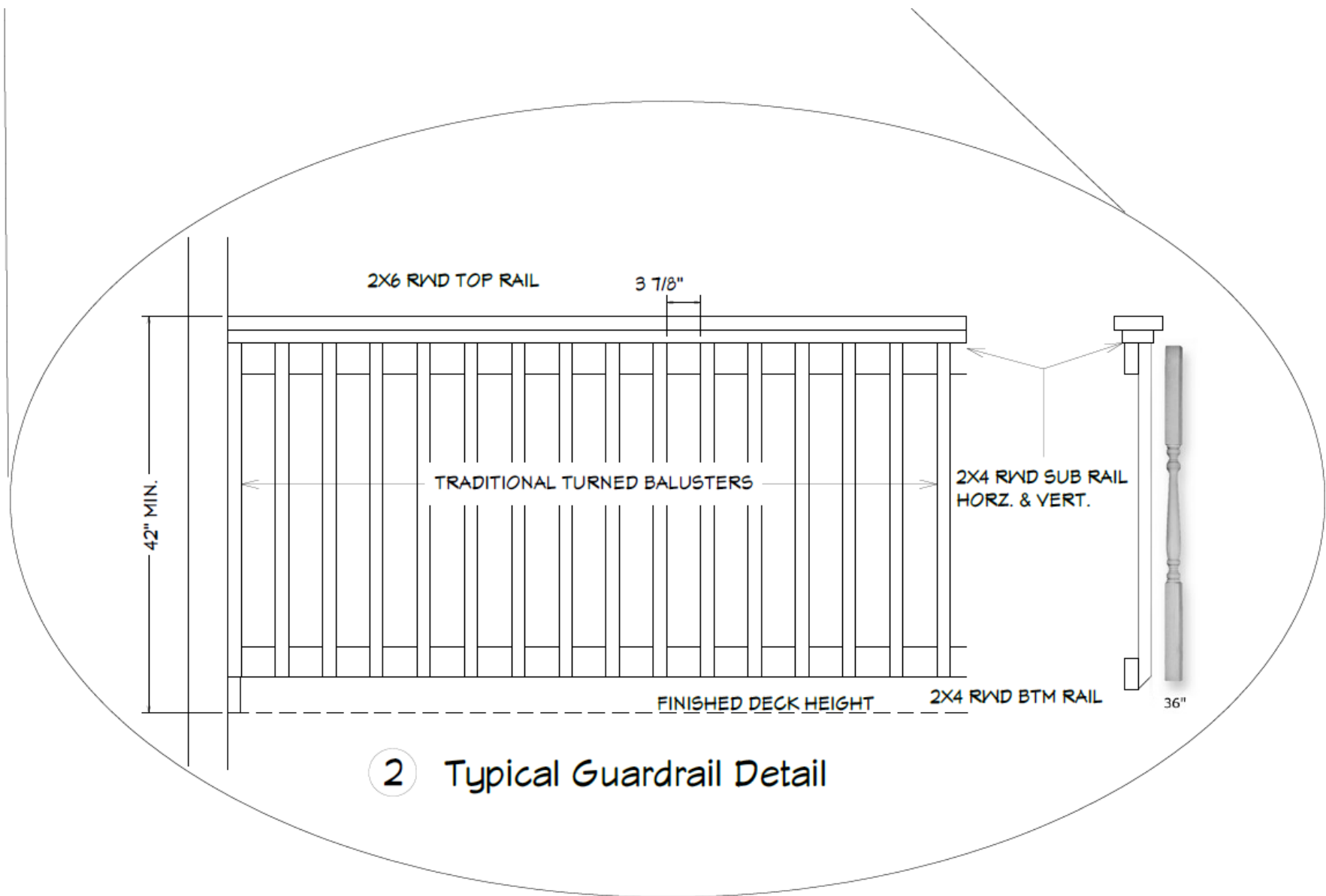


DATE:  
3/9/2026

SCALE:  
1/4" = 1'

SHEET:  
A4





② Typical Guardrail Detail

## **ENVIRONMENTAL FINDINGS**

Pursuant to the state guidelines for implementing the California Environmental Quality Act (CEQA), the proposed resolution is exempt from further review pursuant to Section 15331, Class 31 Historical Resource Restoration/Rehabilitation allowing historical structures to be maintained, repaired, stabilized, rehabilitated, restored, preserved, conserved or reconstructed in a manner consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995, Weeks) and through the application of the State Historic Building Code.

## **ATTACHMENT**

- A. Project Elevations
- B. Resolution 26-07
- C. Conditions of Project Approval

## Conditions of Project Approval

1. The project shall maintain existing first floor doors, windows, and recessed panels, and repair, if necessary, with like materials.
2. Balusters shall be turned wood (or wood-like) materials.
3. Support posts shall be wood or wood-like materials.
4. Prior to replacing existing metal posts and installing new wood support posts, a construction detail shall be submitted to the Building Department for review and approval. Posts shall be located to provide sufficient spacing between the building and the support post to allow for ADA accessibility along the sidewalk and prevent interference with opening and closing parallel parked cars along the street.
5. Sidewalks shall be returned to at least their pre-project condition upon completion of the project.
6. The names of all colors to be used on the building exterior shall be submitted to the Planning Department for approval prior to application. Colors shall be from the Benjamin Moore Historical Color Collection. Equivalent colors from another brand are acceptable.
7. The final design for attached exterior lighting shall be provided to the Planning Department for review and approval. All lighting shall be aimed downward and shall not reflect onto neighboring properties.