

Welcome to

535 S ANDERSON STREET

FACILITY HOURS: M-F 9:00 A.M. - 6:00 P.M.
SATURDAY 8:00 A.M. - 10:00 A.M.
PHONE: (979) 848-5696

ANIMAL SERVICES



ANGLETON POLICE
DEPARTMENT

October 19, 2023

CITY OF ANGLETON NEW ANIMAL SERVICE CENTER CONCEPTUAL DESIGN RECAP MCLEMORE LUONG



Agenda

- 1) Review of Initial Planning Study
 - History
 - Existing Conditions
 - Programming
 - Site Selection
 - Proposed Plan Options

- 2) Final Planning Deliverables
 - Final Building & Site Plan
 - Conceptual Renderings
 - Phased Budget Planning



**REVIEW OF INITIAL
PLANNING STUDY**

HISTORY

EXISTING CONDITIONS

PROGRAMMING

SITE SELECTION

PROPOSED PLAN OPTIONS

Existing Facility Assessment

History

- Pre-engineered metal building, built in 1992
- Originally built for public works maintenance storage until 2008
- Currently functions as animal services facility
- Current program is as follows:
 - 20 dog kennels
 - 35 cat kennels
 - 3 cat adoption rooms
 - Cat isolation room
 - Dog isolation room
 - Intake room
 - Recently renovated admin space
 - 1 Office
 - 1 Restroom
 - Surgery / IT /Storage room



Existing Facility Assessment

Site Walk / Observations

- Building Assessment Conclusion
 - The existing facility is at the end of its useful lifespan
 - Renovations and upgrades exceed the value of the building
 - Significant changes are required to bring the building to a useful level of service
- Animal Shelter Operations Conclusion
 - The existing facility DOES NOT support the mission of the Animal Services Division
 - The level of service expected by the residents of the City of Angleton cannot be sufficiently provided within the existing space allocated and in the condition of the existing facility



Program Verification

Room Data Sheets

- McLemore Luong engaged with staff to determine the necessary program needed to meet the operational goal of the Department
- Vetted out the **NEED FROM THE WANT**
- Phasing was considered from both a Level of Service and Budget Standpoint

McLEMORE LUONG

A.M.D.G.

Project Name	City of Angleton Animal Service Center Feasibility Study	Room Name	Reception
Client Name	City of Angleton	Room Number	
Building Name	Animal Control Facility	Department	
Building Address			
Project Phase	Future Programming		
Prepared By Client			
Prepared by MLA	Ryan McLemore		

General Room Description	
Functional Relationships	
Space Data	
Description of Activities	
Special Access Notes	

Environment	
Lighting	
HVAC	
Acoustics	
Safety	
Blinds	

Services	
Electrical	
Data	
Security	
Plumbing	
Fire System	

Finishes	
Room	
Doors	
Windows	

Equipment / Millwork	
AV	
Equipment	
Appliance	
Furniture	
Boards	
Millwork	
Countertop	
Animal Housing	

McLEMORE LUONG

A.M.D.G.

Project Name	City of Angleton Animal Service Center Feasibility Study	Room Name	Staff Offices
Client Name	City of Angleton	Room Number	
Building Name	Animal Control Facility	Department	
Building Address			
Project Phase	Future Programming		
Prepared By Client			
Prepared by MLA	Ryan McLemore		

General Room Description	
Functional Relationships	
Space Data	
Description of Activities	
Special Access Notes	

Environment	
Lighting	
HVAC	
Acoustics	
Safety	
Blinds	

Services	
Electrical	
Data	
Security	
Plumbing	
Fire System	

Finishes	
Room	
Doors	
Windows	

Equipment / Millwork	
AV	
Equipment	
Appliance	
Furniture	
Boards	
Millwork	
Countertop	
Animal Housing	

McLEMORE LUONG

A.M.D.G.

Project Name	City of Angleton Animal Service Center Feasibility Study	Room Name	Lobby
Client Name	City of Angleton	Room Number	
Building Name	Animal Control Facility	Department	
Building Address			
Project Phase	Future Programming		
Prepared By Client			
Prepared by MLA	Ryan McLemore		

General Room Description	Waiting area for the public		
Functional Relationships	public restrooms, adoption areas, janitor's closet		
Space Data	Area (SF)	Ceiling Height (FT)	# of Occupants 8 to 10 Hours / Shift
Description of Activities	Public check-ins and customer service area with seating		
Special Access Notes			

Environment	
Lighting	Type Artificial Controls Individual Control CRI Normal Task No
HVAC	Type Standard HVAC Pressure Specific Temperature Range
Acoustics	Type STC / ICC Specific Requirements
Safety	Type Video Surveillance
Blinds	Type Sunshade Controls Manual

Services	
Electrical	Type Outlets Yes Location Wall
Data	VoIP No Tele No UPS Conduit Only
Security	CCTV Access Control Public Address Yes
Plumbing	Sink No Floor No Eye No Trench No Filtration No
Fire System	Type Alarm

Finishes	
Room	Floor Stained Concrete Ceiling Acoustical Walls Gypsum Paint Base Concrete Curb
Doors	Type Full Glass Hardware Door Lever Security Card Reader
Windows	Type Aluminum Security Operable No

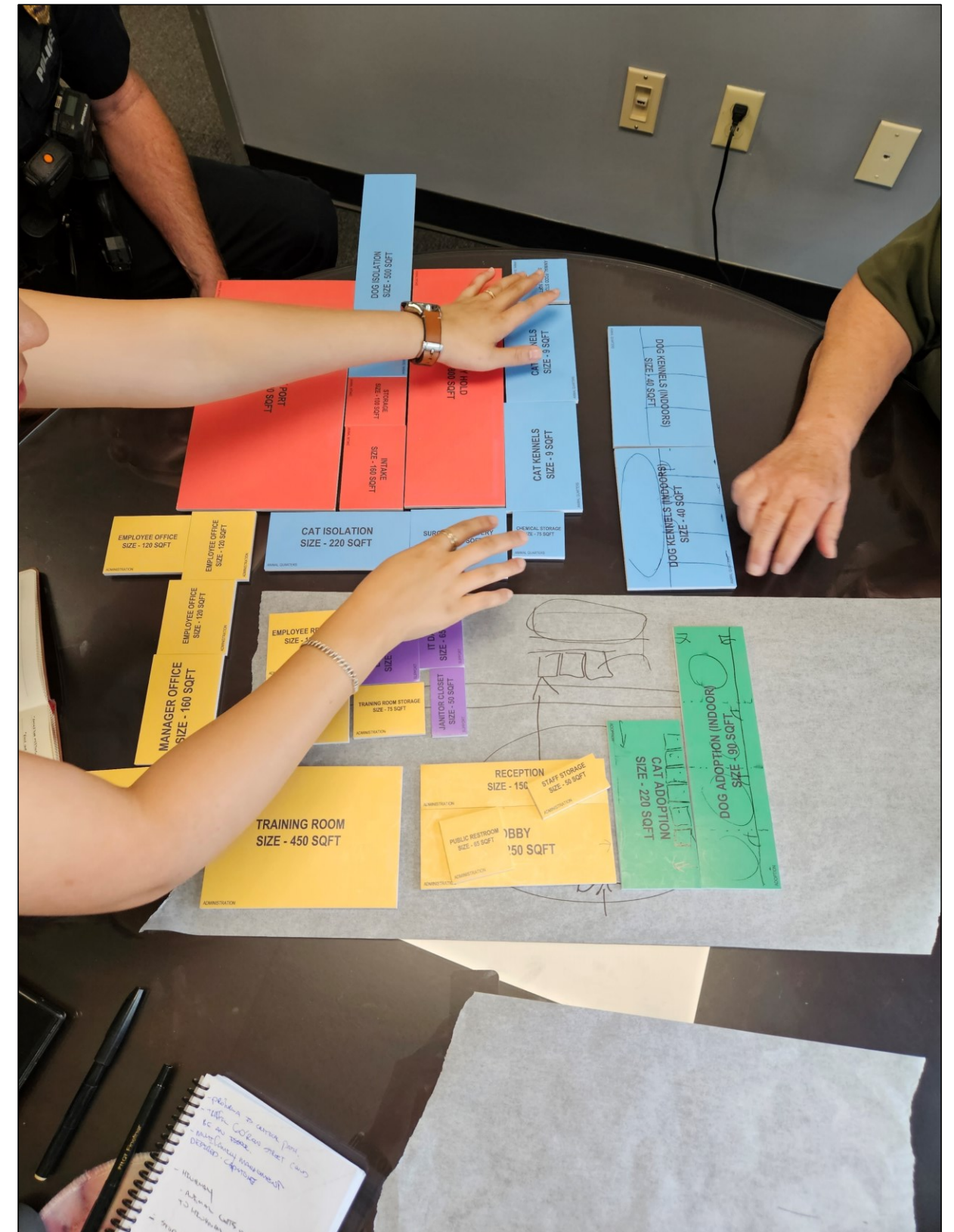
Equipment / Millwork	
AV	Electrical Mount Display Speakers Yes
Equipment	EQ1 Trash Can EQ2 EQ3 EQ4
Appliance	AP1 Sanitizer Dispenser AP2 AP3 AP4 AP5 AP6 AP7 AP8
Furniture	Desk Table Coffee Table Storage
Boards	Type bar top table and stools, metal legs cushion chairs
Millwork	Base No Upper No Open No Lock No Finish
Countertop	Type
Animal Housing	Type Isolation



Program Verification

Blocking Exercise

- Worked with staff to develop the optimal layout based on the agreed upon program



Site Location Analysis



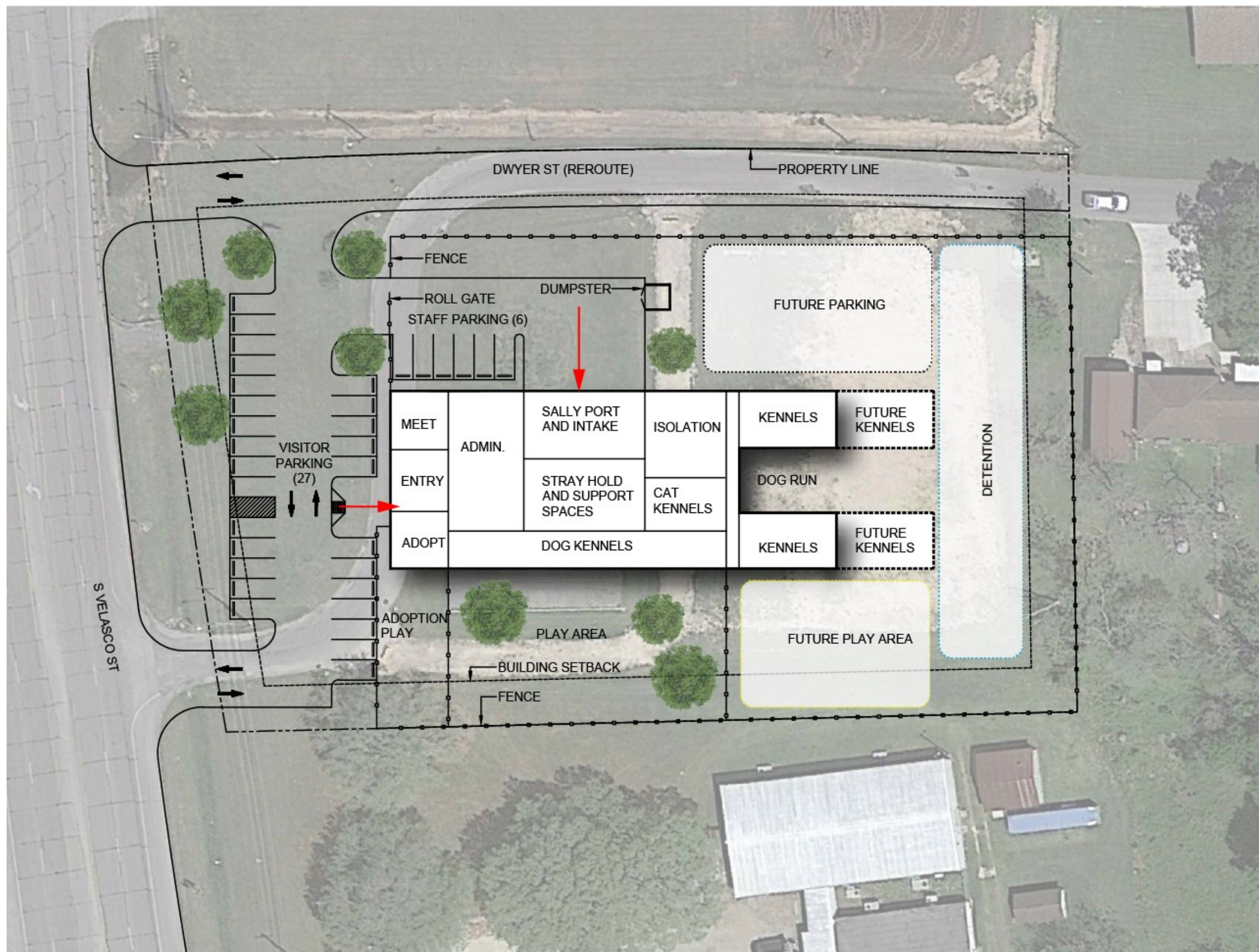
LOT SQUARE FOOTAGES

- EXISTING SITE - 525 S. ANDERSON ST - APPROX 0.922 AC
- NEW FACILITY - 535 S. ANDERSON ST - APPROX 2.167 AC
- NEW FACILITY - INTERSECTION DWYER ST & S. VELASCO ST - APPROX 1.920 AC

Site Studies

S. Velasco

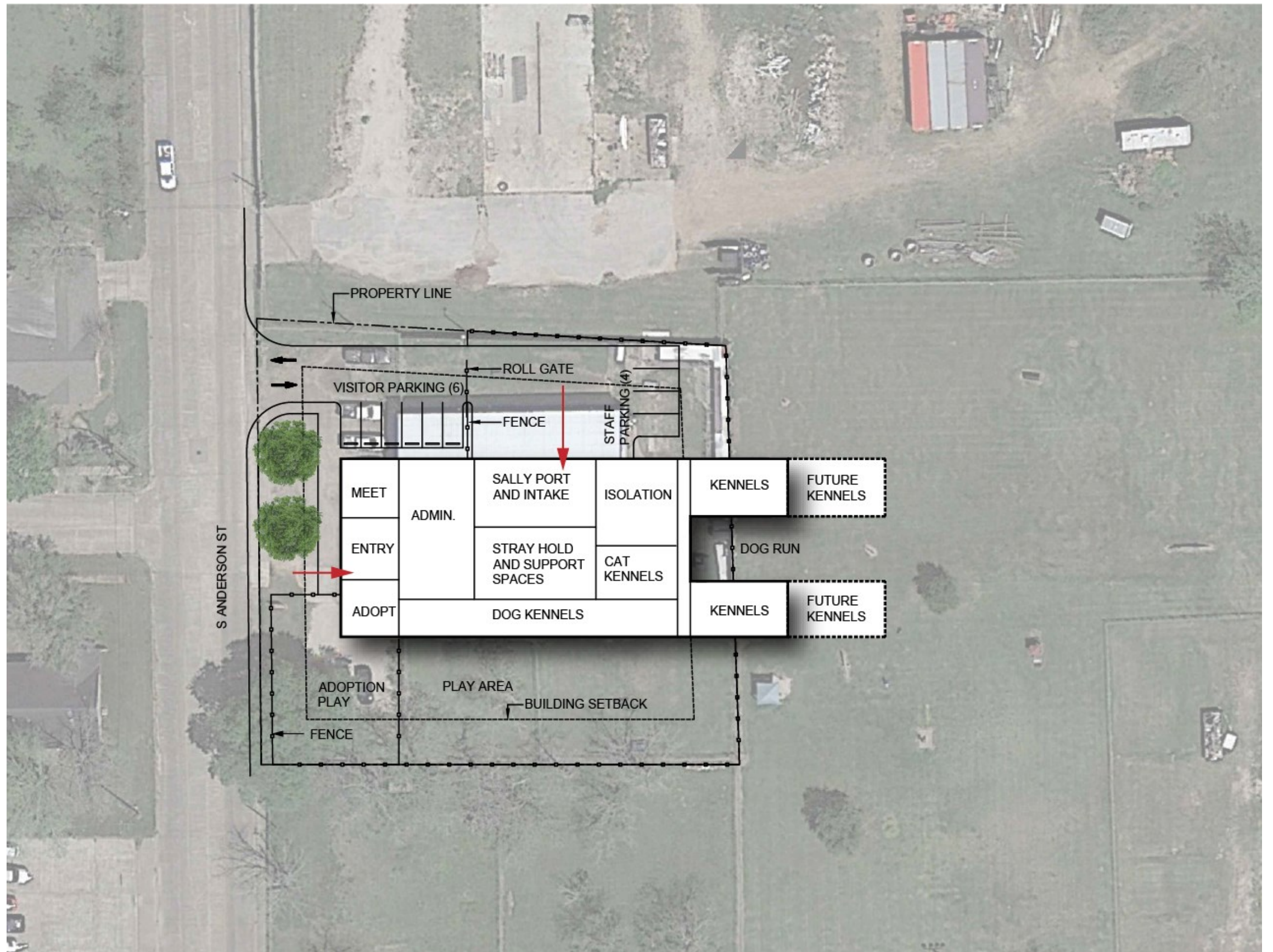
- This site location does not have the space to accommodate the desired program
- No room for future operations to expand
- Being right off the highway raised animal safety concerns
- Noise projection was an issue for the surrounding residence



Site Studies

Existing Site

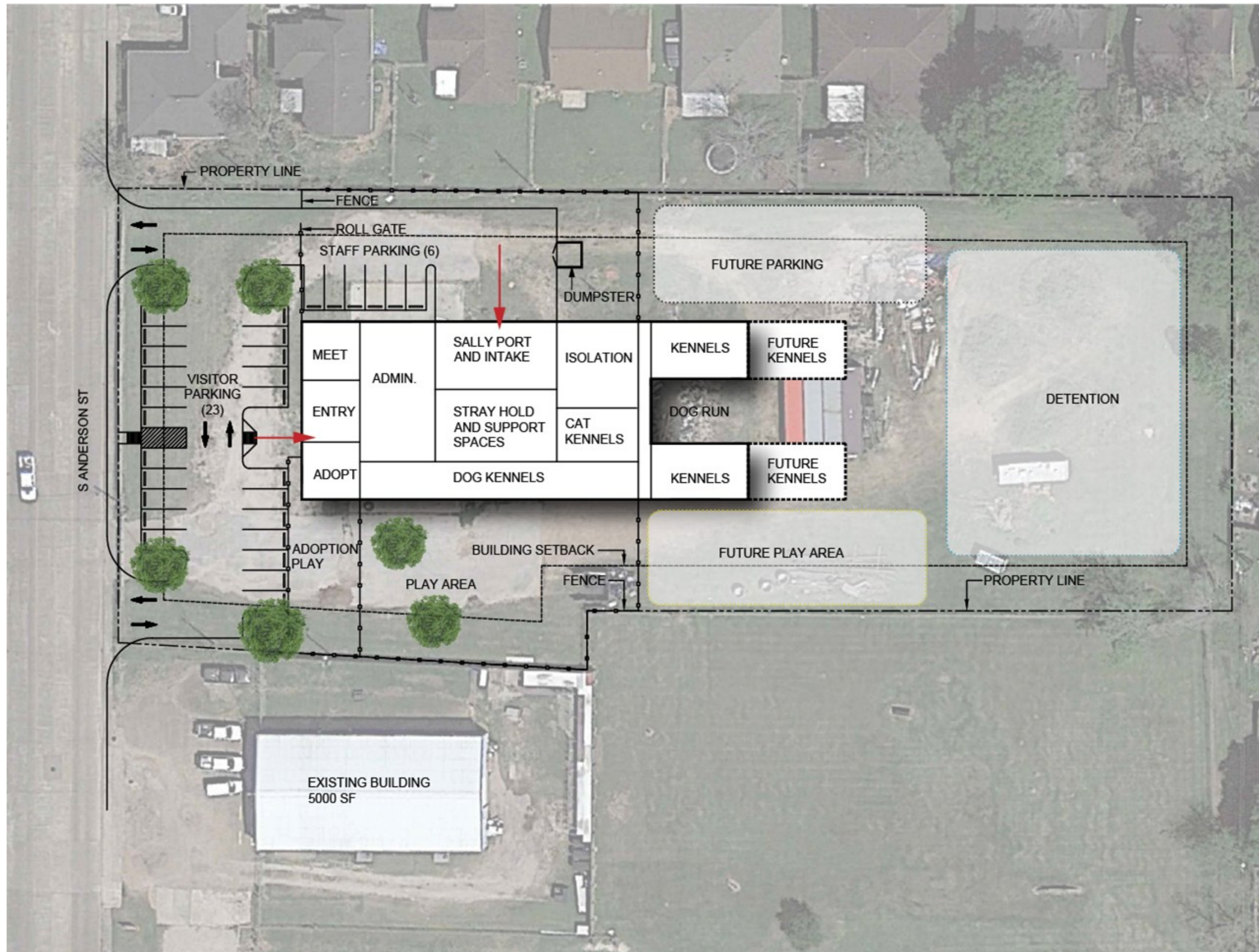
- There would be a temporary relocation cost for the duration of construction
- The existing site does not have space to accommodate parking counts



Site Studies

535 S. Anderson

- The lot size is large enough for future operations to join
- Parking overflow will occur during events
- The residence of the surround areas will have traffic on event days



Site Studies

Split Operations

- There is 2 separate buildings holding functional operations
- Staff will have to oversee a larger footprint with lots of possible areas for animals to escape



**FINAL PLANNING
DELIVERABLES**

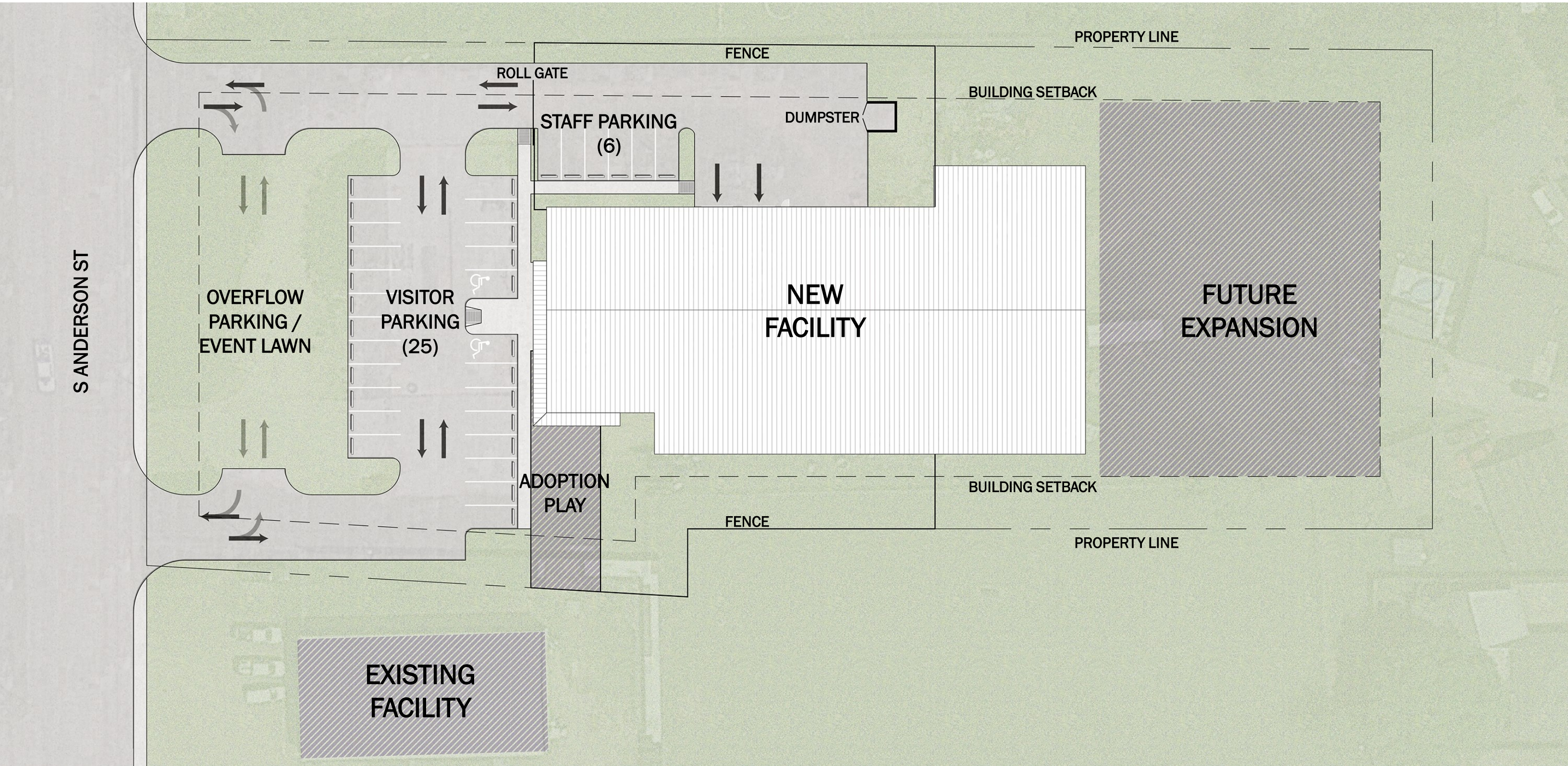
FINAL BUILDING & SITE PLAN

CONCEPTUAL RENDERINGS

PHASED BUDGET PLANNING

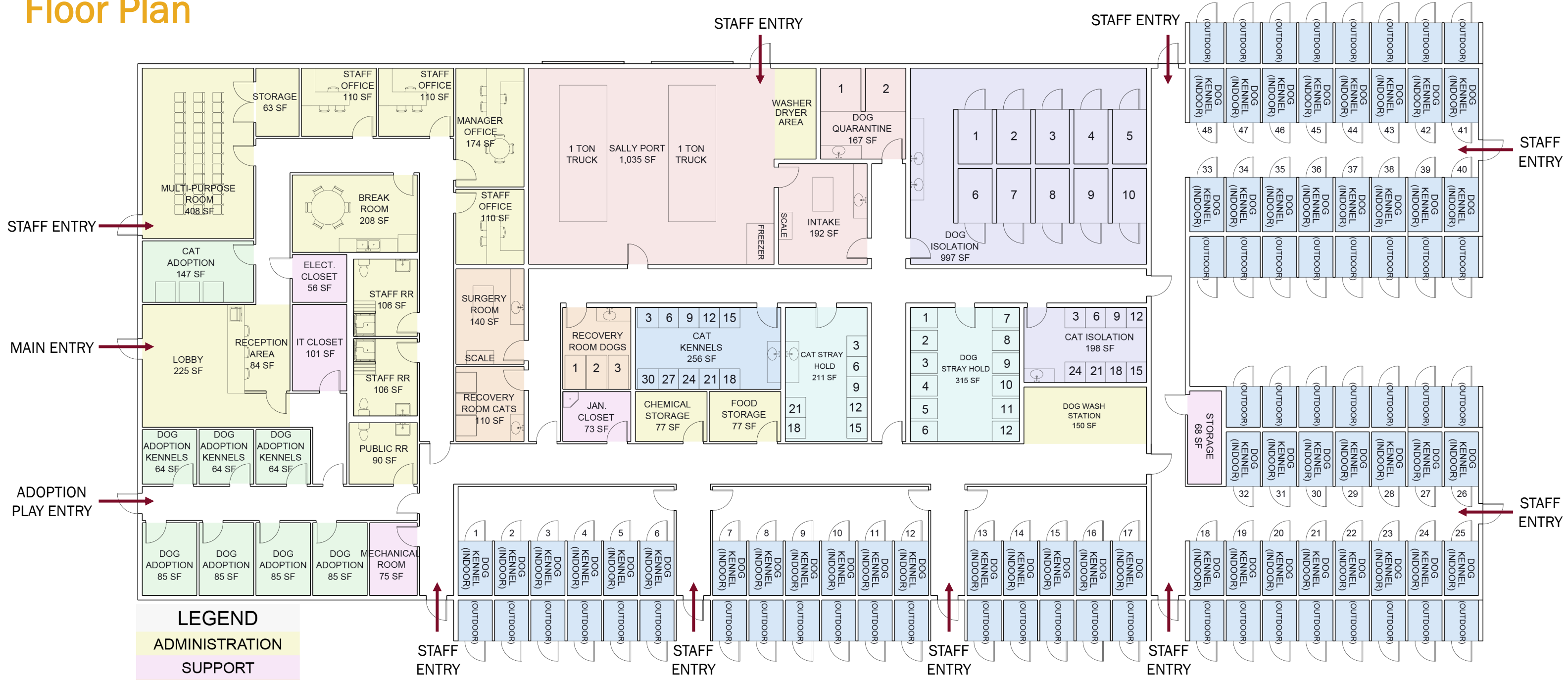
Final Planning Deliverable

Site Plan



Final Planning Deliverable

Floor Plan



LEGEND

- ADMINISTRATION
- SUPPORT
- ANIMAL INTAKE
- MEDICAL AREAS
- ADOPTION SERVICES
- KENNEL AREAS
- STRAY HOLD
- ISOLATION

Conceptual Rendering

New Facility Entry & Staff Parking



Conceptual Rendering

New Facility Entry & Adoption Play Area




Conceptual Rendering New Facility Event Day



Preliminary Engineering Report Civil Narrative


- Civil reviewed the following items to de-risk the project:
 - Utility availability
 - Site constraints
 - Provided a high level Site Investigation Report
 - Advised on detention needs
 - Calculated impervious coverages

- Data was provided to AGCM for cost estimating purposes



5. **STORMWATER DRAINAGE & DETENTION**

- a. The site has approximately 20% existing impervious cover. All existing storm runoff is assumed flowing to South Anderson Street. The new detention basin will collect runoff from the new detention, and outfall to South Anderson Street.
- b. Approximately 13,100 SF of detention will be provided. The detention basin will be approximately 4.5-ft deep.



**City of Angleton Animal Service Center
Civil Schematic Design Narrative, September 1, 2023**

1. **GENERAL SITE DESCRIPTION**
 - a. 2.167-acre tract is located at 535 South Anderson Street, Angleton, TX. The property is bound by the City of Angleton Animal Control Adoption Center to the south, the residence properties to the east and to the north, and Anderson Road frontage property to the west. The site has an existing driveway, concrete pavement and concrete building slab.
2. **BUILDING FINISHED FLOOR ELEVATION**
 - a. The total builds out building area is approximately 14,000 SF.
 - b. Based on FEMA map # 48039C0445K, the existing site is in Zone X unshaded, areas determined to be outside the 0.2% annual chance floodplain. Building floor elevation will not be raised based on the floodplain elevation; however, the building floor must be raised minimum 12" above crown of the road. Soil report is not currently available for review, we assumed clay soil exist on site which shall be removed and replaced with an estimate 3-ft to 4-ft of select fill for the subgrade below building slab.
3. **UTILITIES**
 - a. **Domestic and Fire Water:** A 2" long tap and meter for domestic will be proposed. 2" backflow preventer will be installed after the meter and enlarge to a 2-1/2" water line PVC SCH 40 to the building. A 4" long tap for fire water line with 4" DCBFP to provide service to building fire sprinkler system.
 - b. **Sanitary Sewer:** An 8" sanitary sewer from the building to be connected to the city sanitary sewer main along the frontage of the property. A new sanitary sewer manhole will be installed at the tie-in location.
 - c. **Storm Sewer:** Drainage from buildings, and all improvement including interior drives and parking lots are collected via storm catch basins and underground storm sewer system, then flows out into South Anderson Street's storm sewer system. Approximately 4 storm catch basins will be installed in parking, driveways, and future parking, 5 catch basins in the play area and the future play area along the south of the building. A new storm manhole and street paving repair will be required for storm sewer connection under the concrete pavement.
4. **SITE ACCESS DRIVE & PAVING**
 - a. The existing concrete driveway will be removed. Two new 24' wide concrete driveways off South Anderson Street provide access to the site. Approximately 15,950 sf of 6" reinforced concrete pavement is proposed for the main drive, visitor parking and the staff parking lot.
 - b. The site will have thirty (30) 9'x19' parking spaces including ADA parking and an accessible route from the public Right-of-Way to the building's sidewalk.

Page 1 | 2

Preliminary Engineering Report

MEP Narrative

- MEP provided a breakdown of all building requirements to de-risk the project
- Specific Items Reviewed:
 - Specialty systems specific to surgical components of the building program
 - Specialty systems required for Animal Shelter HVAC as required by the Building Code
 - Site electrical demands
 - Phasing requirements for infrastructure required to not prohibit future changes
- Data was provided to AGCM for cost estimating purposes

The screenshot shows a document titled "ANGLETON ANIMAL SHELTER MEP SCHEMATIC DESIGN NARRATIVE" with a table of contents on the left. The table of contents includes sections for ELECTRICAL, MECHANICAL, and DESIGN OPTIONS. The main content area contains a project description, base design, and MEP site design sections.

ANGLETON ANIMAL SHELTER
MEP SCHEMATIC DESIGN NARRATIVE

PROJECT DESCRIPTION

The project consists of the construction of a metal building with approximately 14,000 SF located at 535 S. Anderson St. Angleton, TX. The project will consist of 3 phases as follows:

Phase 1: Includes administrative spaces, kennels for dogs and cats, dog and cat stray hold, and surgical and recovery rooms.

Phase 2: Includes Sally port, intake, dog isolation and cat kennels.

Phase 3: Includes additional kennels for dogs.

The MEP and Fire protection scope of work include the following:

Base design: Phase #1 and 2 (shell only)

The base design will include the MEP and Fire protection design for phase 1, and MEP utilities and sprinkler piping connection and stub-outs for phase 2 (cold dark shell). It will also include provisions for MEP utilities and sprinkler piping connections and stub-outs for future phases 3 and 4.

Design option 1: Phase #1 and 2

This option will include the MEP and Fire protection design for phase 1 and phase 2. It will also include provisions for MEP utilities and sprinkler piping connections and stub-outs for future phases 3 and 4.

Design option 2: Phase # 1,2,3 and 4

This option will include the MEP and Fire protection design for phase 1, 2,3 and 4. It will also include provisions for MEP utilities and sprinkler piping connections and stub-outs for other future phases.

MEP SITE DESIGN

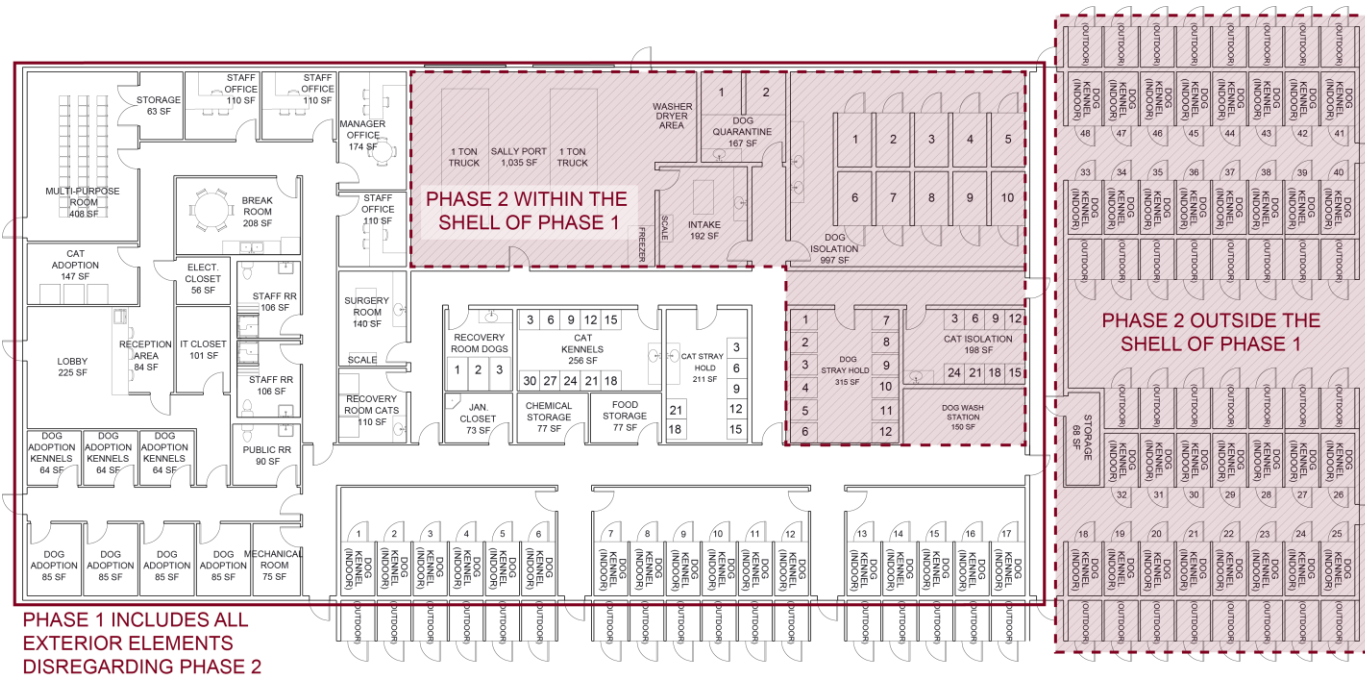
- Electrical service coordination with the local power company.
- Exterior lighting on the building will be surface mounted LED fixtures.
- Site lighting will be provided by new poles and LED fixtures.
- The plumbing scope will consist of a dedicated domestic water line sized for phase 1 and future phases 2,3, and 4, minimum 3" water line. The new water line will be coordinated with civil engineer on new site plan supplied with required backflow preventer provided by civil engineer. A new natural gas supply line will be sized for phase 1 and future phases 2,3, and 4. The new gas meter and gas line requirements (easement) shall be coordinated with CenterPoint Energy Gas service and civil engineer. New sanitary lines will be provided sized for phase 1 and stub-out for future phase 2,3 and 4, minimum 4" sanitary line. The elevation and location of the new 4" sanitary line will be designed up to 5 feet from the new building and tie -in to new dedicated line provided by civil engineer. A new sanitary line (Animal Waste) minimum 6", will be designed from animal kennel's trench drains, sinks, floor drains, dog washing station and from holding area to code required Solid interceptor minimum 250 gallons located for Service by pumper truck for cleaning. Location of Solid interceptor shall be coordinated with civil engineer.
- The fire sprinkler scope for this project will consist of a dedicated domestic/ fire water line sized for phase 1 and future phases 2,3, and 4, minimum 6" water line. The new domestic/ fire water line will be coordinated with civil engineer on new site plan supplied with required backflow/double check preventer provided by civil engineer. A proper flow test shall be obtained from city main to properly design fire wet-

Johnston | 2603 Augusta Drive, Suite 1600 | Houston, Texas 77057 | Main 713.244.8300 | Fax 713.532.9006 | johnston@johnstonllc.com



Conceptual Budget

Recap of Construction Cost

- Phase Approach
 - Phase 1
 - Total construction cost (June 2024) = \$6,126,093
 - Total construction cost (June 2025) = \$7,284,593
 - Phase 2
 - Total construction cost (June 2024) = \$2,601,455
 - Total construction cost (June 2025) = \$3,093,414
- Combined Cost
 - Total construction cost (June 2024) = \$8,727,548
 - Total construction cost (June 2025) = \$10,378,007





CoAngleton Animal Service Center - Conceptual Design DRAFT - 09.21.23

**City of Angleton
Animal Service Center
Conceptual Estimate**

SUMMARY OF CONSTRUCTION COST

DISCIPLINE / SCOPE OF WORK	QUANTITY	UNIT	UNIT COST	PERCENT OF TOTAL	PERCENT APPLIED	AGTCM TOTAL
1. General Requirements						
2. Demolition / Existing Conditions						
3. Concrete						
4. Masonry						
5. Metals						
6. Wood, Plastics, and Composites						
7. Thermal and Moisture Protection						
8. Openings						
9. Finishes						
10. Specialties						
11. Equipment						
12. Furnishings						
13. Special Construction						
14. Conveying Systems						
21. Fire Suppression						
22. Plumbing						
23. HVAC						
26. Electrical						
27. Communications						
28. Electronic Safety and Security						
31. Earthwork						
32. Exterior Improvements						
33. Utilities						
Subtotal Construction Cost						
34. General Conditions						
35. Bonds & Insurance						
36. Estimating/Design Contingency						
37. Escalation - 6 Month @ .5%/Mo						
38. GC Overhead & Profit						
Total Construction Cost						

**City of Angleton
Animal Service Center
Conceptual Estimate**

RECAP OF CONSTRUCTION COST

SCOPE OF WORK / PROJECT	QUANTITY	UNIT	UNIT COST	PERCENT OF TOTAL	PERCENT APPLIED	AGTCM TOTAL
1. Phase 1	8,040	SF	\$504.07	66.2%		\$4,052,724
2. General Requirements	8,040	SF	\$0.00	0.0%		\$0
SUBTOTAL CONSTRUCTION COST	8,040	SF	\$504.07	66.2%		\$4,052,724
3. General Conditions	8,040	SF	\$35.28	4.6%	7.0%	\$283,691
4. Bonds & Insurance	8,040	SF	\$16.18	2.1%	3.0%	\$130,092
5. Estimating & Design Contingency	8,040	SF	\$138.88	18.2%	25.0%	\$1,116,627
6. Escalation - 6 Months @ 0.5%/Mo	8,040	SF	\$31.25	4.1%	4.5%	\$251,241
7. GC Overhead & Profit	8,040	SF	\$36.28	4.8%	5.0%	\$291,719
8. Owner Soft Cost (Design Fees, Testing, Allowances, etc.)	8,040	SF	\$0.00	0.0%	0.0%	\$0
TOTAL CONSTRUCTION COST (June 2024)	8,040	SF	\$761.95	100.0%	44.5%	\$6,126,093
Escalation June 2025						
Escalation 21 Mo at 0.5%	8,040	SF	\$76.56			\$615,540
TOTAL CONSTRUCTION COST (June 2025)	8,040	SF	\$906.04	118.9%	49.5%	\$7,284,593

SCOPE OF WORK / PROJECT	QUANTITY	UNIT	UNIT COST	PERCENT OF TOTAL	PERCENT APPLIED	AGTCM TOTAL
1. Phase 2	5,960	SF	\$288.76	28.1%		\$1,720,995
2. General Requirements	5,960	SF	\$0.00	0.0%		\$0
SUBTOTAL CONSTRUCTION COST	5,960	SF	\$288.76	28.1%		\$1,720,995
3. General Conditions	5,960	SF	\$20.21	7.0%	7.0%	\$120,470
4. Bonds & Insurance	5,960	SF	\$9.27	3.2%	3.0%	\$55,244
5. Estimating & Design Contingency	5,960	SF	\$79.56	27.6%	25.0%	\$474,177
6. Escalation - 6 Months @ 0.5%/Mo	5,960	SF	\$17.90	6.2%	4.5%	\$106,690
7. GC Overhead & Profit	5,960	SF	\$20.79	7.2%	5.0%	\$123,879
8. Owner Soft Cost (Design Fees, Testing, Allowances, etc.)	5,960	SF	\$0.00	0.0%	0.0%	\$0
TOTAL CONSTRUCTION COST (June 2024)	5,960	SF	\$436.49	100.0%	44.5%	\$2,601,455
Escalation June 2025						
Escalation 21 Mo at 0.5%	5,960	SF	\$43.86			\$261,390
TOTAL CONSTRUCTION COST (June 2025)	5,960	SF	\$519.03	50.5%	49.5%	\$3,093,414

1. Excludes Owner's Soft Cost Items (i.e., Moveable Furnishings, Design Fees, etc....)
 2. Includes Escalation at 0.5% per month.
 3. The estimate is based on City of Angleton - New Animal Service Center Building, Presentation prepared by McLemore Luong Architects dated September 1, 2023. and MEP Schematic Design Narrative issued by Johnston 08/31/23
 4. Refer to remaining estimate report for additional qualifications (assumptions, exclusions, inclusions, etc....)

Construction Scope Breakdown

Phase 1

SCOPE OF WORK / PROJECT	QUANTITY	UNIT	UNIT COST	PERCENT OF TOTAL	PERCENT APPLIED	AG CM TOTAL
1. Phase 1	8,040	SF	\$504.07	66.2%		\$4,052,724
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Construction Scope Breakdown

Phase 2

SCOPE OF WORK / PROJECT	QUANTITY	UNIT	UNIT COST	PERCENT OF TOTAL	PERCENT APPLIED	AG CM TOTAL
1. Phase 2	5,960	SF	\$288.76	28.1%		\$1,720,995
2. General Requirements	5,960	SF	\$0.00	0.0%		\$0
SUBTOTAL CONSTRUCTION COST	5,960	SF	\$288.76	28.1%		\$1,720,995
3. General Conditions	5,960	SF	\$20.21	7.0%	7.0%	\$120,470
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Questions



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Santa Monica | + 1 213 392 7230

mcmoreluong.com