



PAID
 CASH CHECK CREDIT
Memo: 12/19/23
\$150.00

**CITY OF ANGLETON
SPECIFIC USE PERMIT APPLICATION**

PROPERTY ADDRESS: 2100 E Hwy 35 carb Rd. Angleton Tx.

PROPERTY DESCRIPTION (Legal description): Rep brick building 0318-0019-110

RECORD PROPERTY OWNER NAME, ADDRESS AND PHONE NUMBER:
Commerce Commercial Investment LLC 52 Dewberry Ct.
Lake Jackson 77566

DESIGNATED REPRESENTATIVE, ADDRESS AND PHONE NUMBER: David King [REDACTED]

PROPOSED USE FOR THE PROPERTY ADDRESS INDICATED ABOVE: Learning Center

A site plan (prepared and approved) in accordance with Section 35.4 of the City of Angleton Code of Ordinances (City Code) must be attached to the application. If a base zoning district amendment is required or requested, such rezoning application shall accompany the application for a Specific Use Permit. If the proposed use requires a division of land, an application for subdivision approval must be submitted with this application for a Specific Use Permit.

SIGNATURE: [Signature]
DATE: 12.19.23

PLEASE PROVIDE PROOF OF TAXES P.

ATTACHMENT: SECTION 35 SUP – SPEC APPLICATION FEE: \$150.00 due upon sub

Date received: _____
P&Z Public Hearing date: _____
Date to send cert. letters: _____
Site Plan submitted: Yes _____
Site Plan received & evaluated by _____
Proof of taxes paid: _____

371-843-5665
REC#: 02269313 12/19/2023 8:07 AM
OPER: 3G TERM: 105
REF#: 060E0C SUP
TRAN: 300.1100 Building Permits
BUILDING PERMITS 150.00CR
TENDERED: 150.00 CREDIT CARD
APPLIED: 150.00-
CHANGE: _____ 0.00

[REDACTED]
Yace



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SPECIFIC USE PERMIT APPLICATION

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SIGNATURE: [Signature]
DATE: 12.19.23

PLEASE PROVIDE PROOF OF TAXES PAID ON THIS PROPERTY.

ATTACHMENT: SECTION 35 SUP – SPECIFIC USE PERMIT

APPLICATION FEE: \$150.00 due upon submittal

OFFICE USE ONLY	
Date received: _____	Admin Fee Received: _____
P&Z Public Hearing date: _____	
Date to send cert. letters: _____	Date to publish: _____
Site Plan submitted: Yes _____ No _____	
Site Plan received & evaluated by City Staff: Yes _____ No _____	
Proof of taxes paid: _____	Date verified: _____

[Handwritten initials]



DEVELOPMENT INFORMATION

Project Name/Address/Location: 2700 E. HWY 35 @ RAB RD. ANGLETON TX. Acreage: 2.7
Brief Description of Project: RED BRICK BUILDING
Is property platted? No Yes Subdivision name: A0318 - TS LEE No. of Lots: _____
Recordation #: _____ Parcel(s) Tax ID#: 0318-0019-110
Existing Use: CHURCH / MULTI USE OFFICE Proposed Use: LEARNING CENTER
Current Zoning: CA Proposed Zoning: SUP
Occupancy Type: 3621 Sq. Ft: _____ Bed #: _____ Bath #: 3 Car Garage #: _____
Water System Well Public Flood Zone: Yes No Sewer System: Septic Public

PROPERTY OWNER INFORMATION

Owner: COMMERCE COMMERCIAL INVESTMENTS LLC Contact Name: _____
Address: 52 DEWBERRY CT. LAKE JACKSON 77566 City/State/ZIP: LAKE JACKSON 77566
Phone: _____ Email: _____


APPLICANT INFORMATION

Applicant/Developer: DAVID KING Contact Name: DAVID KING
Address: _____ City/State/ZIP: _____
Phone: _____ Email: _____

KEY CONTACT INFORMATION

Name of the Individual: DAVID KING Contact Name: _____
Address: _____ City/State/ZIP: _____
Phone: _____ Email: _____

SIGNATURE OF PROPERTY OWNER OR APPLICANT (SIGN AND PRINT OR TYPE NAME)

Signature:  Date: 12-13-23
(Signed letter of authorization required if the application is signed by someone other than the property owner)

*****OFFICE USE ONLY*****

DATE REC'D: _____ BY: _____
FEES PAID: _____
APPROVED BY: _____ DATE APPROVED: _____
APPLICATION/PERMIT NO: _____ EXP DATE: _____

Applications shall be processed based on the City's official submission dates. When a completed application packet has been accepted and reviewed, additional information may be required by staff as a result of the review, therefore it may be necessary to postpone the proposed project and remove it from the scheduled agenda and place it on a future agenda.

TYPE OF APPLICATION Please check appropriate box below:

Landuse, Policy, and Site Development

- Annexation
- Rezoning/ FLUM Amendment
- Specific Use Permit
- Planned Development (PD)
- Amending Minor and Major Plat
- Minor Consolidation Plat
- Development Plat
- Concept Plan
- Preliminary Plat
- Final Plat
- Replat
- Construction Plans
- Special Exception
- Floodplain Development Permit
- Variance/Appeal
- On-Site Sewage Facility Permit (OSSF)
- Certificate of Occupancy (CO)
- Grading/Clearing Permit
- Site Development Permit/ Site Plan Review

Interpretations/Verifications/Text Amendments

- Comprehensive Plan Amendment (Text)
- Land Development Code (LDC)/Zoning Text Amendment
- Vested Rights Verification Letter
- Letter of Regulatory Compliance
- Zoning Verification
- Letter/Written Interpretation
- Legal Lot Verification

Other Permits/Licenses/Registration

- Commercial -New/Remodel/Addition
- Residential Building Permit 1 & 2 Family
(New, Remodel, Addition, Patio Cover, Carport, Foundation Repair, House Leveling, Windows, New Mobile Home, Siding, Storage Building permits, Re-roof)
- Miscellaneous
- Fence
- Solar Panels
- Swimming Pool
- Demolition or Move
- Backflow/Irrigation
- Flatwork
- Electrical Permit
- Plumbing Permit
- Mechanical Permit
- Sign Permit
- Garage Sale Permit
- Master/ Common Signage Plan
- Fire Prevention Permit Form
- Right-of-Way Construction
- Pipeline Permit
- Drainage Pipe/Culvert Permit
- Roadside Banner Permit
- Mobile Home Park Registration
- Game Room Permit Form
- Grooming Facility License
- Alcohol permit
- Health Permit
- Temporary Health Permit
- Alarm Permit

121 S. Velasco, Angleton, Texas 77515
979-849-4364 – Fax: 979-849-5561
<http://www.angleton.tx.us>

APPLICATION AND ALL REQUIRED DOCUMENTATION MUST BE SUBMITTED FOR REVIEW A MINIMUM OF 35 DAYS PRIOR TO THE NEXT PLANNING & ZONING COMMISSION MEETING. INCOMPLETE FORMS MAY BE DELAYED, DENIED, RETURNED TO THE APPLICANT; PLANNING & ZONING COMMISSION MEETS ON THE FIRST THURSDAY OF THE MONTH.

AFFIDAVIT OF AUTHORIZATION BY PROPERTY OWNER

I swear that I am the owner of (indicate address and/or legal description)
8700 E Mulberry Angleton, TX 77566

which is the subject of the attached application for land platting and is shown in the records of Brazoria County, Texas.

I authorize the person named below to act as my agent in the pursuit of this application for the platting of the subject property.

NAME OF APPLICANT: David King

ADDRESS: [REDACTED]

APPLICANT PHONE # [REDACTED] E-MAIL: [REDACTED]

PRINTED NAME OF OWNER: Charles Smith c/o Commerce Commercial Investments, LLC.

SIGNATURE OF OWNER: [Signature] DATE: 12/14/2023

NOTARIAL STATEMENT FOR PROPERTY OWNER:

Sworn to and subscribed before me this 14 day of December, 2023.

(SEAL)



Cheryll Cernoch
Notary Public for the State of Texas
Commission Expires: 9-21-2027

← GO BACK

ACCOUNT:
03180019110

TOTAL DUE
\$7,972.70

Basic Information

OWNER
COMMERCE COMMERCIAL INVESTMENTS LLC
52 DEWBERRY CT
LAKE JACKSON, TX 77566

TYPE
🏠 Real

LOCATION
0002700 E HIGHWAY 35 @ RAB RD

LEGAL
A0318 T S LEE TRACT 38C1 ACRES 2.7 (ANGLETON)

[View More](#)

Property Tax Record

PAYMENT HISTORY / RECEIPTS

Sort year by: Descending

Show:

Current / Due

All Years

2023

DUE AMOUNT
\$7,972.70

[View More](#)

2022

DUE AMOUNT
\$0.00

[View More](#)

2021

DUE AMOUNT
\$0.00

[View More](#)

2020

DUE AMOUNT
\$0.00

[View More](#)

2019

DUE AMOUNT
\$0.00

[View More](#)

2018

DUE AMOUNT
\$0.00

[View More](#)

2017

DUE AMOUNT
\$0.00

[View More](#)

2016

DUE AMOUNT
\$0.00

[View More](#)

2015

DUE AMOUNT
\$0.00

[View More](#)

2014

DUE AMOUNT
\$0.00

[View More](#)

2013

DUE AMOUNT
\$0.00

[View More](#)

2012

DUE AMOUNT
\$0.00

[View More](#)

2011

DUE AMOUNT
\$0.00

[View More](#)

2010

DUE AMOUNT
\$0.00

[View More](#)

2009

DUE AMOUNT
\$0.00

[View More](#)

2008

DUE AMOUNT
\$0.00

[View More](#)

2007

DUE AMOUNT
\$0.00

[View More](#)

2006

DUE AMOUNT
\$0.00

[View More](#)

2002

DUE AMOUNT
\$0.00

[View More](#)

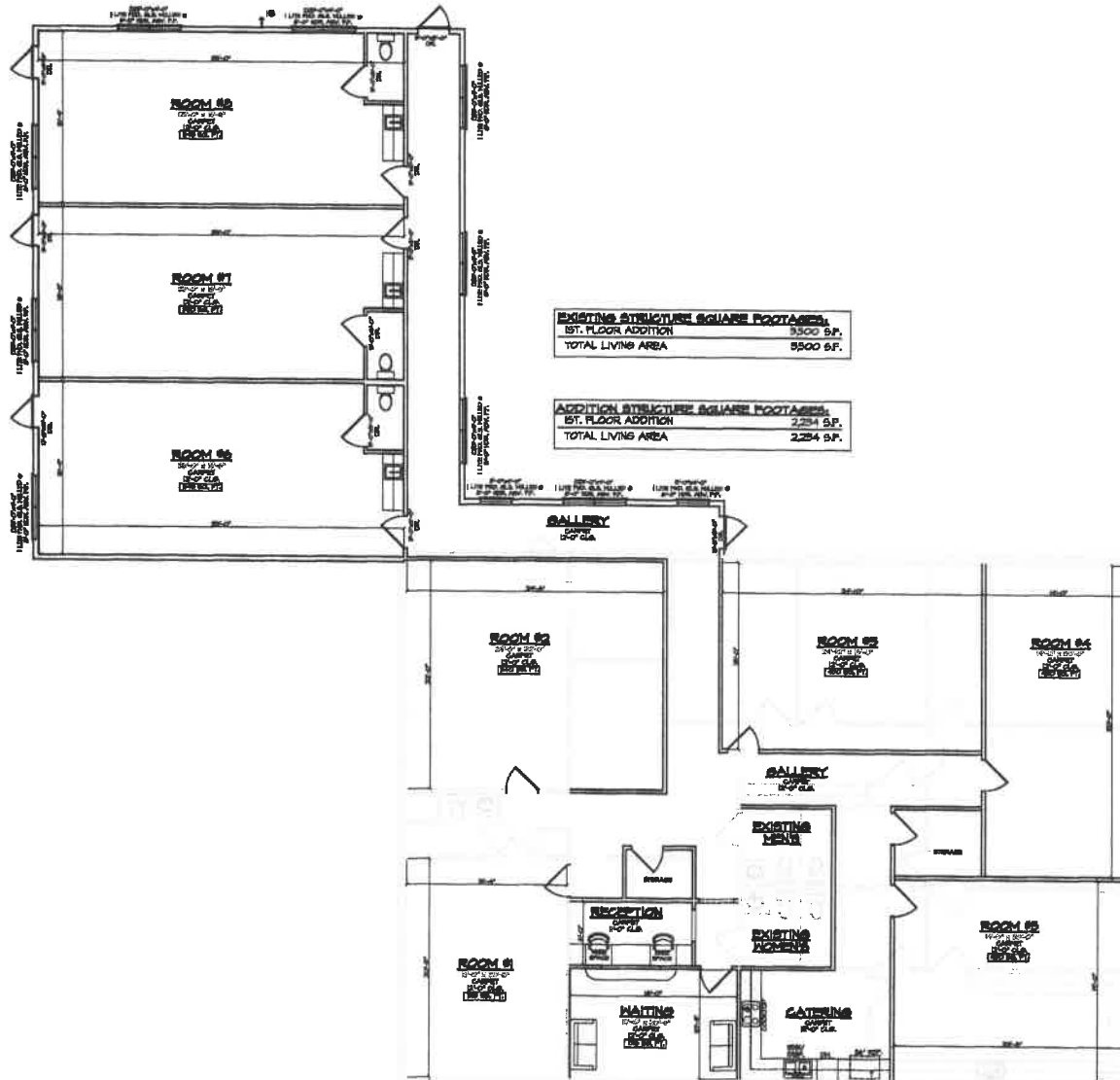
2001

DUE AMOUNT
\$0.00

[View More](#)

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KRISTIN R. BULANEK CIA, PCC (979) 864-1320
Brazoria County Tax Assessor / Collector



EXISTING STRUCTURE SQUARE FOOTAGES
 1ST. FLOOR ADDITION 3500 S.F.
 TOTAL LIVING AREA 8900 S.F.

ADDITION STRUCTURE SQUARE FOOTAGES
 1ST. FLOOR ADDITION 2,284 S.F.
 TOTAL LIVING AREA 2,284 S.F.

PROPOSED FLOOR PLAN
5/8"=1'-0" ALL ANGLES 45°/135°

FLOOR PLAN NOTES

1. ALL WINDOW HEADER HEIGHTS MEASURED FROM FINISHED FLOOR IMMEDIATELY INSIDE FINISH LINE.
2. ALL CEILING HTS. MEASURED FROM THE FINISHED FLOOR IN THE ROOM BEING CALLED OUT (GARAGE CEILING HTS. MEASURED FROM THE WHEEL STOP ELEVATION).
3. IRC 2012 R301.2- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 3/8" GYPSUM BOARD AND IF LIVING AREAS ARE LOCATED ABOVE THE GARAGE, THEN THE GARAGE CEILING TO BE SEPARATED BY 3/8" GYPSUM BOARD. (ALL OTHER GYPSUM BOARD IN GARAGE CAN BE 1/2" INCLUDING CEILING OF 1 STORY)
4. IRC 2012 R311.1- STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES (914mm) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES (114mm) ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 36 INCHES (914mm) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (690mm) WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
5. IRC 2012 R311.5.6- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
6. IRC 2012 R311.5.6.1- HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLAN ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864mm) AND NOT MORE THAN 38 INCHES (965mm).
7. IRC 2012 R311.5.6.2- HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NELS, POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE SPACE OF NOT LESS THAN 1 1/2 INCH (38mm) BETWEEN THE WALL AND HANDRAILS.
8. IRC 2012 R312.2- REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.
 EXCEPTION 1- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL, OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES (152mm) CANNOT PASS THROUGH.
 EXCEPTION 2- OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 5/8 INCHES (117mm) TO PASS THROUGH.
9. IRC 2012 R311.5.3.1- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (194mm). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SHALLEST BY MORE THAN 3/8 INCH (9.5mm).
10. PROVIDE 20-MINUTE SELF-CLOSING DOOR BETWEEN GARAGE AND RESIDENCE.
11. SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. LOCATIONS COMPLY W/ IRC 2012.
12. ALL BEDROOM WINDOWS SHALL BE 44" A.P.F.(MAX) WITH 24" HIGH (MIN) X 20" WIDE (MIN) OPENING AND 8.7 SQFT.(MIN) NET CLEAR OPENING
13. PROVIDE VENTILATION TO ALL BATHS AND UTILITY ROOMS THRU NATURAL OR MECHANICAL MEANS AND COMPLY WITH IRC 2012.
14. FINAL LOCATION OF ALL A/C COMPRESSORS, ELECTRIC METER, GAS METER, PHONE, CABLE, ETC., MAY VARY DUE TO FIELD CONDITIONS.
15. SHOWER STALLS AND TUB WALLS SHALL BE FINISHED WITH NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 70" ABOVE THE DRAIN INLET OVER A CONCRETE BACKER BOARD.
16. ALL WINDOWS AT FIRST FLOOR LEVEL TO BE A MINIMUM OF 18" ABOVE FINISH FLOOR (UNLESS NOTED OTHERWISE). ALL WINDOWS AT SECOND FLOOR LEVEL TO BE A MINIMUM OF 24" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
17. IRC 2012 311.2.3- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH (13mm) GYPSUM BOARD.

- 2x4 STUDS AT 16" O.C.
- 2x4 STUDS AT 16" O.C. WITH BRICKSTONE LEDGE
- MIN. 2x6 STUDS AT 16" O.C.
- MIN. 2x8 STUDS AT 16" O.C. WITH BRICKSTONE LEDGE

○ SIA = SHEETROCK ARCH
 ◊ = INTERIOR ELEVATION

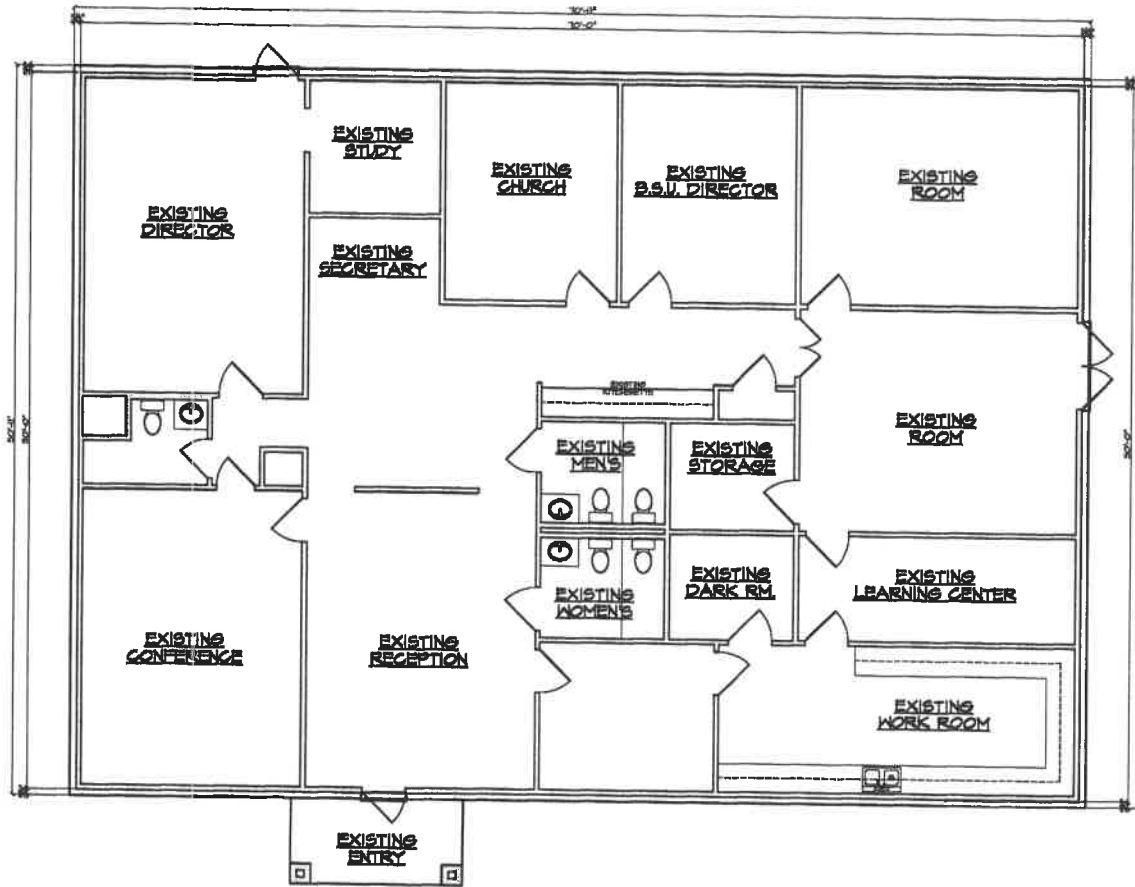
2300 E. 75th Street
 Ste. 200
 Houston, TX 77056
 Office 282-888-9978

GARCIA & HERNANDEZ CUSTOM HOMES
 BUILDING DESIGNERS
 A CUSTOM DESIGN FIRM
MR. DAVID KING
 COUNTY ROAD 711

DRAWN BY:
 ERICK
 DATE:
 12/07/2025
 REVISIONS:
 00100100

SCALE:
 3/16" = 1'-0"
 JOB NUMBER:
 25-00

SHEET NUMBER:
 2.1



EXISTING FLOOR PLAN

1/4" = 1'-0" ALL DIMENSIONS IN INCHES

FLOOR PLAN NOTES

1. ALL WINDOW HEADER HEIGHTS MEASURED FROM FINISHED FLOOR IMMEDIATELY INSIDE WINDOW.
2. ALL CEILING HTS. MEASURED FROM THE FINISHED FLOOR IN THE ROOM BEING CALLED OUT (GARAGE CEILING HTS. MEASURED FROM THE WHEEL STOP ELEVATION).
3. IRC 2012 R504.2- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 5/8" GYPSUM BOARD AND IF LIVING AREAS ARE LOCATED ABOVE THE GARAGE, THEN THE GARAGE CEILING TO BE SEPARATED BY 5/8" GYPSUM BOARD. (ALL OTHER GYPSUM BOARD IN GARAGE CAN BE 1/2" INCLUDING CEILING OF 1 STORY)
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8. IRC 2012 R312- REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES (102mm) OR MORE IN DIAMETER.
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EXCEPTION 2- OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4 3/8 INCHES (113mm) TO PASS THROUGH.
9. IRC 2012 R312.5.1- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/8 INCHES (190mm). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5mm).
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17. ALL WINDOWS AT FIRST FLOOR LEVEL, TO BE A MINIMUM OF 10' ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL WINDOWS AT SECOND FLOOR LEVEL, TO BE A MINIMUM OF 24' ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE.
18. IRC 2012 311.2.2- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH (13mm) GYPSUM BOARD.

- = 2x4 STUDS AT 16" O.C.
- = 2x4 STUDS AT 16" O.C. WITH BRICKSTONE LEADS
- = 1x4 STUDS AT 16" O.C.
- = 1x4 STUDS AT 16" O.C. WITH BRICKSTONE LEADS

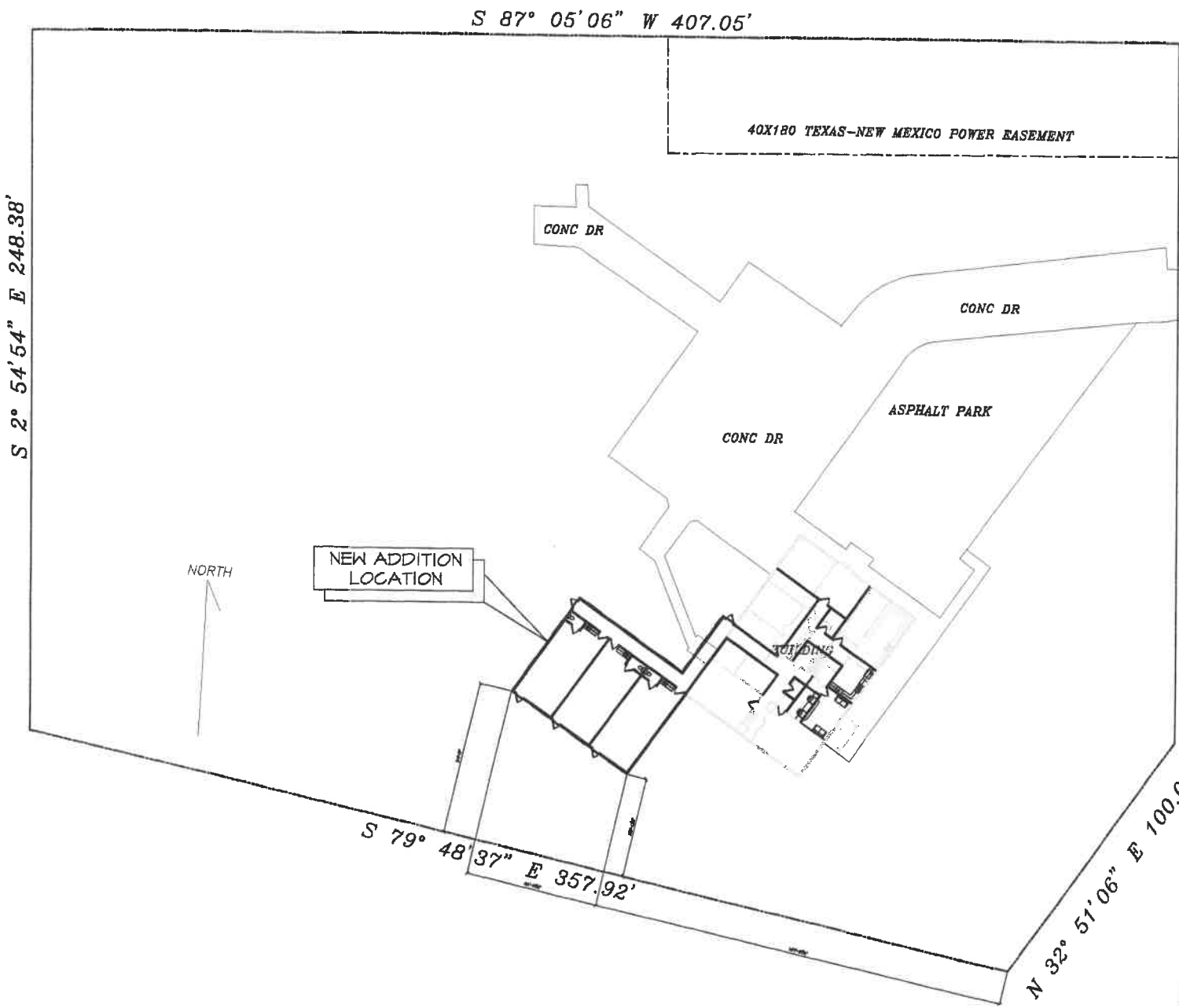
SYLA SHEETROCK ARCH
 INTERIOR ELEVATION

2000 E. TX. UNDER
 HOUSTON, TX 77008
 (713) 238-0000
GARCIA & HERNANDEZ CUSTOM HOMES
 BUILDING DESIGNERS
 A CUSTOM DESIGN FIRM
MR. DAVID KING
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DRAWN BY:
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 DATE:
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 00100100

SCALE:
 1/4" = 1'-0"
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 25-00

SHEET NUMBER:
 2.0



NEW ADDITION
LOCATION

40X180 TEXAS-NEW MEXICO POWER EASEMENT

CONC DR

CONC DR

ASPHALT PARK

CONC DR

RAB ROAD

N 2° 54' 54" W 248.38'

S 79° 48' 37" E 357.92'

N 32° 51' 06" E 100.00'

S 87° 05' 06" W 407.05'

S 2° 54' 54" E 248.38'

PROPOSED SITE PLAN
1/8" = 1'-0" ALL ANGLES 45° 0.00'

3000 E. 10th Street
 Suite 202
 Houston, TX 77006
 Phone: 281-466-4666
GARCIA & HERNANDEZ CUSTOM HOMES
www.garciaandhernandez.com
 A CUSTOM DESIGN FIRM BUILDING DESIGNERS
MR. DAVID KING
 COUNTY ROAD 711

DRAWN BY:
 ERICK
 DATE:
 12/14/2023
 REVISIONS:
 00/100/100

SCALE:
 1/8" = 1'-0"
 JOB NUMBER:
 23-00

SHEET NUMBER:
 1.0