

1 Overall First Floor Plan

Scale: 1/8" = 1'-0"

Square Footage: 13,651 SF

General Notes:

01. Provide W/s GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints in all gypsum board walls, ceilings, and floors. Control joints in floor jacking extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at the edge of the ceiling.
02. Provide W/S GWB in all bathroom & laundry areas.
03. All dimensions are from face of stud, U.N.O.
04. Caulk perimeter of all tub/shower units, toilets, & showers.
05. GWBs run behind tub/shower units to maintain rated assemblies.
06. Wood base typical, U.N.O. Verify finish w/ owner.
07. Provide all m. 2" curbs @ tub/shower and sheet vinyl floors.
08. Provide all m. 1" curbs @ tub/shower and sheet vinyl floors into "J" channel & caulk between "J" channel @ tub/shower unit.
09. Verify all appliance dimensions prior to ordering.
10. All rated doors to receive closers and smoke seals.
11. All penetrations to rated walls must be fire caulked.
12. All mechanical penetrations to rated walls must be fire caulked.
13. All finishes determined by owner.
14. All operable second floor windows (all height greater than 72" above finished grade) must be equipped with fall protection devices.
15. Provide 2x blocking at all grab bar & future grab bar locations.
16. All accessible entrances shall have ADA compliant thresholds at all doors requiring thresholds.



VanDeWalle Architects LLC
ARCHITECTURE • PLANNING • INTERIORS
SIOUX FALLS, S.D. 605-339-4411

G.A. HAAN DEVELOPMENT
380 FRANKLIN ST. - SUITE 104
HARBOR SPRINGS MI 49740
(231) 526-7380

Overall First Floor Plan			
Label	No. of Bedrooms	Square Ft	Total
'A'	One Bedroom	764 SF	5
'B'	Two Bedrooms	915 SF	1
'C'	Three Bedrooms	1,112 SF	4
'D'	One Bedroom H.C.	764 SF	1
'E'	Two Bedrooms H.C.	915 SF	1
		Total Units	12

Alpine Park Apartments
Alpine, Wyoming

Overall First Floor Plan

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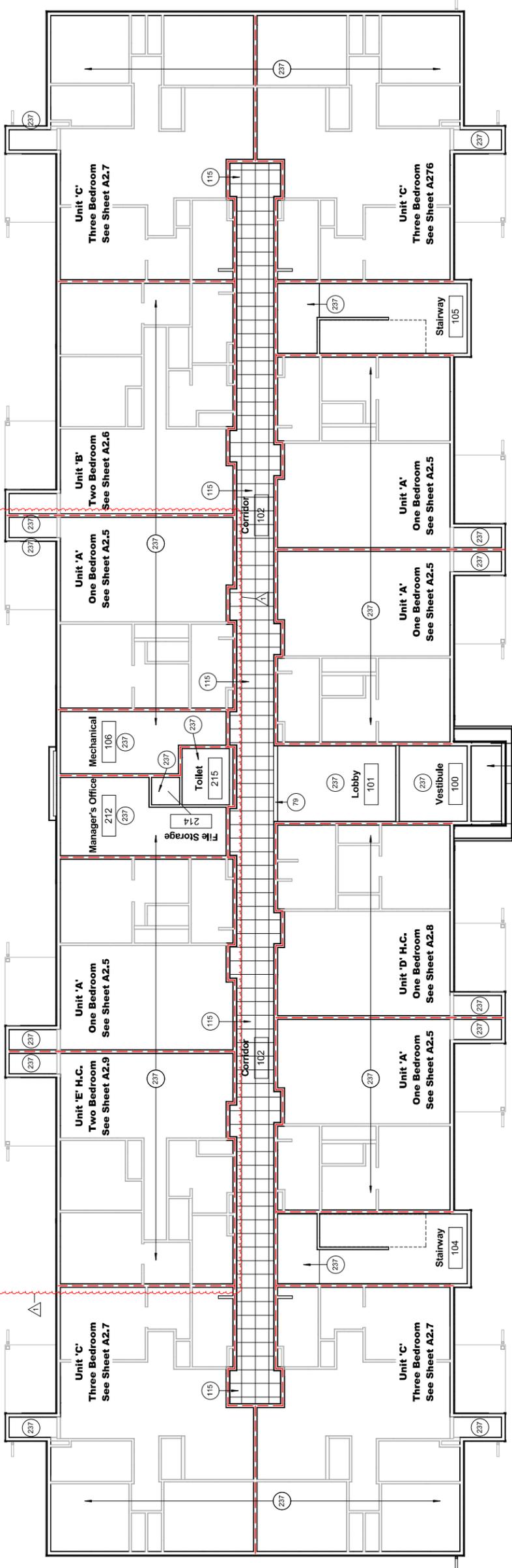
Project No. 17003 | 1 | 06.21.2018 | AMU
Date: 06.05.2017
Drawn By: AMU

A2.0R

Plan Notes

5/8" GWB soffit @ 7'-10" AFF. See sections.
 24" x 24" ACT @ 6'-0" AFF with ONE HOUR rated ceiling above. See sections.
 Prefinished soffit with integral vents.
 Ceiling system consists of 24" type 'X' GWB over 1/2" resilient channels @ 12" o.c.

79
 115
 190
 237



1 Overall First Floor Reflected Ceiling Plan

Scale: 1/8" = 1'-0"

- General Notes:**
- Provide "V" style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long corridors/wall exposures. Control joints @ door jambs should also be given to locating control joints from floor to ceiling at either edge of large window openings.
 - Provide W.R. GWB in all bathroom & laundry areas.
 - All tub/shower units must be installed in accordance with back-splashes.
 - Caulk perimeter of all tub/shower units, toilets, & backsplashes.
 - GWB must run behind tub/shower units to maintain integrity of wall.
 - Wood base typical. LUNA. Verify finish w/ owner.
 - Provide alum. "J" channels @ tub/shower and sheet vinyl flooring. Caulk inside of "J" prior to inserting vinyl sheet flooring.
 - Verify all appliance dimensions prior to ordering cabinets.
 - Unfinished doors to receive doors and create seals.
 - All penetrations to rated walls must be fire caulked.
 - All mechanical penetrations to rated walls must be fire/smoke dampened. See mechanical plans.
 - Verify all window dimensions prior to ordering windows.
 - All operable second floor windows (sill height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the manufacturer's instructions.
 - Provide 2x blocking at all grab bar & future grab bar locations.
 - All H.C. accessible units/areas shall have ADA compliant thresholds at all doors requiring thresholds.



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Alpine Park Apartments
 Alpine, Wyoming

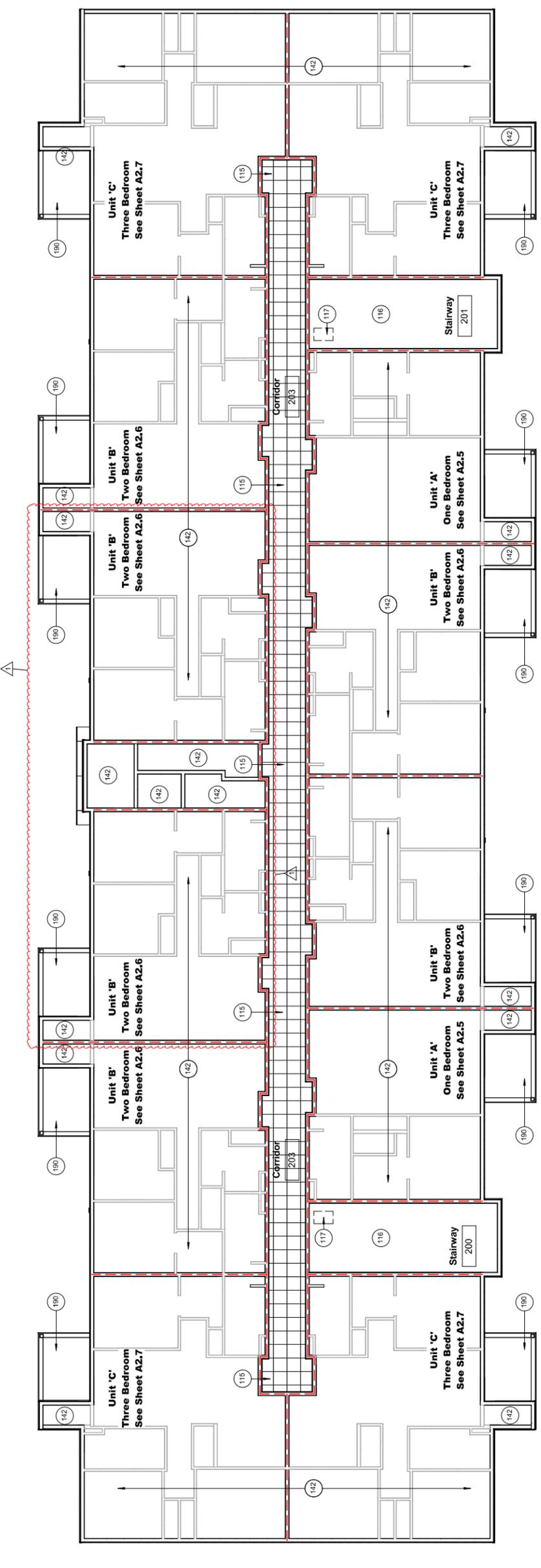
Overall First Floor Reflected Ceiling Plan

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Project No.	17003	Revisions	
Date:	06.05.2017	1	06.21.2018 AMU
Drawn By:	AMU		

A2.2R

- Plan Notes**
- 115 24" x 24" ACT @ 8'-7" AFF WITH ONE HOUR rated ceiling above. See sections.
 - 116 5/8" GWB ceiling. See sections.
 - 117 Reinforced lockable attic access door, 22" x 34". Ceiling system consists of 5/8" USG GWB.
 - 142 Ceiling system consists of 5/8" USG GWB, FIRECODE Type 'C' over 1/2" resilient channels @ 12" o.c. GA FILE NO. RC 2604, ONE HOUR rated assembly.
 - 190 Prefinished soffit with integral vents.



1 Overall Second Floor Reflected Ceiling Plan

Scale: 1/8" = 1'-0"

- General Notes:**
01. Provide "W" style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in long walls and ceiling. Control joints in long walls shall extend from floor head to ceiling. Cooperation should also be given to locating control joints from floor to ceiling at either edge of large window openings.
 02. Provide W.C. GWB in all bathroom & laundry areas.
 03. All tub/shower units shall be of U.N.A. or U.N.A. type.
 04. Caulk perimeter of all tub/shower units, toilets, & backsplashes.
 05. GWB must run behind tub/shower units to maintain level.
 06. Wood base typical. U.N.A.O. Verify finish w/ owner.
 07. Provide alum. "Z" channels @ tub/shower and sheet vinyl flooring. Caulk inside of "J" prior to inserting vinyl sheet into channel. Caulk between "J" channel @ tub/shower unit.
 08. Verify all appliance dimensions prior to ordering cabinets.
 09. All spaced doors to receive doors and epoxy seals.
 10. All penetrations to rated walls must be fire caulked.
 11. All mechanical penetrations to rated walls must be fire/smoke dampener. See mechanical plans.
 12. All operable windows shall be fire rated.
 13. All operable second floor windows (all height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the manufacturer's instructions.
 14. Provide 2x blocking at all grab bar & future grab bar locations.
 15. All HIC accessible units/areas shall have ADA compliant thresholds at all doors requiring thresholds.



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Alpine Park Apartments
 Alpine, Wyoming

Overall Second Floor Reflected Ceiling Plan

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Project No.	17003	Revisions	
Date:	06.05.2017	1	06.21.2018 AMU
Drawn By:	AMU		

A2.3R

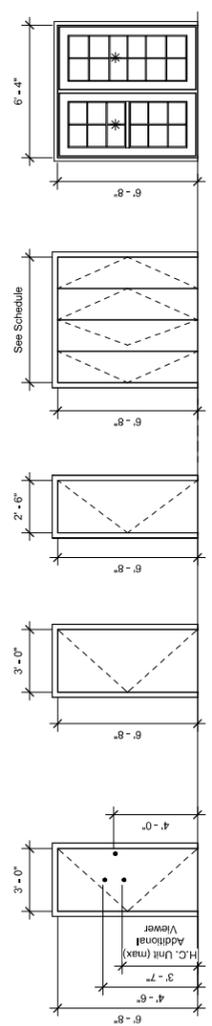
A-Door Schedule						
Door Number	Description	Width	Height	Material	Finish	Comments
A01	Elev. A	3'-0"	6'-8"	SC Wood	Prefinished Stain	
A02	Elev. B	6'-4"	6'-8"	Vinyl/Glass	Prefinished	
A03	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain	
A04	Elev. E	6'-0"	6'-8"	HC Wood	Prefinished Stain	
A05	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain	
A06	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain	
A07	Elev. C	3'-0"	6'-8"	Insulated Metal	Paint	

A-Door Schedule						
Door	Hardware	Frame	Material	Finish	Comments	
	Self Closing Hinges, Keyed Deadbolt, 180 Degree Viewer, Sticks Mfr. Standard Lockset	Knock Down Rock-Frame	Knock Down Rock-Frame	Prefinished Paint		
	Privacy Lock	Wood	Wood	Prefinished Stain		
	Privacy Lock	Wood	Wood	Prefinished Stain		
	Privacy Lock	Wood	Wood	Prefinished Stain		
	Keyed Lock, Seals, Weatherstrip	Wood	Wood	Paint		

General Door Notes:
01. All hardware must be lever type hardware.
02. All doors requiring thresholds must be low profile ADA compliant.
03. Provide tempered glass in all doors @ sidelites that have glazing.
04. Provide closers @ all rated doors.
05. All corridor doors to be designated as 20-minute smoke and draft control assemblies complying with UL 1784. Doors shall be labeled and show the letter 'S' on the fire rating label of the door.

Window Schedule						
Type Mark	Width	Height	Material	Head	Jamb	Sill
W1	5'-0"	4'-0"	Vinyl	5/8" GWB	1/2" GWB	Solid Surface

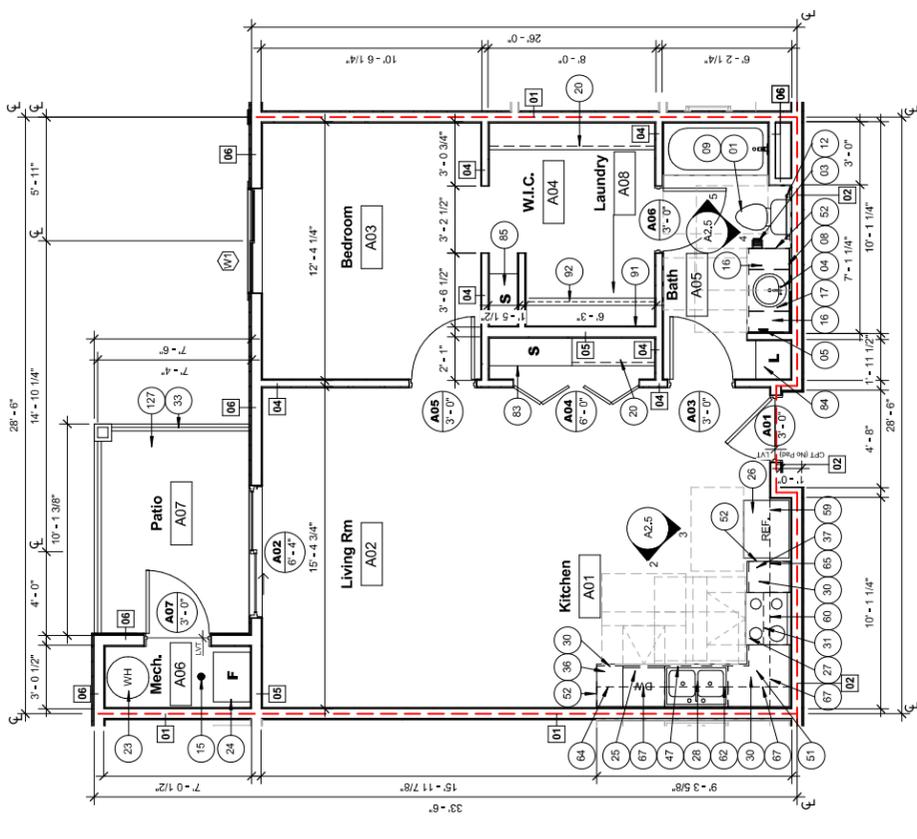
General Window Notes:
01. All exterior windows to be mfr. standard 'Low-E' (.29 U-factor min.) argon filled insulated glazing.
02. All second floor windows (sill height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.8 to be installed by window mfr.
03. Provide & install horizontal blinds @ all window locations.



Door Elevations
Scale: 1/4" = 1'-0"
* Tempered

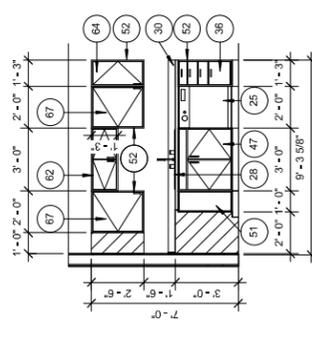


Window Elevations
Scale: 1/4" = 1'-0"

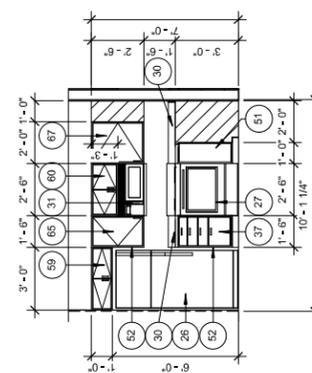


Unit 'A' One Bedroom
Scale: 1/4" = 1'-0"

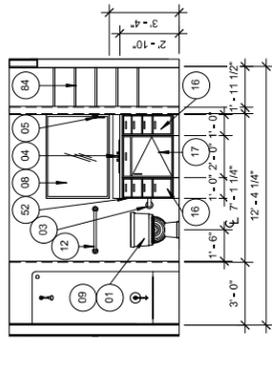
1 Square Footage: 764 SF
See Unit 'F' - Electrical for Hearing Impaired Unit



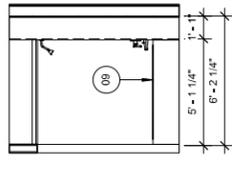
2 A-Kitchen Elevation 1
Scale: 1/4" = 1'-0"



3 A-Kitchen Elevation 2
Scale: 1/4" = 1'-0"



4 A-Bath Elevation 1
Scale: 1/4" = 1'-0"



5 A-Bath Elevation 2
Scale: 1/4" = 1'-0"

- Plan Notes**
- 01 Water Sense qualified tank typ. at toilet, caulk perimeter. Provide future grab bar backing @ all units. See accessibility sheet A5.3. See mechanical.
 - 03 Toilet paper dispenser.
 - 04 AFF to top of rim, with Water Sense qualified faucet. See mechanical.
 - 05 Towel ring @ 48" AFF.
 - 06 48" w x 36" h head mirror. Mount @ 40" AFF to bottom edge of reflective surface.
 - 09 60" ceiling height glass tub/shower. Provide future grab bar backing @ all units. See accessibility sheet A5.3. See mechanical.
 - 12 24" towel bar @ 48" AFF.
 - 15 Floor drain. See mechanical.
 - 16 12" w vanity drawer stack base cabinet.
 - 17 24" w vanity base cabinet.
 - 20 Shelf and rod @ 48" AFF.
 - 23 Water Heater. See mechanical.
 - 24 50% efficient furnace with ENERGY STAR qualified AC.
 - 25 ENERGY STAR qualified dishwasher.
 - 26 ENERGY STAR qualified frost-free refrigerator.
 - 27 S&K cleaning range.
 - 28 S.S. double sink 6 1/2" bowl depth max. with 'Water Sense' qualified faucet and garbage disposal. See mechanical.
 - 30 Plastic laminate countertop with backsplash @ 36" AFF.
 - 31 Microwave range hood, recirculating.
 - 33 1/2" x 1/2" x 1/2" aluminum railing system with powdercoat finish, square balusters, standard posts, caps, base, top, and bottom rails, @ 42" AFF, typ @ all units above grade.
 - 36 15" w drawer stack base cabinet.
 - 37 36" w double door base cabinet with removable cabinet countertop to be reattachable to be lower to 34" AFF.
 - 51 'Lazy Susan' base cabinet.
 - 52 Finished end panel.
 - 59 36" w x 12" x 12" double door upper cabinet.
 - 60 30" w x 15" x 12" double door upper cabinet.
 - 62 36" w x 15" x 12" double door upper cabinet.
 - 64 15" w x 30" x 12" upper cabinet.
 - 65 15" w x 30" x 12" upper cabinet.
 - 67 24" w x 30" x 12" upper cabinet.
 - 68 (1) 20" w sliding.
 - 69 (1) 20" w sliding.
 - 74 (1) 30" w sliding.
 - 75 (1) 30" w sliding.
 - 84 Provide washer and dryer hookups. See mechanical.
 - 85 Treated 2x deep cooled wire shelf @ 48" AFF.
 - 92 Treated 2x deck framing with composite S4 decking @ units above grade. Concrete slab @ grade level units sloped 1/8" max per foot. See structural.
 - 127

- General Notes:**
- 01 Show all G.W.B. control joints as recommended by the National Gypsum Association. Finishes are limited to control joints @ 30" o.c. max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at corner eaves of large window openings.
 - 02 Provide W.R. GWB in all bathroom & laundry areas.
 - 03 All dimensions are from face of stud, U.N.O.
 - 04 All penetrations of all tub/shower units, toilets, & backsplashes.
 - 05 G.W.B. must run behind tub/shower units to maintain rated assemblies.
 - 06 Provide typical U.N.O. Verify finish w/ owner.
 - 07 Provide alum. 'J' channels @ tub/shower and sheet vinyl flooring. Caulk inside of 'J' prior to inserting vinyl sheet goods into 'J' channel & caulk between 'J' channel @ tub/shower unit. All penetrations of all tub/shower units shall be fire rated.
 - 08 All rated doors to receive closers and smoke seals.
 - 10 All penetrations to rated walls must be fire caulked.
 - 11 All mechanical penetrations to rated walls must be fire caulked.
 - 12 All finishes determined by owner.
 - 13 All operable second floor windows (sill height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.8.
 - 14 Provide 2x blocking at all grab bar & future grab bar locations.
 - 15 All grab bars, accessible, unless otherwise specified, shall have ADA compliant thresholds at all doors requiring thresholds.

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380 FRANKLIN ST. - SUITE 104
HARBOR SPRINGS MI 49740
(231) 526-7380

Alpine Park Apartments
Alpine, Wyoming

Unit 'A' One Bedroom

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Project No. 17003
Date: 06.05.2017
Drawn By: AMU

A2.5

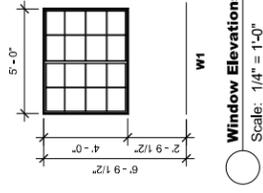
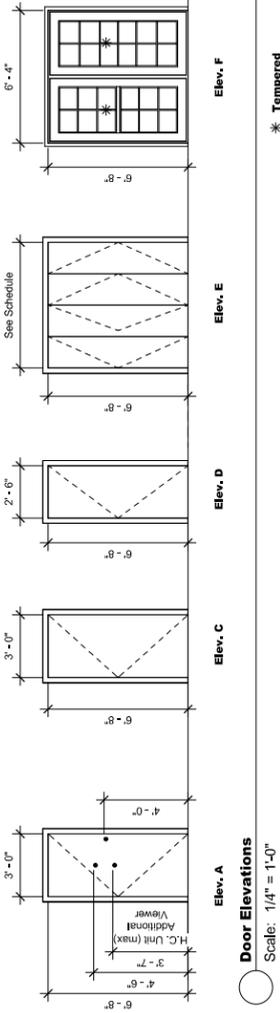


Door Number	Description	Width	Height	Material	Finish	Fire Rating	Hardware	Material	Frame	Comments
B01	Elev. A	3'-0"	6'-8"	SC Wood	Prefinished Stain	20 MIN.	Self Closing Hinges, Keyed Deadbolt, 180 Degree Viewer, Seals	Knock Down Resil-Frame	Prefinished Paint	Patio Sliding Door, Low E, Insulated Glass, Vertical Blinds - See sheet A2.4 and ACS regarding threshold requirements.
B02	Elev. B	5'-4"	6'-4"	Vinyl/Glass	Prefinished	Mfr. Standard Lockset		Vinyl		
B03	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Passage Set	Wood	Prefinished Stain	
B04	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
B05	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
B06	Elev. E	4'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	
B07	Elev. E	4'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	
B08	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
B09	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
B10	Elev. C	3'-0"	6'-8"	Insulated Metal	Paint	Keyed Lock, Seals, Weatherstrip		Wood	Paint	

- General Door Notes:**
- All hardware must be lever type hardware.
 - All doors requiring thresholds must be low profile ADA compliant.
 - Provide tempered glass in all doors @ sidelites that have glazing.
 - Provide doors @ all rated doors throw into a reinforced jamb. Top of deadbolt to be 48" max.
 - Deadbolt must have a minimum throw into a reinforced jamb. Top of deadbolt to be 48" max.
 - All door doors to be designated as 20-minute smoke and draft control assemblies complying with UL 1784. Doors shall be labeled and show the letter 'S' on the fire rating label of the door.

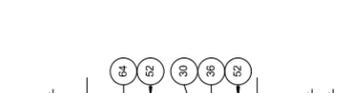
Window Schedule						
Type Mark	Width	Height	Jamb	Head	Head Height	Comments
W1	5'-0"	4'-0"	5/8" GWB	5/8" GWB	6'-9 1/2"	

- General Window Notes:**
- All exterior windows to be mfr. standard 'Low-E' (20 U-factor min.) argon filled insulated glazing.
 - All second floor windows to be mfr. standard 'Low-E' (20 U-factor min.) argon filled insulated glazing. Top of sill height greater than 72" above finished grade must be equipped with fall prevention devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.6 to be installed by window mfr.
 - Provide & install horizontal blinds @ all window locations.

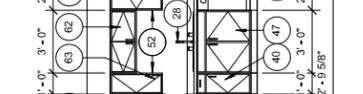


Unit 'B' Two Bedroom

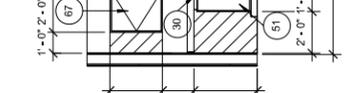
Scale: 1/4" = 1'-0"



1 Kitchen Elevation 1 Scale: 1/4" = 1'-0"



2 Kitchen Elevation 2 Scale: 1/4" = 1'-0"



3 Kitchen Elevation 3 Scale: 1/4" = 1'-0"



4 Master Bath 1 Scale: 1/4" = 1'-0"



5 Master Bath 2 Scale: 1/4" = 1'-0"



6 Bath Elevation 1 Scale: 1/4" = 1'-0"



7 Bath Elevation 2 Scale: 1/4" = 1'-0"



8 Bath Elevation 3 Scale: 1/4" = 1'-0"

- Plan Notes**
- 'Water Sense' qualified tank typ. at toilet, caulk perimeter. Provide future grab bar backing @ all units. See accessibility sheet A2.3. See mechanical.
 - Sheet paper dispenser.
 - APF to top of rim, with 'Water Sense' qualified faucet. See mechanical.
 - Towel ring @ 48" AFF.
 - 48" w x 36" h fixed mirror. Mount @ 40" AFF to bottom edge of reflective surface.
 - Provide grab bars @ all units. See accessibility sheet A2.3. See mechanical.
 - 24" towel bar @ 48" AFF.
 - 12" w vanity drawer stack base cabinet.
 - 12" w vanity base cabinet.
 - 24" w vanity @ 48" AFF.
 - Water heater. See mechanical.
 - 90% efficient furnace with ENERGY STAR qualified AC.
 - ENERGY STAR qualified dishwasher.
 - ENERGY STAR qualified frost-free refrigerator.
 - Self-cleaning range.
 - S.S. double sink 6 1/2" bowl depth max. with 'Water Sense' qualified faucet and garbage disposal. See mechanical.
 - Plastic laminate countertop with backsplash @ 36" AFF.
 - Provide range hood enclosure.
 - Provide ACS 1000 'Rain' aluminum railing system with powdercoat finish, square balusters, standard posts, caps, base, top, and bottom rails, @ 42" AFF, typ @ all units above grade.
 - 15" w drawer stack base cabinet.
 - 12" w base cabinet.
 - 12" w vanity base cabinet with recessible cabinet front. Extend finish floor to rear wall and finish rear wall. Countertop to be replaceable to be lower to 34" AFF. Lazy Susan' base cabinet. Finished end panel.
 - 36" w x 12" x 12" double door upper cabinet.
 - 36" w x 15" x 12" double door upper cabinet.
 - 12" w x 30" x 12" upper cabinet.
 - 15" w x 30" x 12" upper cabinet.
 - 36" w x 12" double door upper cabinet.
 - (5) 20" deep coat closet.
 - Provide washer and dryer hookups. See mechanical.
 - 20" deep coat closet with composite 5/4 decking @ units above grade. Concrete slab @ grade level units skelped 1/8" max per foot. See structural.

- General Notes:**
- Provide 'V' style GWB control joints as recommended by manufacturer. Control joints shall be spaced @ 30'-0" max. in long corridors/wall expanses. Control joints @ door jambs, extending from door head to ceiling. Consideration should also be given to locating control joints from floor to ceiling at either edge of large window openings.
 - Provide W.R. GWB in all bathroom & laundry areas.
 - All dimensions are from face of stud, U.N.C.
 - Perimeter of all tub/shower units, toilets, & backslashes.
 - GWB must run behind tub/shower units to maintain rated assemblies.
 - Verify typical U.N.C. Verify finish of cover.
 - Provide slant 'J' channels @ tub/shower and sheet vinyl flooring. Caulk inside of 'J' prior to inserting vinyl sheet goods into 'J' channel & caulk between 'J' channel @ tub/shower unit. Verify all penetrations through floor for proper sealing.
 - All doors to require door stop and door pull.
 - All penetrations to rated walls must be fire caulked.
 - All fire penetrations. See mechanical plans.
 - All fire penetrations. See mechanical plans.
 - All operable second floor windows (all height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.6 to be installed by window mfr.
 - Provide 2x blocking at all grab bar & future grab bar locations.
 - All IBC accessible unitless shall have ADA compliant threshold at all locations requiring thresholds.



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Alpine Park Apartments
Alpine, Wyoming

Unit 'B' Two Bedroom

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Project No. 17003
Date: 06.05.2017
Drawn By: AMU

Revisions
A2.6

C-Door Schedule

Door Number	Description	Width	Height	Door Material	Finish	Fire Rating	Hardware	Frame Material	Finish	Comments
C01	Elev. A	3'-0"	6'-8"	HC Wood	Prefinished Stain	20 MIN.	Self-Closing Hinges, Keyed Deadbolt, 180 Degree Viewer, Seals	Knock Down Rigid-Frame	Prefinished Paint	Patio Sliding Door, Low E, Insulated Glass, Vertical Blinds - See sheet AS.4 and AS.5 regarding threshold requirements.
C02	Elev. B	6'-4"	6'-8"	Vinyl/Glass	Prefinished		Mfr. Standard Lockset	Vinyl		
C03	Elev. D	2'-6"	6'-8"	HC Wood	Prefinished Stain		Passage Set	Wood	Prefinished Stain	
C04	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
C05	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
C06	Elev. E	6'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	Bl-4J
C07	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Privacy Lock	Wood	Prefinished Stain	
C08	Elev. C	3'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	Bl-4J
C09	Elev. E	3'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	
C10	Elev. E	4'-0"	6'-8"	HC Wood	Prefinished Stain		Track, Handles, Floor Anchors	Wood	Prefinished Stain	Bl-4J
C11	Elev. C	3'-0"	6'-8"	Insulated Metal	Paint		Keyed Lock, Seals, Weatherstrip	Wood	Paint	

General Door Notes:

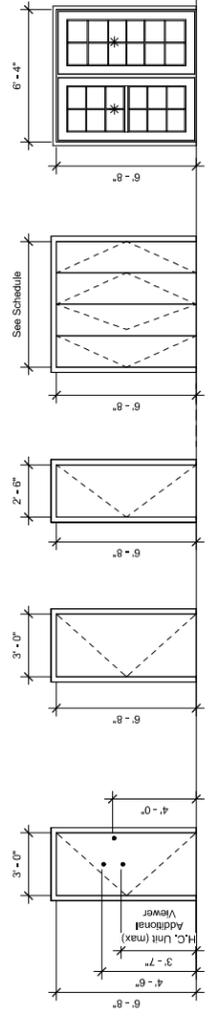
- 01. All hardware must be lever type hardware.
- 02. All doors requiring thresholds must be low profile ADA compliant.
- 03. Provide tempered glass in all doors @ sidelites that have glazing.
- 04. Provide closers @ all rated doors.
- 05. Deadbolt must have 1" minimum throw into a reinforced jamb. Top of deadbolt to be 48" max.
- 06. All corridor doors to be designated as 20-minute smoke and draft control assemblies complying with UL 1784. Doors shall be labeled and show the letter 'S' on the fire rating label of the door.

Window Schedule

Type Mark	Width	Height	Material	Head	Jamb	Head Height	Sill	Comments
WT	6'-0"	4'-0"	Vinyl	5/8" GVB	5/8" GVB	6'-9 1/2"	Solid Sillcase	

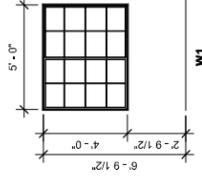
General Window Notes:

- 01. All exterior windows to be mfr. standard Low-E (29 U-factor min.) argon filled insulated glazing.
- 02. All second floor windows (sill height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.8 to be installed by window mfr.
- 03. Provide & install horizontal blinds @ all window locations.



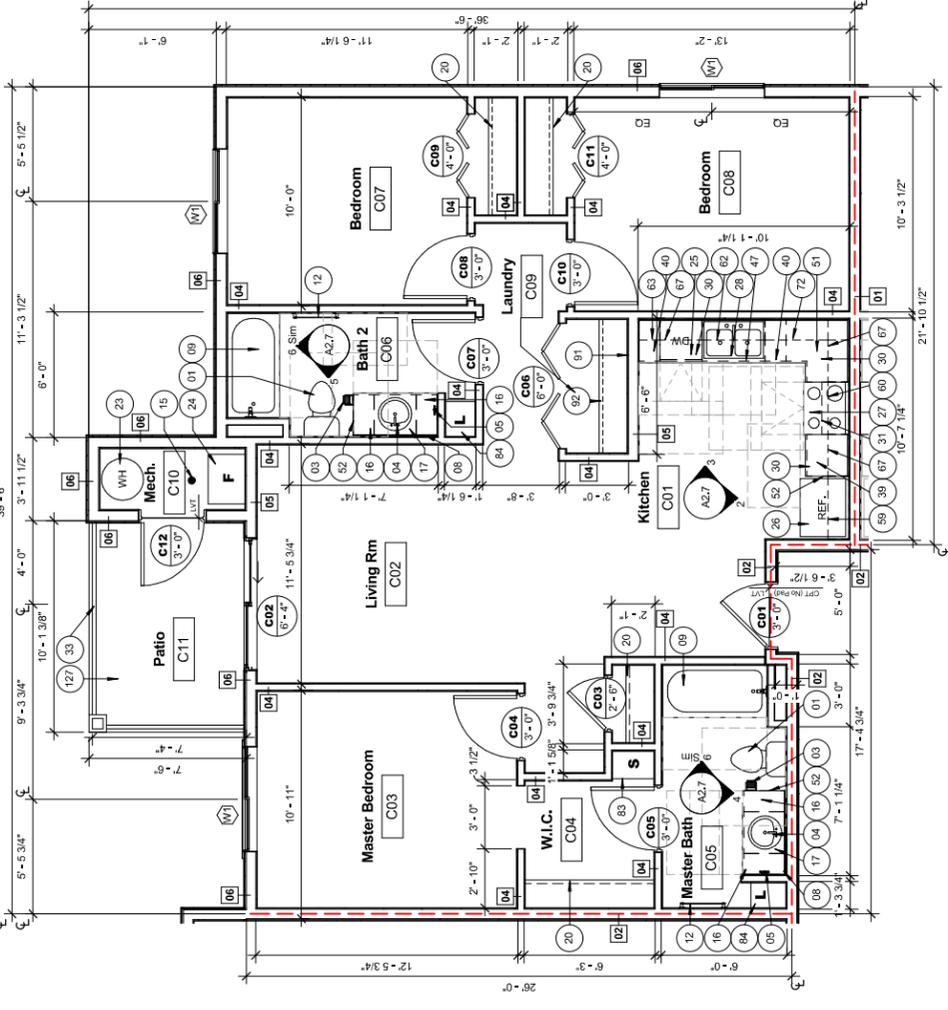
Door Elevations

Scale: 1/4" = 1'-0"



Window Elevations

Scale: 1/4" = 1'-0"



Unit 'C' Three Bedroom

Scale: 1/4" = 1'-0"

Square Footage: 1,140 SF

Plan Notes

- 01. Water Sense qualified tank typ. at toilet, caulk perimeter. Provide future grab bar backing @ all units. See accessibility sheet AS.3. See mechanical.
- 02. Toilet paper dispenser.
- 03. Provide grab bars with clips in lavatory @ 24" AFF to top of rim, with Water Sense qualified faucet. See mechanical.
- 04. Towel ring @ 48" AFF.
- 05. 48" w x 36" h mirror. Mount @ 40" AFF to bottom edge of reflective surface.
- 06. Provide vanity with integrated medicine cabinet and storage. Provide 1/2" thick glass vanity top. See accessibility sheet AS.3. See mechanical.
- 07. 24" towel bar @ 48" AFF.
- 08. Linen cabinet.
- 09. Floor drain. See mechanical.
- 10. 12" w vanity drawer stack base cabinet.
- 11. Shelf and rod @ 48" AFF.
- 12. Water heater. See mechanical.
- 13. Provide mechanical units with ENERGY STAR qualified AC unit. See mechanical.
- 14. ENERGY STAR qualified dishwasher.
- 15. ENERGY STAR qualified refrigerator.
- 16. Self-cleaning range.
- 17. S.S. double sink 6 1/2" bowl depth max. with Water Sense qualified faucet and garbage disposal. See mechanical.
- 18. Plastic laminate countertop with backsplash @ 36" AFF.
- 19. Provide AECO Series 100 "Level Rail" aluminum railing system with powdercoat finish, square balusters, standard posts, caps, base, tip, and bottom rails, @ 42" AFF. Typ @ all units above grade.
- 20. 24" w drawer stack base cabinet.
- 21. 12" w base cabinet.
- 22. 12" w x 36" h x 12" d upper cabinet.
- 23. 24" w x 36" h x 12" d upper cabinet.
- 24. (5) 16" x 16" tile shower pan.
- 25. (5) 20" x 20" tile shower pan.
- 26. Provide washer and dryer hookups. See mechanical.
- 27. 20" deep coated wire shelf @ 48" AFF.
- 28. Treated 2x deck framing with composite 5/4 decking @ units above grade. Concrete slab @ grade level units skipped 1/8" max per foot. See structural.

General Notes:

- 01. Provide "V" stile GVB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30" c.c. max. in living corridors/wall openings. Control joints shall also be cast in locating control joints from floor to ceiling at either edge of large window openings.
- 02. Provide M.R. GVB in all bedrooms & laundry areas.
- 03. All tub/shower units must be of solid U.N.C. construction.
- 04. Caulk perimeter of all tub/shower units, toilets, & backsplashes.
- 05. GVB must run behind tub/shower units to maintain rated water tightness.
- 06. Wood base typical. U.N.C.O. Verify finish w/ owner.
- 07. Provide alum. "Z" channel @ tub/shower and sheet vinyl flooring. Caulk inside of "Z" prior to installing vinyl sheet goods.
- 08. Verify all appliance dimensions prior to ordering cabinets.
- 09. All rated doors to receive clearers and smoke seals.
- 10. All penetrations to rated walls must be fire caulked.
- 11. All penetrations to rated walls must be fire smoke dampened. See mechanical plans.
- 12. All finishes determined by owner.
- 13. All operate second floor windows call height greater than 72" above finished grade. Provide second floor window devices that comply with ASTM F 2090 per the 2015 International Building Code section 1015.8.
- 14. Provide 2x blocking at all grab bar & future grab bar locations.
- 15. All HIC accessible units/areas shall have ADA compliant thresholds at all doors requiring thresholds.



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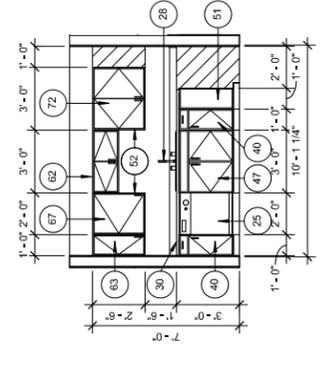
Alpine Park Apartments
Alpine, Wyoming

Unit 'C' Three Bedroom

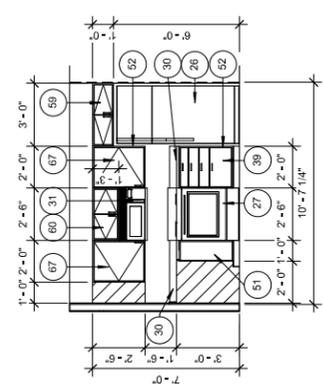
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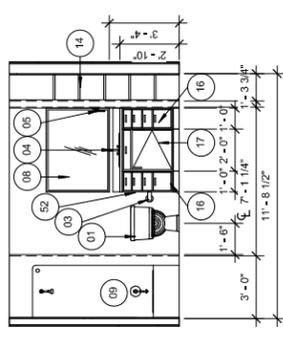
A2.7



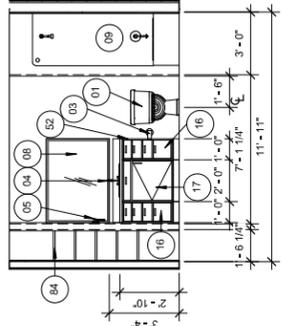
2 C-Kitchen Elevation 1
Scale: 1/4" = 1'-0"



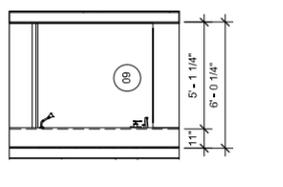
3 C-Kitchen Elevation 2
Scale: 1/4" = 1'-0"



4 C-Master Bath 1
Scale: 1/4" = 1'-0"



5 C-Bath Elevation 1
Scale: 1/4" = 1'-0"



6 C-Bath Elevation 2
Scale: 1/4" = 1'-0"

- Plan Notes**
- 02 Toilet paper dispenser. Mount 7'-9" in front of toilet to centerline of dispenser. Height at 18"-18" AFF to center of dispenser. Do not locate dispenser behind toilet.
 - 10 ADA compliant tank type "Water Sense" qualified toilet, caulk perimeter. Flush handle on opposite side of the 42" grab bar or same side of cabinet face. Water closet height 15" min - 19" max. See 30" x 36" fixed mirror. Mount @ 40" AFF to bottom edge of reflective surface.
 - 78 36" S.S. Grab bar @ 36" AFF (max) to top of bar. Provide blocking per ADA req. See details on A5.2.
 - 87 42" S.S. Grab bar @ 36" AFF (max) to top of bar. Provide blocking per ADA req. See details on A5.2.
 - 88 15" S.S. Grab bar @ 36" AFF (max) to top of bar. Provide blocking per ADA req. See details on A5.2.
 - 89 ADA req. See details on A5.2.
 - 110 1 1/2" diameter handrail @ 36" AFF to top of rail. Extend 12" past first and last riser and return to wall as shown. See detail 11A5.1.
 - 111 Wood cap to match base.
 - 112 Magnetic hold open. See electrical plans.
 - 124 Houred concrete stoop. See structural plans.
 - 202 Wrap all exposed piping per ADA requirements.

- General Notes:**
- 01. Provide "V" style GWB control joints as recommended by the National Gypsum Association. This includes, but is not limited to, control joints @ 30'-0" o.c. max. in king stud walls. Control joints in ceiling shall be staggered and also be given to locating control joints from floor to ceiling at either edge of large window openings.
 - 02. All doors shall be in face of unit UNO.
 - 03. All doors shall be in face of unit UNO.
 - 04. Caulk perimeter of all tub/shower units, toilets, & backslashes.
 - 05. GWB must run behind tub/shower units to maintain wood base typical. UNO. Verify finish w/ owner.
 - 06. Provide alum. 7" channel @ tub/shower and sheet vinyl flooring. Caulk inside of J prior to installing vinyl sheet tub/shower unit. Caulk between J channel @ tub/shower unit.
 - 08. Verify all appliance dimensions prior to ordering cabinets.
 - 09. Caulked doors to receive doors and smoke seals.
 - 10. All penetrations to rated walls must be fire caulked.
 - 11. All mechanical penetrations to rated walls must be fire/smoke dampened. See mechanical plans.
 - 12. All second floor windows shall be equipped with fall prevention devices that comply with ASTM F 2090 per the manufacturer's instructions.
 - 13. All operable second floor windows (all height greater than 72" above finished grade) must be equipped with fall prevention devices that comply with ASTM F 2090 per the manufacturer's instructions.
 - 14. Provide 2x blocking at all grab bar & future grab bar locations.
 - 15. All HIC accessible units/seats shall have ADA compliant thresholds at all doors requiring thresholds.



KAREL KRANTZY
Professional Engineer
State of Wyoming
License No. 17003

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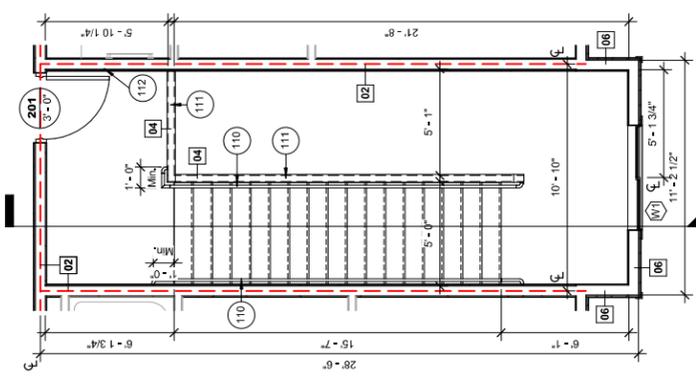
Enlarged Plans

Alpine Park Apartments
Alpine, Wyoming

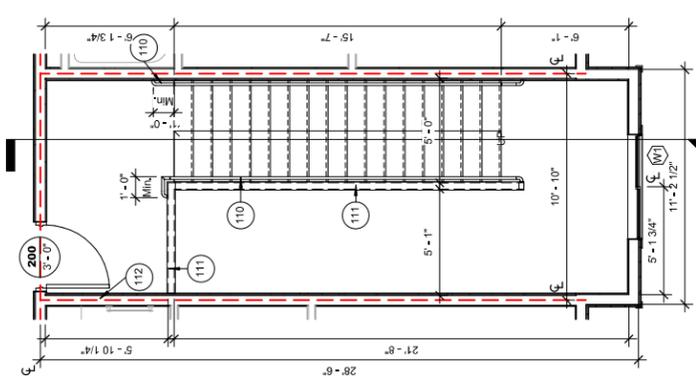
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Project No.	17003	Revisions	1 06.21.2018 AMU
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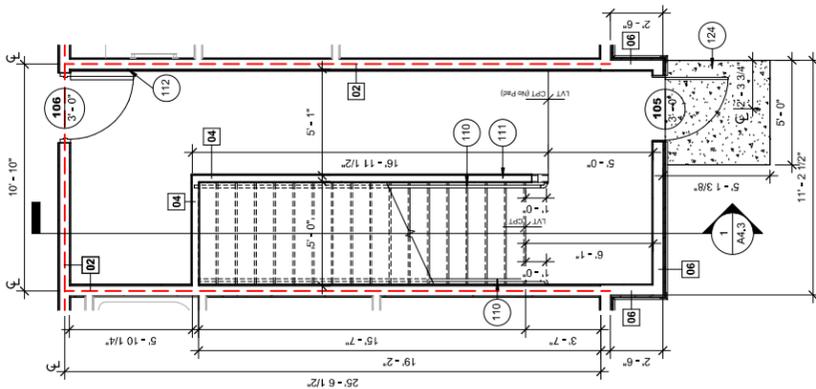
A2-10R



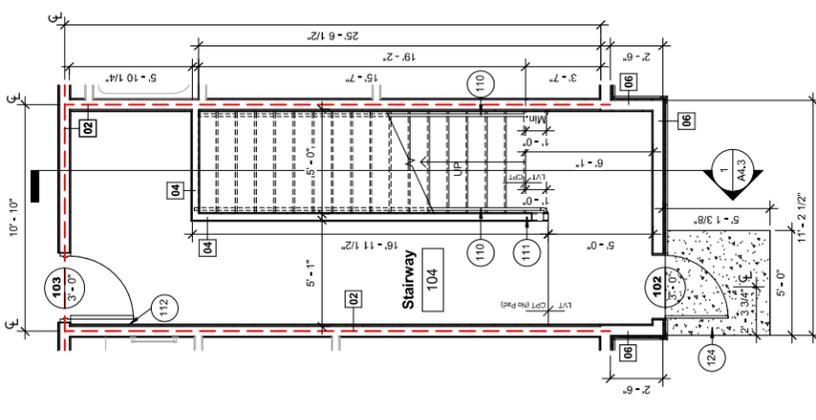
2 Second Floor Stair Plan - 2
Scale: 1/4" = 1'-0"



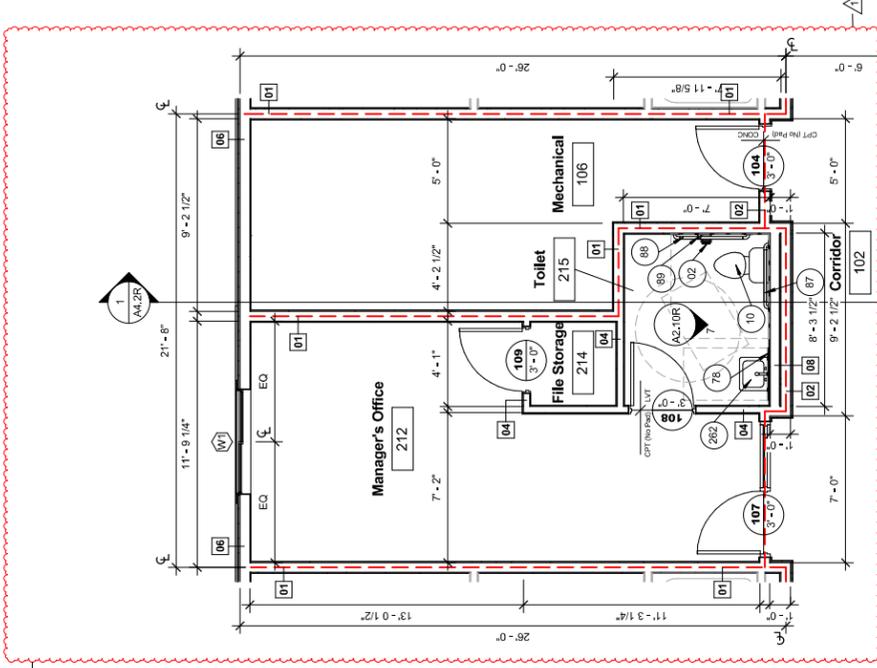
1 Second Floor Stair Plan - 1
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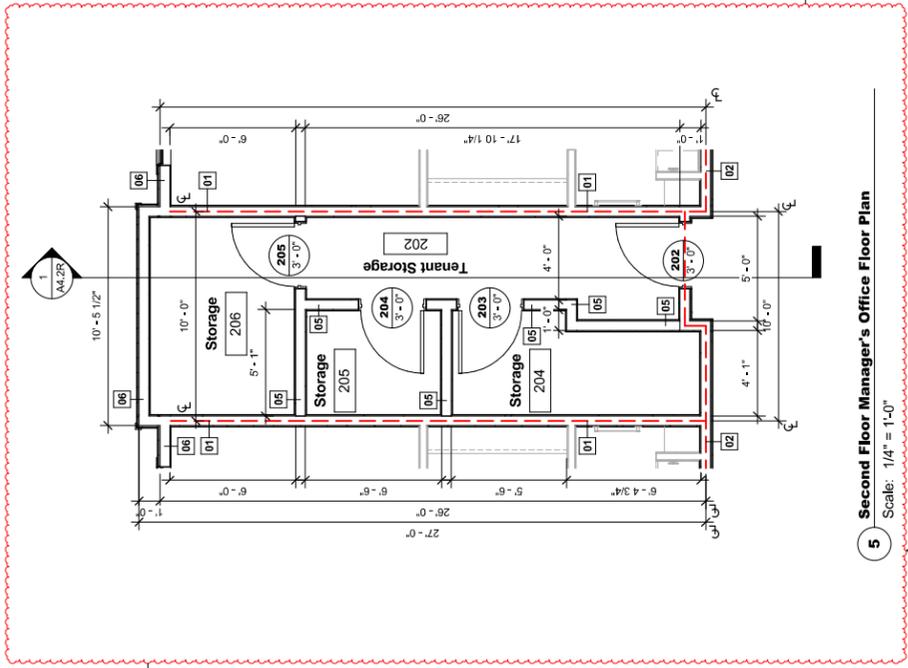
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Scale: 1/4" = 1'-0"



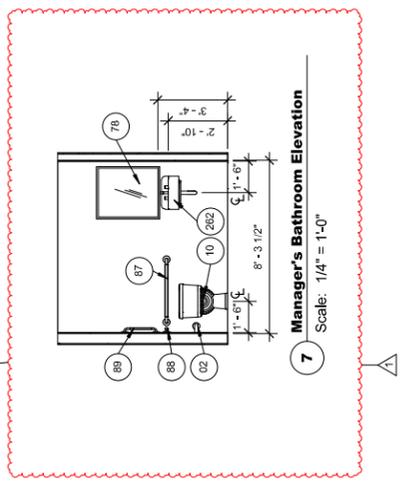
1 First Floor Stair Plan - 1
Scale: 1/4" = 1'-0"



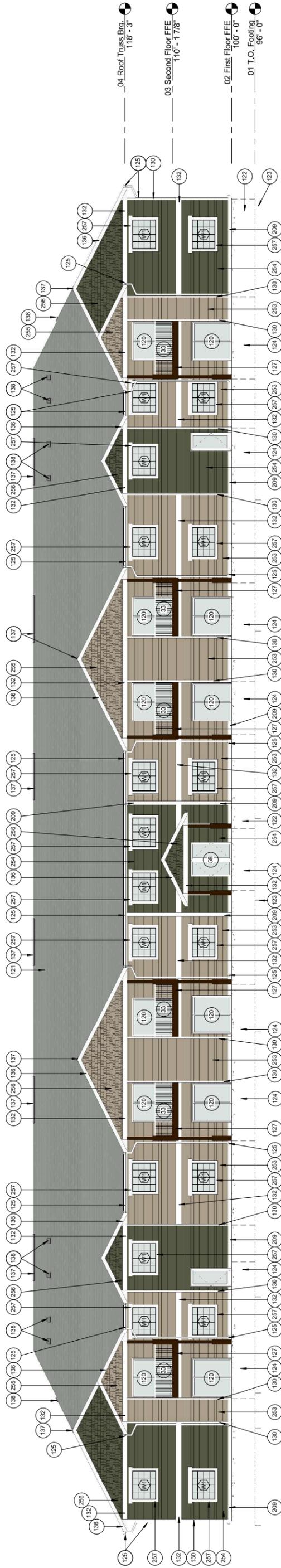
3 First Floor Entry Floor Plan
Scale: 1/4" = 1'-0"



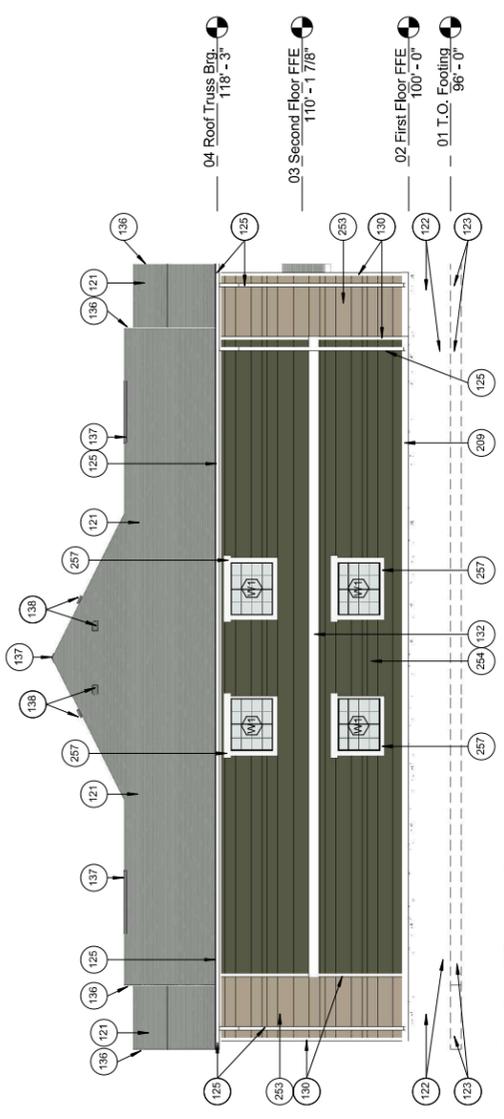
5 Second Floor Manager's Office Floor Plan
Scale: 1/4" = 1'-0"



7 Manager's Bathroom Elevation
Scale: 1/4" = 1'-0"



1 Front Elevation
Scale: 1/8" = 1'-0"



2 Left Elevation
Scale: 1/8" = 1'-0"

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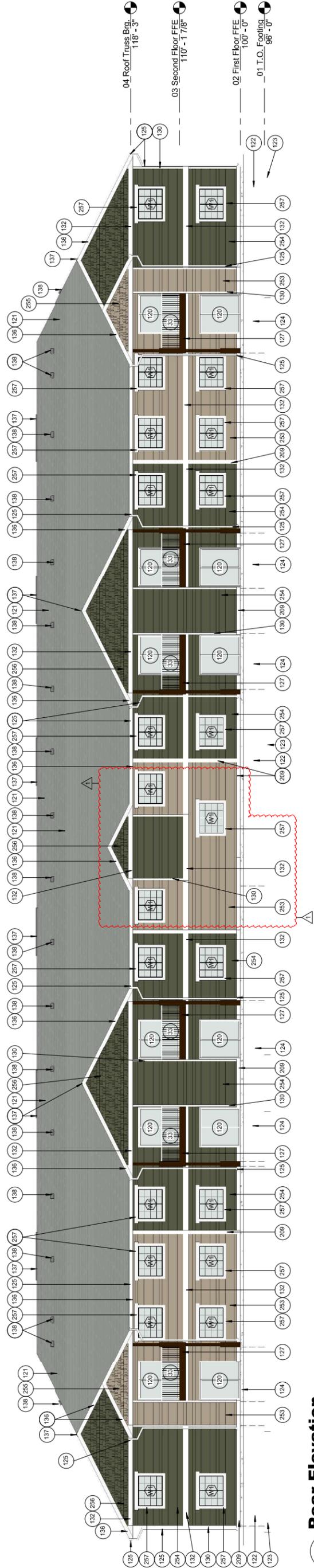
Alpine Park Apartments
Alpine, Wyoming

Exterior Elevations

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| <p>Plan Notes</p> <p>127 Provide AFCC Series 100 "Level Rail" aluminum railing system with standard balusters, standard posts, caps, base, lip, and bottom rails. @ 42" AFF. typ @ all units above grade.</p> <p>130 Aluminum entrance system. See door schedule.</p> <p>132 Vinyl siding patio door. Refer to A5.4 and A5.5 for door finish and details. See door schedule.</p> <p>136 Roof finish: 150. See door schedule.</p> <p>137 Synthetic underlayment (self-adhesive membrane @ lower 5' of roof and all valleys), roof sheathing per structural drawings, roof trusses @ 24" o.c. and design by roof truss mfr.</p> <p>138 See soils report for over excavation.</p> <p>122 See soils report for over excavation.</p> <p>123 Poured concrete footing. See structural plans. See soils report for over excavation.</p> <p>124 Poured concrete stoop. See structural plans.</p> <p>125 Prefinished aluminum gutters and downspouts. Verify locations with contractor.</p> | <p>Plan Notes</p> <p>127 Treated 2x deck framing with composite 5/4 decking. 2x joists @ 16" o.c. max per foot. See structural drawings for details.</p> <p>130 5/4 x 4" prefinished LP SmartSide window or corner trim board with 5/4 x 6" prefinished LP SmartSide window head trim board.</p> <p>132 5/4 x 12" prefinished LP SmartSide trim board.</p> <p>136 1x8 fascia wrapped in prefinished aluminum to match trim board.</p> <p>137 Continuous ridge vent. Length based on GAF Masterflow Aluminum Ridge Vent. Length may vary if another mfr. is used.</p> <p>138 Individual roof vent. Quantity may vary if other manufacturer FT65 vents. Quantity may vary if other mfr. is used.</p> <p>209 8" Miter trim board.</p> <p>253 Prefinished LP SmartSide lap siding color one.</p> <p>254 Prefinished LP SmartSide shakes color one.</p> <p>255 Prefinished LP SmartSide shakes color two.</p> <p>256 5/4" x 4" smooth LP SmartSide trim board. 5/4" x 8" smooth LP SmartSide trim @ head of all windows/patio doors.</p> | <p>Plan Notes</p> <p>127 Treated 2x deck framing with composite 5/4 decking. 2x joists @ 16" o.c. max per foot. See structural drawings for details.</p> <p>130 5/4 x 4" prefinished LP SmartSide window or corner trim board with 5/4 x 6" prefinished LP SmartSide window head trim board.</p> <p>132 5/4 x 12" prefinished LP SmartSide trim board.</p> <p>136 1x8 fascia wrapped in prefinished aluminum to match trim board.</p> <p>137 Continuous ridge vent. Length based on GAF Masterflow Aluminum Ridge Vent. Length may vary if another mfr. is used.</p> <p>138 Individual roof vent. Quantity may vary if other manufacturer FT65 vents. Quantity may vary if other mfr. is used.</p> <p>209 8" Miter trim board.</p> <p>253 Prefinished LP SmartSide lap siding color one.</p> <p>254 Prefinished LP SmartSide shakes color one.</p> <p>255 Prefinished LP SmartSide shakes color two.</p> <p>256 5/4" x 4" smooth LP SmartSide trim board. 5/4" x 8" smooth LP SmartSide trim @ head of all windows/patio doors.</p> |
|--|--|--|



2 Rear Elevation
Scale: 1/8" = 1'-0"

- Plan Notes**
- 33 Provide AFCCO Series 100 "Level Rail" aluminum railing system with powdercoat finish, square balusters, standard posts, caps, base, lip, and bottom rails. @ 42" AFF. 1/2" @ all units above grade.
 - 120 Provide sliding patio door. Refer to A5.4 and A5.5 for door threshold details.
 - 121 Roof consists of 50 year Laminate asphalt shingles, synthetic underlayment (self-adhesive membrane @ lower 2' of roof and all valleys), roof sheathing per structural drawings, roof trusses @ 24" o.c. (final design by roof truss mfr.).
 - 122 Paired concrete foundation. See structural plans. See soils report for over excavation.
 - 123 Paired concrete footing. See structural plans. See soils report for over excavation.
 - 124 Paired concrete stoop. See structural plans.
 - 125 Prefinished aluminum gutters and downspouts. Verify locations with contractor.
 - 127 Treated 2x deck framing with composite 5/4 decking @ units above grade. 2x joist @ grade level units sloped 1/8" max per foot. See structural.
 - 130 5/4 x 4" prefinished LP SmartSide window or corner trim board with 5/4 x 6" prefinished LP SmartSide window head trim board.
 - 132 1x8 fascia wrapped in prefinished aluminum to match soffit.
 - 136 Continuous edge vent. Length based on "CAF Masterflow" manufacturer's instructions.
 - 137 Individual roof vent. Quantity based on "CAF Masterflow RTSS" vents. Quantity may vary if other mfr. is used.
 - 138 8" clear trim board.
 - 209 Prefinished LP SmartSide lap siding color one.
 - 253 Prefinished LP SmartSide lap siding color two.
 - 254 Prefinished LP SmartSide shakes color one.
 - 255 Prefinished LP SmartSide shakes color two.
 - 256 5/4" x 4" smooth LP SmartSide trim board. 5/4" x 8" smooth LP SmartSide trim @ head of all window/patio doors.
 - 257



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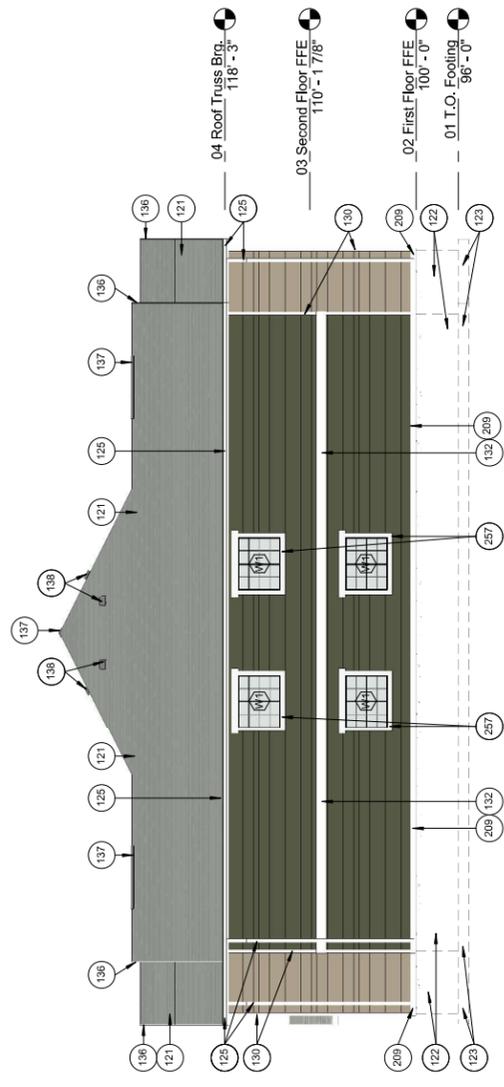
Alpine Park Apartments
Alpine, Wyoming

Exterior Elevations

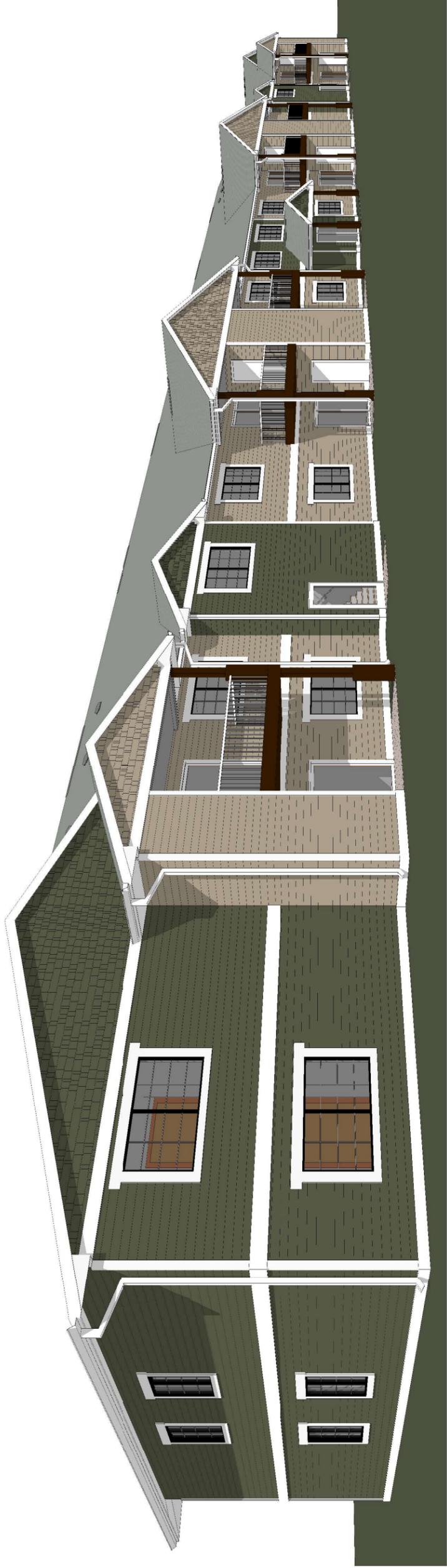
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Date:	06.05.2017	Drawn By:	AMU		

A3-1R



1 Right Elevation
Scale: 1/8" = 1'-0"



1 Front View Perspective

Scale:



2 Rear View Perspective

Scale:



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 Alpine, Wyoming

Perspectives

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