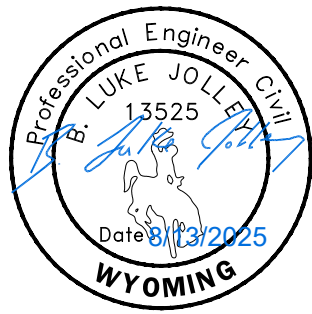


DEVELOPMENT PLAN FOR:
HLADKY RESIDENCE
ALPINE MEADOWS SUBDIVISION, LOT 9
ALPINE, WYOMING
AUGUST 2025

APPROVAL SIGNATURES:



Date: 8/13/2025

HLE, Inc.

Date:

Town of Alpine

INDEX TO PLAN SHEETS

SHEET 1	COVER SHEET
SHEET 2	NOTES
SHEET 3	GENERAL LAYOUT AND UTILITY PLAN
SHEET 4	GRADING
SHEET 5	DETAILS



PROJECT LOCATION



**CIVIL & STRUCTURAL ENGINEERING
MATERIALS TESTING & LAND SURVEYING**
101 S. Park Avenue, Idaho Falls, ID 83402, (208)524-0212
800 W. Judicial Street, Blackfoot, ID 83221, (208)785-2977

FINAL REVIEW SUBMISSION
DATE: 8/13/2025



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GENERAL NOTES

- All materials, workmanship, and construction of site improvements shall meet or exceed the work standards and specifications set forth by the TOWN OF ALPINE Water, Street, and Sanitation Departments and/or requirements of the Wyoming Public Works Standard Specifications, (WPWSS) current edition outside of ROW and WYDOT STANDARD SPECIFICATIONS within the ROW, and the Alpine Meadows Second Amended and Restated Design Guidelines. .
- All material furnished on or for the project must meet the minimum requirements of the approving agencies or as set forth herein, whichever is more restrictive.
- The Contractor is cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field. The Contractor must call the local utility location center at least 48 hours before any excavation to request exact field locations of the utilities.
- A Pre-Construction Conference shall be held a minimum of three (3) working days prior to start of work. All Contractors, Subcontractors and/or Utility Contractors shall be present.
- The Contractor shall maintain all existing drainage facilities within the construction area until the drainage improvements are in place and functioning.
- All Contractors working within the project boundaries are responsible for compliance with all applicable safety laws of any jurisdictional body including but not limited to, barricades, safety devices, control of traffic, excavation, trenching, shoring, and security within and around the construction area.
- Contractors must furnish proof that all materials installed on this project meet the requirements of Note # 2 above at the request of the agency and/or Engineer.
- HLE must give approval prior to (a) backfilling trenches for pipe; (b) placing of aggregate base; (c) placing of concrete; (d) placing of asphalt pavement. Work done without such approval shall not relieve the Contractor from the responsibility of performing the work in an acceptable manner. Contract work will not be accepted by the TOWN OF ALPINE without the approval of the Project Engineer.
- Each Contractor shall be responsible for acquiring any necessary NPDES permits, filing any NOI's or NOT's, and preparing a Storm Water Pollution Prevention Plan (SWPPP) in accordance with the WYOMING DEQ.
- The Contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked in from the site.
- All measures possible shall be taken to ensure erosion control with Best Management Practices.
- Quantities shown are estimates by the Engineer. The Contractor must verify all quantities. If there is a large discrepancy contact the Engineer.
- All work must meet standards set forth by the American Disabilities Act (ADA).
- Trench backfill Type 2A compaction "Water Settling" will not be an acceptable method of trench backfill compaction.
- All water valves, blow-offs and manholes will be placed so as not to conflict with any concrete curb, gutter, valley gutter, and sidewalk improvements.
- HLE and/or Inspector shall make periodic visits to the project location to ensure that the site improvements meet or exceed standards and design as per the approved construction drawings.
- To receive final acceptance, Contractor must submit copy of field plans complete with construction notes and As-Built information, corrections, changes, etc.
- Contractor must have WPWSS Manual (current edition) and WYDOT Standard Specifications on-site during all phases of construction.

WATER NOTES

- The water system shall be constructed to conform with the standards set forth in the "Wyoming Administrative Rules on Water Quality" Chapters 3, 11, and 12 and the current WPWSS standard drawings and specifications.
- The pipe shall be installed in a workmanlike manner by persons properly qualified to perform said work and shall be in conformance with the manufacturer's recommendations as approved by the City Engineer. All work and materials must conform to current requirements of the WPWSS.
- All water services shall have a minimum cover of 6 feet and follow the standards and specifications per WPWSS Section 02665. The trenches shall be compacted to 95% of maximum density to prevent further settlement.
- Where it is necessary for sewer, storm drain or irrigation and water to cross each other and the sewer line is less than 18" below the water main, the crossing shall conform to WPWSS Section 02655 Part 3.01.F.
- All tees, plugs, caps and bends, and at other locations where unbalanced forces exist, shall be secured and anchored by concrete thrust blocks as shown on WPWSS Standard Drawing 02665-03.
- At all times, when laying pipe is not in progress, open ends of the pipe shall be closed by a watertight plug or other approved means. At the close of the day's work, or whenever workmen are absent from the job, the end of the last laid section shall be plugged, capped, or tightly closed to prevent entry of foreign material.

STORMWATER NOTES

- The stormwater system shall be constructed to conform with the standards set forth in the current WPWSS standard drawings and specifications.
- The pipe shall be installed in a workmanlike manner by persons properly qualified to perform said work and shall be in conformance with the manufacturer's recommendations as approved by the City Engineer. All work and materials must conform to current requirements of the WPWSS. Stormwater distribution pipe shall be 12" Corrugated galvanized pipe or equivalent.
- Stormwater facilities shall be installed and maintained by owner or his assigns.

SITE PLAN NOTES

- This site plan conforms to an actual survey that was performed on the ground by a licensed land surveyor or in and for the State of Idaho. It is the owner's responsibility to construct all structures shown on this site plan in accordance with said survey.
- All on-site improvements shall be constructed in accordance with current TOWN OF ALPINE ordinances and resolutions and WPWSS.
- Approximate locations of some known existing underground utilities are shown heron. It shall be the contractors responsibility to determine exact locations of all existing utilities prior to beginning work. The contractor agrees to be fully responsible for any and all damages to existing utilities.
- See landscaping plan for location of irrigation sleeves. Contractor to verify and coordinate irrigation sleeve locations and sizes with irrigation designer prior to installation of curb, gutter , paving and sidewalks.
- All buildings are to be built according to the IBC current edition with commercial water and sewer services. See architectural plans for all building details.
- Dumpster area is to be enclosed. If gated owner will be required to open doors for sanitation dept. Minimum 8' x 8' interior.
- Within five (5) working days after the completion of work, the contractor shall submit a set of as-built plans to HLE, Inc.

CONTACTS

DEVELOPER/OWNER
KATE HLADKY
katehladky@yahoo.com

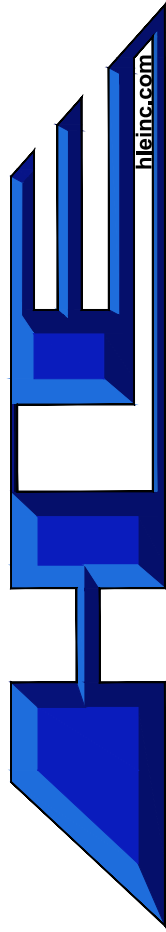
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HLE
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CSTREET@HLEINC.COM

CIVIL ENGINEER
HLE
LUKE JOLLEY, P.E.
(208) 524-0212
LUKEJ@HLEINC.COM

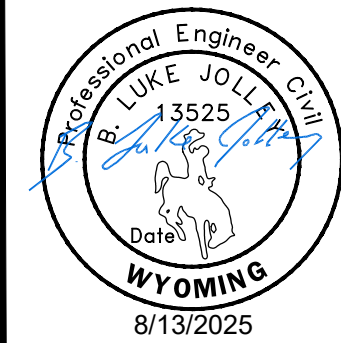
FALL RIVER ENTERPRISES, INC
CARISSA HARMON
(844) 720-9809
carissa.harmon@fallriverelectric.com

SILVER STAR
JARON JENSEN
(307) 883-6025
jaron.jensen@silverstar.net

LOWER VALLEY ENERGY
ANGLE LEAVITT
(307) 885-6102
aleavitt@lvenergy.com



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Know what's below.
Call before you dig.

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JOB NO: 2025-559

DATE: AUGUST 2025

REVISIONS	DATE

NOTES

HLADKY RESIDENCE

ALPINE, WYOMING

SHEET NO.

2

5

OF SHEETS

SITE INFORMATION

ZONING = R-1
USE = RESIDENTIAL SINGLE-FAMILY HOUSE
PROPERTY DESCRIPTION AND SIZE
LOT 9, ALPINE MEADOWS SUBDIVISION
PROPOSED DEVELOPED AREA = 0.41 AC (17,700 SF)
LOT AREA OUTSIDE ROW EASEMENT: 14,790 SF
IMPERVIOUS AREA OUTSIDE ROW EASEMENT: 5,173 SF (35.1%)

BUILDING INFORMATION

EXISTING BUILDINGS = 0
PROPOSED BUILDINGS = 1
SINGLE-FAMILY BUILDING
TOTAL AREA = 3,150 SF
TOTAL PERIMETER = 300 FT
HEIGHT = 21.77 FT (ABOVE LOWEST ADJACENT GRADE, 20.08' ABOVE FINISHED FLOOR)
CONSTRUCTION TYPE = VB
SEE ARCHITECTURAL PLANS FOR DETAILS

PARKING REQUIREMENTS

EXTERIOR PARKING PROVIDED = 600 SF
GARAGE PARKING SPACES PROVIDED = 2
GARAGE TOTAL AREA = 667 SF

SNOW STORAGE

DRIVEWAY AREA = 1,772 SF
SNOW STORAGE REQUIRED = 354 SF
SNOW STORAGE PROVIDED = 365 SF

SITE NOTES:

1. INSTALL CONCRETE DRIVEWAY. SEE BALLAST DETAIL ON GRADING SHEET.
2. SNOW STORAGE AREA. SEE SNOW STORAGE CALCULATION.
3. LANDSCAPE. SEE LANDSCAPE PLAN FOR DETAILS.
4. INSTALL 5' WIDE STRIP OF 4x4 W4xW4 WELDED WIRE MESH CENTERED OVER CULVERT, REINFORCEMENT COVER PER ACI STANDARDS.
5. INSTALL WINDOW WELLS, SEE ARCHITECTURAL PLANS FOR DETAILS.
6. INSTALL 6" WIDE CONCRETE STAIRS. TWO 12" TREADS, THREE 6.5" RISES.
7. INSTALL 8" WIDE CONCRETE STAIRS. TWO 12" TREADS, THREE 5.5" RISES.

CONSTRUCTION NOTES:

GENERAL:

- 100-1 RETAIN AND PROTECT EXISTING UTILITY.
100-2 FIELD VERIFY LOCATION AND DEPTH.

WATER:

- 400-1 INSTALL 83' OF 1" HPDE POLY SERVICE LINE WITH COMPRESSION FITTINGS PER ALPINE WATER AND SEWER STANDARDS SECTION 4.12.1.
400-2 MINIMUM 18" OF VERTICAL SEPARATION, SLEEVE SEWER LINE AT CROSSING AND EXTEND AT LEAST 2.5' BOTH DIRECTIONS.
400-3 INSTALL WATER METER PER DETAIL IN SHEET 5.

SEWER:

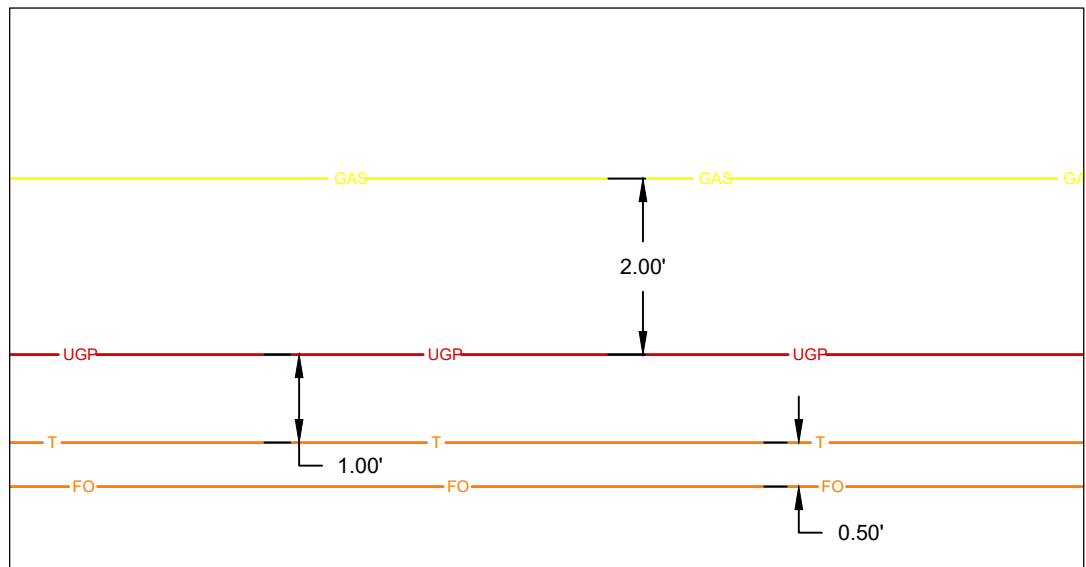
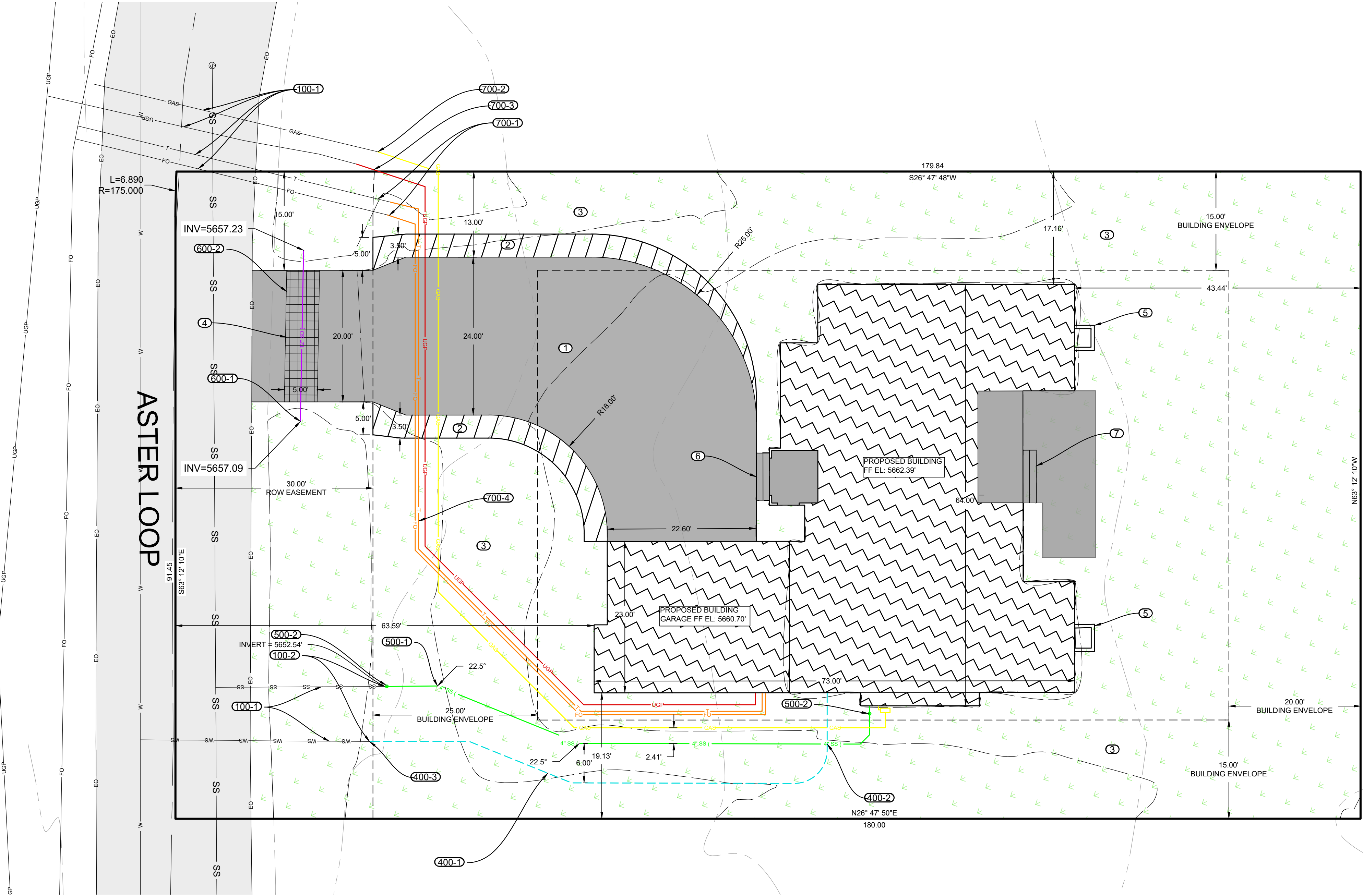
- 600-1 INSTALL 81' OF 4" PVC SDR-35 SEWER PIPE AT MIN 2% SLOPE. FIELD VERIFY EXISTING STUB AND COORDINATE WITH ENGINEER IF INVERTS VARY FROM THOSE SHOWN ON PLANS.
600-2 INSTALL 4" PVC SDR-35 DOUBLE SWEEP CLEANOUT PER ALPINE WATER AND SEWER STANDARDS SECTION 3.9.2. AND TOWN OF ALPINE STANDARD DRAWING NO. S-004 PER DETAIL IN SHEET 5. INSTALL TRACE WIRE FROM SEWER SERVICE CLEANOUT LOCATED NEAR THE PROPERTY LINE ALONG THE PIPE TO THE FOUNDATION POINT OF CONNECTION, AND TERMINATE IT ABOVE GRADE.

STORM DRAIN:

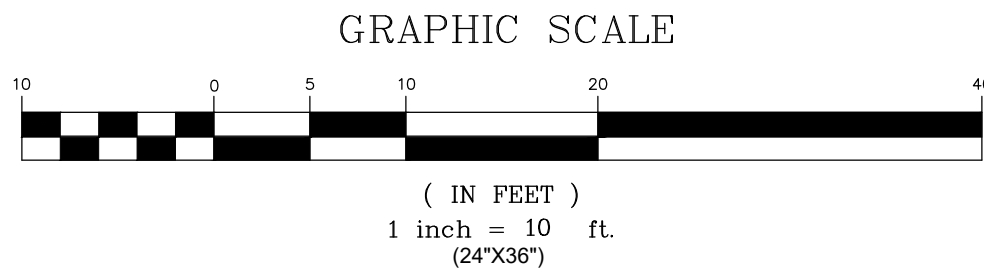
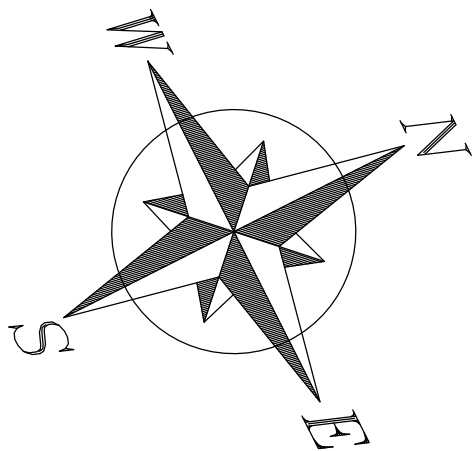
- 600-1 INSTALL 26' OF 12" GALVANIZED CMP AT 0.54% SLOPE.

OTHER:

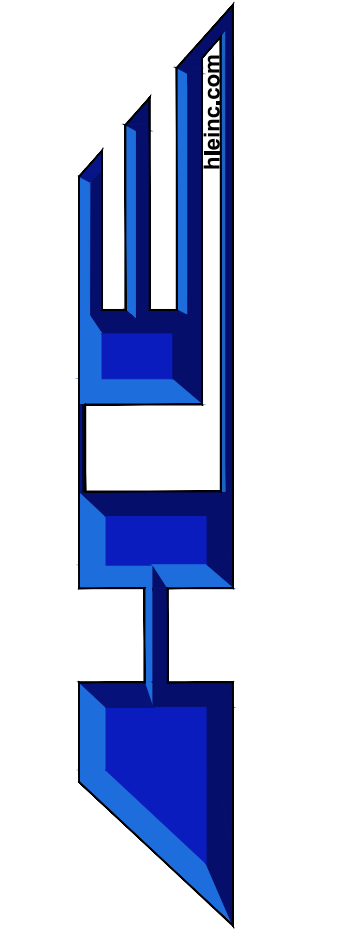
- 700-1 INSTALL COMMUNICATION LINES. COORDINATE WITH SILVER STAR COMMUNICATIONS.
700-2 INSTALL OF PROPANE SERVICE. COORDINATE WITH FALL RIVER PROPANE.
700-3 INSTALL OF POWER SERVICE PER CONTRACTOR MAP. COORDINATE WITH LOWER VALLEY ENERGY FOR DETAILS/PLANS.
700-4 SEE UTILITY TRENCH DETAIL. ON THIS SHEET



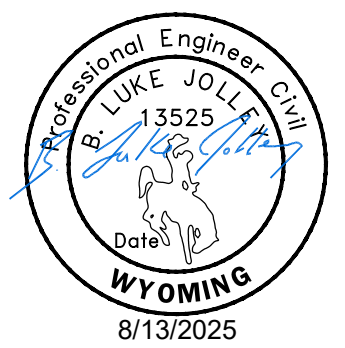
UTILITY TRENCH DETAIL
N.T.S



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GENERAL LAYOUT AND UTILITY PLAN
HLADKY RESIDENCE
ALPINE, WYOMING

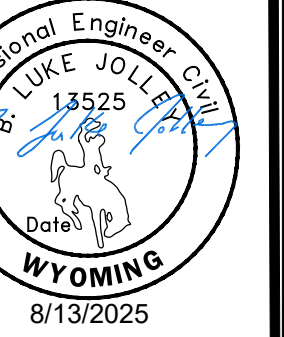
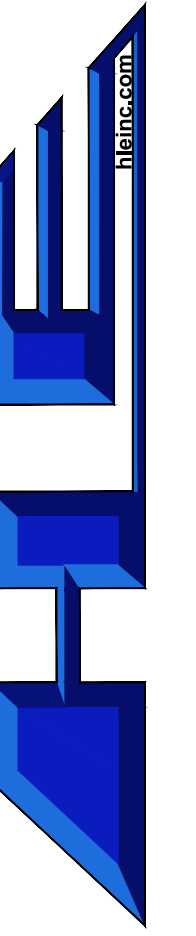
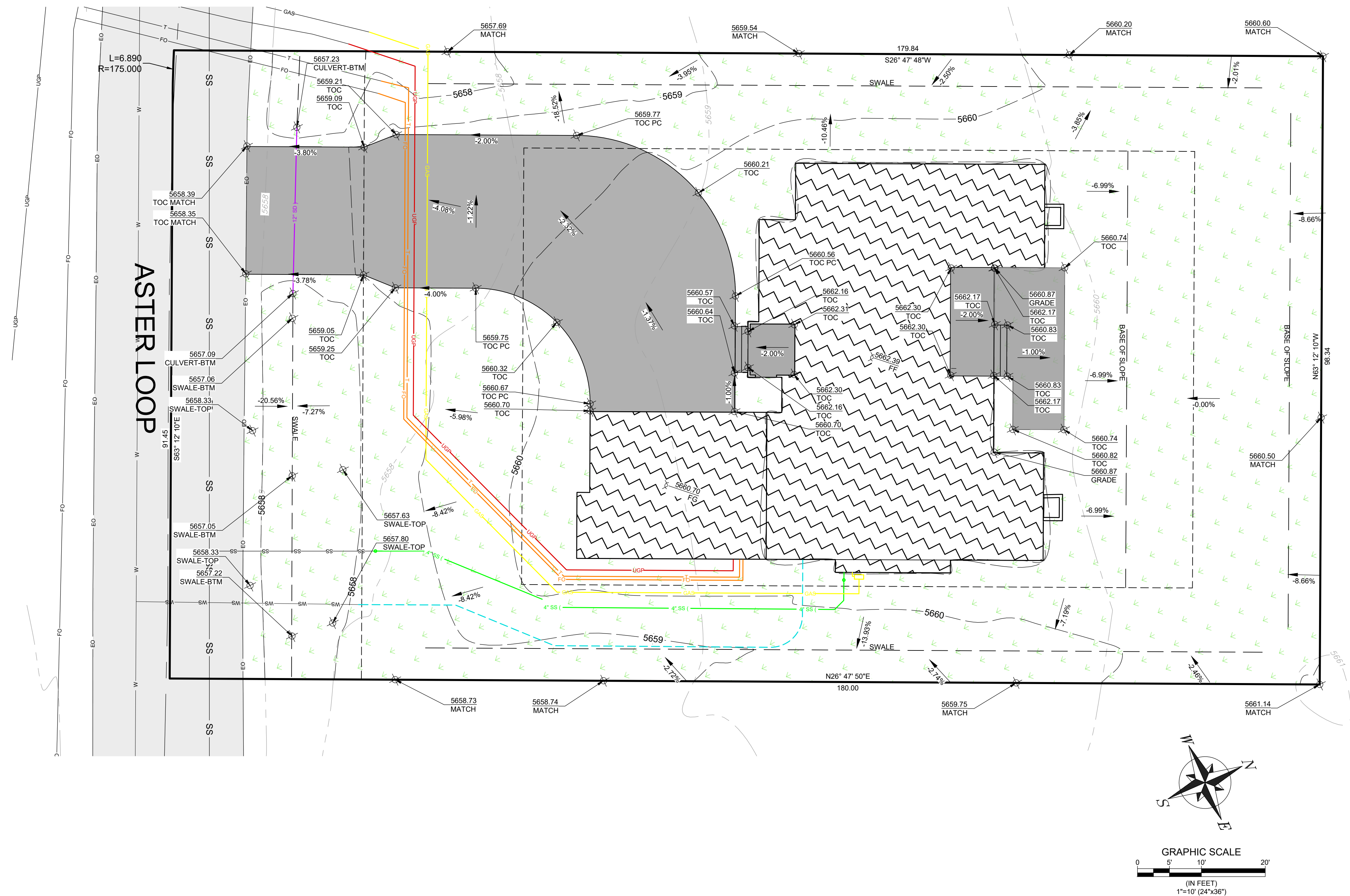
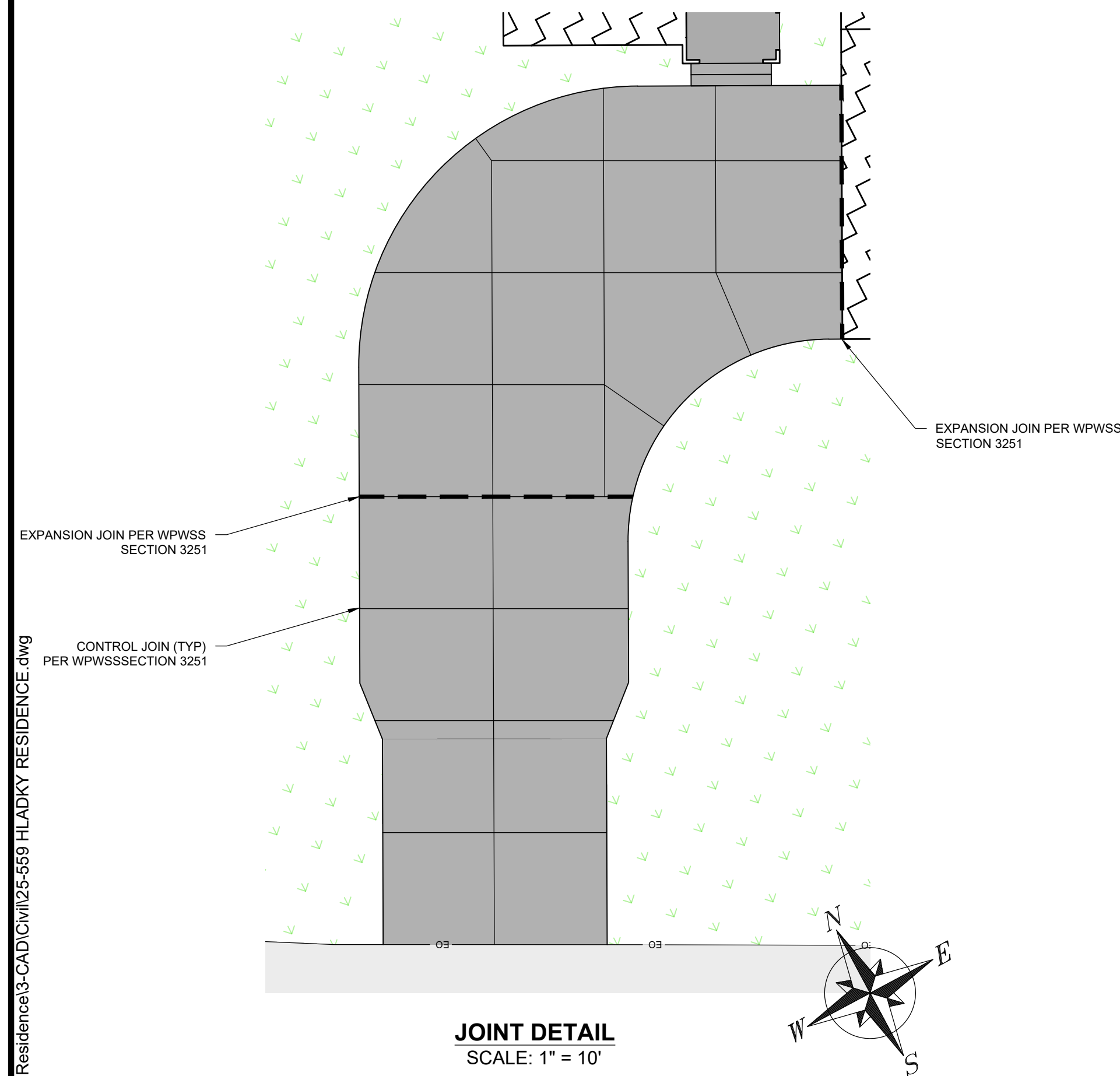
SHEET NO.
3
5
OF SHEETS

4" DEPTH, 28-DAY 4,000 PSI AIR ENTRAINED CONCRETE

4" DEPTH CRUSHED $\frac{3}{4}$ " MINUS AGGREGATE LEVELING COURSE COMPACTED TO 95% ASTM D698

SUBGRADE EARTH COMPACTED TO 95% ASTM D698

4710.5	MATCH EXISTING
MATCH	
4710.5	POINT OF CURVATURE
PC	
4710.5	TOP OF CONCRETE
TOC	
4710.5	TOP OF SWALE
SWALE-TOP	
4710.5	BOTTOM OF SWALE
SWALE-BTM	
4710.5	TOP
TOP	
4710.5	BOTTOM
BTM	
4710.5	TOP OF GROUND/LANDSCAPE
GRND	

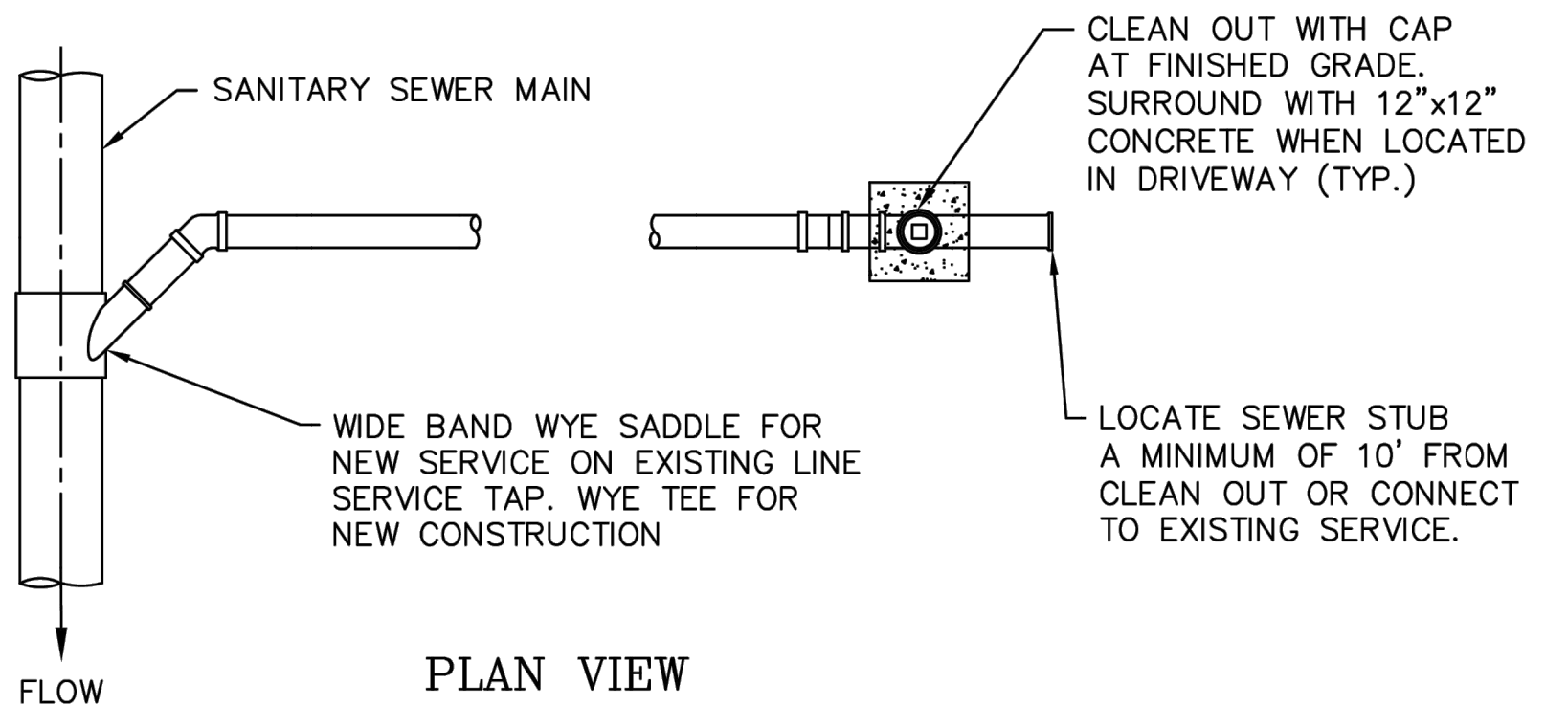
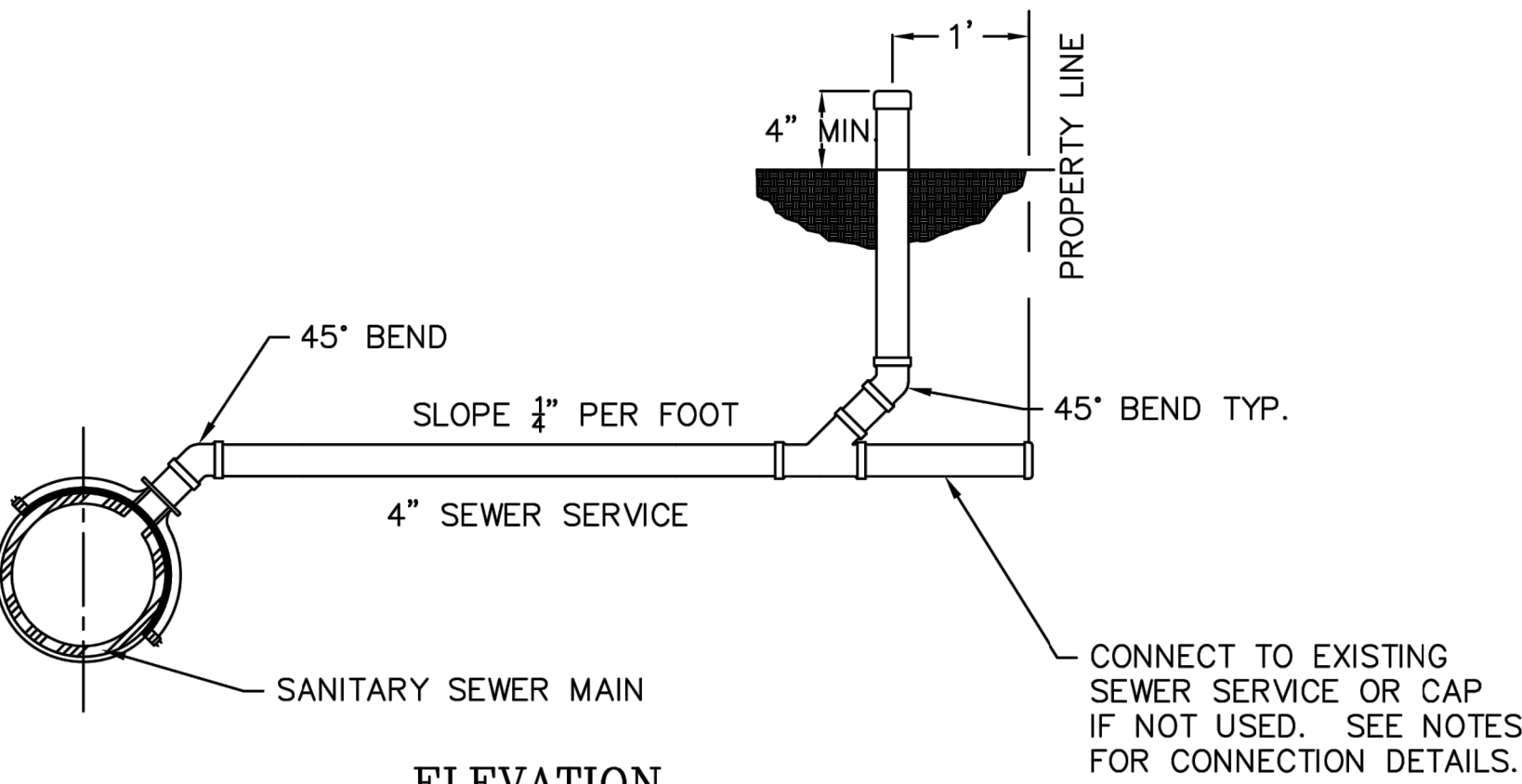
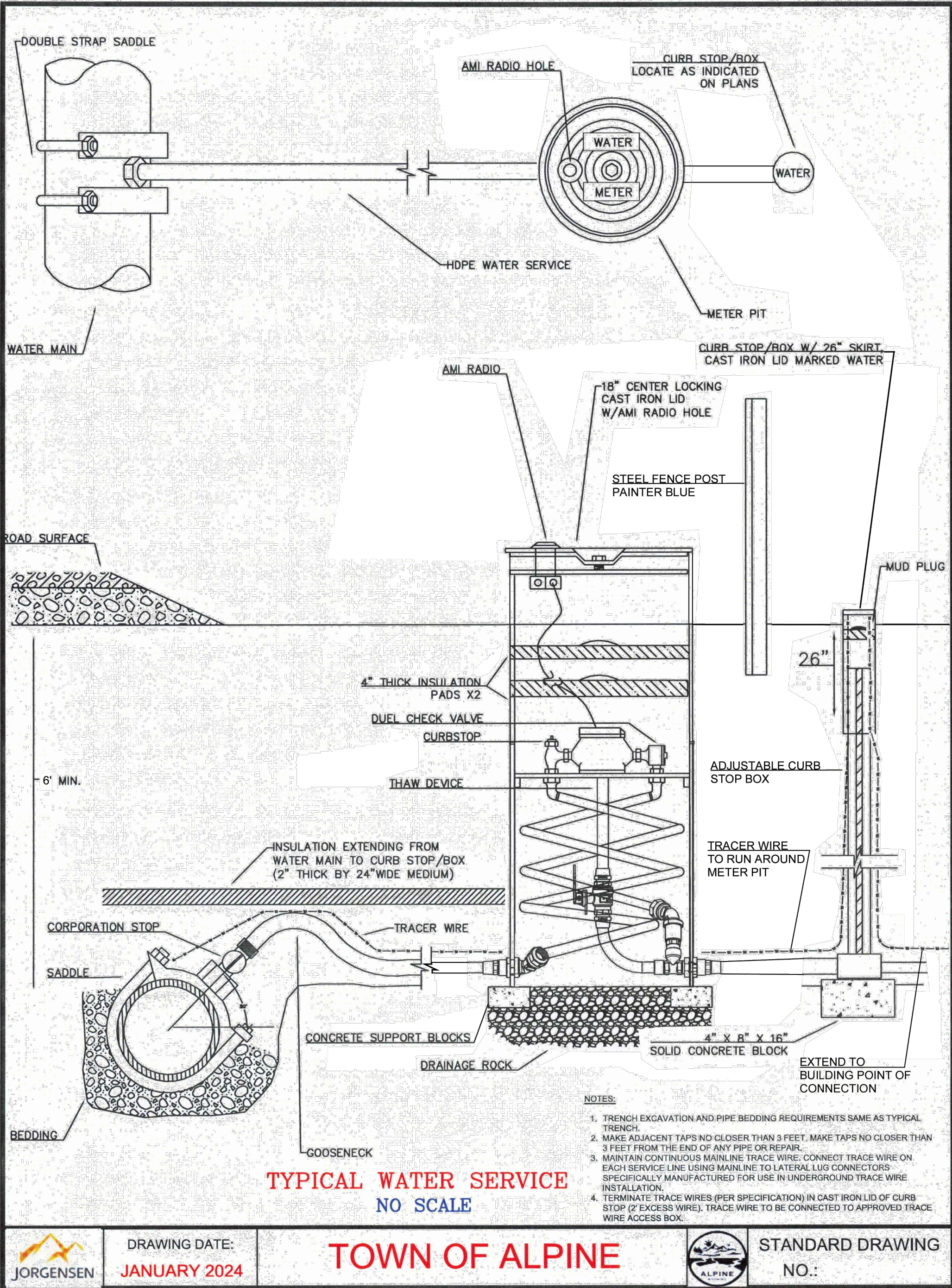


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GRADING PLAIN
HLADKY RESIDENCE
ALPINE, WYOMING

T NO. 4 OF 5 SHEETS

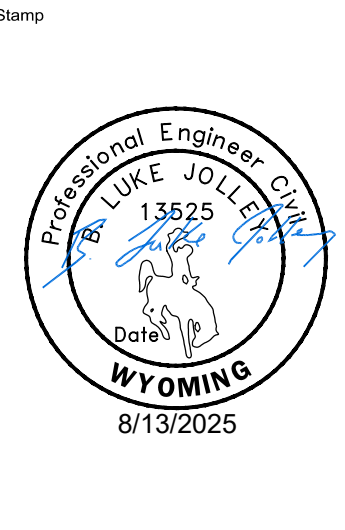
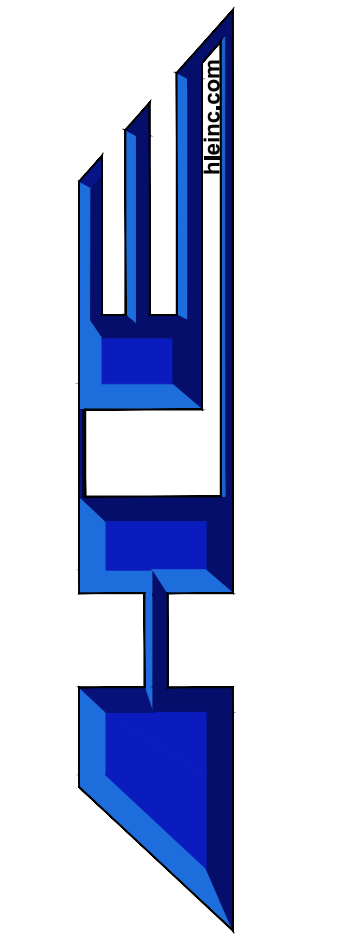
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- NOTES:
1. ALL SEWER MAINS AND SERVICES SHALL BE BEDDED IN $\frac{1}{2}$ " to 1 $\frac{1}{2}$ " DRAIN ROCK BEDDING, UNLESS ALTERNATE APPROVED BY ENGINEER.
 2. ALL SERVICES SHALL BE AT LEAST SDR 35 PVC PIPE.
 3. PVC TO PVC/ABS SERVICE CONNECTIONS SHALL REQUIRE SMITH-BLAIR 226 FULL CIRCLE CLAMP OR EQUIVALENT.
 4. PVC TO VCP SERVICE CONNECTIONS SHALL REQUIRE FERNCO 1002 SERIES COUPLING OR EQUIVALENT.

SEWER SERVICE DETAIL
NO SCALE

	TOWN OF ALPINE	JA	7/11/2024	JA	7/11/2024		STANDARD DRAWING
		DRAWN BY	DATE	REVIEWED BY	DATE		NO.: S-004



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DETAILS
HLADKY RESIDENCE
ALPINE, WYOMING