

# HLADKY - COX HOUSE PLANS

LOT #9

**IMPORTANT DISCLAIMER**  
THE ENCLOSED INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGH THE CONSTRUCTION OF YOUR HOME. YOUR CONSTRUCTION PLANS HAVE BEEN DRAWN TO PRESCRIBE TO INDUSTRY STANDARDS. THESE PROFESSIONAL STANDARDS DETERMINE HOW CONSTRUCTION PLANS ARE DRAWN AND WHAT INFORMATION THEY INCLUDE. CONSTRUCTION PLANS ARE INTENDED AS A TECHNICAL GUIDE TO PROFESSIONAL CONTRACTORS AND ARE NOT INTENDED TO BE A SET OF STEP-BY-STEP INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD YOUR HOME WITHOUT THE SERVICE OF A PROFESSIONAL BUILDER, WE SUGGEST THAT YOU BECOME THOROUGHLY FAMILIAR WITH READING CONSTRUCTION PLANS OR CONSIDER CONSULTING A CONSTRUCTION SPECIALIST. GREAT CARE AND EFFORT GOES INTO THE DESIGN AND CREATION OF THE CONSTRUCTION PLANS; HOWEVER, BECAUSE OF THE IMPOSSIBILITY OF PROVIDING ANY PERSONAL AND/OR "ON-SITE" CONSULTATION, SUPERVISION AND CONTROL OVER THE ACTUAL CONSTRUCTION, AND BECAUSE OF THE GREAT VARIANCES IN LOCAL BUILDING CODE REQUIREMENTS AND OTHER GEOGRAPHIC LOCATION AND WEATHER CONDITIONS, HOUSE PLAN ZONE, LLC. NOR THE AGENTS OR EMPLOYEES ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCLUDING BUT NOT LIMITED TO, ANY DEFICIENCIES, OMISSIONS, OR ERRORS IN THE DESIGN. IN ANY CASE, ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DIMENSIONS, AND/OR DRAWINGS CONTAINED IN THE CONSTRUCTION PLANS SHALL BE BROUGHT TO THE ATTENTION OF HOUSE PLAN ZONE, LLC. PRIOR TO COMMENCEMENT OF CONSTRUCTION. PROCEEDING WITH CONSTRUCTION CONSTITUTES THE ACCEPTANCE OF THE CONSTRUCTION DOCUMENTS "AS IS" AND ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS BECOME THE SOLE RESPONSIBILITY OF THE PURCHASER. IF ANY ERRORS ARE DISCOVERED PRIOR TO CONSTRUCTION HOUSE PLAN ZONE, LLC. WILL BE GIVEN FULL OPPORTUNITY TO CORRECT ANY ERRORS AND/OR OMISSIONS TO THE CONSTRUCTION PLANS. IN ANY OR ALL CIRCUMSTANCES, THE MAXIMUM FINANCIAL LIABILITY TO HOUSE PLAN ZONE, LLC. CAN NOT EXCEED THE TOTAL PLAN PURCHASE.

**PROFESSIONAL SEAL/ ADDITIONAL DRAWINGS**  
THOUGH EVERY EFFORT WAS MADE TO MAKE THE CONSTRUCTION DOCUMENTS FOLLOW THE I.R.C. NATIONAL CODE METHODOLOGIES, A FEW STATES AND CITIES HAVE PASSED BI-LAWS REGARDING CONSTRUCTION PLANS THAT WOULD BE SUBMITTED TO YOUR LOCAL MUNICIPALITY AND USED FOR THE CONSTRUCTION OF YOUR HOME. THESE BI-LAWS REQUIRE THE CONSTRUCTION PLANS TO BE REVIEWED AND/OR PREPARED, INSPECTED, AND SEALED (OR STAMPED) BY A LICENSED ARCHITECT/ ENGINEER IN YOUR STATE. IT IS ADVISED THAT YOU CONTACT YOUR MUNICIPALITY'S BUILDING DEPARTMENT FOR INSTRUCTIONS TO COMPLY WITH THEIR CONSTRUCTION PLANS REVIEW PROCESS. FURTHERMORE, ADDITIONAL ITEMS SUCH AS STRUCTURAL, HVAC, PLUMBING, SITE, ENERGY EFFICIENCY DOCUMENTATION, ETC. MAY BE REQUIRED AND THESE SHALL BE PROVIDED BY A LOCAL PROFESSIONAL THAT IS FAMILIAR WITH THE REQUIREMENTS AND THESE SHALL BE PROVIDED AT THE OWNERS EXPENSE.

**OTHER IMPORTANT INFORMATION**  
**MATERIALS LIST DISCLAIMER** - IF A MATERIALS LIST WAS ORDERED, IT WILL ONLY CONFORM TO THE PLAN IN ITS ORIGINAL FORMAT. ADDITIONAL OPTIONS SUCH AS 2X6 EXTERIOR WALLS, BASEMENT, OR WALKOUT BASEMENT FOUNDATIONS, THREE CAR GARAGE VERSIONS, ETC. WILL NOT BE REFLECTED IN THE LIST. WHILE IT WILL NOT MATCH THESE OPTIONS, THE LIST IS STILL A GREAT REFERENCE DOCUMENT FOR THE MATERIALS THAT WILL BE REQUIRED TO CONSTRUCT YOUR HOME.

**FOUNDATIONS** - MOST OF OUR FOUNDATIONS ARE DESIGNED WITH CONCRETE BLOCK STEM WALLS AND NOT POURED-IN-PLACE CONCRETE. ADDITIONALLY, THE MAJORITY OF OUR SLAB FOUNDATIONS ARE DESIGNED WITH A CHAIN WALL (RAISED) SLAB AND NOT MONOLITHIC (SLAB ON GRADE). CONTRACTOR/ LOCAL ENGINEER SHALL ADDITIONAL DESIGN AS NEEDED FOR YOUR SPECIFIC AREA/ NEED.

**SQUARE FOOTAGES** - BONUS ROOMS (WHERE APPLICABLE) ARE NOT INCLUDED IN THE HEATED AREA OF THE DESIGN UNLESS SPECIFICALLY NOTED. GARAGE PLANS ARE EXCLUDED. SQUARE FOOTAGES SHOWN ARE CALCULATED TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR MATERIALS SUCH AS BRICK, STONE, OR SIDING.

**DIMENSIONS** - OUR PLANS ARE DIMENSIONED TO THE OUTSIDE OF THE STUD WALL ONLY AND NOT TO THE OUTSIDE OF THE BRICK LEDGE (WHERE APPLICABLE).

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REPRODUCTION OF THESE CONSTRUCTION PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM COPYING AND/OR PREPARATION OF A DERIVATIVE WORKS THEREOF, FOR ANY REASON IS STRICTLY PROHIBITED. THE PURCHASE OF A SET OF CONSTRUCTION PLANS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST IN IT TO THE PURCHASER EXCEPT FOR A LIMITED LICENSING RELEASE TO USE THE SAID PLAN SET FOR CONSTRUCTING ONE AND ONLY ONE DWELLING UNIT. THE PURCHASE OF ADDITIONAL SETS OF THE SAID PLANS AT A REDUCED PRICE FROM THE ORIGINAL SET OR AS PART OF A MULTIPLE SET PACKAGE DOES NOT CONVEY TO THE PURCHASER A LICENSE TO CONSTRUCT MORE THAN ONE DWELLING. SIMILARLY, THE PURCHASE OF REPRODUCIBLE CONSTRUCTION PLANS (A.K.A. SEPIAS, MYLARS, OR VELLUMS) CARRIES THE SAME COPYRIGHT PROTECTION AS MENTIONED ABOVE. IT IS GENERALLY ALLOWED TO MAKE A MAXIMUM OF 10 COPIES FOR THE CONSTRUCTION OF A SINGLE DWELLING ONLY. TO USE ANY PLAN MORE THAN ONCE, AND TO AVOID ANY COPYRIGHT/ LICENSE INFRINGEMENT, IT IS NECESSARY TO CONTACT THE ORIGINAL DESIGNER TO RECEIVE A LICENSE FOR ANY EXTENDED USAGE. WHEREAS A PURCHASER OF REPRODUCIBLE'S IS GRANTED A LICENSE TO MAKE COPIES, IT SHOULD BE NOTED THAT AS COPYRIGHTED MATERIALS, MAKING PHOTOCOPIES FROM CONSTRUCTION PLANS IS ILLEGAL. COPYRIGHT AND LICENSEE OF CONSTRUCTION PLANS EXISTS TO PROTECT ALL PARTIES. IT RESPECTS AND SUPPORTS THE INTELLECTUAL PROPERTY OF THE ORIGINAL ARCHITECT AND/OR DESIGNER, THEREBY KEEPING IT POSSIBLE TO OFFER PRE-DRAWN PLANS AT AFFORDABLE PRICES. COPYRIGHT LAW FOR PRE-DRAWN CONSTRUCTION PLANS IS NOW BEING VIGOROUSLY ENFORCED. COPYRIGHT INFRINGEMENT COULD LEAD TO FINES OF UP TO \$100,000 PER VIOLATION.

**GENERAL SITE NOTES**  
1. CONTRACTOR TO VERIFY LOCATIONS OF SITE UTILITIES, REQUIREMENTS, AND CONNECTIONS FEES. OWNER, CONTRACTOR AND SUB-CONTRACTORS TO PAY ALL OF THEIR RELATED CONSTRUCTION PERMIT FEES AS AGREED UPON BETWEEN THE OWNER AND CONTRACTOR.  
2. BEFORE EXCAVATION, THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS, MAPS, AND BUILDING SITE TO DETERMINE THE ROUTES OF ALL UNDERGROUND UTILITIES. BEFORE DIGGING COMMENCES IT IS ADVISED THAT THE OWNER AND OR CONTRACTOR CALL THEIR STATES UTILITY LOCATOR FACILITATOR.  
3. IT IS RECOMMENDED THAT THE SITES SOIL BE TESTED FOR COMPRESSION RATING TO DETERMINE FOUNDATION AND FOOTING DESIGN. CONCRETE FOUNDATIONS AND FOOTING DESIGN SHALL BE IN ACCORDANCE TO CHAPTER 4 OF THE I.R.C. CODE. FOUNDATION DESIGN TO BE VERIFIED BY A LOCAL PROFESSIONAL OR ENGINEER. CONSULT A LOCAL CIVIL ENGINEER FOR SITE PLANS AND SURVEYS OF EXISTING PROPERTY. A LANDSCAPE ARCHITECT SHOULD BE CONSULTED FOR MORE EXTENSIVE LANDSCAPE DESIGNS.



PLAN #: 2216-S

FOUNDATION TYPE: BASEMENT  
EXTERIOR WALL SIZE: 2x4 EXT. WALLS

\*\*\*HLADKY MODIFICATION #2\*\*\*  
LIC. NO. - 737-025

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- Exterior Views
- Misc. Detailing
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- Section View & Cabs
- Electrical Plan

## Structural Plans

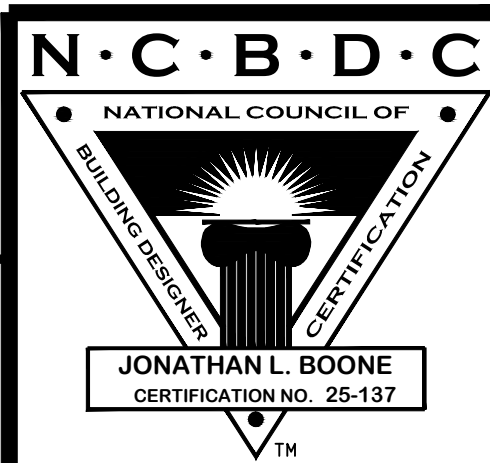
- S0.1 - Structural General Notes
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## STANDARD ABBREVIATIONS

@	AT	LT	LIGHT
#	FOUND(S)	LIN.	LINEN
APPROX.	APPROXIMATELY	MANUF.	MANUFACTURER
BASE.	BASEMENT	MAS.	MASONRY
B/T	BETWEEN	MAX.	MAXIMUM
BLK.	BLOCK	MTL.	METAL
BLKG	BLOCKING	MIN.	MINIMUM
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BRD.	BOARD	O.C.	ON CENTER
BOT.	BOTTOM	O/C	ON CENTER
BLDG.	BUILDING	OPT.	OPTIONAL
CAB.	CABINET	O.S.B.	ORIENTED STRAND BOARD
CLG.	CEILING	OTS	OWNER TO SELECT
CLR.	CLEAR	O.T.S	OWNER TO SELECT
CLOS.	CLOSET	PG.	PAGE
COL.	COLUMN	PAN.	PANTRY
COLS.	COLUMNS	PL.	PLATE
CONC.	CONCRETE	P	PLATE
CMU	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C.U.	CONDENSOR UNIT	PLYWD	PLYWOOD
CONN.	CONNECTION	POLY.	POLYETHYLENE
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
COVERG	COVERING	PRE-FAB	PREFABRICATED
CS	CRANK SPACE	RE:	REFERENCE
DECO.	DECORATIVE	REF.	REFRIGERATOR
DET.	DETAIL	REINF.	REINFORCED
DIA.	DIAMETER	R	RESISTANCE
DW	DISHWASHER	R.A.	RETURN AIR
DBL.	DOUBLE	R.A.G.	RETURN AIR GRILLE
DF	DOUGLAS FIR	REQ'D	REQUIRED
D	DRYER	SCR.	SCREEN
EA.	EACH	SHLVs.	SHELVES
ELEV.	ELEVATION	SHR.	SHOWER
ENG.	ENGINEER	SHWR.	SHOWER
FT.	FEET	SST.	SIMPSON STRONG TIE
F.F.L.	FINISHED FLOOR LINE	SP	SOUTHERN PINE
FIN.	FINISH	SPECS.	SPECIFICATIONS
F.C.	FIRE CODE	SQ.	SQUARE
FLR.	FLOOR	S.F.	SQUARE FOOTAGE
FTG.	FOOTING	STL.	STEEL
FOUND.	FOUNDATION	THK.	THICK
FND.	FOUNDATION	THK.	THICKNESS
FR.	FREEZER	TBD.	TO BE DETERMINED
GA.	GAUGE	TR.	TRANSOM
GALV.	GALVANIZED	TYP.	TYPICAL
GYP.	GYPSON	U.T.C.	UNDER THE COUNTER
HDR.	HEADER	UTIL.	UTILITY
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAN.	VANITY
HT.	HEIGHT	VERT.	VERTICAL
HTS.	HEIGHTS	WH	WATER HEATER
HORIZ.	HORIZONTAL	W	WASHER
IN.	INCHES	WT.	WEIGHT
INCL.	INCLUDE	WIN.	WINDOW
INSUL.	INSULATION	WM.	WIRE MESH
JT.	JOINT	W	WITH
JST.	JOIST	WD.	WOOD
JSTS.	JOISTS	WFGM	WOOD FRAME
			CONSTRUCTION MANUAL

## DESIGN DATA

MINIMUM SOIL BEARING CAPACITY = 2000 P.S.F. FOR GROUP II  
CONCRETE MINIMUM (28 DAYS) f<sub>c</sub>:  
FOOTERS = 3000 P.S.I.  
SLABS & WALLS = 3000 P.S.I.  
REINFORCING STEEL: A.S.T.M. A615-60  
ROOF LIVE LOAD (GROUND SNOW LOAD) = 30 P.S.F.  
ROOF DEAD LOAD = 10 P.S.F.  
FLOOR LIVE LOAD = 40 P.S.F.  
30 P.S.F. SLEEPING AREAS  
FLOOR DEAD LOAD = 10 P.S.F.  
DECK LIVE LOAD = 40 P.S.F.  
DECK DEAD LOAD = 10 P.S.F.  
NOTE: ALL REQUIRED BRACE WALL PANELS LOCATED BY CONTRACTOR PER LOCAL CODE REQUIREMENTS.



Date: 7.13.21

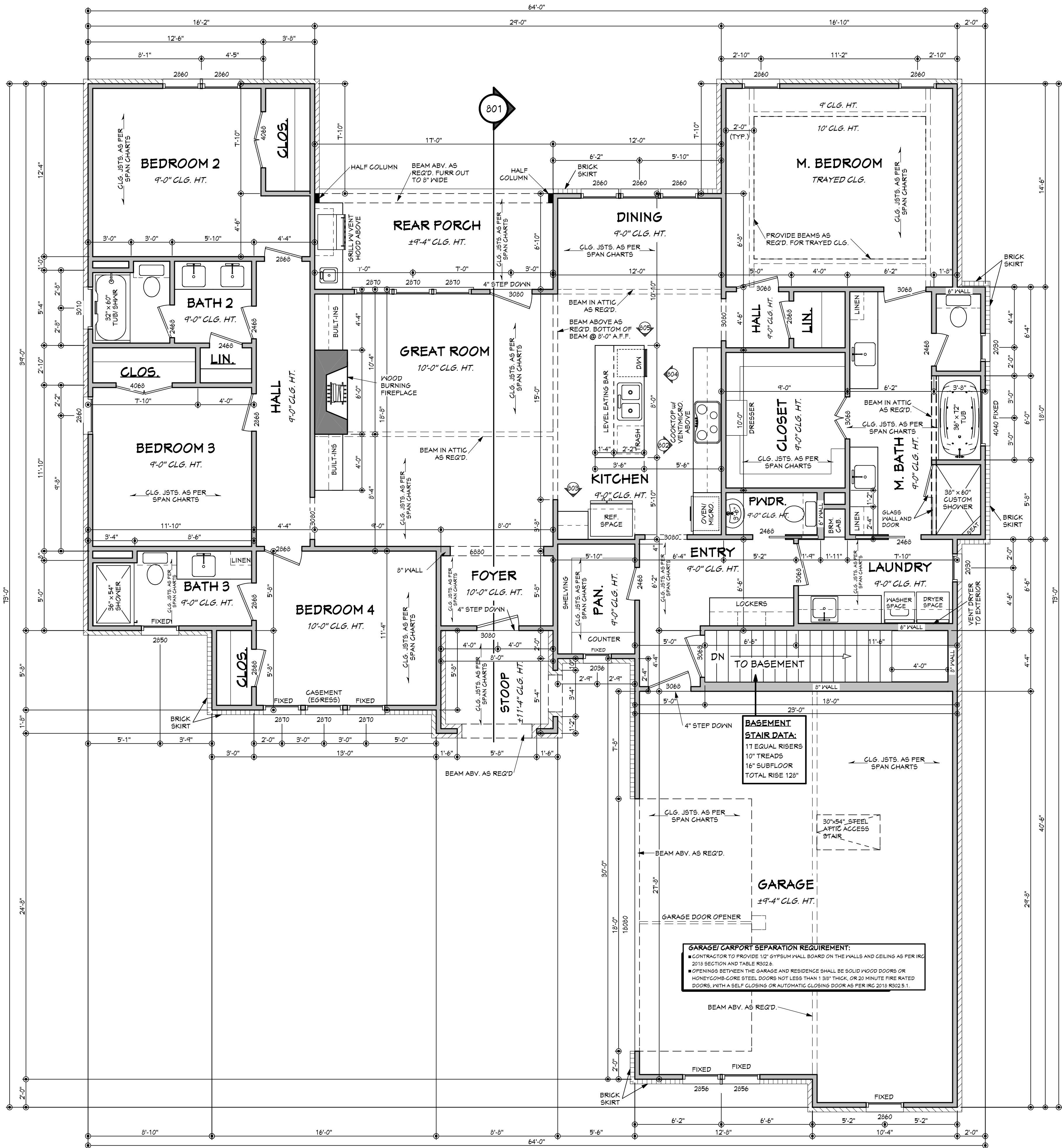
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SHEET NUMBER

1





■ **DOOR LABEL SIZE:** 3063 IS A DOOR THAT IS 3 FT 0 INCHES WIDE BY 6 FEET 0 INCHES TALL. TO FURTHER CLARIFY, THE 3063 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT). THE DOOR LABEL IS THE ACTUAL SIZE OF THE DOOR ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE DOOR MANUFACTURER CHOSEN AT SITE.

■ **WINDOW LABEL SIZE:** 3050 IS A WINDOW THAT IS 3 FT 0 INCHES WIDE BY 5 FEET 0 INCHES TALL. TO FURTHER CLARIFY, THE 3050 LABEL IS TO BE READ AS FEET AND INCHES (WIDTH) AND FEET AND INCHES (HEIGHT) THE WINDOW LABEL IS THE ACTUAL SIZE OF THE WINDOW ITSELF, NOT THE ROUGH OPENING SIZE. VERIFY THE ROUGH OPENING SIZE WITH THE WINDOW MANUFACTURER CHOSEN AT SITE.

# FLOOR PLAN

SCALE: 1/4" = 1'-0"

**WALL FRAMING NOTE:**  
ALL WALLS TO BE 2X4 @ 16" O.C.  
UNLESS OTHERWISE NOTED.

**MECHANICAL NOTE:**  
WATER HEATER & HVAC UNIT TO BE LOCATED  
IN ATTIC SPACE BY CONTRACTOR.

## FLOOR PLAN NOTES: (2018 IRC)

1. ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF THE STUD AND DO NOT INCLUDE EXTERIOR FINISHES SUCH AS SIDING, BRICK, STUCCO, ETC.
3. ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
4. VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
5. CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
7. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
8. PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
9. M1305.1.2 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS: (A) THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING. (B) WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
10. APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1305.1.1
11. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
12. ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
13. ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING. FOOTAGES SHOWN ARE TO THE OUTSIDE OF THE STUD WALL AND DO NOT INCLUDE THE EXTERIOR FINISH MATERIAL SUCH AS SIDING, BRICK, STONE ETC.
14. FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE IRC 2018 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
15. ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2

## AREAS (FRAME):

2237 S.F. FIRST FLOOR HEATED - INTERIOR NOT INCLUDING PORCH & STOOP  
2148 S.F. BASEMENT HEATED  
657 S.F. GARAGE  
61 S.F. STOOP  
79 S.F. BASEMENT STAIR  
116 S.F. REAR PORCH  
**5121 S.F. TOTAL WITHIN EXTERIOR WALLS**  
**5298 S.F. TOTAL UNDER ROOF**

**FRAMING SQUARE FOOTAGE CALCULATION NOTES:**  
1. SQUARE FOOTAGE OF HEATED AREA IS FIGURED TO THE OUTSIDE OF THE STUD WALL OF THE EXTERIOR WALLS (DOES NOT INCLUDE MASONRY OR OTHER EXTERIOR MATERIALS).  
2. FIREPLACES THAT PROTRUDE FROM THE EXTERIOR FOOTPRINT ARE NOT INCLUDED IN THE HEATED AREA.  
3. STAIRWELLS ARE ONLY INCLUDED IN THE FIRST FLOOR CALCULATIONS AND NOT THE SECOND FLOOR CALCULATIONS (IF APPLICABLE).

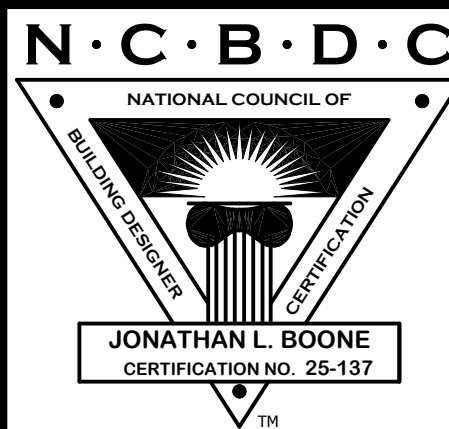
## HOUSE PLAN ZONE

Website:  
www.HPZplans.com

Email:  
sales@hpzplans.com

Phone:  
601.336.3254

Fax:  
1.800.574.1387



Pre-Drawn Plan ID:

# 2216-S

Date:  
7.13.21

Drawn By:  
C.A.B.

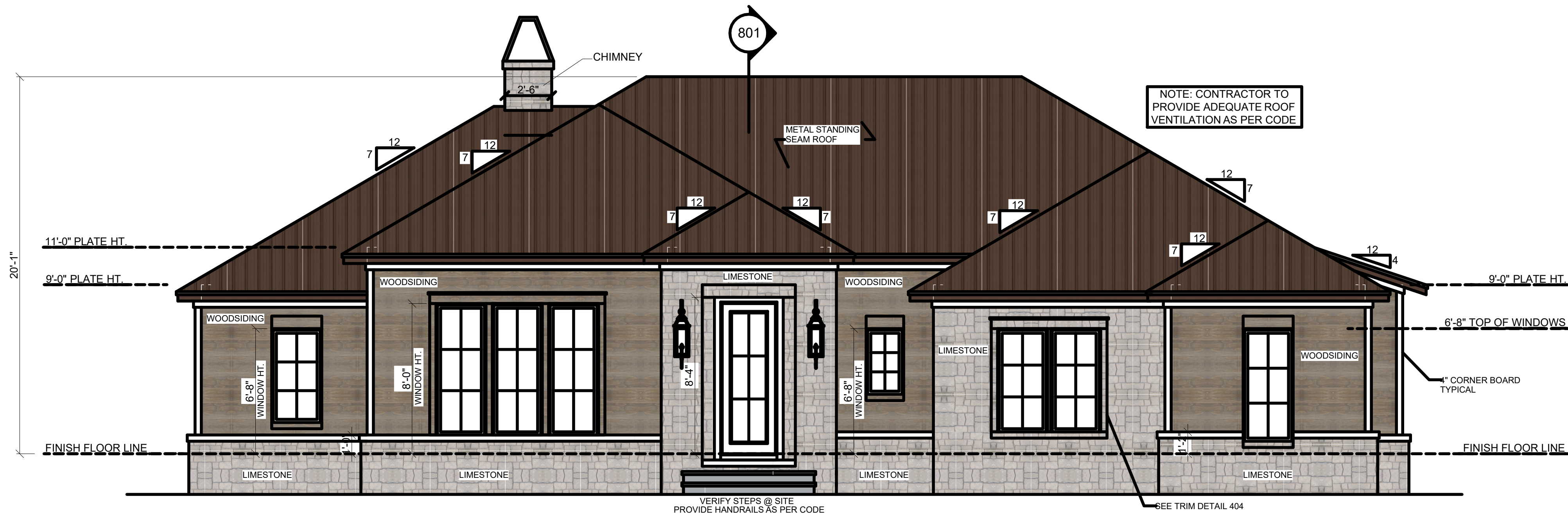
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# 2

House Plan Zone, LLC has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans assumes all responsibility for any damages, including structural failures resulting from errors, omissions or deviations in the design. House Plan Zone, LLC highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

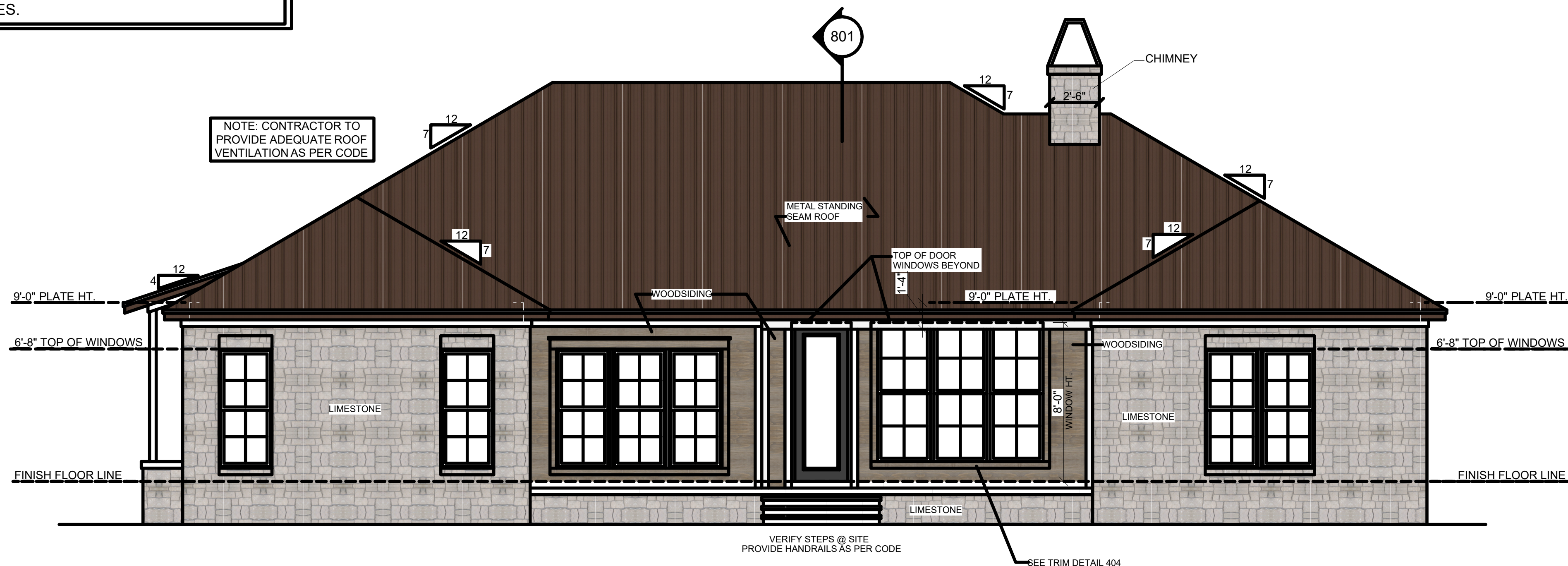




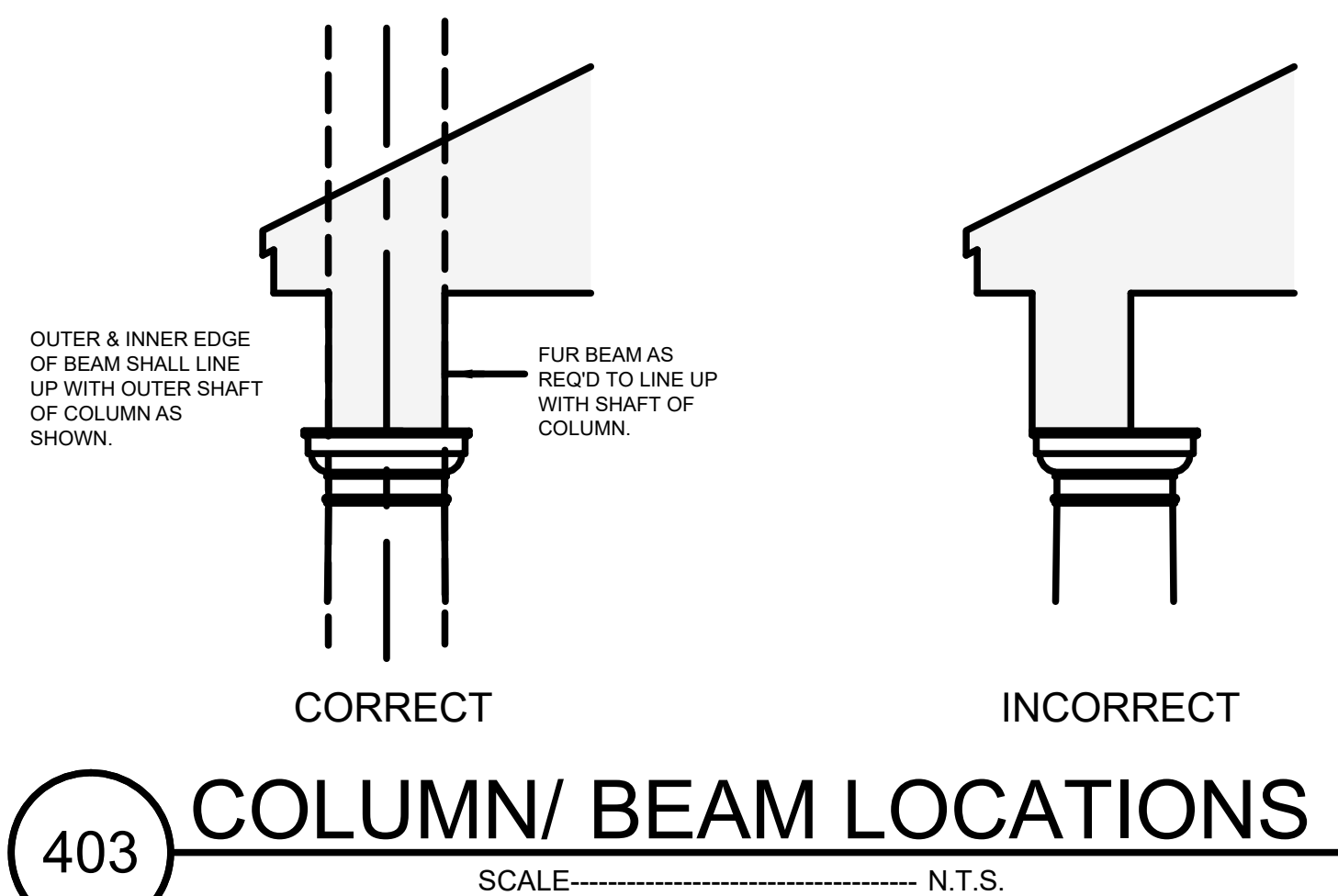
401 FRONT VIEW  
SCALE----- 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES:

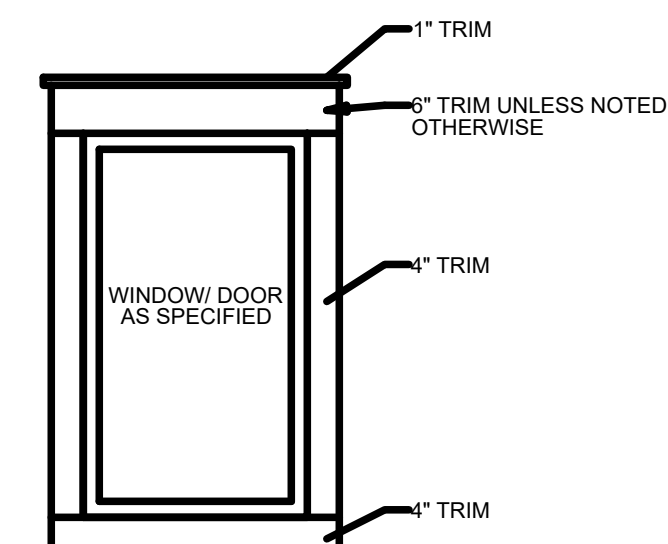
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



402 REAR VIEW  
SCALE----- 1/4" = 1'-0"



403 COLUMN/ BEAM LOCATIONS  
SCALE----- N.T.S.



404 TYPICAL TRIM DETAIL  
SCALE----- 1/2" = 1'-0"

Website:  
www.HPZplans.com

Email:  
sales@hpzplans.com

Phone:  
601.336.3254

Fax:  
1.800.574.1387



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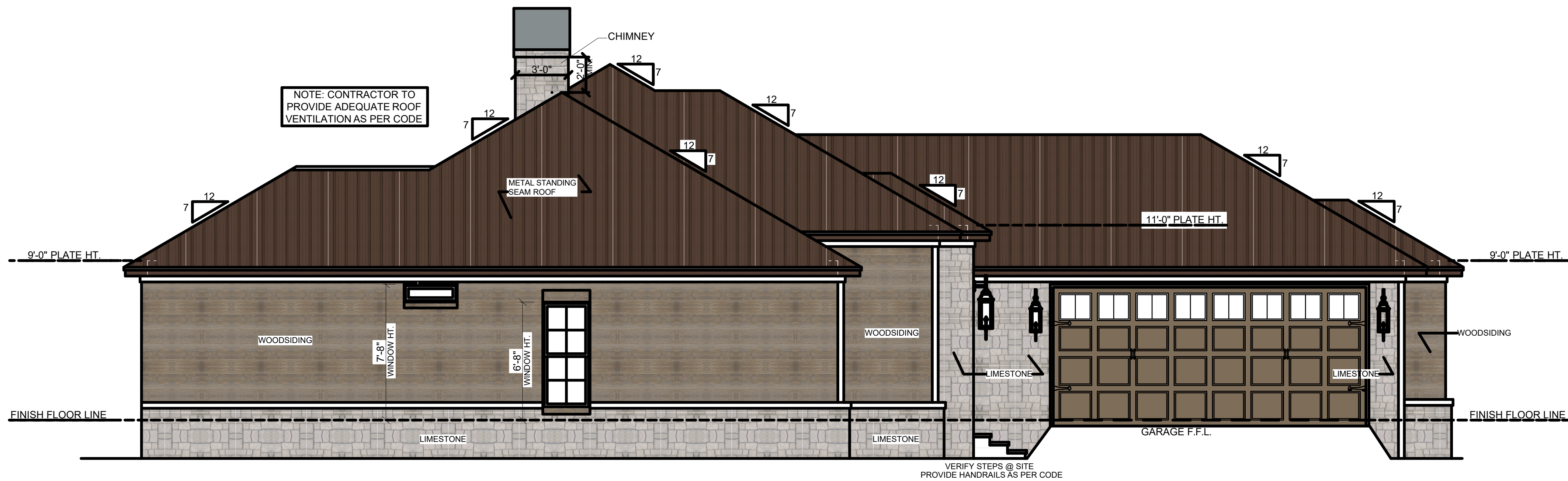
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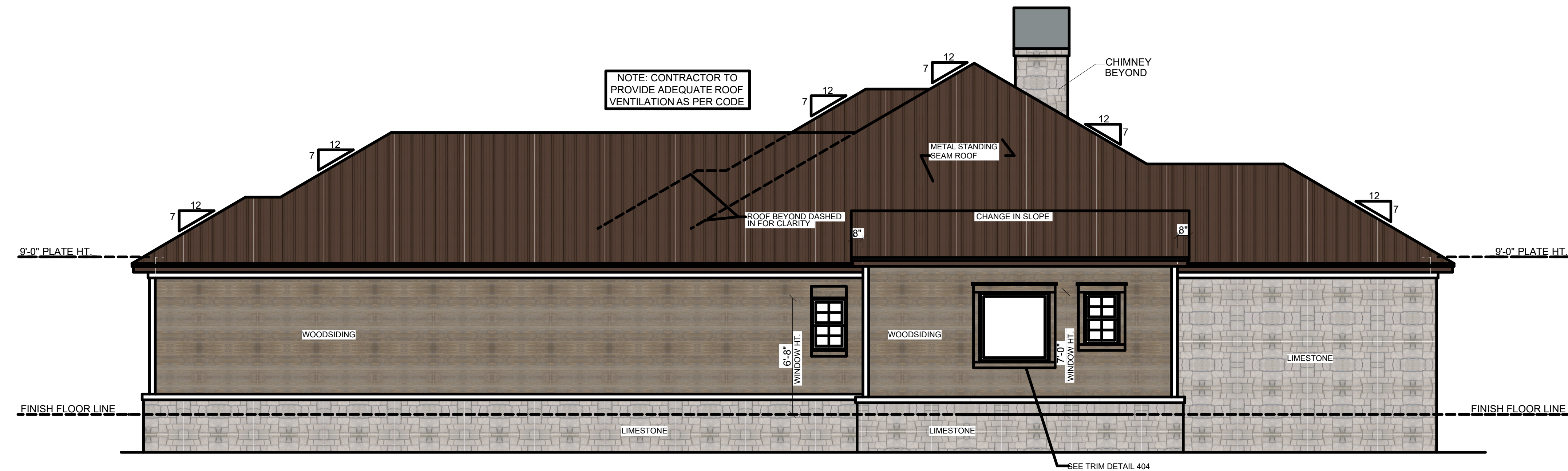


## 501 LEFT VIEW

SCALE----- 1/4" = 1'-0"

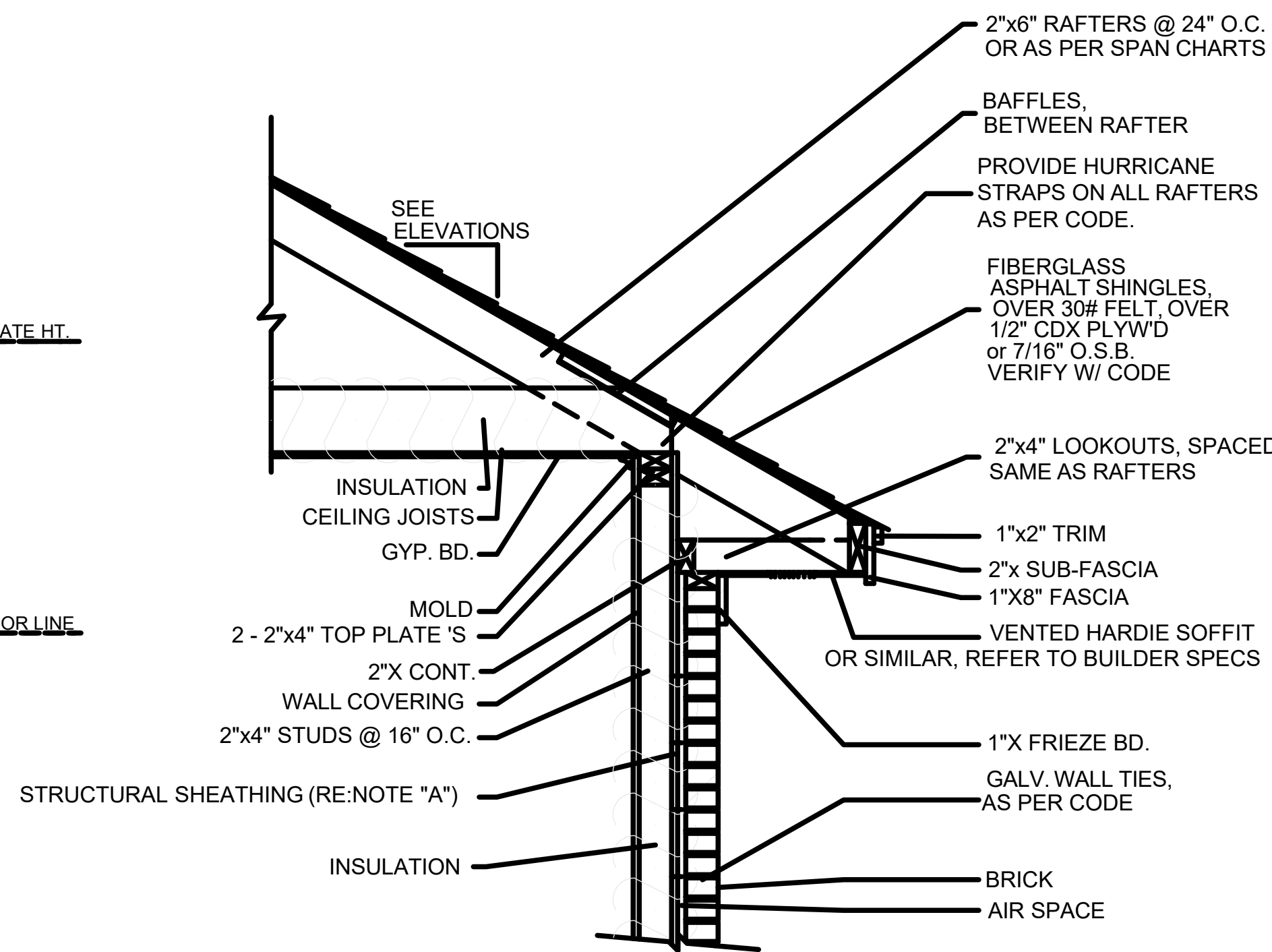
### EXTERIOR ELEVATION NOTES:

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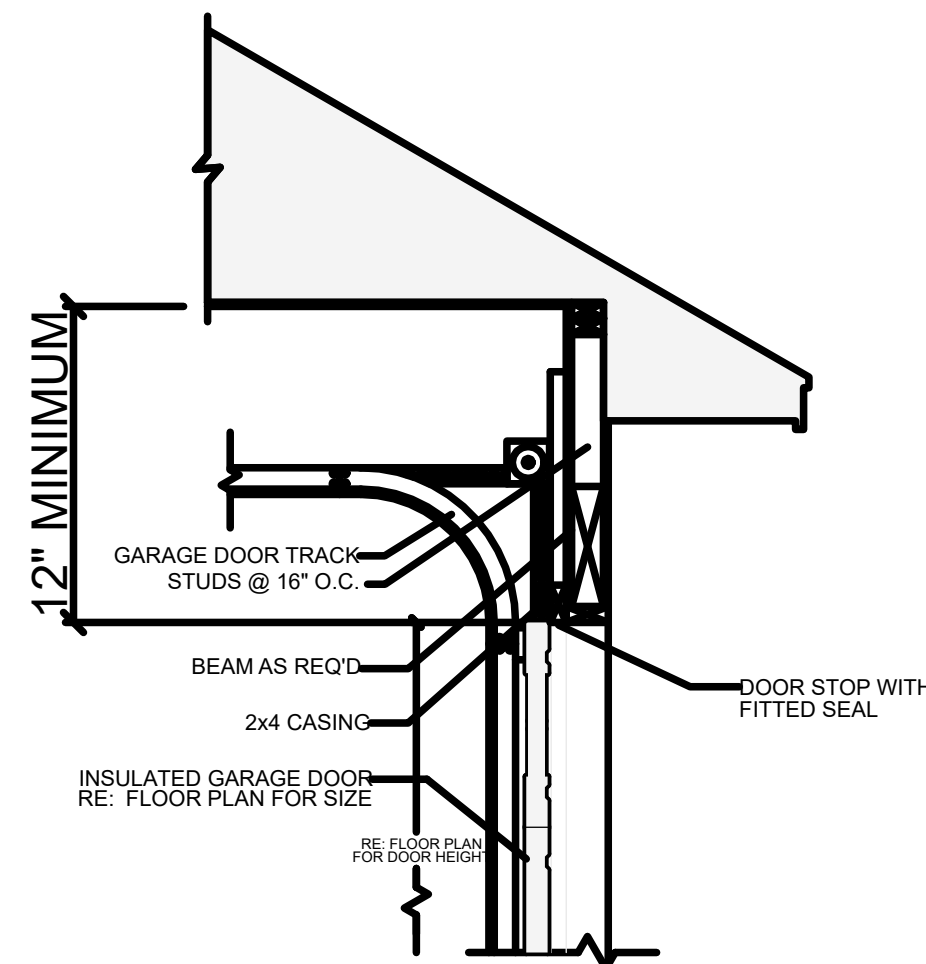
## 502 RIGHT VIEW

SCALE----- 1/4" = 1'-0"



## 503 TYPICAL CORNICE DETAIL

SCALE----- 3/4"=1'-0"



## 504 GARAGE DOOR CLEARANCE

SCALE----- N.T.S.  
THE INTENT OF THIS DETAIL IS TO SHOW THE MINIMUM REQUIRED DISTANCE FROM THE TOP OF THE GARAGE DOOR OPENING TO THE CEILING OF THE GARAGE.

Website:  
[www.HPZplans.com](http://www.HPZplans.com)

Email:  
[sales@hpzplans.com](mailto:sales@hpzplans.com)

Phone:  
601.336.3254

Fax:  
1.800.574.1387



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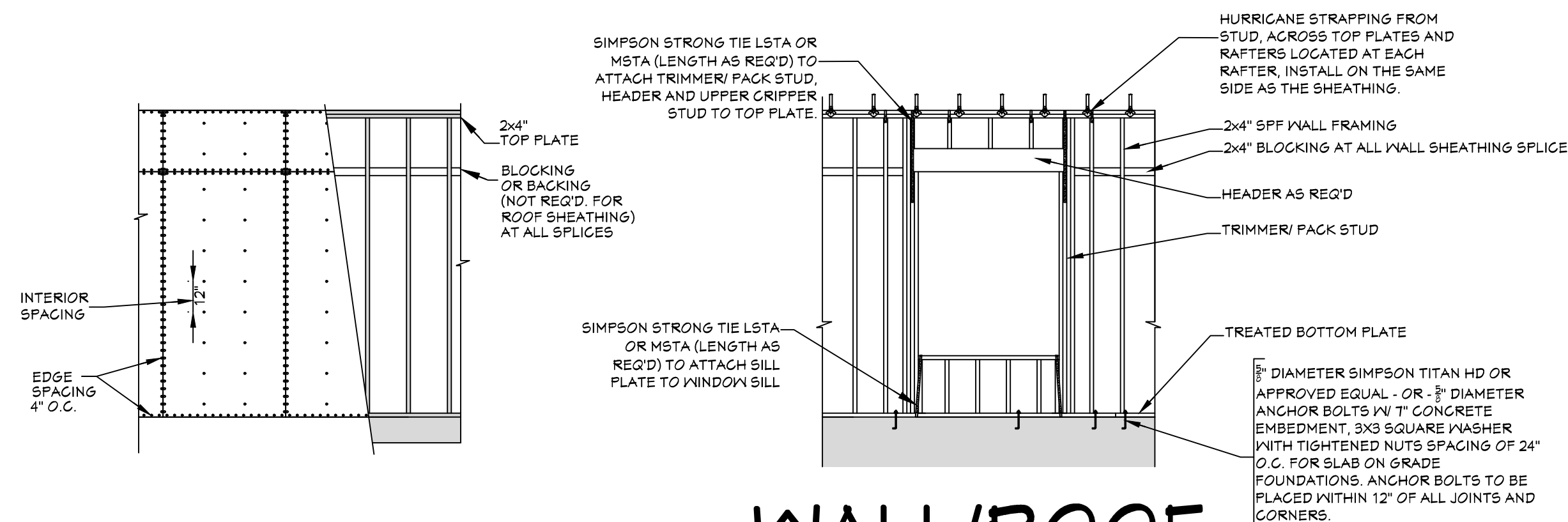
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**4**

House Plan Zone, LLC, has exercised great care and effort in the development of these plans and the completion of these construction documents. However, we make no warranty, express or implied, and we assume no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC, highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, and that all other special conditions required by local building codes be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.





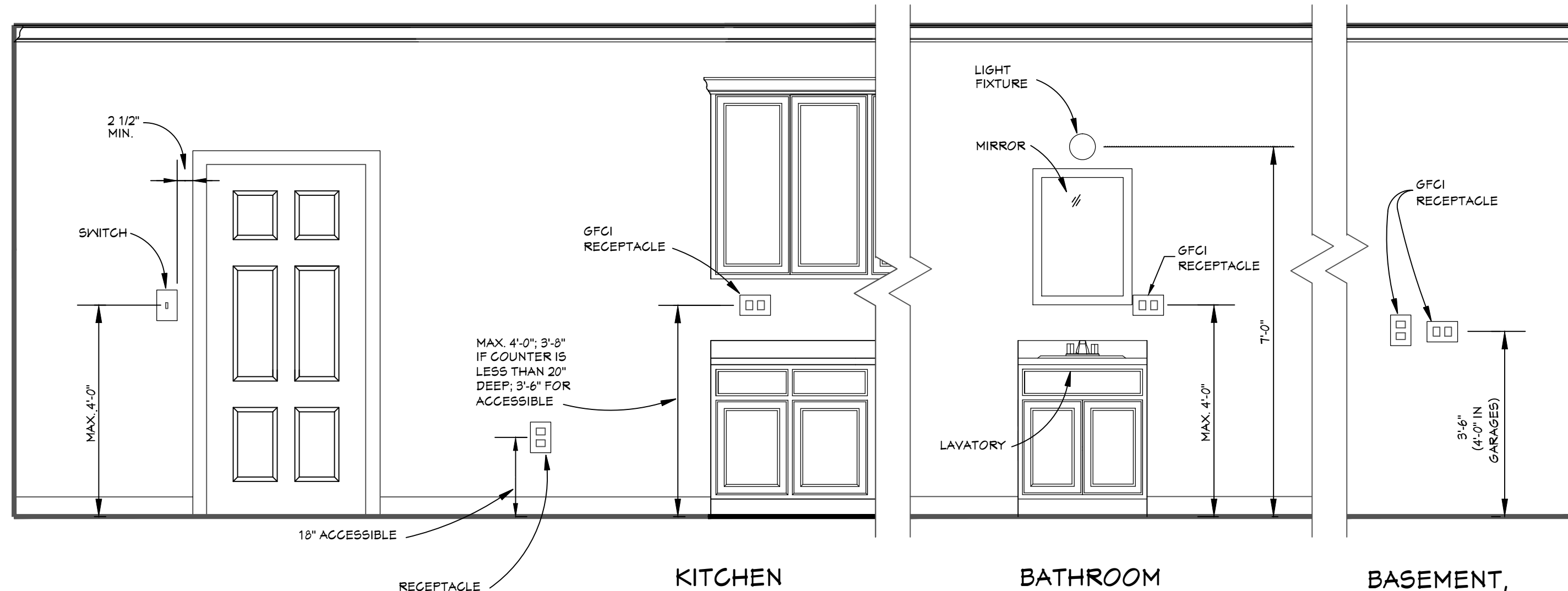
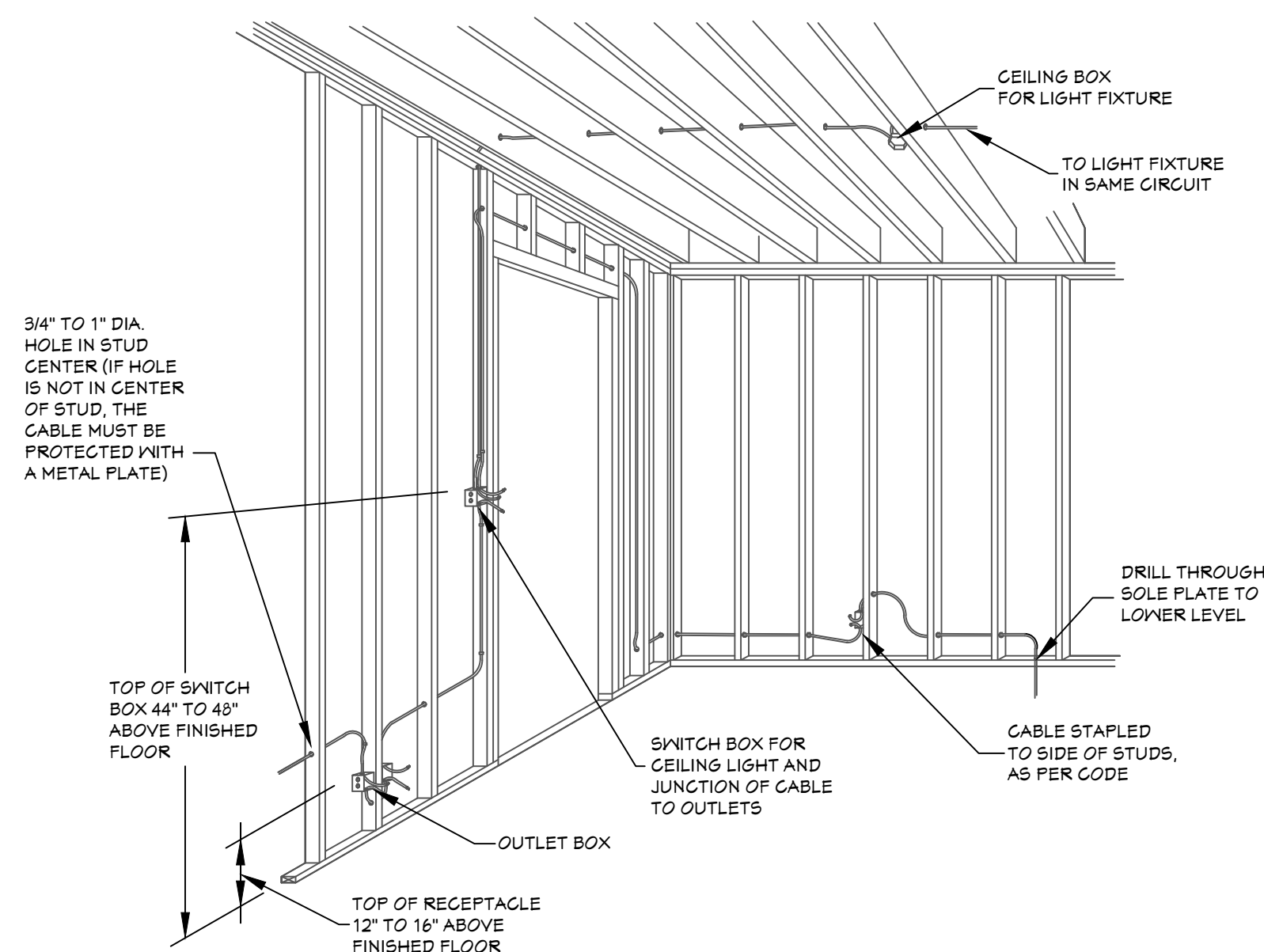
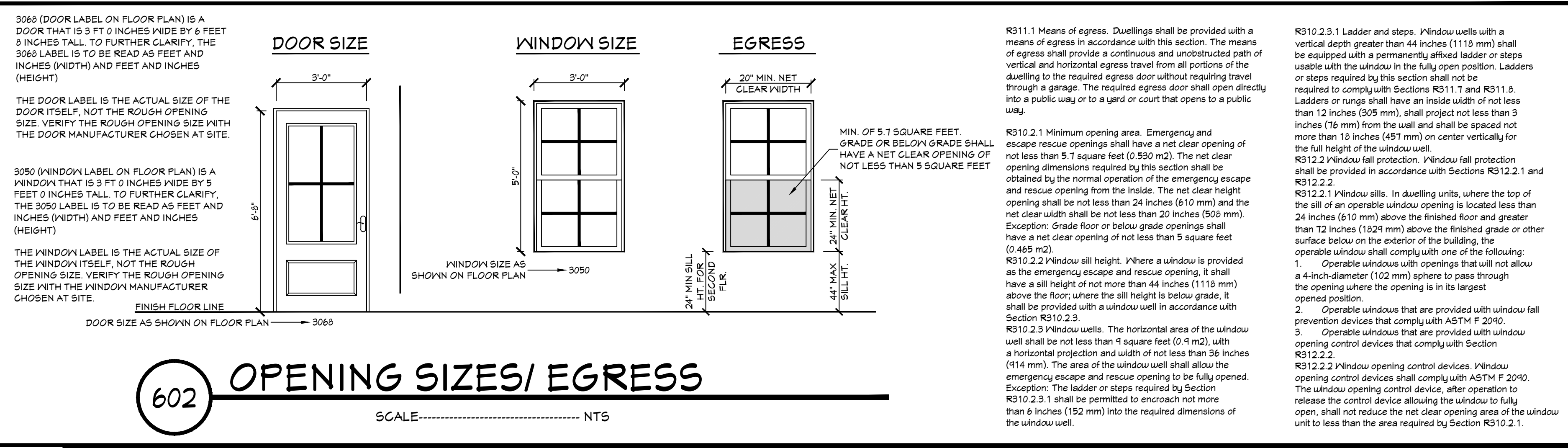
NAIL SIZE SPACING FOR WALL SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 12" O.C.

NAIL SIZE SPACING FOR ROOF SHEATHING
8d NAILS MIN. OF 7/16" O.S.B. EDGE SPACING = 4" O.C. INTERIOR SPACING = 4" O.C.

- NOTES:
1. ALL EXTERIOR SHEATHING TO EXTEND FROM BOTTOM OF BOTTOM PLATE TO THE TOP OF THE TOP PLATES.
  2. PROVIDE 2X4 OR GREATER COLLAR TIES ON EACH RAFTER IN THE UPPER THIRD OF ATTIC AND ATTACHED TO RAFTERS WITH 5 - 10d NAILS ON EACH SIDE.
  3. SHINGLES OR OTHER ROOF MATERIALS TO BE FASTENED AS PER MANUFACTURERS INSTRUCTIONS FOR HIGH WIND APPLICATIONS.
  4. EXTERIOR WALL FINISHES TO BE INSTALLED AS PER MANUFACTURERS INSTRUCTIONS BASED ON HIGH WIND APPLICATIONS.

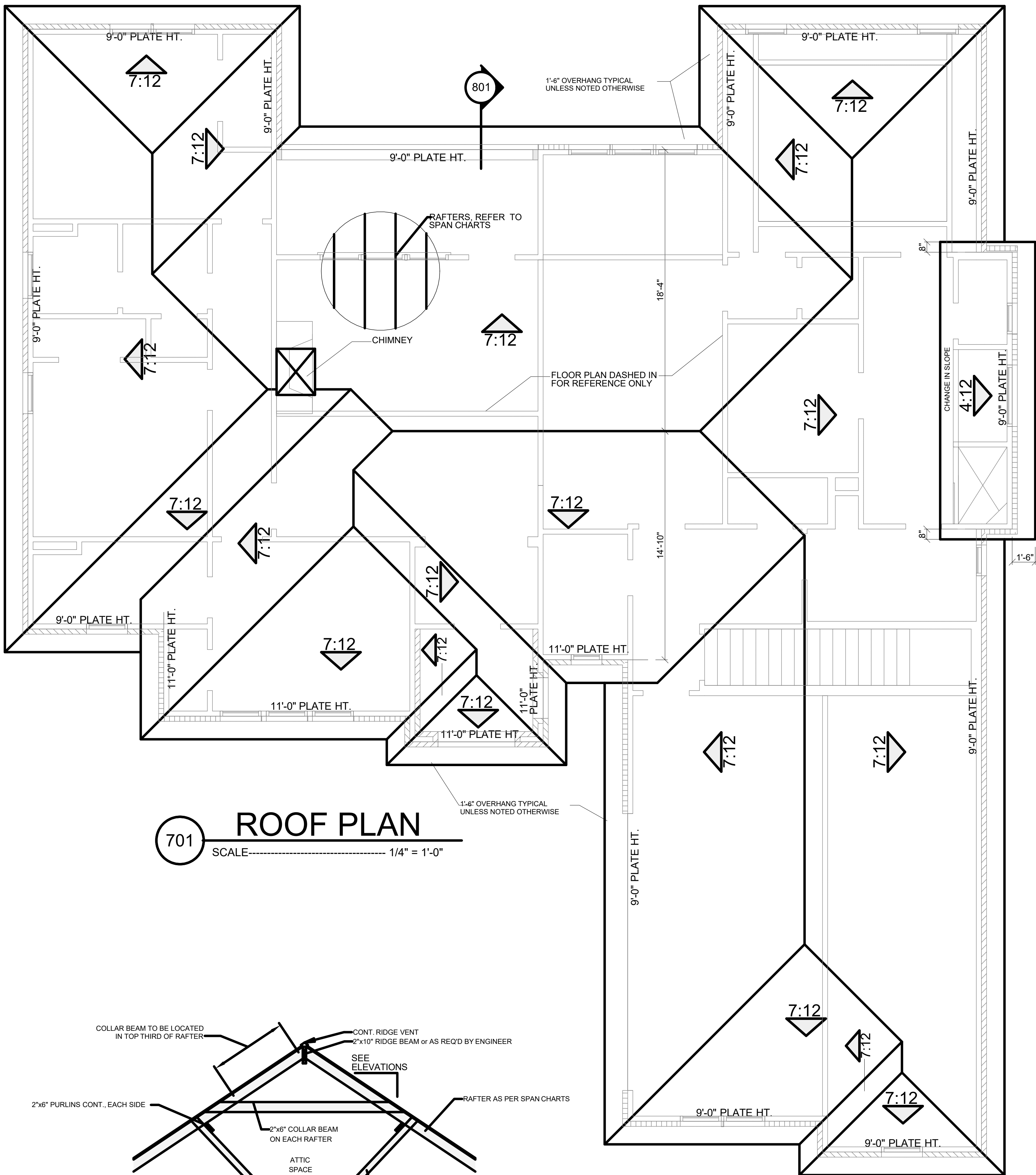
## 601 WALL/ROOF FASTENING DETAILS

SCALE----- 1/4" = 1'-0"

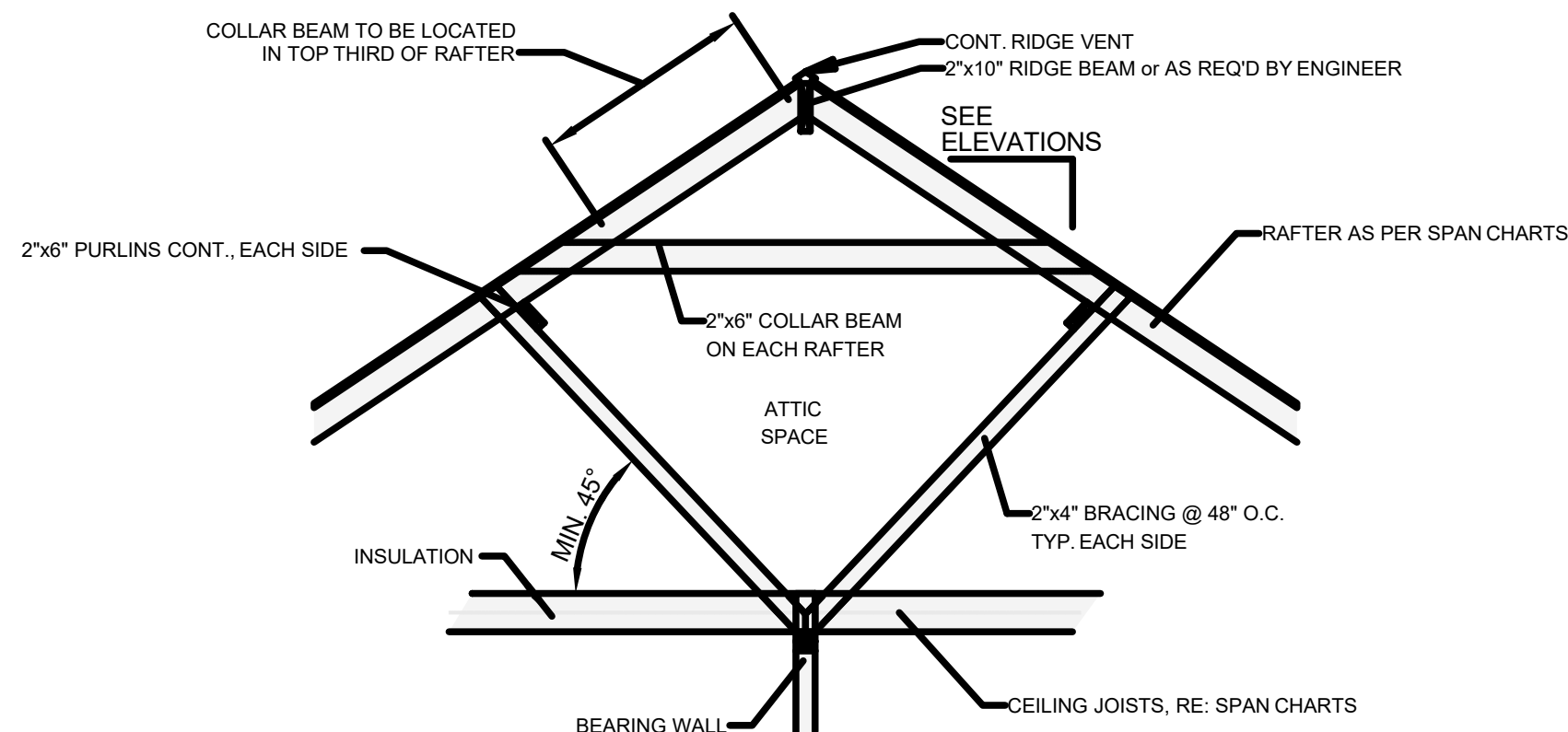


## 603 TYP. ELEC. DETAILS

SCALE----- N.T.S.



701 **ROOF PLAN**  
SCALE----- 1/4" = 1'-0"



702 **TYP. ROOF BRACING**  
SCALE----- N.T.S.

- ROOF PLAN NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS CONTRACTOR TO TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
  3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
  4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
  5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
  6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS PER CODE.

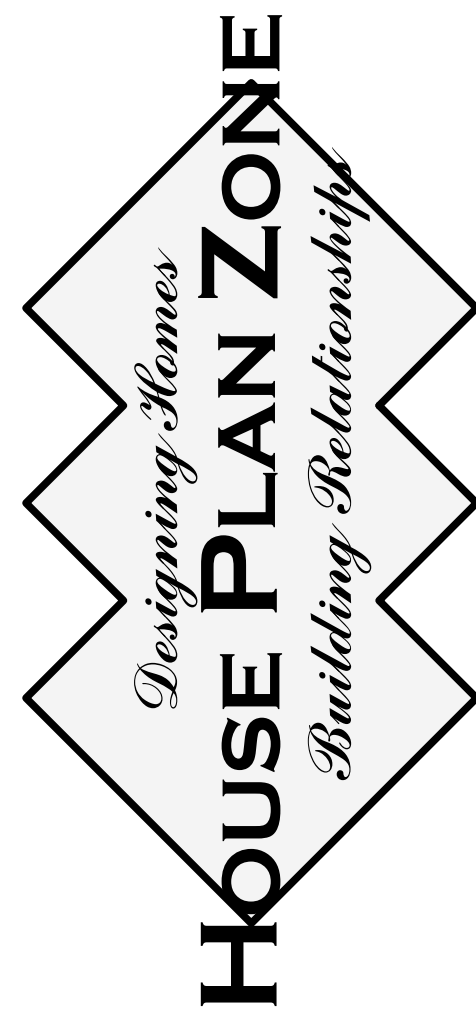
MAXIMUM HEADER SPANS		
HEADER SPANS FOR EXTERIOR BEARING WALLS		
SOUTHERN PINE #2 OR BETTER      LIVE LOAD=30psf    DEAD LOAD = 10psf		
ALL SPANS ARE ASSUMING A MAXIMUM OF 24 FEET OF SUPPORTED ROOF FRAMING.		
SUPPORTING ROOF AND CEILING ONLY		
SIZE NUMBER OF PLIES IN ( )	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 6	4-7	1
(2) 2 x 8	5-9	1
(2) 2 x 10	6-10	2
(2) 2 x 12	8-1	2
(3) 2 x 8	7-3	1
(3) 2 x 10	8-7	2
(3) 2 x 12	10-1	2
SUPPORTING ROOF, CEILING AND ONE CENTER BEARING FLOOR		
SIZE NUMBER OF PLIES IN ( )	MAXIMUM SPAN (FEET AND INCHES)	JACK STUDS
(2) 2 x 10	5-8	2
(2) 2 x 12	6-8	2
(3) 2 x 10	7-2	2
(3) 2 x 12	8-5	2
NOTES: 1. THE ABOVE INFORMATION IS FROM THE 2018 IRC TABLE R602.7(1). 2. PLEASE REFER TO THE IRC 2018 FOR ADDITIONAL LUMBER SPECIES AND HEADER OPTIONS. 3. ALL HEADER SIZES SHALL BE DESIGNED/ VERIFIED BY A LOCAL PROFESSIONAL.		

RAFTER LENGTH CHART		
ROOF PITCH		FACTOR
3/12		1.05
4/12		1.07
5/12		1.10
6/12		1.14
7/12		1.17
8/12		1.20
9/12		1.25
10/12		1.30
11/12		1.35
12/12		1.40
14/12		1.54
16/12		1.70
MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR. CHOOSE APPROPRIATE FACTOR BY ROOF PITCH.		

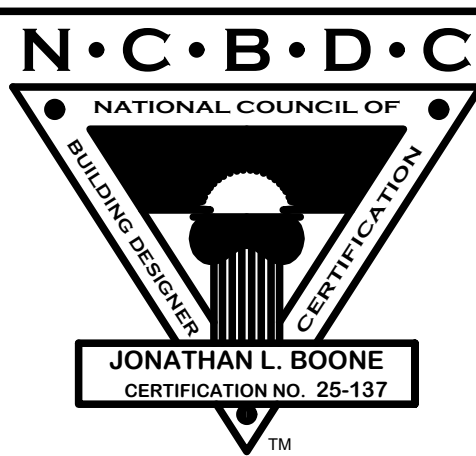
HIP/ VALLEY CONVERSION			
IF COMMON RAFTER ROOF PITCH IS...		THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES...	
RISE/ RUN	SLOPE	RISE/ RUN	SLOPE
1/12	5°	1/17	3°
2/12	10°	2/17	7°
3/12	14°	3/17	10°
4/12	18°	4/17	13°
5/12	23°	5/17	16°
6/12	27°	6/17	19°
7/12	30°	7/17	22°
8/12	34°	8/17	25°
9/12	37°	9/17	28°
10/12	40°	10/17	30°
11/12	42°	11/17	33°
12/12	45°	12/17	35°
CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.			

CEILING JOIST SPANS		
CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITH LIMITED STORAGE, LIVE LOAD = 20psf, L <sub>A</sub> =240' DEAD LOAD = 10psf )		
***IF HABITABLE ATTIC SPACE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.***		
SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9
NOTES: The above tables are based on the IRC 2018 TABLE R802.5.1(2)		

RAFTER SPANS		
RAFTER SPANS FOR SOUTHERN PINE SPECIES LIVE LOAD=30psf, L <sub>A</sub> =180' DEAD LOAD = 10psf		
SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2
NOTES: The above tables are based on the IRC 2018 TABLE R802.4.1(3)		



Website:  
www.HPZplans.com  
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Pre-Drawn Plan ID:  
**2216-S**

Date:  
7.13.21  
Drawn By:  
C.A.B.

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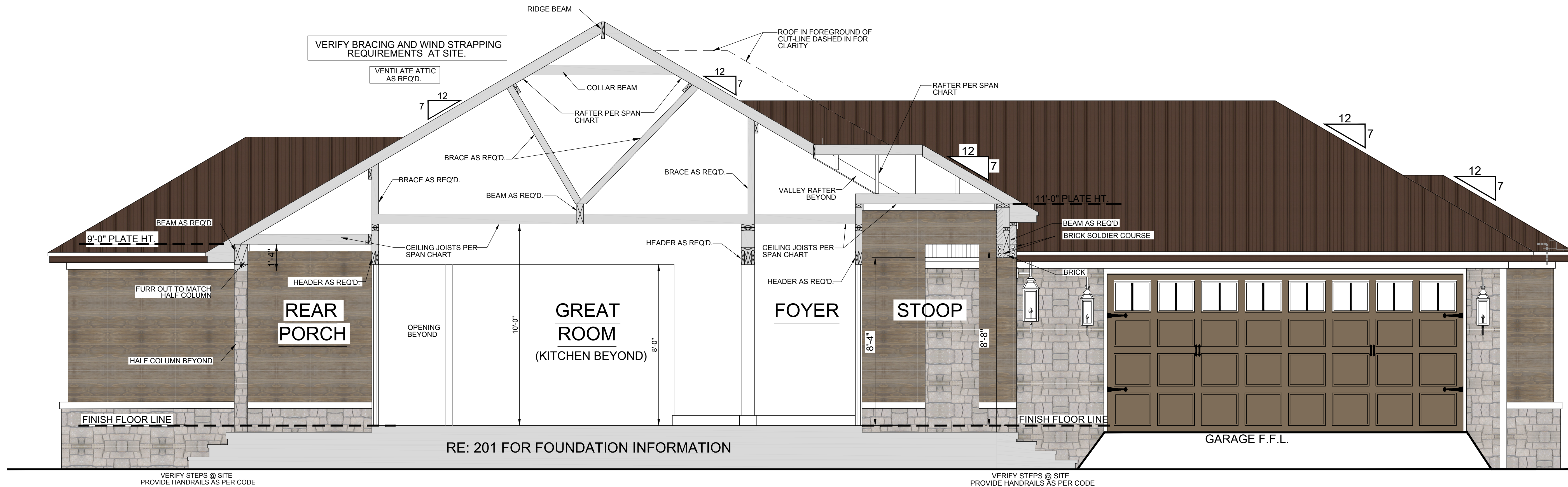
SHEET NUMBER

6

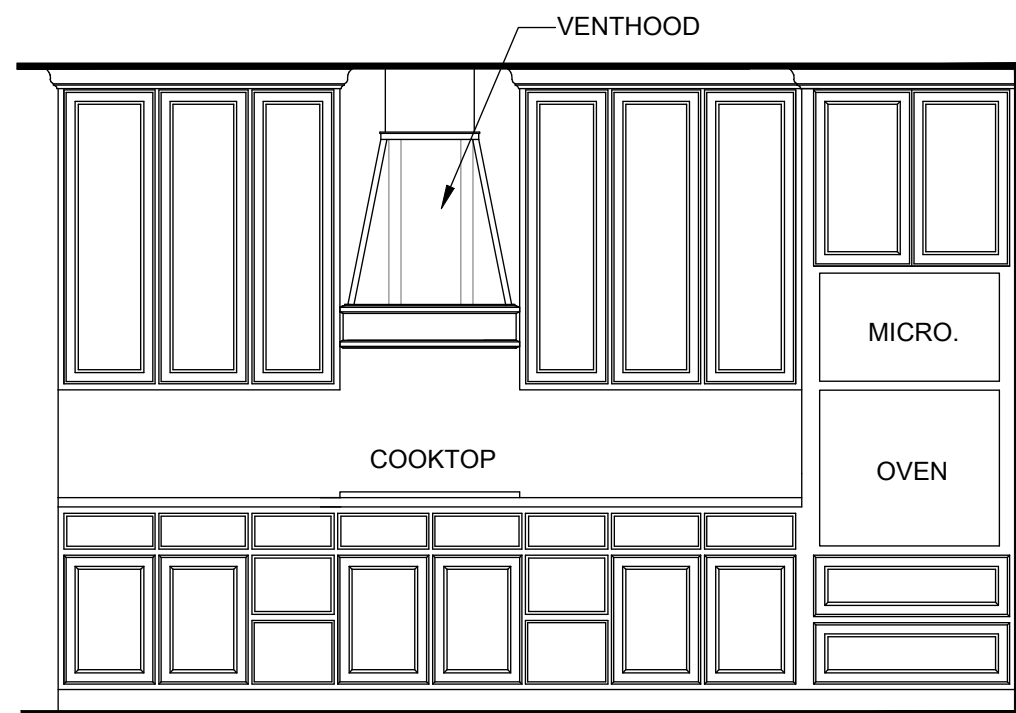


**CROSS SECTION NOTES:**

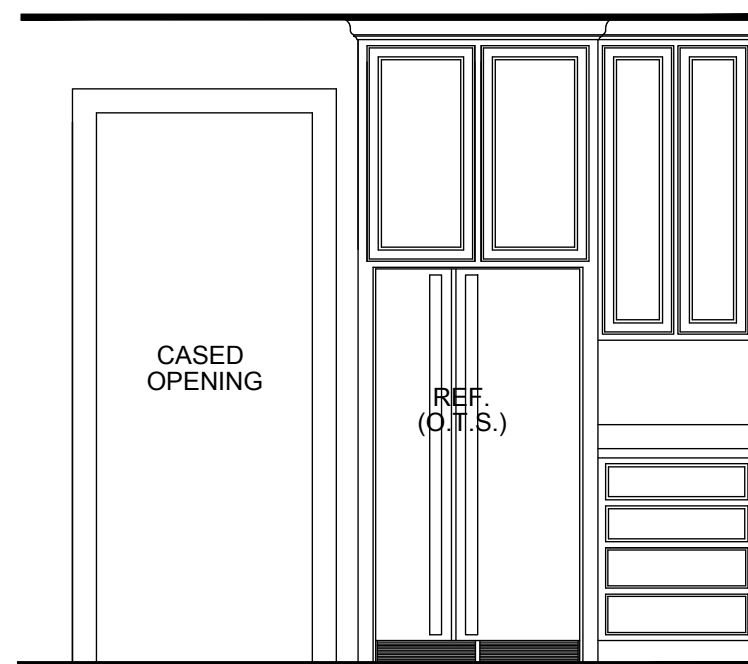
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQUIRED BY LOCAL ENGINEER.
3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
5. ALL BEAMS TO BE SIZED BY A LOCAL PROFESSIONAL OR LICENSED STRUCTURAL ENGINEER.
6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



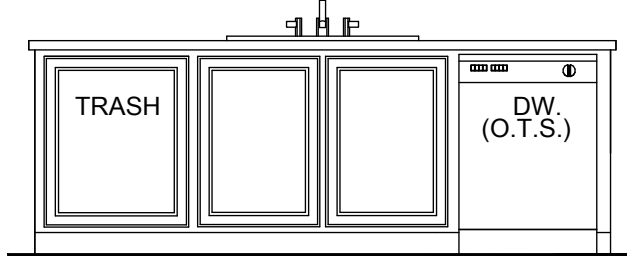
**801 CROSS SECTION**  
SCALE-----3/8"=1'-0"



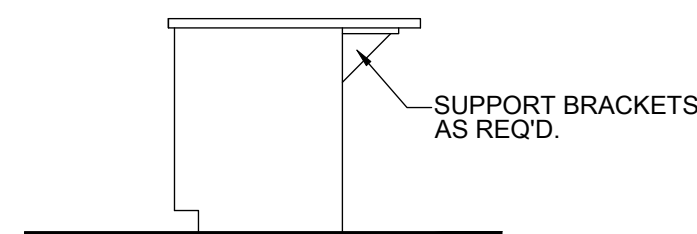
**802 KITCHEN**  
SCALE-----3/8"=1'-0"



**803 KITCHEN**  
SCALE-----3/8"=1'-0"

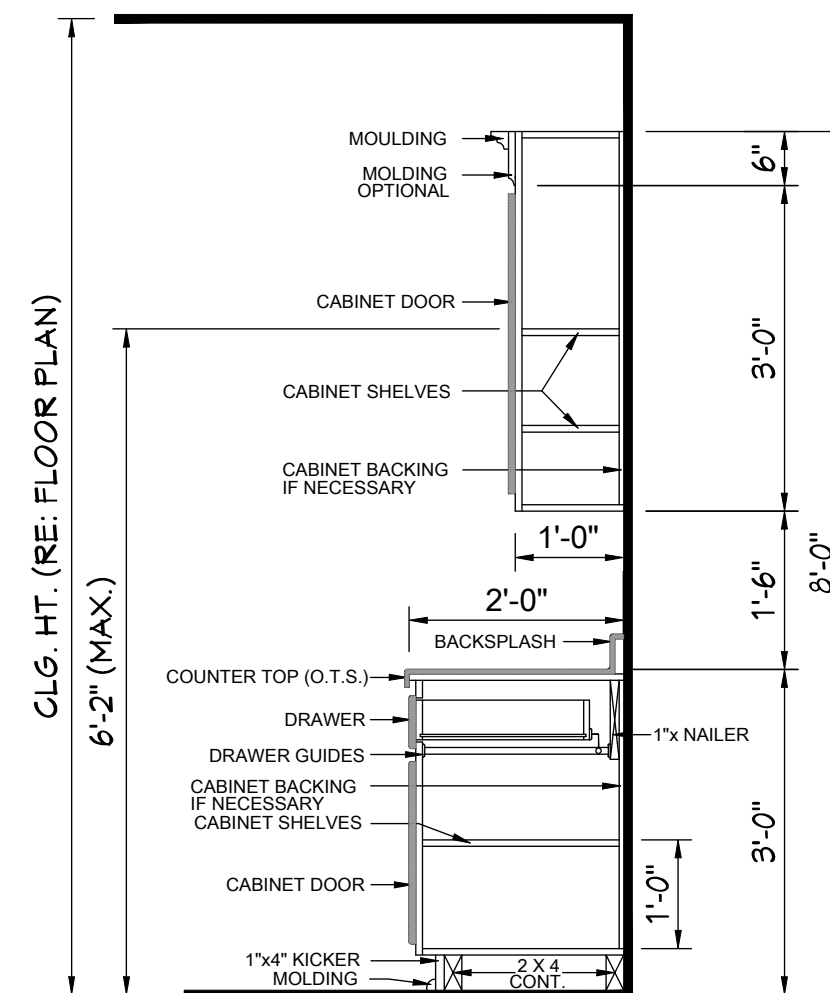


**804 KITCHEN**  
SCALE-----3/8"=1'-0"

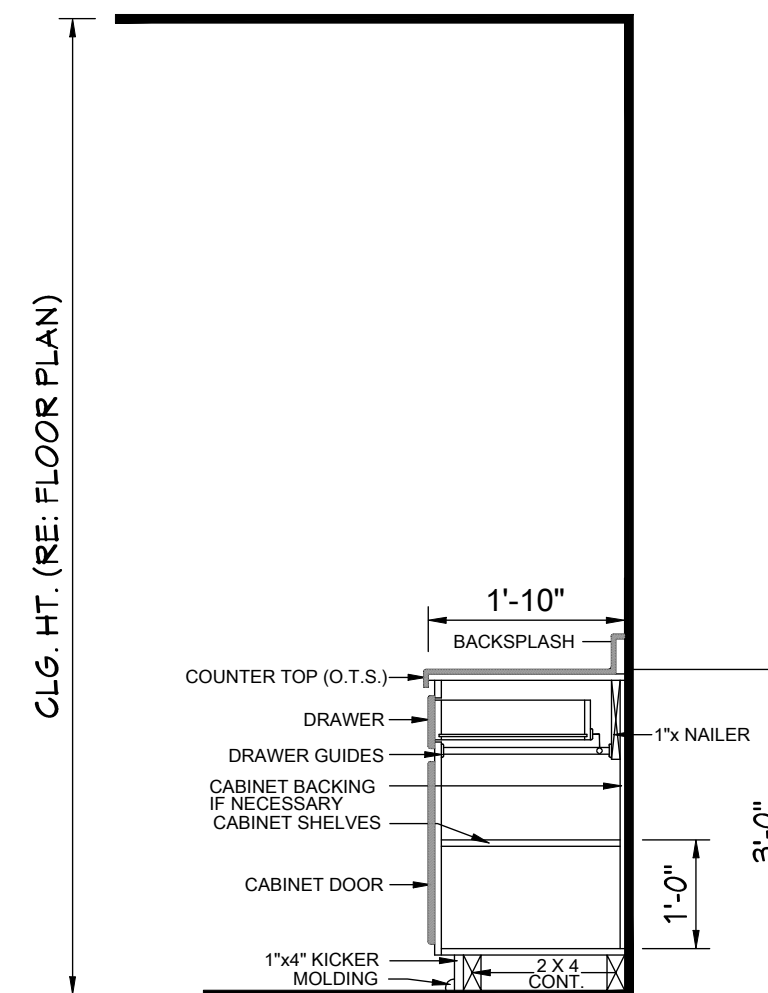


**805 KITCHEN**  
SCALE-----3/8"=1'-0"

**KITCHEN**



**BATH**



**806 TYP. CABINET SECTIONS**  
SCALE-----N.T.S.



	DESCRIPTION
	110 VOLT OUTLET
100	GROUND FAULT PROTECTED OUTLET
	WEATHERPROOF OUTLET
	220 VOLT RECEPTACLE
	FLOOR OUTLET (OWNER TO LOCATE)
	CEILING HUNG FIXTURE
	OVERHANG MOUNTED FLOODLIGHTS
	WALL MOUNTED FLOODLIGHTS
	RECESSED CEILING FIXTURE
	FLUORESCENT LIGHT
	CARBON MONOXIDE DETECTOR
	SMOKE DETECTOR
	SWITCH
	THREE WAY SWITCH
	WALL MOUNTED LIGHT
100	DIMMER SWITCH (OWNER TO LOCATE)
	DOOR ACTIVATED SWITCH
	WEATHERPROOF OUTLET
7	CATS NETWORKING JACK (OWNER TO LOCATE)
	TELEPHONE OUTLET (OWNER TO LOCATE)
	TELEVISION OUTLET (OWNER TO LOCATE)
	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
	THERMISTAT (CONTRACTOR TO LOCATE)
	CEILING EXHAUST FAN, VENT TO EXTERIOR
	TV SPEAKER
	RADIO SPEAKER



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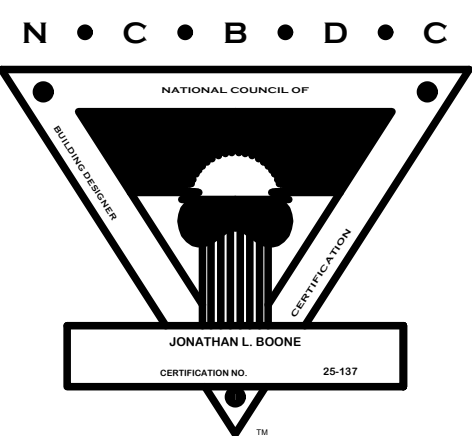
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House Plan Zone, LLC, has exercised great care and effort in the development of these plans and the completion of these construction documents. However, due to the extensive variance in building codes and site specific conditions, House Plan Zone, LLC assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. House Plan Zone, LLC, highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, and that all other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a geotechnical engineer prior to construction.

Drawn By: C.A.B.

SHEET NUMBER

8