

ABBREVIATIONS

ABV ABOVE	L LENGTH
AC AIR CONDITIONING	LA LAUNDRY
AD AREA DRAIN	LAV LAVATORY
ADJ ADJUSTABLE	LVR LOUVER
ALT ALTERNATE	MAX MAXIMUM
ALUM ALUMINUM	MCH MECHANICAL
ARCA ARCHITECTURAL	MFR MANUFACTURER
BA BATHROOM	MN MINIMUM
BD BOARD	MSC MISCELLANEOUS
BF BI-FOLD (DOOR)	N NORTH
BLDG BUILDING	NTS NOT TO SCALE
BLK BLOCK (CMU)	OH OVERHEAD GARAGE DOOR
BLM BELONG	OH OVERHEAD
BM BEAM	OPT OPTIONAL
BP BI-PASS (DOOR)	PAR PARALLEL
BT BOTTOM	P.B. PUSH BUTTON
BTWN BETWEEN	PDR POWDER
CAB CABINET	PED PEDESTAL
CER CERAMIC	PL PLATE
C.J. CONTROL JOINT OR CONSTRUCTION JOINT	FR PAIR
CL CLOSET OR CENTER LINE	P1 PRESSURE TREATED WOOD
CLG CEILING	PVC POLYVINYL CHLORIDE PIPE
CLR CLEAR	PVMT PAVEMENT
CMU CONCRETE MASONRY UNIT	PIR FIRE-RES
COL COLUMN	PND FLYWOOD
CONC CONCRETE	R RISER
C CARPET	RAG RETURN AIR GRILL
CR CORROSION RESISTANT	RTR RETURN AIR GRILL
CMT CEMENT	REF REFERENCE
C.T. CERAMIC TILE	REFR REFRIGERATOR
D DRYER	REQ REQUIRED
DBL DOUBLE	S SOUTH
DH DOUBLE HUNG	SD SMOKE DETECTOR
DM DIMENSION	S.F. SQUARE FEET
DISP DISPOSAL	S.G.D. SLIDING GLASS DOOR
DN DOWN	SH SINGLE HUNG OR SHELF
DR DOOR	SHM SIMILAR
DS DOWNSPOUT	SL SLOPE / SLIDING
DW DISH WASHER	SHF SHELF AND POLE
DWG DRAWING	SPEC SPECIFICATIONS
E EAST	STD STANDARD
EA EACH	STR STRUCTURAL
ELEV ELEVATION	SQ SQUARE
ELEC ELECTRICAL	SYM SYMBOL
EQ EQUAL	S45 SMOOTH FOUR SIDES
EXT EXTERIOR	T TREAD (AT STAIRS) OR TILE
FAU FORCED AIR UNIT	TEMP TEMPERED (GLASS)
F.C. FLOOR CHANGE	T&G TONGUE & GROOVE
F.D. FLOOR DRAIN	T.O.C. TOP OF CURB
FFL FINISH FLOOR LINE	TV TELEVISION
F.G. FINISHED GRADE	TYP TYPICAL
FLR FLOORING(S)	UNO. UNLESS NOTED OTHERWISE
FL FLOURESCENT (LIGHT)	V.B. VAPOR BARRIER
FND FOUNDATION	VERT VERTICAL
F.O.S. FACE OF STUD	V.T.R. VENT THRU ROOF
FIG FOOTING	W WASHING MACHINE
FX FIXED GLASS	WD WOOD
GALV GALVANIZED	WDM WINDOW
GAR GARAGE	WH WATER HEATER
G.B. GYPSUM BOARD	W WROUGHT IRON
GD GRADE OR GRADING	WIC WALK-IN CLOSET
G.D.O. GARAGE DOOR OPENER	W/O WITH OR WITHOUT
GI GROUND FAULT INTERRUPTER	W/W WITH WATERPROOFING
GL GLASS OR GLAZING	WM WELDED WIRE MESH
GYP BD GYPSUM BOARD	PL PROPERTY LINE
HB HOSE BIBB	Ø ROUND / DIAMETER
HD HEAD OR HARD	∠ AND
HDR HEADER	∟ CENTERLINE
HGT HEIGHT	■ FOUND / NUMBER
HVAC HEATING/VENTILATING/AIR COND.	
HWD HARDWOOD	
INT INTERIOR	
JST JOIST	
JT JOINT	
KIT KITCHEN	

INDEX

MODEL 'ELSTON -E'

0	TITLE SHEET / COVER SHEET
1 F	FRONT ELEVATION 'F'
1,2 F	ROOF PLAN 'F'
2 F	SIDE AND REAR ELEVATIONS 'F'
3 MS F	MONOLITHIC SLAB PLAN 'F'
4 F	1ST FLOOR PLAN 'F'
5 F	1ST FLOOR PLAN 'F'
1 AS	BUILDING SECTIONS
2.1	ELEVATION OPTIONS
2.2	ELEVATION OPTIONS
6	1ST FLOOR UTILITY PLAN
7	2ND FLOOR UTILITY PLAN
D-1	DETAILS
D-1.1	DETAILS
D-2	DETAILS
D-3	DETAILS
D-4	DETAILS
D-5	DETAILS
D-8	DETAILS
D-4	DETAILS
20	ARCHITECTURAL SHEETS

EXPRESS HOMES 30' SERIES MODEL 'ELSTON- F' - RH

BUILDING CODE COMPLIANCE / PROJECT INFORMATION 2018

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES, ALABAMA STATE SUPPLEMENTS AND AMENDMENTS 2012

2018- INTERNATIONAL RESIDENTIAL CODE (BUILDING)
2018- INTERNATIONAL FIRE PREVENTION CODE
2018- INTERNATIONAL PLUMBING CODE (BUILDING)
2018- INTERNATIONAL MECHANICAL CODE (BUILDING)
2018- INTERNATIONAL FUEL GAS CODE (BUILDING)
2018- INTERNATIONAL ENERGY CONSERVATION CODE (BUILDING)
2017- NATIONAL ELECTRICAL CODE

PRODUCT:
SINGLE FAMILY RESIDENCE

OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3

CONSTRUCTION TYPE:
TYPE VB

ALL CONSULTANT DRAWINGS ACCOMPANYING THESE ARCHITECTURAL DRAWINGS HAVE NOT BEEN PREPARED BY OR UNDER THE DIRECTION OF GMD DESIGN GROUP, INC. GMD DESIGN GROUP, INC. THEREFORE ASSUMES NO LIABILITY FOR THE COMPLETENESS OR CORRECTNESS OF THESE DRAWINGS.

PLAN CHANGES:

DATE:	DESCRIPTION:
04.23.15	CLIENT REVISIONS TO HVAC CLOSETS, GENERAL ROOF CONSTRUCTION AND WINDOW GRID PATTERNS
08.27.15	SPLITTING SET INTO ELEVATION SPECIFIC SETS
08.27.15	UPDATING BRICK PER CLIENT REVISION
09.14.17	REVISED ELEVATION 'A' AND 'B'
02.22.18	ADDED VAULTED CEILING
05.20.18	DIMENSIONED KITCHEN ISLAND
03.02.20	CLIENT REVISIONS
07.16.21	UPDATE CODE REFERENCES
04.24.22	VALUE ENGINEERING
11.10.22	CLIENT REVISIONS
11.28.22	CLIENT REVISIONS
01.04.23	CLIENT REVISIONS
02.02.23	CLIENT REVISIONS
02.13.23	CLIENT REVISIONS
08.08.23	CLIENT REVISIONS
10.30.23	CLIENT REVISIONS

CONSULTANTS:

BUILDER: DR HORTON 2188 PARKWAY LAKE DRIVE SUITE 200 HOOVER, AL PHONE: (770) 730-7400 CONTACT: GENE VANDEVENDER EMAIL: GVANDEVENDER@DRHORTON.COM	DESIGNER: GMD DESIGN GROUP 1138 SATELLITE BLVD. STE 300 SUWANEE, GA. 30024 PHONE: (770) 375-1351 CONTACT: DONALD J. McGRATH EMAIL: DONNIE@GMDDESIGNGROUP.COM
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GENERAL NOTES DESIGNER:

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.

ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.

ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.

ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.

ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.

PROVIDE FIREBLOCKING. (PER LOCAL CODES)

ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.

PROVIDE BLOCKING AND/OR BACKING AT ALL TONEL BAR, TONEL RING AND/OR TOILET PAPER HOLDER LOCATIONS, AS SHOWN PER PLAN. TYPICAL AT ALL BATHROOMS AND POWDER ROOMS. VERIFY LOCATIONS AT FRAMING WALK.

ELASTOMERIC SHEET WATERPROOFING: FURNISH AND INSTALL ALL WATERPROOFING COMPLETE. A 40 MIL SELF-ADHERING MEMBRANE OF RUBBERIZED ASPHALT INTEGRALLY BONDED TO POLYETHYLENE SHEETING, OR EQUAL. INSTALL PER MANUFACTURER'S AND TRADE ASSOCIATION'S PRINTED INSTALLATION INSTRUCTIONS. 6" MINIMUM LAP AT ALL ADJACENT WALL SURFACES.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.

SHOP DRAWING REVIEW AND DISTRIBUTION, ALONG WITH PRODUCT SUBMITTALS, REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE BUILDER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOILS REPORT), ON THE STUDY OF THE PROPOSED SITE, TO THE DESIGNER, STRUCTURAL ENGINEER, AND GENERAL CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOILS CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. GENERAL CONTRACTOR SHALL ASSURE THE SOIL CONDITIONS MEET OR EXCEED THE CRITERIA.

ALL WORK PERFORMED BY THE GENERAL CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES AND REGULATIONS, ALONG WITH ALL OTHER AUTHORITIES HAVING JURISDICTION. THE GENERAL CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

PROVIDE AN APPROVED WASHER DRAIN PAN AT SECOND FLOOR ONLY THAT DRAINS TO EXTERIOR.

WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EXCESS OPENING OF 5.750 FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH. SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER LOCAL CODES)

ALL HANDRAIL BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALLUSTERS. (PER LOCAL CODES)

PROVIDE STAIR HANDRAILS AND GUARDRAILS PER LOCAL CODES

BUILDER SET:

THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A 'BUILDER'S SET' OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS 'PLANS'. THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT; HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS, AND GENERAL METHODS OF ASSEMBLING OR FASTENING. THEY ARE NOT INTENDED TO SPECIFY PARTICULAR PRODUCTS OR OTHER METHODS OF ANY SPECIFIC MATERIALS, PRODUCT OR METHOD. THE IMPLEMENTATION OF THE PLANS REQUIRES A CLIENT / CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

CONSTRUCTION REQUIREMENTS AND QUALITY: PROVIDE WORK OF THE SPECIFIC QUALITY, WHERE QUALITY LEVEL IS NOT INDICATED, PROVIDE WORK OF QUALITY CUSTOMARY IN SIMILAR TYPES OF WORK. WHERE THE PLANS AND SPECIFICATIONS, CODES, LAWS, REGULATIONS, MANUFACTURER'S RECOMMENDATIONS OR INDUSTRY STANDARDS REQUIRE WORK OF HIGHER QUALITY OR PERFORMANCE, PROVIDE WORK COMPLYING WITH THOSE REQUIREMENTS AND QUALITY. WHERE TWO OR MORE QUALITY PROVISIONS OF THOSE REQUIREMENTS CONFLICT WITH THE MOST STRINGENT REQUIREMENT, WHERE REQUIREMENTS ARE DIFFERENT BUT APPARENTLY EQUAL, AND WHERE IT IS UNCERTAIN WHICH REQUIREMENT IS MOST STRINGENT, OBTAIN CLARIFICATION FROM THE GMD DESIGN GROUP BEFORE PROCEEDING.

AREA CALCULATIONS:

MODEL 'ELSTON' SQUARE FOOTAGES	
AREA	ELEV F'
1st FLOOR	874 SF
2nd FLOOR	1300 SF
TOTAL LIVING	2174 SF
GARAGE	434 SF
PORCH	32 SF
OPT. COVERED PORCH	150 SF

NO:	DATE:	REVISION:
△	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:

D-R-HORTON
America's Builder

PROJECT NO: GMD-GAI4065

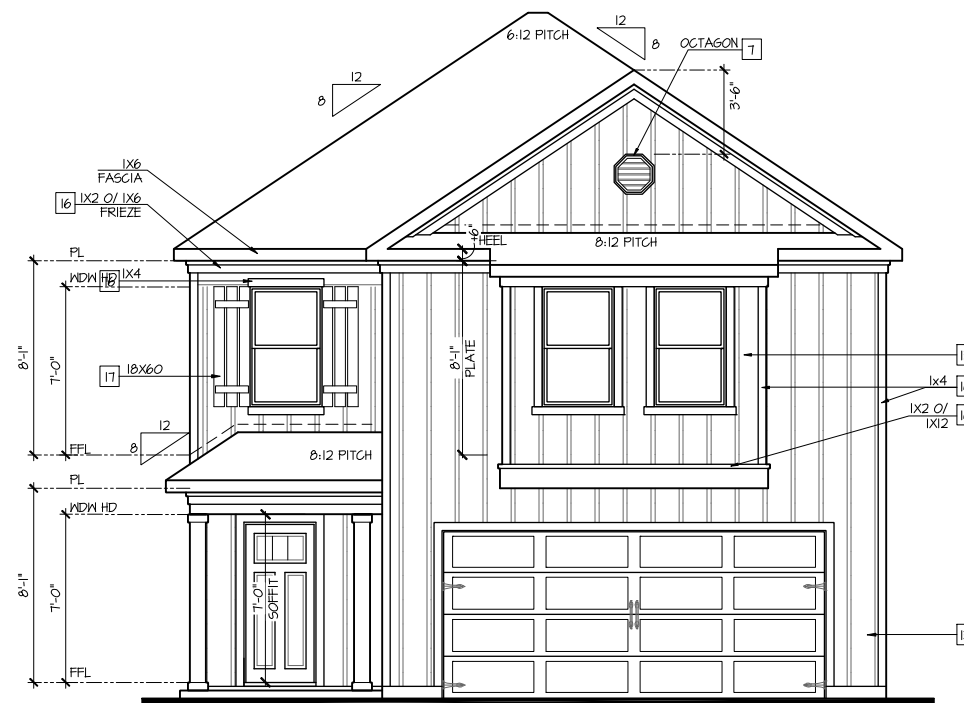
SHEET TITLE:
TITLE SHEET

PRINT DATE:
September 13, 2017

SHEET NO:
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FOR CONSTRUCTION

NOTES: IRC	
-	GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
-	WINDOW HEAD HEIGHTS: 1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS. 2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
-	ROOFING: PITCHED SHINGLES PER DEVELOPER.
-	WINDOWS: MANUFACTURER PER DEVELOPER, DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
-	ENTRY DOOR: AS SELECTED BY DEVELOPER.
-	GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
-	CHIMNEY AS OCCURS: TOP OF CHIMNEYS TO BE A MINIMUM OF 24" ABOVE ANY ROOF WITHIN 10'-0" OF CHIMNEY.
-	ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
-	PROTECTION AGAINST DECAY: (ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)
KEY NOTES:	
MASONRY:	
1	ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
2	MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
3	MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
4	8" SOLDIER COURSE.
5	ROWLOCK COURSE
6	DECORATIVE KEY. SEE DETAIL.
TYPICALS:	
7	CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
8	CODE APPROVED TERMINATION CHIMNEY CAP.
9	CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
10	STANDING SEAM METAL ROOF. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
11	DECORATIVE WROUGHT IRON. SEE DETAILS.
SIDING:	
12	FIBER CEMENT SHAKE SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
13	FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
14	FIBER CEMENT WAVY SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
15	FIBER CEMENT PANEL SIDING W/ 1X3 BATTS AT 12" O.C. (VINYL BOARD AND BATT SIDING)
16	1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
17	FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.
ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 12" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES	



Front Elevation 'F'
SCALE: 1/4"=1'-0" AT 22"x34" LAYOUT 1/8"=1'-0" AT 11"x17" LAYOUT

NO.	DATE:	REVISION:
△	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: GMD-GA14065

SHEET TITLE:
'ELSTON'
EXTERIOR
ELEVATIONS
'3DEF-F'

PRINT DATE:
September 13, 2017

SHEET NO:
1F

NOTES: IRC

- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = T+0' U.N.O. ON ELEVATIONS.
2ND FLOOR = T+0' U.N.O. ON ELEVATIONS.
- ROOFING: PITCHED SHINGLES PER DEVELOPER.
- WINDOWS: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS
- ENTRY DOOR: AS SELECTED BY DEVELOPER.
- GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
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(ALL PORTIONS OF A PORCH, SCREEN PORCH OR DECK FROM THE BOTTOM OF THE HEADER DOWN, INCLUDING POST, RAILS, PICKETS, STEPS AND FLOOR STRUCTURE.)

KEY NOTES:

MASONRY:

- 1 ADHERED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 3 MASONRY FULL STONE AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
- 4 8" SOLDIER COURSE.
- 5 ROWLOCK COURSE
- 6 DECORATIVE KEY. SEE DETAIL.

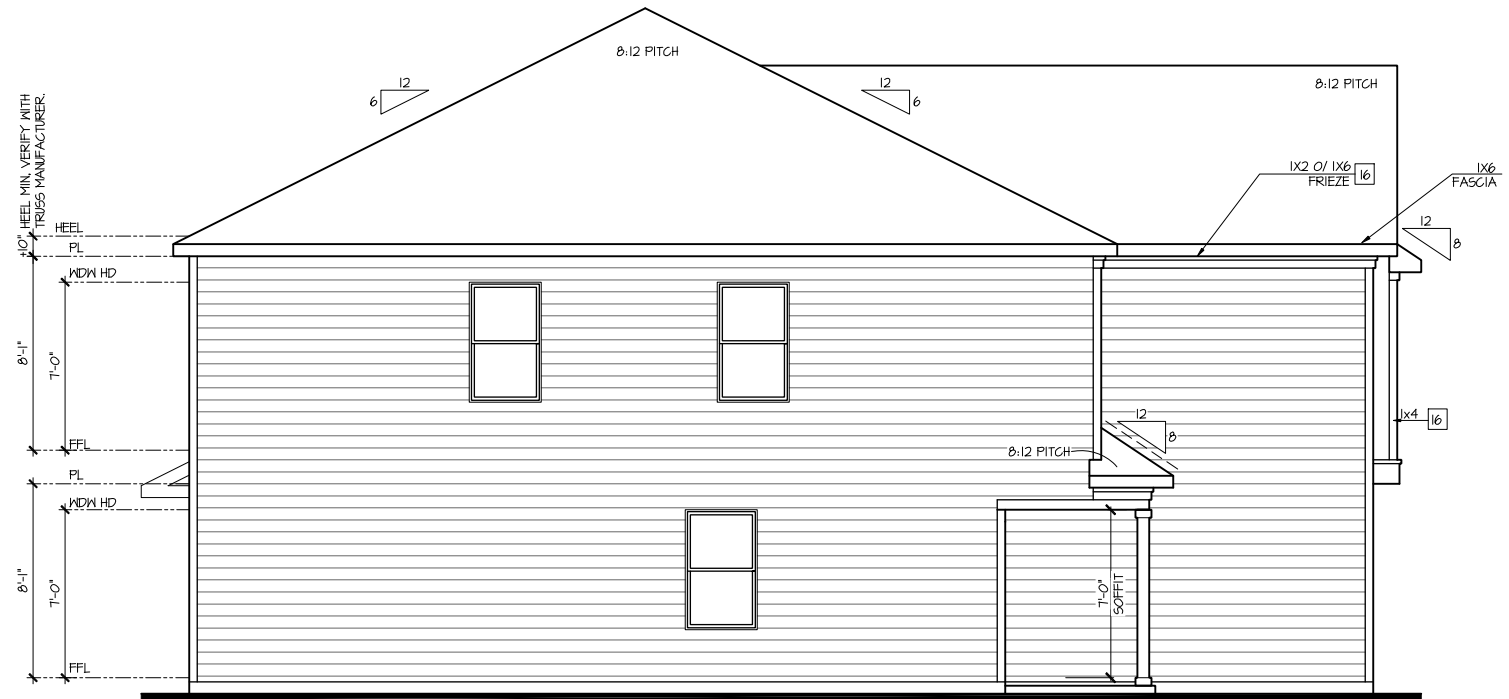
TYPICALS:

- 1 CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
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- 4 CORROSION RESISTANT ROOF TO WALL FLASHING. CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
- 10 STANDING SEAM METAL ROOF, INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 11 DECORATIVE WROUGHT IRON. SEE DETAILS.

SIDING:

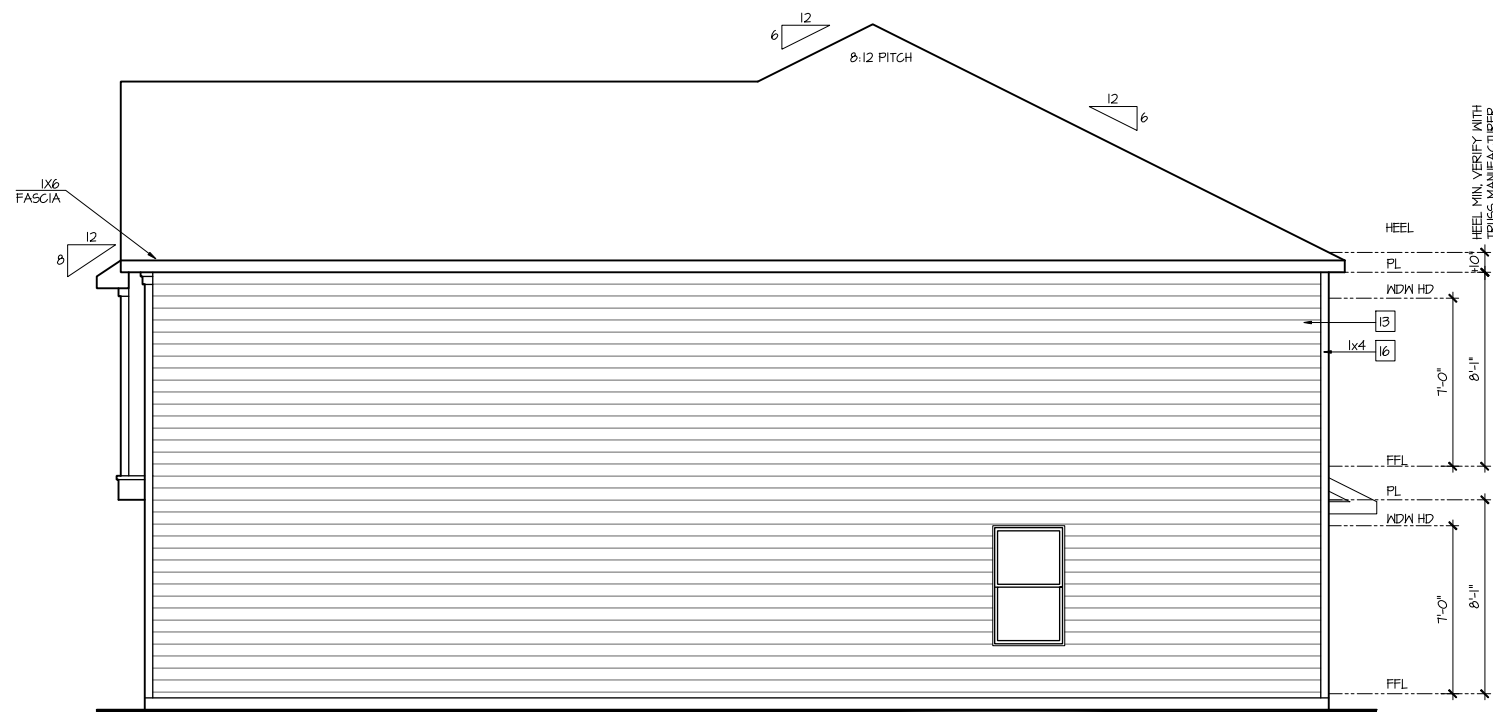
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- 3 FIBER CEMENT LAP SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
- 4 FIBER CEMENT WAVY SIDING PER DEVELOPER W/ 5/4x4 CORNER TRIM BOARDS.
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- 6 1X FIBER CEMENT TRIM OR EQUAL, U.N.O. SIZE AS NOTED
- 7 FALSE WOOD SHUTTERS, TYPE AS SHOWN. SIZE AS NOTED.

ALL WINDOWS WHOSE OPENING IS LESS THAN 24" ABOVE THE FINISH FLOOR AND WHOSE OPENING IS GREATER THAN 72" ABOVE THE OUTSIDE WALKING SURFACE MUST HAVE WINDOW OPENING LIMITING DEVICES COMPLYING WITH LOCAL CODES



Left Elevation 'F'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Right Elevation 'F'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT



Rear Elevation 'F'

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 11'X17" LAYOUT

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PROFESSIONAL SEAL:

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30' Series

FOR CONSTRUCTION

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: 6MD-GA14065

SHEET TITLE:

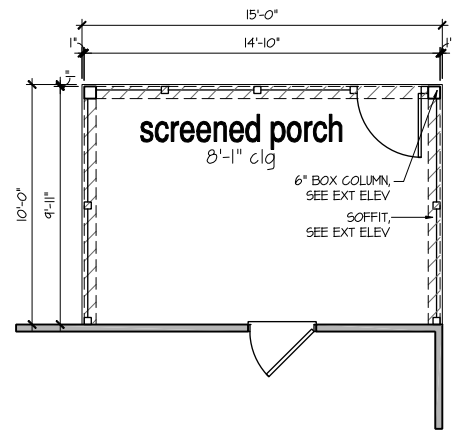
'ELSTON'
EXTERIOR
ELEVATIONS
'3DEF-F'

PRINT DATE:

September 13, 2017

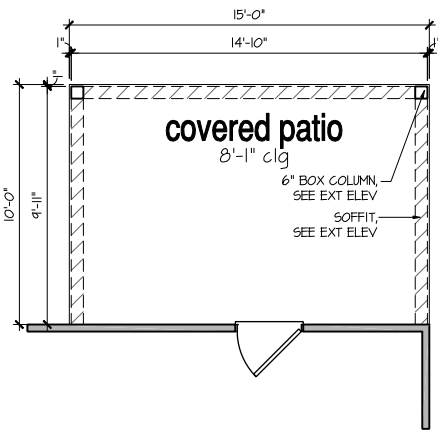
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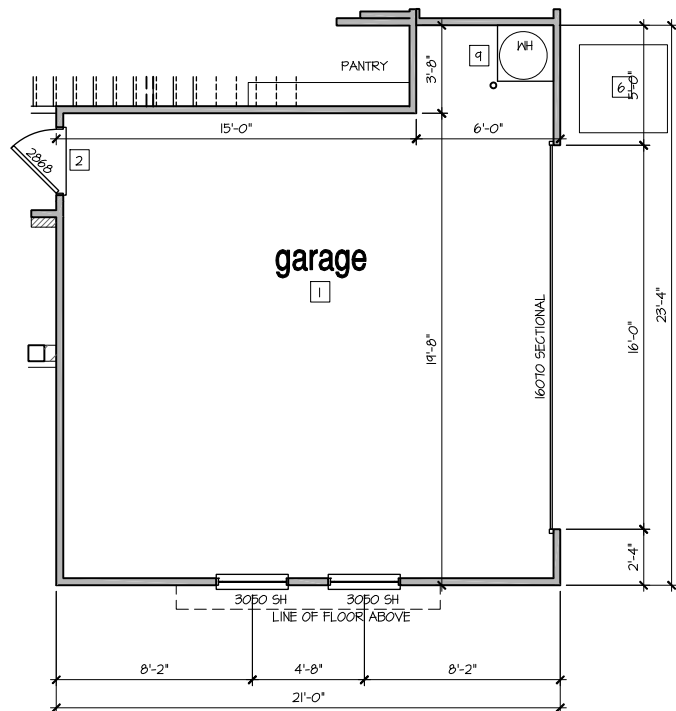
Opt Screened Porch

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



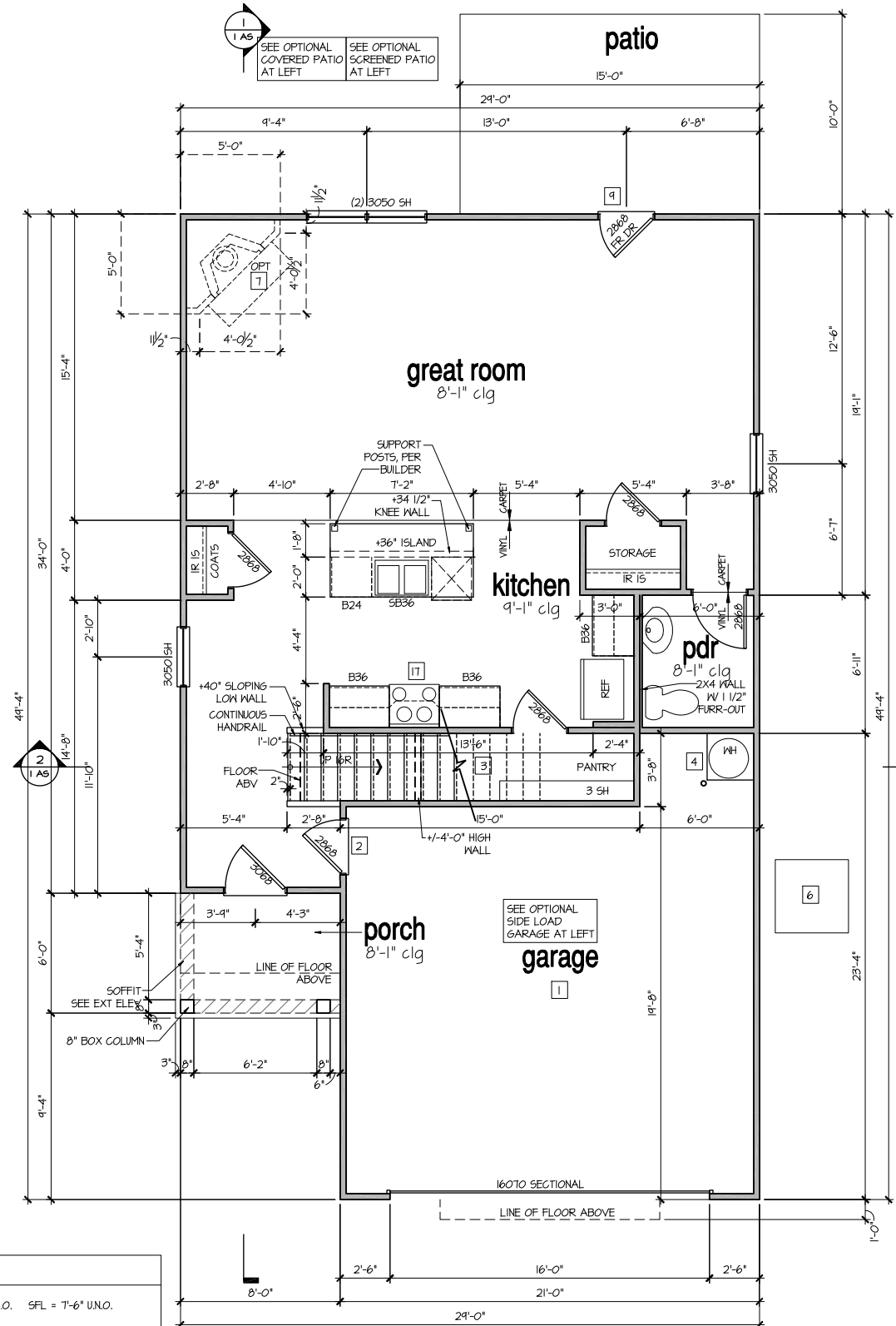
Opt Covered Patio

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



Opt Side Load Garage 'F'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT



1st Floor Plan 'F'

SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

8'-1" STAIR NOTE:
 (USE 16" TJI WITH 3/4" PLYWOOD SUBFLOOR)
 15 TREADS AT 10" UNO. ON ELEVATIONS.
 16 RISERS AT +/- TJI" = 113 3/4" TOTAL RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
 - WINDOW HEAD HEIGHTS:
 1ST FLOOR = 7'-0" UNO. ON ELEVATIONS.
 2ND FLOOR = 7'-0" UNO. ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

KEY NOTES: IRC

- FIRE PROTECTION:**
- HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER IRC SECTION R302.6)
 - HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER IRC SECTION R302.5.1)
 - BENEATH STAIRS AND LANDINGS. 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER IRC SECTION R302.7)
 - MEPS
 - GAS WATER HEATER ON 18" HIGH PLATFORM. (PER IRC SECTION P2801.6)
 - FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD. OF TRUSSES, VERIFY W/ TRUSSES.)
 - A/C CONDENSER PAD. (VERIFY)
 - PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"X22". FIRE RATED ACCESS AS NOTED. (PER IRC SECTION M305.1.3) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE.) TYPICALS.
 - TEMPERED SAFETY GLASS. (PER IRC SECTION R308.4)
 - PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - INTERIOR SOFFITS: FFL = 7'-6" UNO. SFL = 7'-6" UNO.
 - BATHS:
 - SHOWER. TEMPERED GLASS ENCLOSURE.
 - TUB-SHOWER COMBO. TEMPERED GLASS ENCLOSURE.
 - CERAMIC TILE SHOWER AND FLOOR. TEMPERED GLASS ENCLOSURE.
 - ACRYLIC TUB W/ CERAMIC PLATFORM
 - KITCHEN:
 - 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ELECTRIC OVEN WITH MICROWAVE OVEN.

NO:	DATE:	REVISION:
1	10.21.23	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

FOR CONSTRUCTION

CLIENTS NAME:

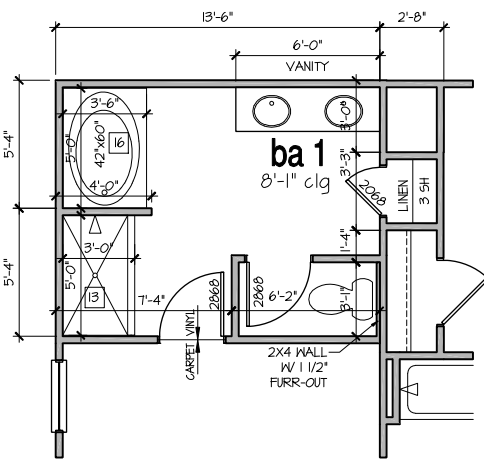
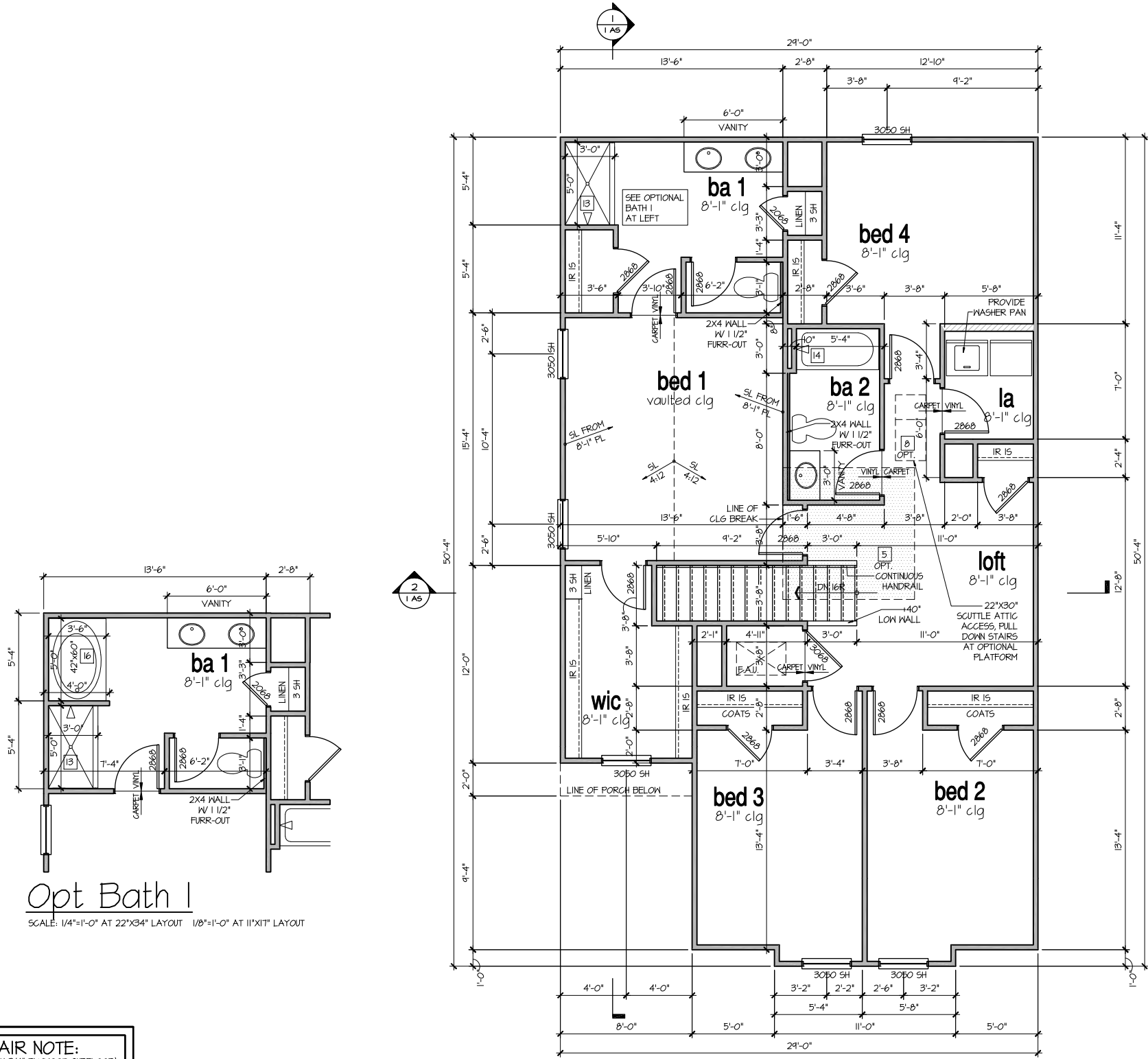


PROJECT NO: GMD-GA14065

SHEET TITLE:
'ELSTON'
 1st FLOOR
 PLAN '3DEF-F'

PRINT DATE:
 September 13, 2017

SHEET NO:
4 F



Opt Bath 1
SCALE: 1/4"=1'-0" AT 22"X34" LAYOUT 1/8"=1'-0" AT 11"X17" LAYOUT

8'-1" STAIR NOTE:
(USE 16" T.J.I WITH 3/4" PLYWOOD SUBFLOOR)
15 TREADS AT 10" EACH VERIFY
16 RISERS AT +/- 7.11" = 113 3/4" TOTAL RISE VERIFY

- FOR ADDITIONAL NOTES SEE GENERAL NOTES ON TITLE SHEET AND DETAILS.
- WINDOW HEAD HEIGHTS:
1ST FLOOR = 7'-0" U.N.O. ON ELEVATIONS.
2ND FLOOR = 7'-0" U.N.O. ON ELEVATIONS.

ALL DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTERLINE.

WALL LEGEND:

	FULL HEIGHT 2X4 WOOD STUD PARTITION		FULL HEIGHT 2X6 WOOD STUD PARTITION
	BRICK / STONE VENEER		STUD WALL BELOW HEIGHT AND STUD SIZE AS NOTED
	LOW GYPSUM BOARD WALL HEIGHT AND STUD SIZE AS NOTED		DRYWALL OPENING HEIGHT AS NOTED ON PLAN

KEY NOTES: IRC

- FIRE PROTECTION:**
- 1 HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER IRC SECTION R302.6)
 - 2 GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD. (PER IRC SECTION R302.6)
 - 3 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER IRC SECTION R302.5.1)
 - 4 BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS. (PER IRC SECTION R302.7)
 - 5 MEPS
 - 6 GAS WATER HEATER ON 18" HIGH PLATFORM. (PER IRC SECTION P2801.6)
- MEPS:**
- 7 6" FAU 8'X8' PLATFORM. VERIFY WITH TRUSS MANUFACTURER. (6'-6" MIN. CLEAR HEIGHT TO HORIZONTAL MEMBERS, 2'X6" OVER 2'X4" BOTTOM CHORD. OF TRUSS, VERIFY W/ TRUSSES.)
 - 8 A/C CONDENSER PAD. (VERIFY)
 - 9 PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 10 ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. (PER IRC SECTION M305.1.3) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" X 54" SIZE) TYPICALS:
 - 11 TEMPERED SAFETY GLASS. (PER IRC SECTION R308.4)
 - 12 PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
 - 13 HALF WALL, HEIGHT AS NOTED.
 - 14 INTERIOR SOFFITS: FFL = 7'-6" U.N.O. SFL = 7'-6" U.N.O. BATHS:
 - 15 SHOWER, TEMPERED GLASS ENCLOSURE.
 - 16 TUB-SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
 - 17 CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
 - 18 ACRYLIC TUB W/ CERAMIC PLATFORM
 - 19 KITCHEN:
 - 20 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 21 30" GAS COOKTOP AND HOOD. VENT PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 22 ELECTRIC OVEN WITH MICROWAVE OVEN.

2nd Floor Plan 'F'

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NO:	DATE:	REVISION:
1	10.21.25	

PROFESSIONAL SEAL:

PROJECT TITLE:
30' Series

CLIENTS NAME:

D·R·HORTON
America's Builder

PROJECT NO: 6MD-6A14065

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2nd FLOOR
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